

Site Plan/ Design Review Application for Rancho Cañada Village

40 Unit Inclusionary Housing

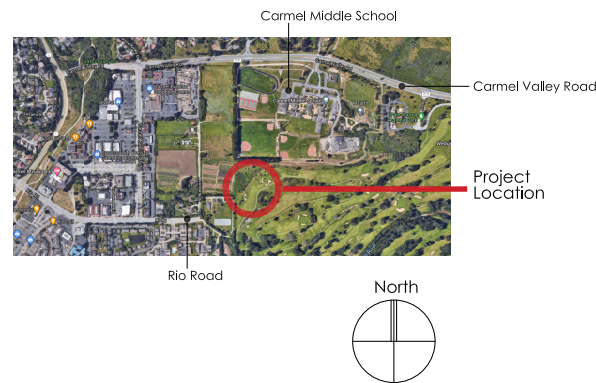
Monterey County, California

Parcel: 015-165-014

015-165-015

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CS	Cover sheet
SP1.0	Overall Project Information Site Plan
A1.1	Building "A1" Second Level Floor Plan
A2	Building "A2" Roof Plan
A3	Building "A3" Elevations
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B1.1	Building "B1" Second Level Floor Plan
B2	Building "B1" Roof Plan
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C1.0	Building "C1" First Level Floor Plan
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C2	Building "C1" Roof Plan
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D1.0	Carports and Trash Enclosures
	Building "A" Colored Elevations
	Building "B" Colored Elevations
	Building "C" Colored Elevations
L	Landscape sheets
C	Civil Sheets



Team

Owner:
Rancho Cañada Ventures, LLC.
P.O. Box 450
Carmel, CA 93921
(831) 625-1066

Civil Engineer:
L and S Engineering and Surveying, Inc.
2460 Garden Road
Monterey, CA 93940
(831) 655-2723

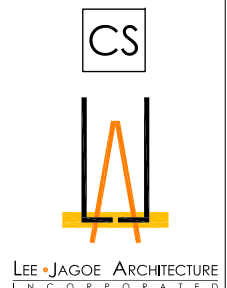
Landscape Design:
Town & Country Gardening and Landscape
26485 Carmel Rancho Blvd, Suite 2
Carmel, CA 93923
(831) 625-3105
Architect:
Lee-Jagoe Architecture, Inc.
211 W. Franklin Street
Stockton, CA 93253
(831) 718-8172

Rancho Cañada Village
Monterey County, California

March 05, 2025

2291 W. MARCH LANE, SUITE B200
STOCKTON, CALIFORNIA 95207
(209) 957-9254
MLEE.LJARCH@GMAIL.COM

Rancho Cañada Ventures, LLC.



211 W. FRANKLIN STREET
MONTEREY, CALIFORNIA 93940
(831) 718-8172
MLEE.LJARCH@GMAIL.COM

Preliminary Concept Project Data

Zoning: HDR
Gross Land Area: 5.0 Acres
Net Land Area: 3.317 Acres

of 1 Bedroom Units: 8 Units
of 2 Bedroom Units: 24 Units
of 3 Bedroom Units: 8 Units
of Total Units: 40 Units

Density: 8.00 Du/Ac Gross
12.06 Du/Ac Net

Coverage Base on Net Land Area:

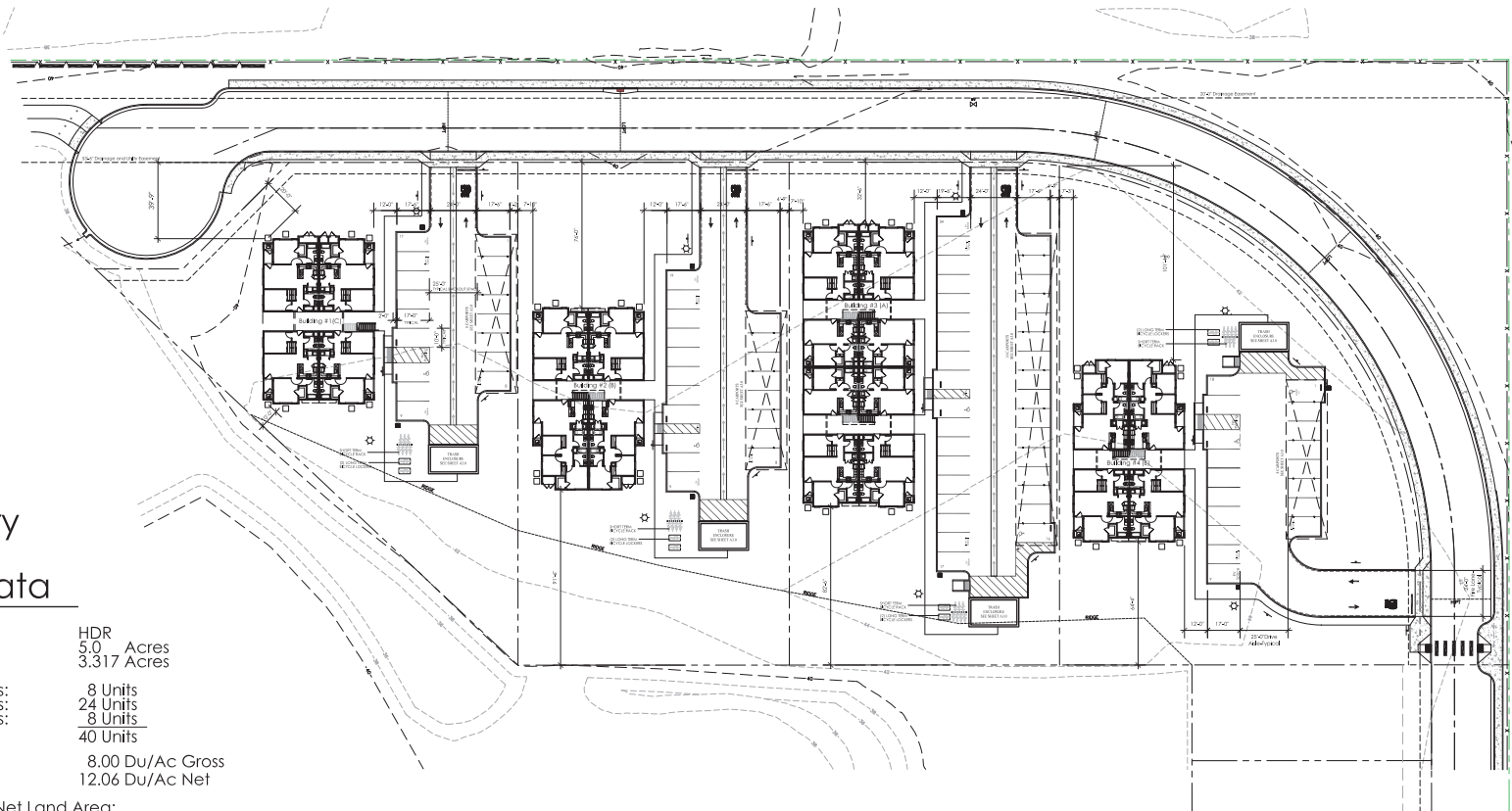
Building Coverage:	16,576 SF	11.47%
Parking Coverage:	38,111 SF	26.38%
Landscaping Coverage:	89,801 SF	62.15%

Floor Area Ratio(Net): .214 to 1.00 without carports

# Parking Spaces:	1.5 per One Bedroom	12 Spaces
	2.0 per Two Bedroom	48 Spaces
	2.2 per Three Bedroom	18 Spaces
	1 per 10 Guest	10 Spaces
Total Req'd Parking Spaces:		88 Spaces

Covered:	40 Spaces
Open:	48 Spaces
Total Parking Spaces:	88 Spaces

----- Fire Lane, curb painted red
-o- Fire Lane, no parking signs or
Accessible Parking Sign



Preliminary Concept Site Plan

Parcel 015-162-026

Sheet SP1.0

Scale: 1" = 30'-0"
March 02, 2022

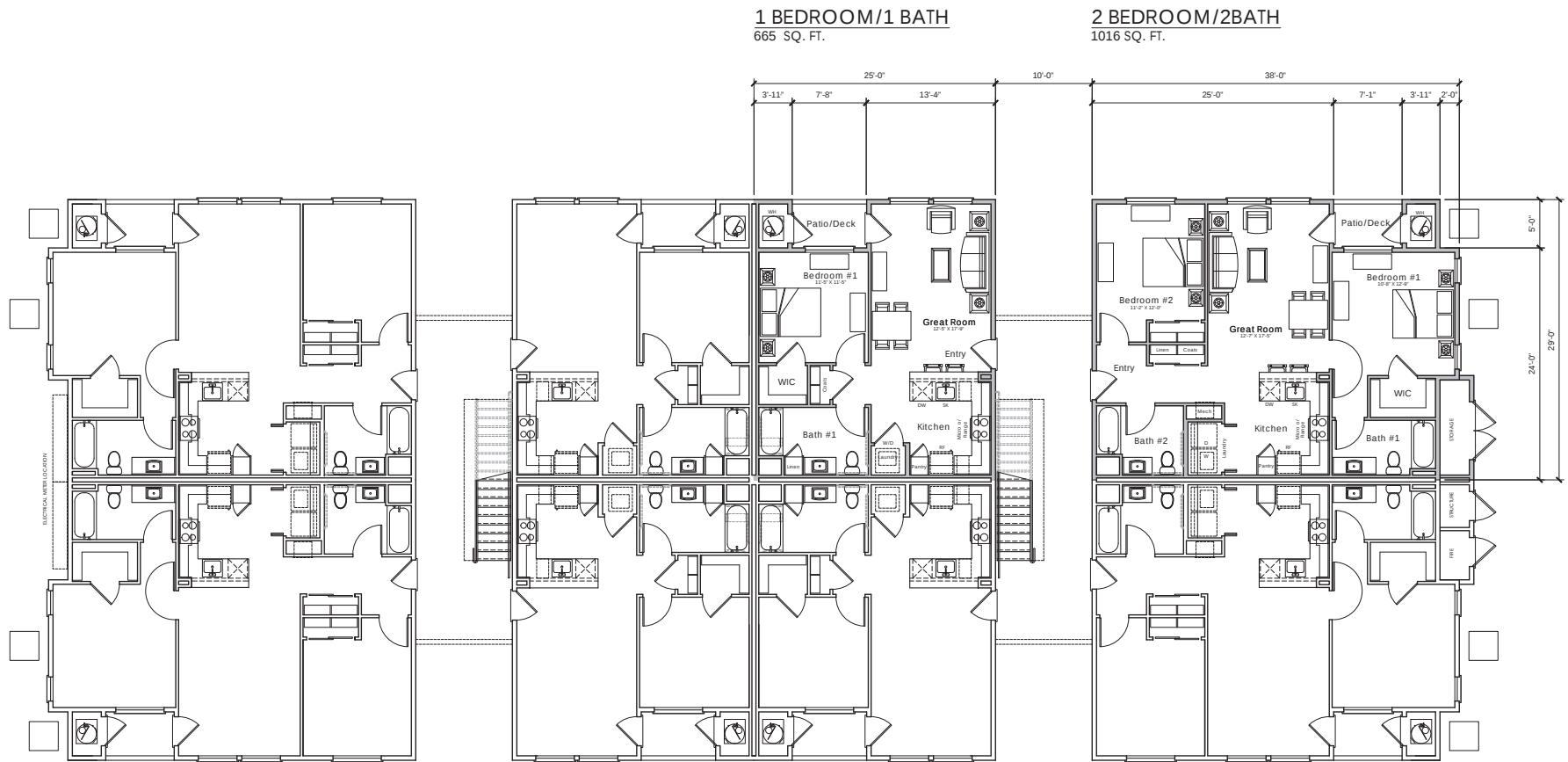
Rancho Cañada Village Monterey County, California

Rancho Cañada Ventures, LLC.

SP1



LEE • JAGOE ARCHITECTURE
INCORPORATED



BUILDING 'A'-16 UNITS TOTAL
 8 - TWO BEDROOM-TWO BATHROOM-INTERIOR UNITS
 8 - ONE BEDROOM-ONE BATHROOM-END UNITS
 1 - 16 UNIT BUILDING-TWO STORY

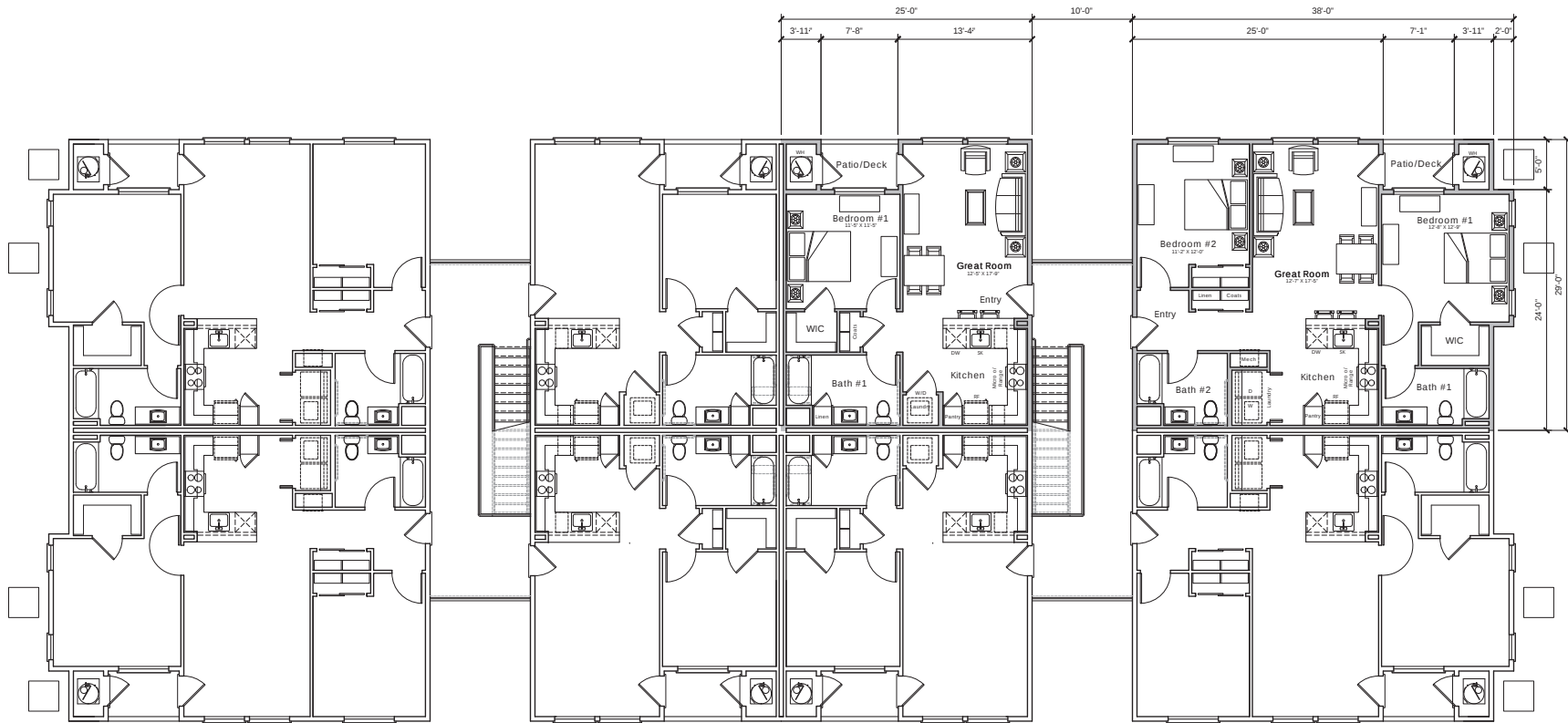
Sheet A1
 First Floor
 Building A/Unit Plans
 March 3, 2021
 Scale: 3/16=1'-0"

Rancho Cañada Village Monterey County, California

Rancho Cañada Ventures, LLC.



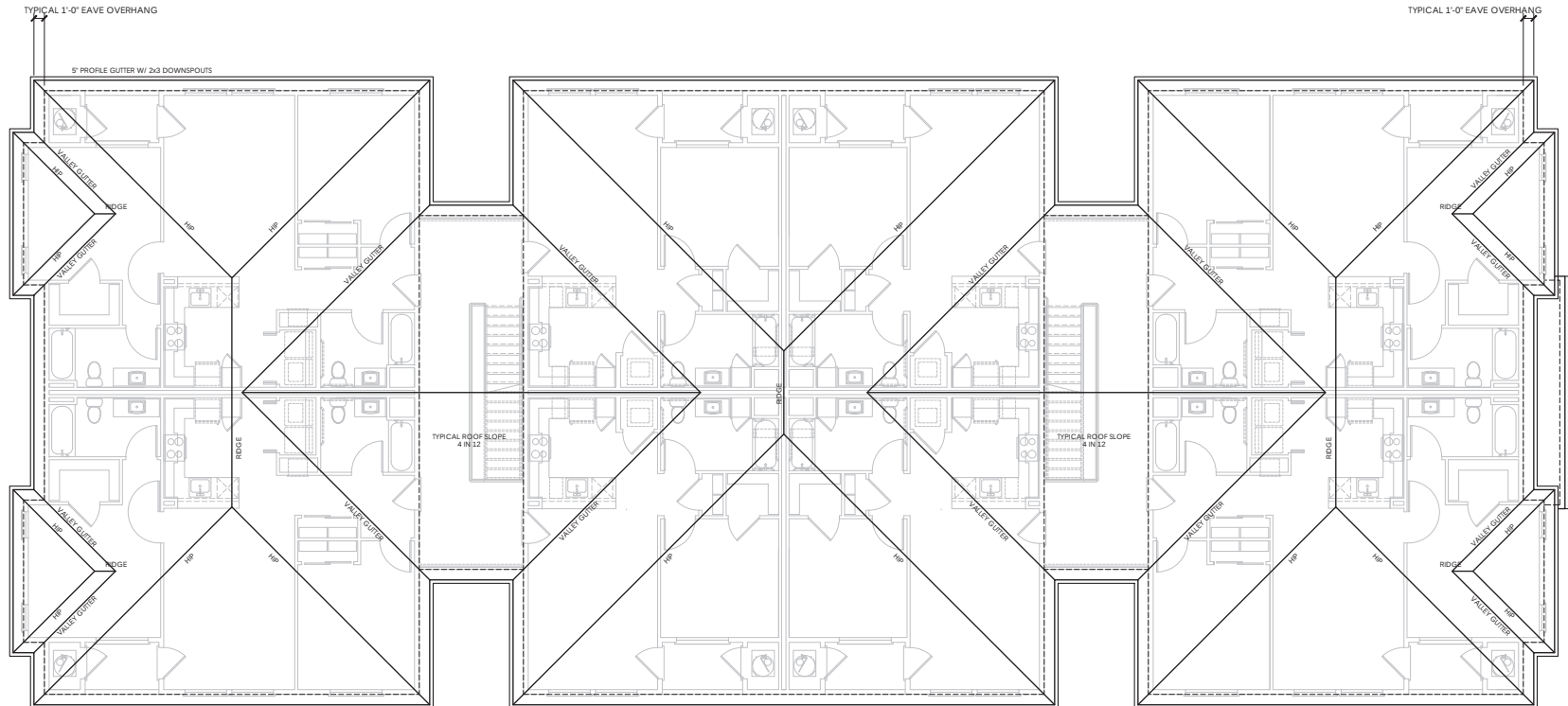
2 BEDROOM/2BATH
1016 SQ. FT.



March 3, 2021
Scale: 3/16=1'-0"



LEE JAGOE ARCHITECTURE
INCORPORATED

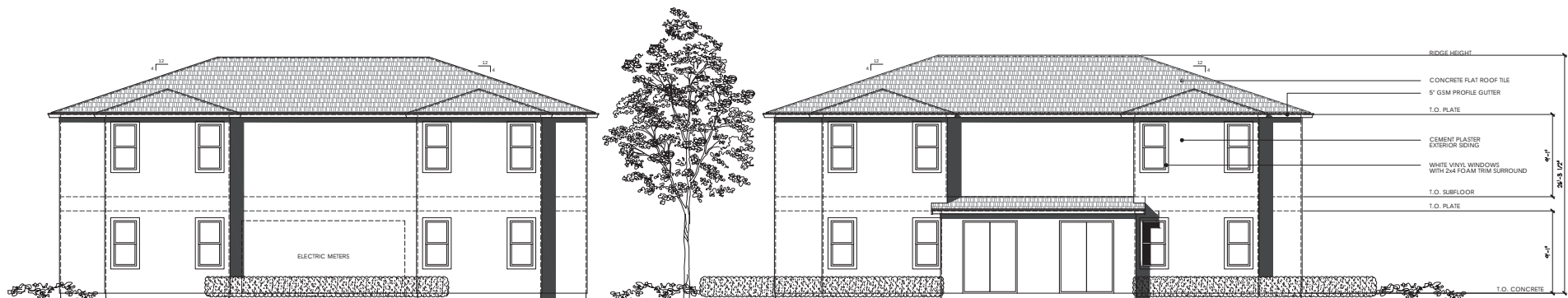


Sheet A2 Building A Roof Plan

March 3, 2021
Scale: 3/16=1'-0"

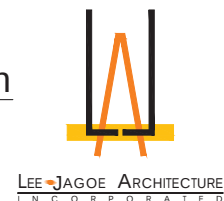
Rancho Cañada Village
Monterey County, California





Rancho Cañada Village Monterey County, California

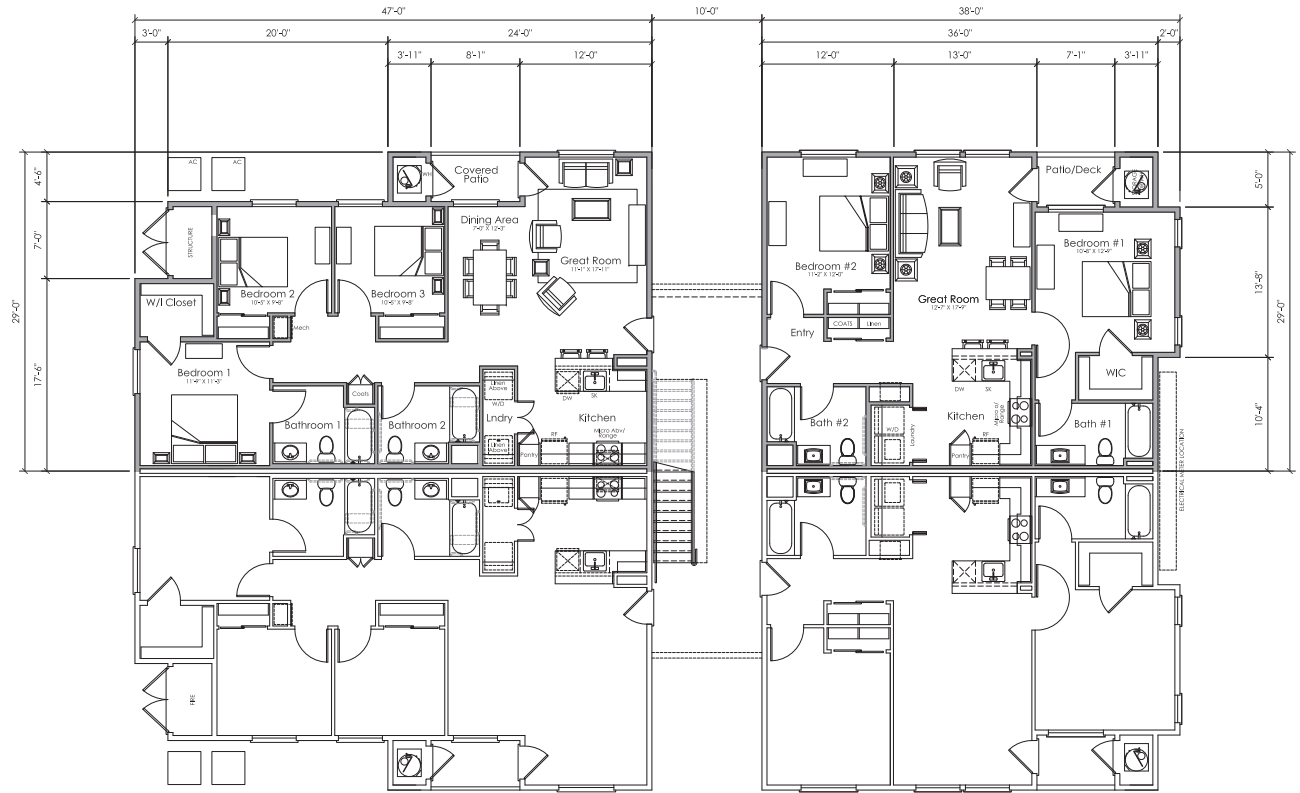
Sheet A3
Prototype Elevation
March 3, 2021
Scale: 3/16=1'-0"



Rancho Cañada Ventures, LLC.

3 BEDROOM/2 BATH
1156 SQ. FT.

2 BEDROOM/2BATH
1016 SQ. FT.



BUILDING 'B'-

- 4 - TWO BEDROOM-TWO BATHROOM
- 4 - THREE BEDROOM-TWO BATHROOM

2 - 8 UNIT "B" BUILDINGS-TWO STORY

Sheet B1
First Floor
Building B/Unit Plans

March 3, 2021
Scale: 3/16"=1'-0"

Rancho Cañada Village
Monterey County, California

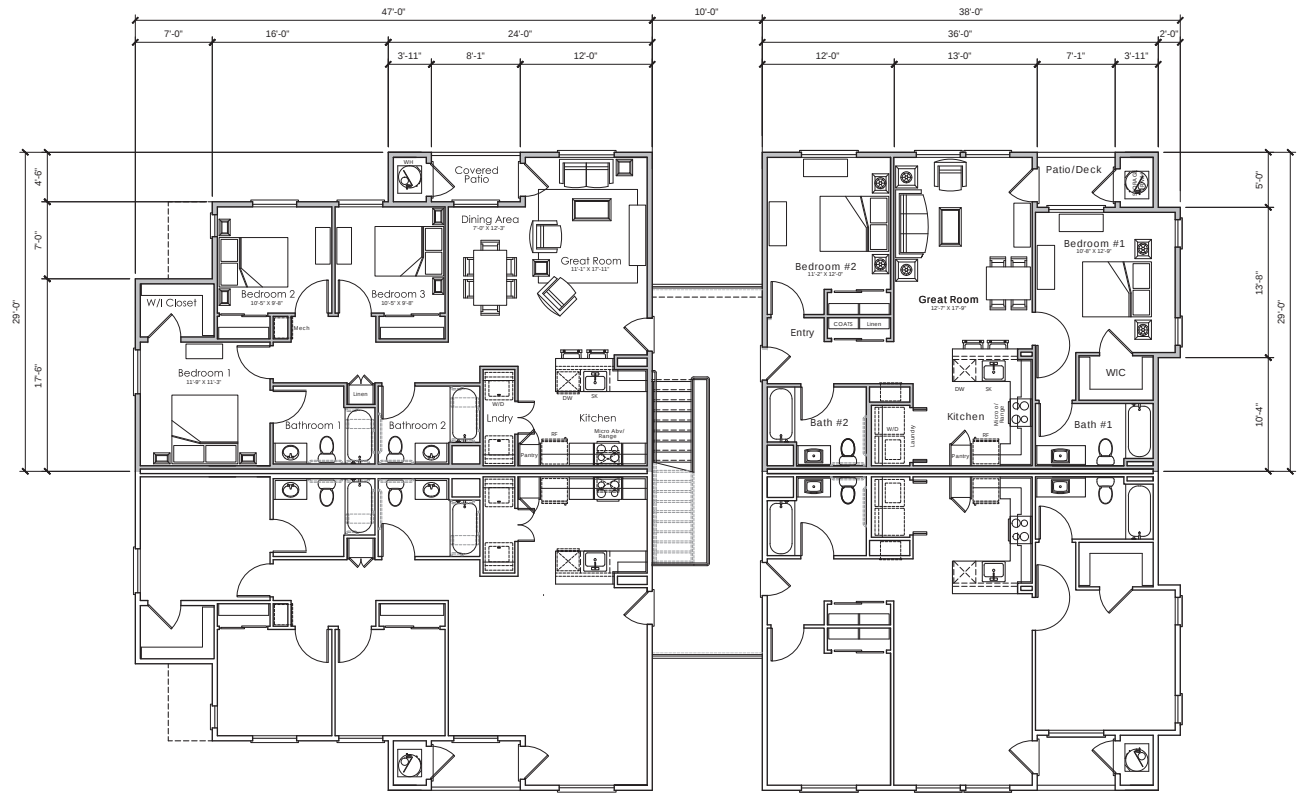
Rancho Cañada Ventures, LLC.



LEE JAGOE ARCHITECTURE
INCORPORATED

3 BEDROOM/2 BATH
1156 SQ. FT.

2 BEDROOM/2BATH
1016 SQ. FT.

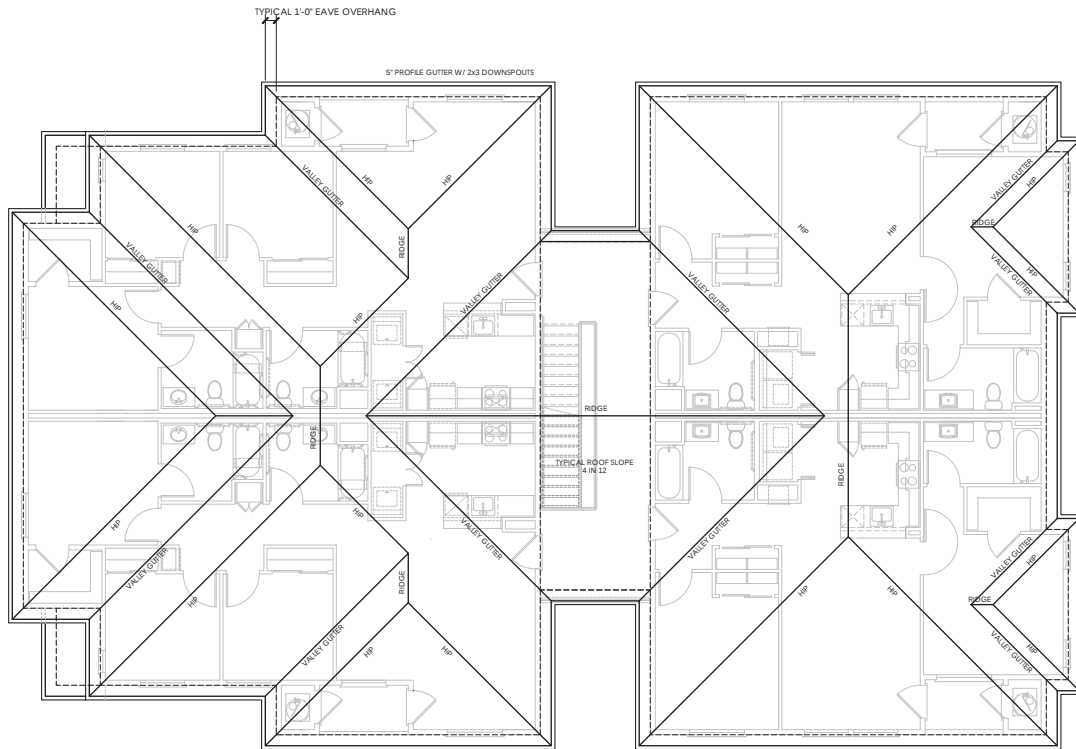


Sheet B1.1
Second Floor
Building B/Unit Plans

March 3, 2021
Scale: 3/16=1'-0"

Rancho Cañada Village
Monterey County, California





Sheet B2 Building B Roof Plan

March 3, 2021
Scale: 3/16=1'-0"

Rancho Cañada Village
Monterey County, California





End Unit-Side Elevation-
Two Story Elevation

End Unit-Side Elevation-With Meter Rooms
Two Story Elevation



Front/Rear Elevation-
Two Story Elevation

Sheet B3
Prototype Elevation
March 3, 2021
Scale: 3/16=1'-0"

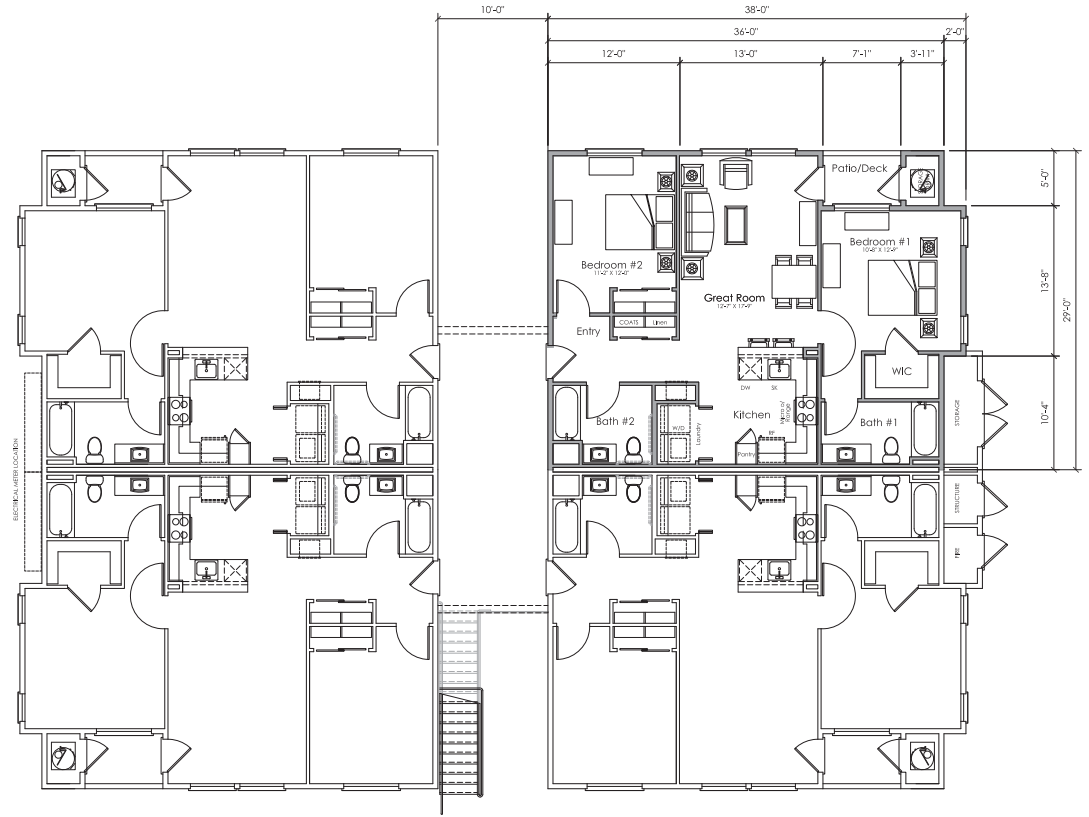


Rancho Cañada Village
Monterey County, California

Rancho Cañada Ventures, LLC.

BUILDING 'C':
8 - TWO BEDROOM-TWO BATHROOM

1 - 8 UNIT "B" BUILDINGS-TWO STORY



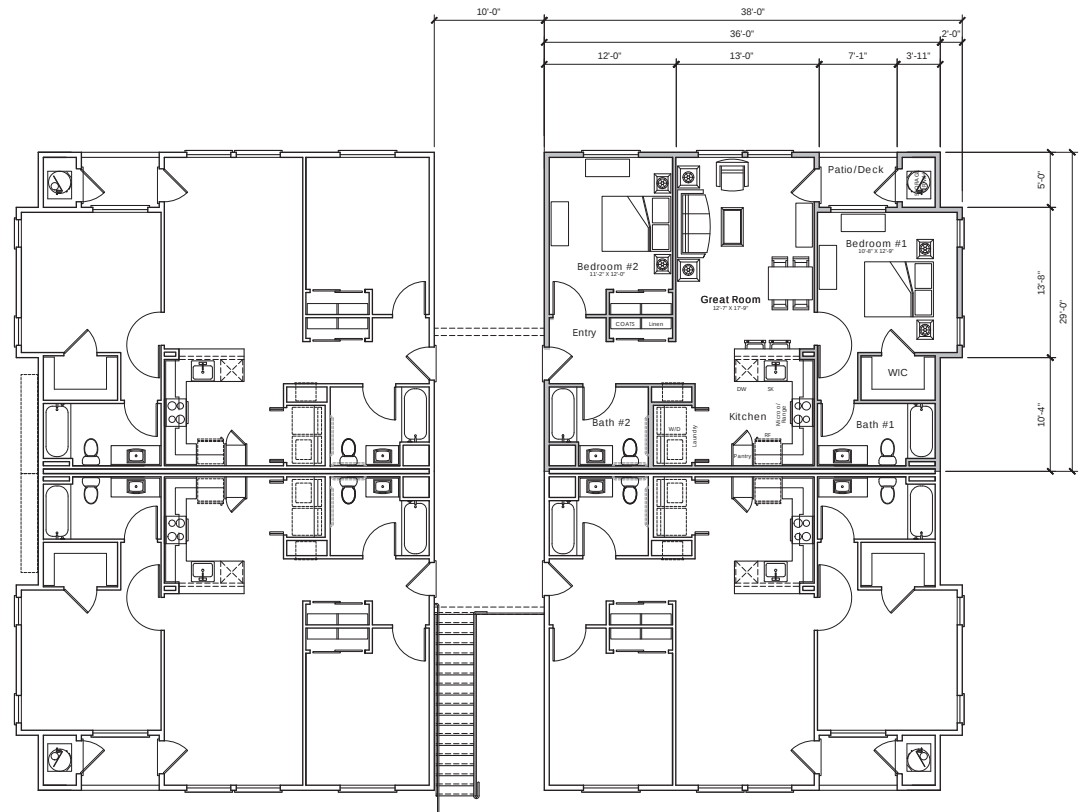
Sheet C1
First Floor
Building C/Unit Plans

March 3, 2021
Scale: 3/16"=1'-0"

Rancho Cañada Village
Monterey County, California



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INCORPORATED

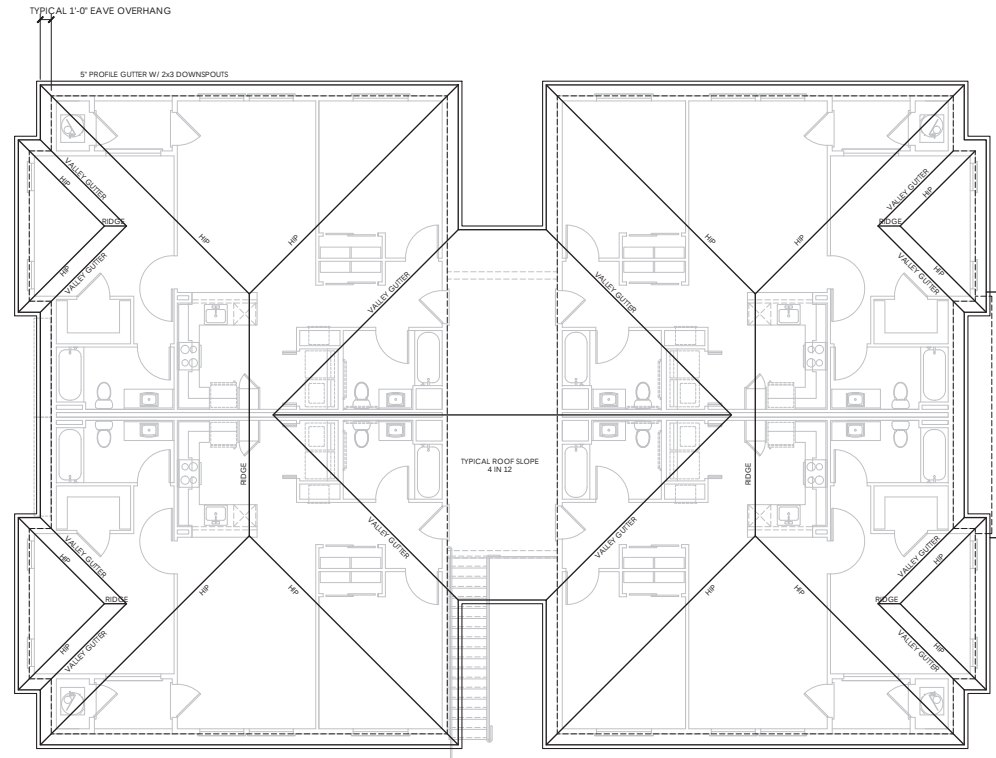


Sheet C1.1
Second Floor
Building C/Unit Plans

March 3, 2021
Scale: 3/16=1'-0"

Rancho Cañada Village
Monterey County, California



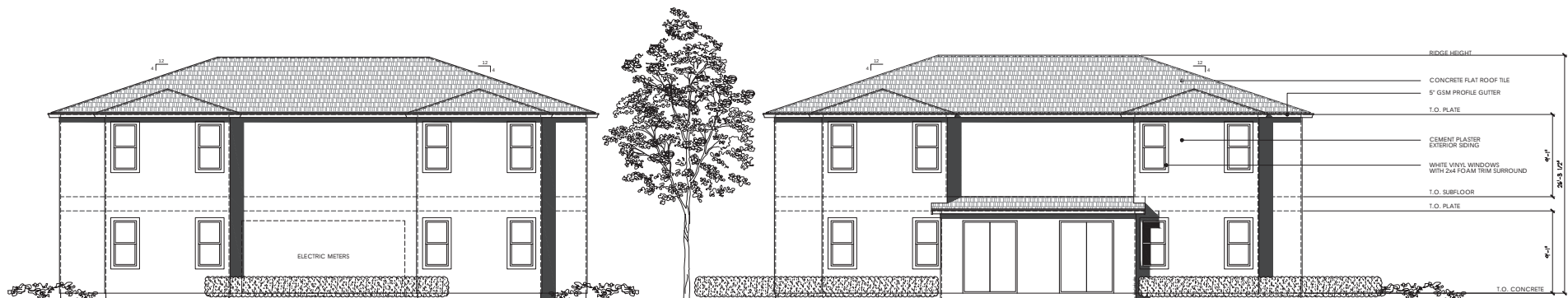


Sheet C2 Building C Roof Plan

March 3, 2021
Scale: 3/16=1'-0"

Rancho Cañada Village
Monterey County, California





End Unit-Side Elevation-
Two Story Elevation

End Unit-Side Elevation-With Meter Rooms
Two Story Elevation



Front/Rear Elevation-
Two Story Elevation

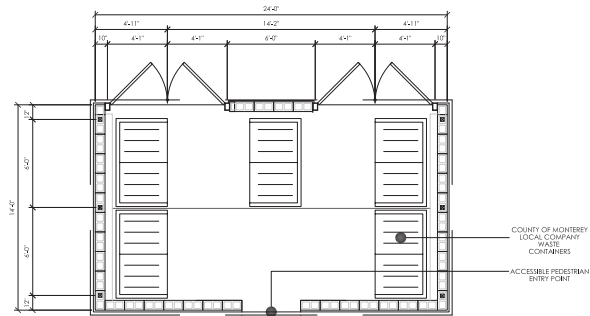
Sheet C3
Prototype Elevation
March 3, 2021
Scale: 3/16=1'-0"

Rancho Cañada Village Monterey County, California

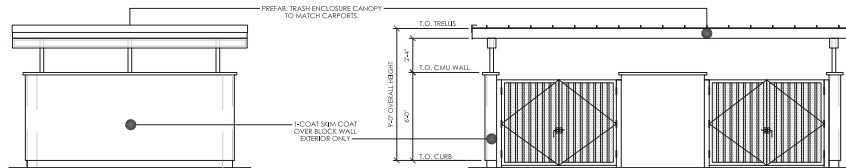
Rancho Cañada Ventures, LLC.



LEE JAGOE ARCHITECTURE
INCORPORATED



Floor Plan

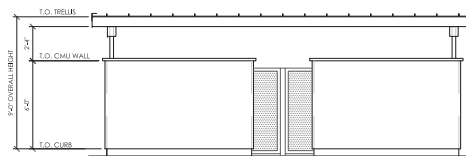


Side Elev.

Front Elev.



Canopy



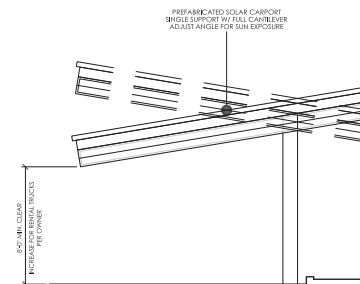
Rear Elev.

Trash Enclosure



Carport

PREFABRICATED SOLAR CARPORT



Side Elev.

Carports

D1.0



LEE JAGOE ARCHITECTURE
INCORPORATED

Scale 1/4"=1'-0"
March 02, 2022

Trash Enclosure/ Carports Rancho Cañada Village Monterey County, California

Rancho Cañada Ventures, LLC.



End Unit-Side Elevation-
Two Story Elevation

End Unit-Side Elevation-With Meter Rooms
Two Story Elevation



Front Elevation
Building "A"

Rancho Cañada Village Monterey County, California

Rancho Cañada Ventures, LLC.



LEE + JAGOE ARCHITECTURE
INCORPORATED



End Unit-Side Elevation-With Meter Rooms
Two Story Elevation

End Unit-Side Elevation-
Two Story Elevation



Front/Rear Elevation-
Two Story Elevation
Building "B"

Rancho Cañada Village Monterey County, California

Rancho Cañada Ventures, LLC.





End Unit-Side Elevation-
Two Story Elevation

End Unit-Side Elevation-With Meter Rooms
Two Story Elevation



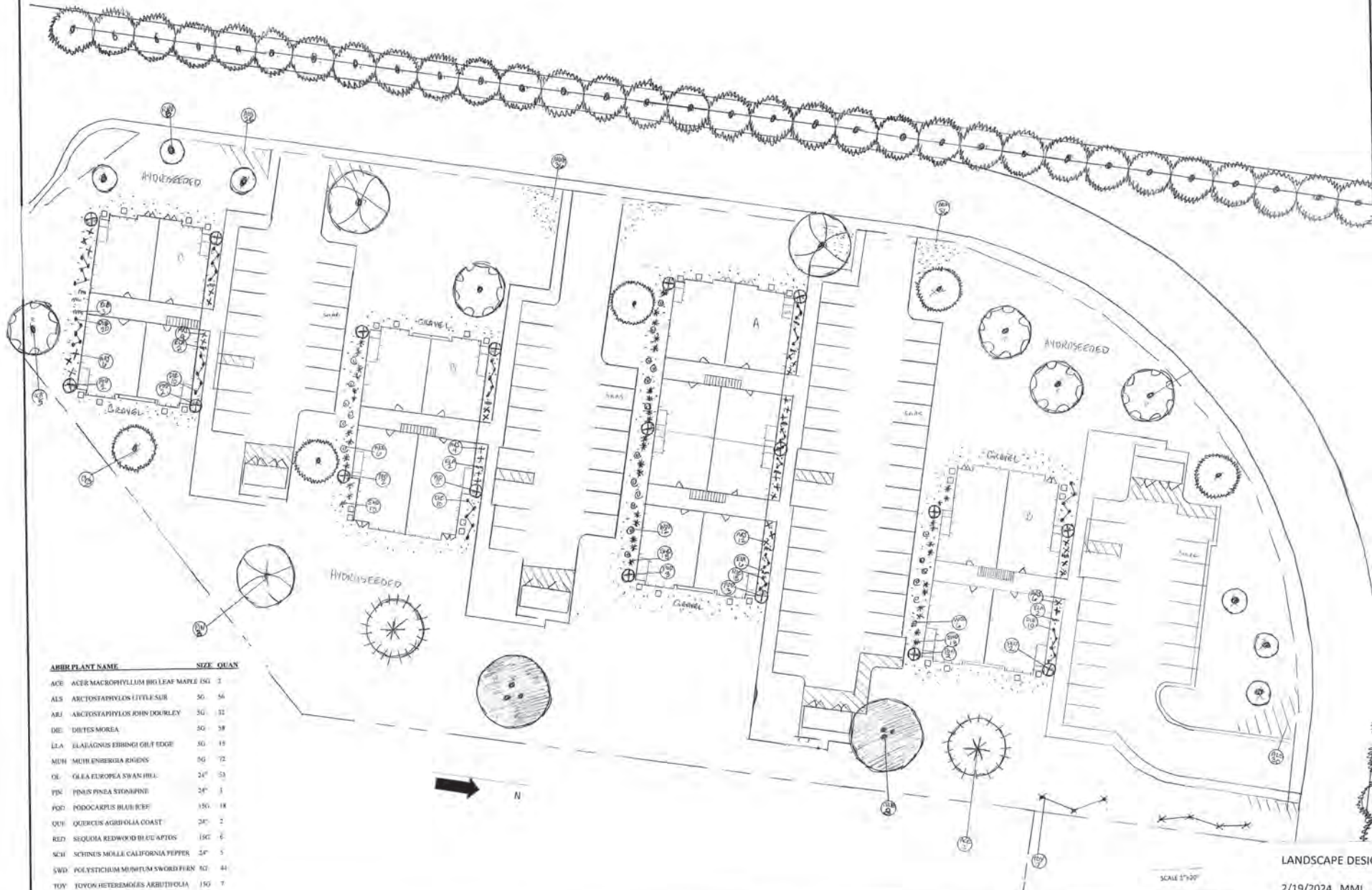
Front/Rear Elevation-
Two Story Elevation
Building "C"

Rancho Cañada Village Monterey County, California

Rancho Cañada Ventures, LLC.



LEE + JAGOE ARCHITECTURE
INCORPORATED



ABBR	PLANT NAME	SIZE	QUAN
ACE	ACER MACROPHYLLUM BIG LEAF MAPLE	10'	3
ALS	ARCTOSTAPHYLOS LITTLE LEAF	50"	56
ARJ	ARCTOSTAPHYLOS JOHN DOWLEY	50"	32
DE	DRYAS MOREA	50"	58
ELA	ELAEAGNUS EBBINGI GILT EDGE	50"	18
MUN	MULBERRY MORONGIA ROSE	50"	72
OR	OLEA EUROPEA SWAN HILL	24"	53
PN	PINUS PINEA STONYPINE	24"	3
POD	PODOCARPUS BLAU RICH	150"	18
QU	QUERCUS AGROFOLIA COAST	24"	2
RED	SEQUOIA REDWOOD BLUE APTIS	150"	6
SCH	SCHINUS MOLLE CALIFORNIA PEPPER	24"	5
SWD	POLYSTICHUM MONTANUM SWORD FERN	50"	44
TOY	TOYON HETEROMERIS ARBUTHOLIA	150"	7
WOK	WOODWARDIA FIMBRATA CHAIN FERN	50"	24

REVISION	BY
1	MML
2	
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TOWN AND COUNTRY GARDENING & LANDSCAPE INC
 26485 CARMEL RANCHO BLVD SUITE 2
 CARMEL, CA 93923
 831-596-2709, 831-675-3105

LANDSCAPE DESIGN
 2/19/2024 MML

L.1

MAWA NOTES

Maximum Allowable Water Allocation (MAWA) calculations prepared for the

MAWA NOTES

Maximum Allowable Water Allocation (MAWA) calculations prepared for the
Rancho Canada Village Inclusionary Housing Village Park Road, Carmel CA 93923
by Mary Luster (831-603-0858, maryluster@tandcountrygardening.com) for Town & Country Gardening & Landscape INC.
3/6/24.

Maximum allowable landscape irrigation usage for this site is .21

ft. / year

Formula & Calculations:

$$MAWA = \frac{ET_d \times ET_{adj} \times LA \times 0.623}{325,851}$$

Where:
ET_d = 46.3" / yr (Zone 3)
ET_{adj} = .80
LA = 2992 sq. ft.

Calculated as:

4 sq. ft. / 5 gal. plant	301 plants	1204 sq. ft.
16 sq. ft. / 15 gal. plant	73 plants	526 sq. ft.
20 sq. ft. / 24" box tree	63 trees	1260 sq. ft.
	TOTAL	2992 sq. ft.

$$MAWA \text{ for this site} = \frac{46.3 \times .80 \times 2992 \times 0.623}{325,851} = .21 \text{ Acre Feet}$$

ETWU NOTES

Estimated Total Water Use (ETWU) calculations prepared for the
Rancho Canada Village Inclusionary Housing Village Park Road, Carmel CA 93923
by Mary Luster (831-603-0858, maryluster@tandcountrygardening.com) for Town & Country Gardening & Landscape INC.
3/6/24.

Maximum allowable landscape irrigation usage for this site is unknown.

Formula & Calculations:

$$ETWU = \frac{ET_d \times ET_{adj} \times MA \times 0.623 \times 87.6}{325,851}$$

Where:
ET_d = 46.3" / yr (Zone 3)
ET_{adj} = .80
ALA = 1046.6 sq. ft.

Calculated as: 2 sq. ft. / 1 gal. plant
4 sq. ft. / 5 gal. plant
16 sq. ft. / 15 gal. plant
20 sq. ft. / 24" box tree
20 sq. ft. / 36" box tree
150 sq. ft. for total of flats

Spec'd plants: Very low water use plant square footage = 280 x 0.3 = 24
Low water use plant square footage = 2368 x 0.3 = 710.4
Medium water plant use square footage = 532 x 0.6 = 307.2
High water plant use square footage = 0 x 1.0 = 0

ET_d = .85 100% drip irrigation

$$ETWU \text{ for this site} = \frac{46.3 \times .80 \times 1046.6 \times 0.623 \times 87.6}{325,851} = .063 \text{ Acre Feet}$$

IRRIGATION

EACH PER BUILDING

RAIN GAUGE HUNTER IRRITROL RCR5509

1" MAINLINE

1" DWYER FLOW METER

RAINBIRD ESP-ME SMT IRRIGATION CONTROLLER

1" TIECO SERIES BODY DOUBLE CHECK BACKFLOW PREVENTION DEVICE

4 DRIP VALVES ELECTRIC REMOTE CONTROL VALVES SERIES DV-075 - OR 100-0V

Drip Emitter Schedule

5 gal - 2

15 gal - 3

24" - 4

2.0gph pressure compensating, Rain bird Xero-Bug / Toro N. G. E. / Netalim VPC (w/bug coil)

Toro T-DL-Mgd Indicator w/flush valve at end of each zone

HYDROSEED AREA - TEMPORARY SURFACE WATER SYSTEM

Premium Grassland Mix lb x Acre: 36

Species	Common name
25% Elymus glaucus	Blue wild rye
25% Stipa pulchra	Purple needlegrass
25% Bromus carinatus	California brome
25% Flower blend	

Flower Blend Content

Species	Common name
Achillea millefolium	White Yarrow
Trifolium ciliolatum	Footed Clover
Castilleja exserta	Purple owl's clover
Eupachytia californica	California Poppy
Sisyrinchium bellum	Blue eyed grass
Lupinus bicolor	Miniature lupine
Clarkia purpurea	Purple Clarkia

REVISIONS	BY

RANCHO CANADA VILLAGE INCLUSIONARY HOUSING
MONTEREY COUNTY

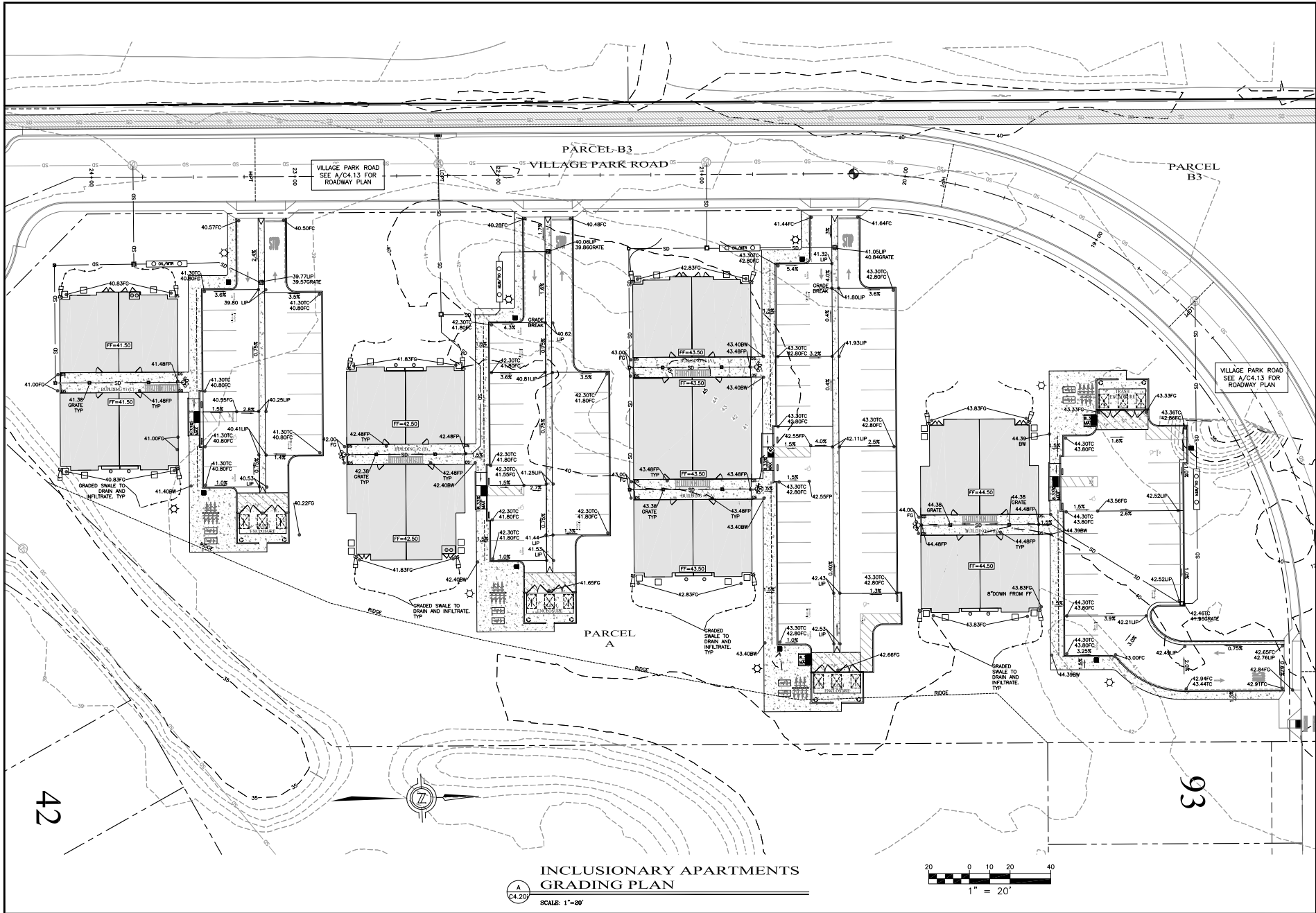
TOWN AND COUNTRY GARDENING & LANDSCAPE INC
26485 CARMEL RANCHO BLVD SUITE 2
CARMEL, CA 93923
831-596-2709, 831-625-3105

Date
SCALE 1"=100'

IRRIGATION

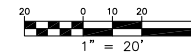
L.2

3/6/24 MML



INCLUSIONARY APARTMENTS
GRADING PLAN

SCALE: 1"=20'

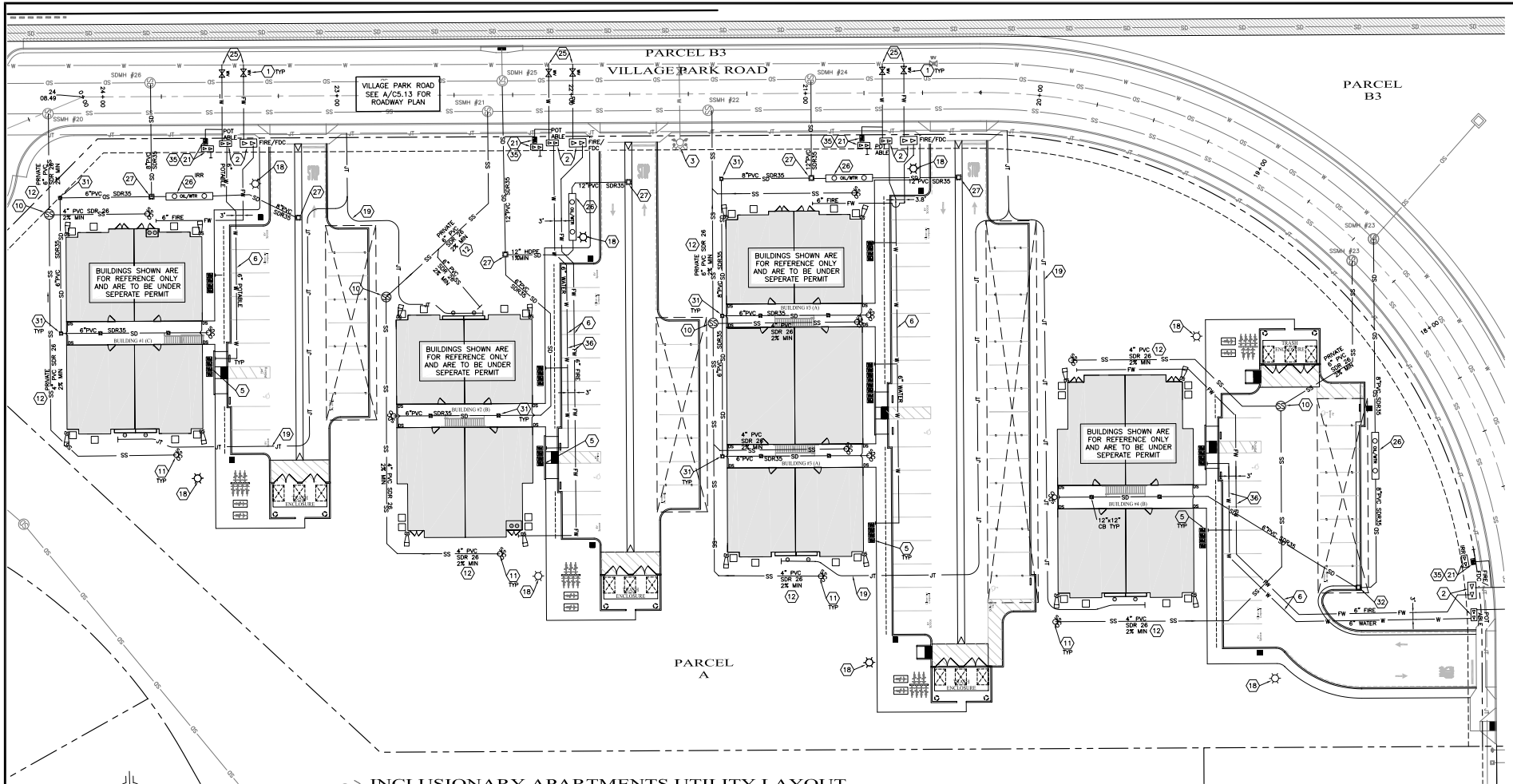


DRAWN BY: P/M
DESIGNED BY: C/S
DATE: APRIL 2023
SCALE: AS SHOWN
JOB NUMBER: 16-051
LAST REVISED: JAN 2025
REVISED BY: P/M

INCLUSIONARY APARTMENTS
GRADING PLAN

RANCHO CAÑADA VILLAGE
SUBDIVISION
GRADING PLANS

SHEET 1-2



INCLUSIONARY APARTMENTS UTILITY LAYOUT

SCALE: 1"=20'

UTILITY PLAN KEYNOTES:

- 1 WATER VALVE. SEE DETAIL A/C6.4
- 2 BACKFLOW ASSEMBLY. SEE DETAIL C/C6.4
- 3 FIRE HYDRANT. SEE DETAIL D/C6.4
- 4 WATER BLOW OFF VALVE. SEE DETAIL G/C6.4
- 5 WATER METER BANK. SEE DETAIL B/C6.4
- 6 WATER MAIN TRENCH SECTION. SEE DETAIL F/C6.4
- 7 CONTRACTOR TO PROVIDE COMPACTION TESTING RESULTS TO CALAM TO VERIFY SOIL COMPACTION. TYPICAL.
- 8 8" HOT TAP, CALAM APPROVED TAPPING SADDLE AT MAIN WITH THROUST RESTRAINT.
- 9 ABANDON EXISTING SEWER MAN IN PLACE. SEE DETAIL SS-26/C6.3
- 10 ABANDON EXISTING SEWER MANHOLE IN PLACE. SEE DETAIL SS-27/C6.3
- 11 SEWER MANHOLE. SEE DETAILS SS-9/C6.2, SS-12/C6.2, SS-25/C6.3
- 12 SEWER CLEANOUT. SEE DETAIL SS-1/C6.2
- 13 SEWER TRENCH SECTION. SEE DETAIL SS-24/C6.3
- 14 SEWER LATERAL & APPROVED BACKWATER PREVENTER. SEE DETAILS SS-2/C6.2, SS-4/C6.2, SS-5/C6.2, SS-6/C6.2
- 15 EXISTING SEWER MAIN OR MANHOLE TO BE REMOVED.
- 16 12"x12" DI TIE.
- 17 8"x8" DI TIE.
- 18 STREET LIGHT. SEE DETAIL C/C6.7
- 19 JOINT UTILITY TRENCH. SEE PG&E PLANS.
- 20 WATER METER. SEE DETAIL A/C6.6
- 21 IRRIGATION, METER, BACKFLOW, AND ICV VALVES. SEE LANDSCAPE PLANS FOR SIZING AND SPECIFICATIONS.
- 22 2" COMBINATION AIR AND VACUUM VALVE. SEE STD DETAIL 11 ON SHEET C6.5
- 23 8"x8" DI TIE.
- 24 8"x8" DI TIE.
- 25 8"x8" DI TIE.
- 26 OIL/GREASE/DIRT SEPARATOR. ADD STORM WATER QUALITY UNIT #3420 OR EQUAL.
- 27 18"x18" CHRIST V64 OR EQUAL.
- 28 NOT USED
- 29 12"x8" DI REDUCER
- 30 CONTRACTOR TO REPLACE EXISTING PAVEMENT SECTION DISTURBED BY TRENCHING. SEE PAVEMENT SECTION A/C6.0
- 31 12"x12" AREA DRAIN, CHRIST V12 OR EQUAL. USE ACCESSIBLE GRATE IN WALKWAYS
- 32 CATCH BASIN, TYPE 18-BS, SEE DETAIL A/C6.1
- 33 SEWER MANHOLE WITH BOLT DOWN LID. SEE DETAILS SS-9/C6.2, SS-12/C6.2, SS-25/C6.3, SS-17/C6.3
- 34 SHALLOW SEWER MANHOLE. SEE SS-14/C6.3A, SS-12/C6.2, SS-25/C6.3
- 35 1" SERVICE LATERAL FOR IRRIGATION. SEE DETAIL A/C6.6
- 36 SEE DETAIL D/C6.5A FOR POTABLE AND FIRE PIPE SEPARATION.
- 37 SEE DETAIL C/C6.5A FOR OVER-LAND TRENCH SECTION.
- 38 6" SEWER LATERAL AND CLEANOUT, PLUG AND CAP AT PROPERTY LINE FOR FUTURE CONNECTION. SEE DETAILS SS-1/C6.2 AND SS-2/C6.2(SDMM&W)
- 39 FIRE HYDRANT BOLLARDS. SEE DETAIL E/C6.5A
- 40 3-30" CORRUGATED PIPE-ARCH CULVERTS. CONTRACTOR TO CENTER 20' PIPE SECTION OVER NEW WATER LINE (NO JOINTS ALLOWED)



DRAWN BY: P/M
DESIGNED BY: C/S
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REVISED BY: P/M

INCLUSIONARY APARTMENTS
UTILITY LAYOUT

RANCHO CAÑADA VILLAGE
SUBDIVISION
GRADING PLANS

SHEET 1-3