

CURRAN RESIDENCE

ACCESSORY DWELLING UNIT
3038 ALTA AVENUE, CARMEL, CALIFORNIA 93923



ARCHITECTURE:
McHENRY SHAFFER ARCHITECTURE
11 EAST GREGORY BLVD., STE. 100
KANSAS CITY, MO 64114
816.822.0897 MSARCHK.COM

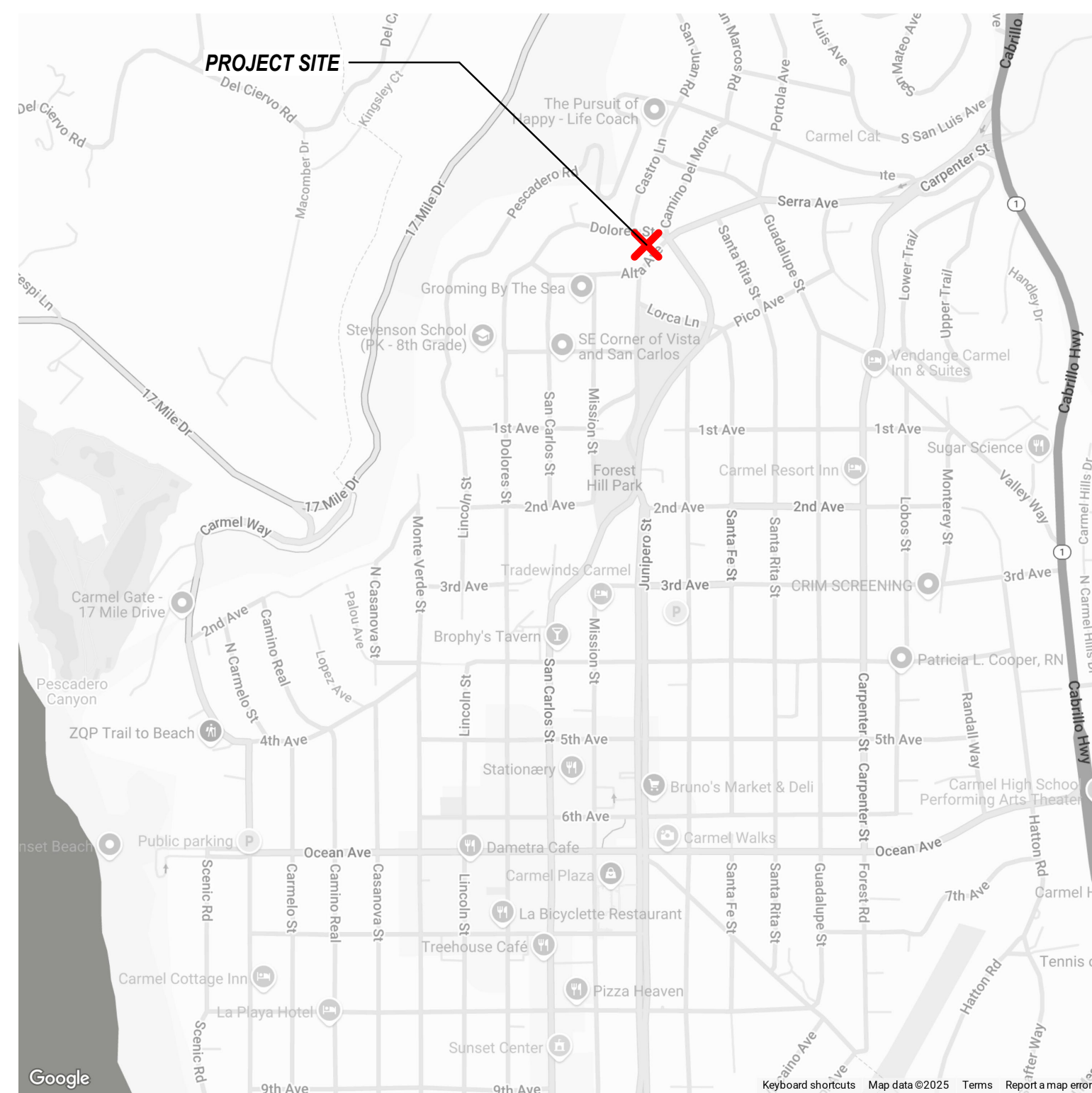
STRUCTURAL ENGINEERING:
DUCKREW, INC.
831.659.3825 DUCKRCF@YAHOO.COM

INTERIOR DESIGN:
GEORGE TERVOICH, INC.
816.361.2100 GTINCDESIGN.COM

GENERAL CONTRACTOR:
GROZA CONSTRUCTION
885 ARREGO STREET
MONTEREY, CA 93940
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MONTEREY COUNTY - INITIAL SUBMITTAL FOR DESIGN REVIEW

VICINITY PLAN



GENERAL NOTES

- THESE PLANS AND RELATED DOCUMENTS MUST BE AVAILABLE AT THE JOB SITE DURING ANY INSPECTION ACTIVITY. 2022 CRC R106.3.1
- STREET ADDRESS NUMBERS SHALL BE CLEAR, POSTED AND UNOBSCTURED PRIOR TO CONSTRUCTION AND INSPECTIONS. R319.1 ADDRESS NUMBERS SHALL BE A MINIMUM OF 4 INCHES (102 MM.) HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH. 2022 CRC R106.1.1 R319.1
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR, SUBCONTRACTORS, AND OR AGENTS TO REVIEW THESE PLANS PRIOR TO START WORK. ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS SHALL BE NOTED AND DIRECTED IMMEDIATELY TO THE DESIGNER FOR CORRECTION. THE DESIGNER SHALL NOT BE LIABLE FOR ERRORS AND OMISSIONS TO THE PLANS AFTER AND DURING CONSTRUCTION
- WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS AND SPECIFICATIONS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS AND SPECIFICATIONS SHALL BE RESUBMITTED FOR APPROVAL AS AN AMENDED SET OF CONSTRUCTION DOCUMENTS. (CRC R106.4)
- IF PERMITS ARE TO BE ISSUED TO ANYONE OTHER THAN A LICENSED CONTRACTOR, AN OWNER-BUILDER VERIFICATION MUST BE COMPLETED BY THE OWNER AND SUBMITTED PRIOR TO ISSUANCE OF PERMITS. THE PERMITTEE WILL HIRE EMPLOYEES SUBJECT TO WORKER'S COMPENSATION LAW REQUIREMENTS AND PROVIDE CURRENT, VALID CERTIFICATE OF WORKER'S COMPENSATION INSURANCE.
- REPAIR ALL DAMAGED AND/OR OFF GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A CIVIL ENGINEER OR A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT OF WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA) CALL 1 800 227-2600
- LOCATE AND EXPOSE ALL PROPERTY CORNERS AND STRING PROPERTY LINES PRIOR TO THE FOUNDATION INSPECTION.
- A CHEMICAL TOILET IS REQUIRED ON SITE DURING CONSTRUCTION. (CRC 3305.1)
- PROVIDE A CONSTRUCTION WASTE MANAGEMENT PLAN. PLAN MUST BE FINALIZED PRIOR TO OCCUPANCY.
- WATERPROOFING AND DAMP-PROOFING AS AMENDED: A BUILDING SHALL HAVE THE FOUNDATION WALL OR CONCRETE FLOOR SLAB CONSTRUCTED ABOVE THE CROWN OF THE ADJOINING STREET, UNLESS OTHERWISE APPROVED BY THE BUILDING OFFICIAL. THE GROUND AROUND THE STRUCTURE SHALL BE SLOPED NOT FEWER THAN 6" WITHIN THE FIRST 10 FEET. EXCEPTION: IMPERVIOUS SURFACES SHALL BE SLOPED NOT LESS THAN TWO PERCENT (2%) FOR A DISTANCE OF FIVE FEET (5') TO PROVIDE DRAINAGE AWAY FROM THE STRUCTURE. CBC 1905, CRC R406, SURFACE WATER DRAINING. R300.1, R300.2
- PROJECTS LOCATED IN THE FLOOD HAZARD AREA SHALL HAVE A FINISHED FLOOR ELEVATION OF NOT LESS THAT 1' ABOVE THE 100 YEAR FLOOD LEVEL. CRC R106.1.1
- THE PERMIT FOR THIS PROJECT REQUIRES FIRE SPRINKLER (CRC R 313.2). LAYOUT AND DETAILS THE FIRE SPRINKLER SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH NFPA 13 OR CRC SECTION 313.3 (CRC R 313.1, R 313.2). RECEIVED AND APPROVED BY THE APPLICABLE FIRE MARSHALL PRIOR TO PERMITTING THE PLAN FROM MONTEREY COUNTY. THE FIRE SPRINKLER SYSTEM SHALL BE INSTALLED BY A LICENSED FIRE SPRINKLER CONTRACTOR OR OWNER OCCUPIED OWNER BUILDERS, AND SHALL BE INSPECTED AND APPROVED BY THE

- FIRE MARSHALL PRIOR TO APPROVAL OF OCCUPANCY OF THE BUILDING (B & P CODE CONTRACTORS LICENSE LAW SECTION 7026).
- AFTER INSTALLING INSULATION, THE INSULATION INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER AND THE BUILDER STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24, PART 2, CHAPTER 253, SUB CHAPTER 4, ARTICLES.
- THE CERTIFICATE SHALL STATE THE MANUFACTURER'S NAME AND MATERIALS INSTALLED "R" VALUE, AND (IN APPLICATIONS OF LOOSE FILL INSULATION) THE MINIMUM INSTALLED WEIGHT PER SQUARE FOOT CONSISTENT WITH THE MANUFACTURER'S LABELED DENSITY FOR THE DESIRED "R" VALUE. SECTION 1403 (D) TITLE 24
- REGISTERED FORMS OF THE CF-2R AND CF-3R FORMS SHALL BE SUBMITTED PRIOR TO FINAL INSPECTION, SIGNED BY CERTIFIED BY THE INSTALLERS FOR THE CF-2R FORM, AND THE HERS RATER, FOR FIELD VERIFICATION AND DIAGNOSTIC TESTING ON THE CF-3R FORM PRIOR TO THE REQUEST FOR A FINAL INSPECTION. IT IS UNDERSTOOD THAT NO FINAL INSPECTION WILL BE MADE UNTIL THIS FORMS ARE SUBMITTED. (BEES2022 SECTION 10-103 (A) (9) AND 10-103 (A)(5))
- THEMATIC AND SOUND INSULATING MATERIALS, AS AMENDED:
 - INSULATION DEPTH MARKERS SHALL BE PROVIDED IN ATTIC SPACES WHERE PNEUMATICALLY PLACED ("BLOWN") INSULATION IS TO BE INSTALLED. A SUFFICIENT NUMBER OF MARKERS SHALL BE INSTALLED TO ALLOW AN INSPECTOR TO REASONABLY SUBSTANTIATE INSULATION DEPTH FROM THE ATTIC OPENINGS WITHOUT CRAWLING IN THE ATTIC. MARKERS SHALL BE PLACED WITH THE BOTTOMS EVEN WITH THE BOTTOM OF CEILING JOISTS. THEY SHALL BE OF REASONABLY SUBSTANTIAL MATERIAL (SUCH AS HEAVY-GAUGE CARDBOARD OR WOOD) TO PREVENT BENDING OR DISLODMENT DURING PLACEMENT OF INSULATION. MARKERS SHALL BE TRI-COLORED AS FOLLOWS:
 - BOTTOM OF MARKER TO PLUS SIX INCHES (+6) - BLUE.
 - FROM PLUS SIX INCHES (+6) TO PLUS NINE INCHES (+9) - RED.
 - FROM PLUS NINE INCHES (+9) TO TWELVE INCHES (12) - WHITE.
 - PNEUMATICALLY PLACED INSULATION SHALL BE PLACED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- CONTINUOUS VAPOR BARRIER REQUIRED ON CONDITIONED SIDE OF ALL INSULATION IN ALL EXTERIOR WALLS, ON THE FLOORS ON UNVENTED ATTICS AND FLOORS OVER UNVENTED CRAWL SPACES TO PROTECT AGAINST MOISTURE CONDENSATION.
- FOAM PLASTIC PROTECTION IN AREAS WHERE THE PROBABILITY OF TERMITE INFESTATION IS "VERY HEAVY" AS INDICATED IN FIGURE R301.2(6). EXTRUDED AND EXPANDED POLYSTYRENE, POLYISOCYANURATE AND OTHER FOAM PLASTICS SHALL NOT BE INSTALLED ON THE EXTERIOR FACE OR UNDER INTERIOR OR EXTERIOR FOUNDATION WALLS OR SLAB FOUNDATIONS LOCATED BELOW GRADE. THE CLEARANCE BETWEEN FOAM PLASTICS, INSTALLED ABOVE GRADE AND EXPOSED EARTH SHALL BE NOT LESS THAN 6 INCHES. R318.4
- THE ATTIC ACCESS SHALL BE WEATHER-STRIPPED AND INSULATION EQUIVALENT TO THAT OF THE CEILING SHALL BE INSTALLED ON THE ACCESS PANEL. (SECT. 117 OF THE GEO. FINGER JOINTED STUDS MUST BE GRADE STAMPED BY AN APPROVED ICC INSPECTION AGENCY AND CLEARLY SPECIFIED ON PLANS. FINGER JOINTED STUDS IN STRUCTURAL WALLS (BEARING OR SHEAR) SHALL BE APPROVED AND ARE NOT ALLOWED AT HOLD DOWN LOCATIONS.
- MIN. NET HEIGHT OF THE REQUIRED EGRESS DOOR TO BE NOT LESS THAN 78" MEASURED FROM THE TOP OF THRESHOLD TO BOTTOM OF DOORSTOP
- THE MAXIMUM HOT WATER TEMPERATURE DISCHARGE SHALL BE LIMITED FOR THE FOLLOWING:
 - BATHUBS AND WHIRLPOOL BATHUBS SHALL BE LIMITED TO 120F BY A DEVICE THAT CONFORMS TO ASSE 1070 OR CSA B125.3 (CPC SECTION 415.5) (THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED AS MEETING THIS PROVISION).
 - SHOWER AND TUBSHOWER MIXING VALVES SHALL PROVIDE SCALD AND THERMAL SHOCK PREVENTION. (CPC SECTION 418.0).
 - ALL HOSE BIBS SHALL BE EQUIPPED WITH NON-REHEMABLE BACK FLOW PREVENTERS. (CPC 603.4.7)
 - ALL PLUMBING CONVEYING OR DISPENSING WATER FOR HUMAN CONSUMPTION SHALL COMPLY WITH AB 1953 FOR LEAD CONTENT
- FLAME SPREAD INDEX, WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200. R302.9.1
- SMOKE DEVELOPED INDEX, WALL AND CEILING FINISHES SHALL HAVE A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450. R302.9.2
- FLAME SPREAD INDEX AND SMOKE-DEVELOPED INDEX FOR INSULATION, INSULATION MATERIALS, INCLUDING FACINGS, SUCH AS VAPOR RETARDERS AND VAPOR-PERMEABLE MEMBRANES INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES AND ATTICS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE-DEVELOPED INDEX NOT TO EXCEED 450 WHERE TESTED IN ACCORDANCE WITH ASTM E84 OR UL 723. R302.10.1 SEE EXCEPTIONS.
- A SPECIAL INSPECTION IS REQUIRED BY THE GEOTECHNICAL ENGINEER FOR COMPLIANCE WITH THE GEOTECHNICAL REPORT. THE SPECIAL INSPECTION REPORT SHALL BE SUBMITTED TO AND APPROVED BY THE COUNTY BUILDING DEPARTMENT PRIOR TO THE FOUNDATION INSPECTION.
- PROVIDE REINFORCEMENT AS REQUIRED FOR GRAB BARS (R327.1.1) IN BATHROOM AT SHOWER AND TOILET.
- OUTLETS, SWITCHES AND CONTROLS SHALL BE LOCATED 15" (MIN.) AND 48" (MAX.) ABOVE FINISHED FLOOR.

APPLICABLE BUILDING CODES

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA HISTORICAL BUILDING CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA EXISTING BUILDING CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2022 CALIFORNIA REFERENCED STANDARDS CODE
- 2022 CODES AND STANDARDS REFERENCED WITHIN EACH OF THE ABOVE REFERENCED CODES.

ANY LOCAL AMENDMENTS TO THE REFERENCED CODES AND STANDARDS AS ADOPTED AND APPROVED BY THE BOARD OF SUPERVISORS AND INCORPORATED INTO THE MONTEREY COUNTY CODE.

CHAPTERS 16.08, 16.12, 18.14, 18.15, AND 18.16 OF THE MONTEREY COUNTY CODE.

PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A 604 SQ. FT. A.D.U. ON THE PROPERTY AT 3038 ALTA AVE. IN CARMEL, CALIFORNIA. THE BUILDING WILL INCLUDE TWO SMALL BEDROOMS, SITTING ROOM, KITCHENETTE AND A FULL BATHROOM. A "HIGH EFFICIENCY TOILET" (HET) IN THE EXISTING HOME WILL BE REPLACED WITH A NEW "ULTRA-HIGH EFFICIENCY TOILET" (UHET) TO GAIN 0.5 WATER FIXTURE UNITS.

THE PROJECT WILL REQUIRE THE DEMOLITION OF AN EXISTING GARDEN SHED.

WATER FIXTURES IN A.D.U.

SPACE	FIXTURE	FIXTURE UNIT VALUE (WATER)
KITCHENETTE	KITCHEN SINK WITH ADJACENT HIGH EFFICIENCY DISHWASHER	1.5
BATHROOM	ULTRA HIGH EFFICIENCY TOILET (UHET)	0.8
	SHOWER (WITH SINGLE SHOWER HEAD)	2.0
	WASHBASIN (LAVATORY SINK)	1.0
TOTAL		5.3

FLOOR AREA RATIO:

LOT AREA FOR APN 009-134-013 = 9,800 S.F.
EXISTING HOME AND DETACHED GARAGE AREA (2,517 S.F.) + A.D.U. AREA (604 S.F.) = 3,121 S.F.
FLOOR AREA RATIO = 3,121 S.F. ÷ 9,800 S.F. = **31.8%** (MAX. ALLOWED = 45%)

DEFERRED SUBMITTALS:

PHOTOVOLTAIC PANELS TO BE A DEFERRED SUBMITTAL AND BUILDING FINAL WILL NOT BE ISSUED UNTIL SOLAR PANELS ARE INSTALLED AND APPROVED.

FIRE SPRINKLERS TO BE A DEFERRED SUBMITTAL AND BUILDING FINAL WILL NOT BE ISSUED UNTIL FIRE SPRINKLERS ARE INSTALLED AND APPROVED.

NO TRUSSES ARE USED IN THIS PROJECT. THEREFORE, N/A.

DRAWING INDEX

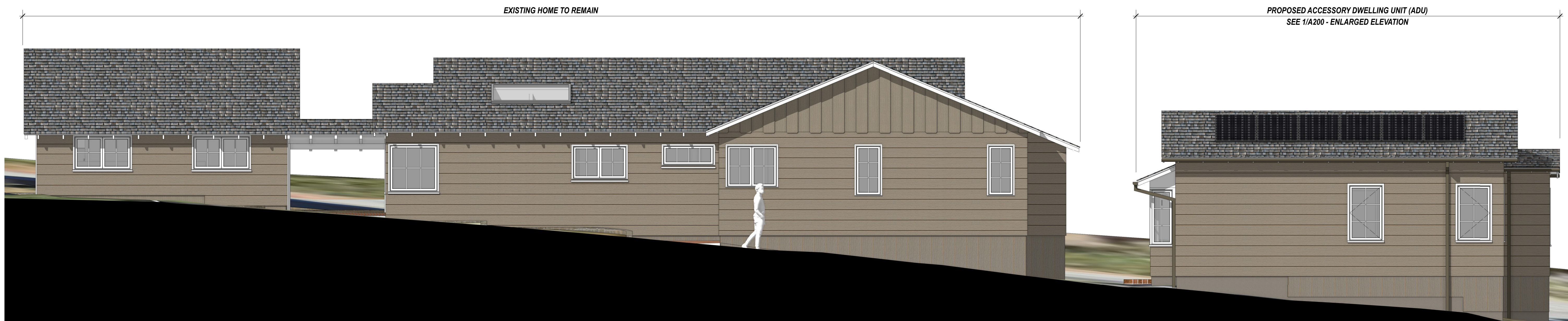
- A010 COVER
- SURV SURVEY
- A040 EXISTING SITE PLAN
- A020 3D VIEWS
- A050 SITE PLAN
- A100 FOUNDATION AND FLOOR PLANS
- A101 ROOF PLANS
- A120 ENLARGED PLAN
- A200 EXTERIOR ELEVATIONS
- A201 EXTERIOR ELEVATIONS

AREA CALCULATIONS:

LOT AREA (APN 009-134-013):	9,800 SQ. FT.
LOT AREA (APN 009-134-012):	6,200 SQ. FT.
EXISTING HOUSE:	
TOTAL FINISHED AREA OF HOME:	2,030 SQ. FT.
TOTAL AREA OF GARAGE:	487 SQ. FT.
A.D.U.:	
TOTAL FINISHED FLOOR AREA:	604 SQ. FT.
AREA OF FRONT STOOP:	21 SQ. FT.
CRAWL SPACE AREA:	604 SQ. FT.

REV.	DATE	DESCRIPTION
09-28-2024	09-28-2024	CONCEPT REVIEW AT MSA
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01-12-2025	01-12-2025	PLANS FOR CARMEL TRIP
01-29-2025	01-29-2025	PLAN UPDATES BASED ON 1/28 MEETING
11-18-2025	11-18-2025	RESPONSES TO COUNTY COMMENTS PROGRESS SET

**PRELIMINARY
NOT FOR
CONSTRUCTION**



ELEVATION - WEST - EXISTING HOUSE AND A.D.U.
Scale: 1/4" = 1'-0"

COVER

A010

Surveyor's Notes:

This map portrays the site at the time of the survey and does not show soils or geologic information, underground conditions, easements, zoning setbacks, regulatory information or any other items not specifically identified by the party requesting the survey. There may be easements or other rights, recorded or unrecorded, affecting the subject property which are not shown hereon.

Visible evidence of underground utilities such as utility meters, manhole lids, clean outs, valve covers, pull boxes and similar features are shown hereon. Underground utility pipes, conduits, transmission lines sewer laterals, etc. were not located. Information regarding underground utility line locations should be obtained from the appropriate utility companies or public agencies.

Elevations are based on an assumed datum as noted. Ground may be more irregular than contours indicate.

Distances are expressed in feet and decimals thereof.

The cross symbol (x) marks the horizontal position of the spot elevation shown. Tree symbols indicating tree trunk and tree canopy are drawn to scale based on approximate trunk and canopy diameters.

Sufficient boundary ties were made to graphically show existing features however a complete boundary survey was not performed.

Map Information:

Basis of Bearings: The bearing of S55° 48' 34"W between the easterly corner of Parcel A and southwesterly corner of Lot 2 as shown on Parcel Map 14 PAR 104 (R1) and as found monumented is taken as the basis of bearings for this survey.

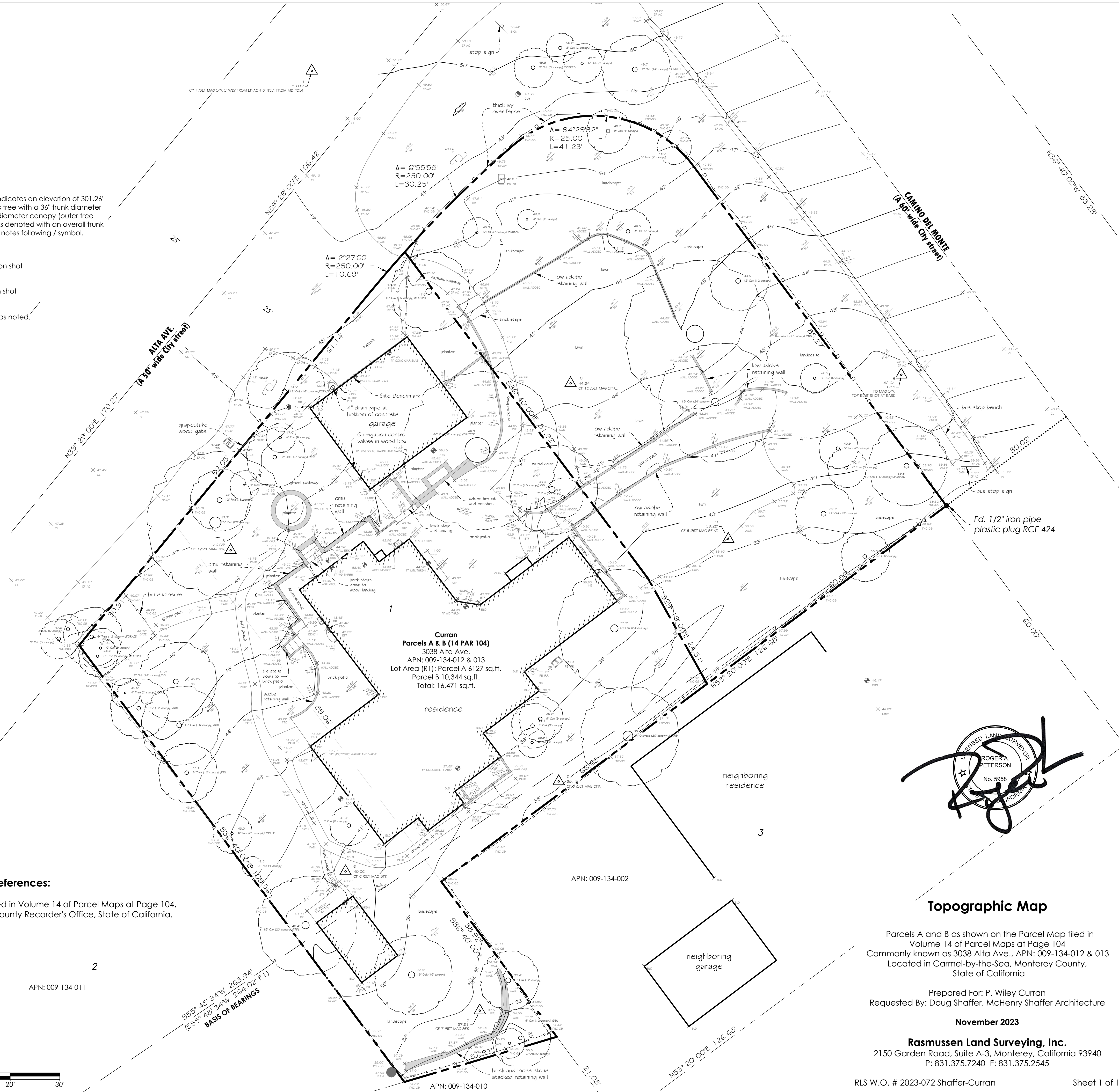
Vertical Datum: Assumed.
 Site Benchmark: Finished Floor - Concrete garage slab 47.41' as shown hereon

Contour Interval: Contours as shown hereon are interpolated using computer digital terrain modeling software and spot elevations. Ground may be more irregular than contours indicate.

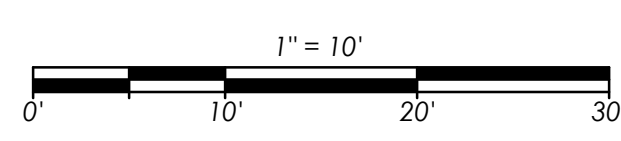
Note: The abbreviation and symbol lists below are comprehensive and not all abbreviations or symbols will appear on the map.

- | | |
|---|---|
| <p>Boundary Legend
 A.G.S. - above ground surface
 A.S.O. - as shown on
 AP - angle point
 BC - brass cap or begin curve
 BCF - backflow preventer
 B.G.S. - below ground surface
 BOC - back of curb
 COR - corner
 CP - control point
 CTL - CONTROL
 DOC. - document
 ENG/ENGR - engineer
 FD/FND - found
 F.C.C. - from calculated corner
 I.P. - iron pipe
 L&T - lead & tag
 LS - land surveyor
 MAG - MAG NAIL
 MKD - marked
 MON - monument
 N&T - nail & tag
 N.R.F. - no reference found
 N.S.F. - not searched for
 O.R. - Official Records, Monterey County
 O.U. - origin unknown
 PCL - point on line
 PP - plastic plug
 RCE - registered civil engineer
 ROW - right of way
 S.F.N.F. - searched for, not found
 SPK - spike
 STA - station/control point
 TBM - temporary benchmark</p> | <p>FL-NG - flow line natural grade
 FNC - fence
 FNC-BRD - board fence
 FNC-GS - grapestake fence
 FNC-WD - wood fence
 FS - finished surface
 GAR - garage
 GB - grade break
 GUYA - guy anchor
 GUYP - guy pole
 GVL - gravel
 LNDG - landing
 NG - natural grade
 PLTR - planter
 PTO - patio
 PVR - paver
 RD - road
 RDG - ridge
 STN - stone
 STP - step
 SW - sidewalk
 TW/TOW - top of wall
 WALL-CMU - concrete masonry unit wall
 WALL-STN - stone wall
 WLK - sidewalk</p> |
| <p>Topography Legend
 AC - asphalt concrete
 AD - area drain
 BLD/BLDG - building
 BLDR(S) - boulder(s)
 BRK - brick
 BTM/BOT - bottom
 CHIM - chimney
 CL - centerline
 CLM - column
 CONC - concrete
 D - dirt
 DG - decomposed granite
 DK - deck
 DW - driveway
 ENCL - enclosure
 EP - edge of paving
 FF - finished floor
 FF-THRESH - finished floor threshold
 FH - fire hydrant
 FL - flow line</p> | <p>Utility Legend
 CAIV - cable tv
 COMM - communications
 CO or C/O - clean out
 DDCV - double detector check valve
 ELEC - electric
 EM - electric meter
 EO - electric outlet
 GM - gas meter
 GV - gas valve
 HB - hose bib
 ICV - irrigation control valve
 IRR - irrigation
 JP - joint utility pole
 PB - utility pull box
 PF-PIN FLAG
 PM - paint mark
 PP - power pole
 PVR - paver
 SCO - sewer clean out
 SDMH - storm drain manhole
 SSMH - sanitary sewer manhole
 STN - stone
 TELCO - telephone
 UP - utility pole
 UTIL - utility
 VLT - vault
 WD-wood
 WM - water meter
 WV - water valve</p> |

- | |
|--|
| <p>○ 301.26'
36" Cyp. (40' canopy) 13-8" trunks</p> <p>○ 0.00'
PS 0.00'</p> <p>○ 0.00'
NG</p> <p>● Indicates monument found as noted.</p> <p>--- Subject Parcel Boundary</p> <p>--- Original Lot Line</p> <p>--- Parcel Boundary</p> <p>--- Right of Way</p> <p>--- Right of Way Center Line</p> <p>--- Easement Line</p> <p>● catch basin-drain</p> <p>△ control point</p> <p>⊞ electric meter or pull box</p> <p>⊞ fire hydrant</p> <p>⊞ gas meter or pull box</p> <p>⊞ gas valve</p> <p>⊞ guy anchor</p> <p>⊞ irrigation pull box</p> <p>⊞ irrigation control valve</p> <p>⊞ light standard</p> <p>⊞ manhole</p> <p>■ point on line</p> <p>⊞ sewer clean out</p> <p>⊞ sign(pole)</p> <p>⊞ storm drain manhole</p> <p>⊞ sewer manhole</p> <p>⊞ telephone manhole</p> <p>⊞ telephone pull box</p> <p>⊞ traffic signal box</p> <p>⊞ cable television pull box</p> <p>⊞ unmarked pull box</p> <p>⊞ water meter</p> <p>⊞ water valve</p> <p>⊞ well</p> |
|--|



DRAWING REVISIONS:
 October 2023 - Original Survey



ROGER A. PETERSON
 No. 5958
 REGISTERED LAND SURVEYOR

Topographic Map

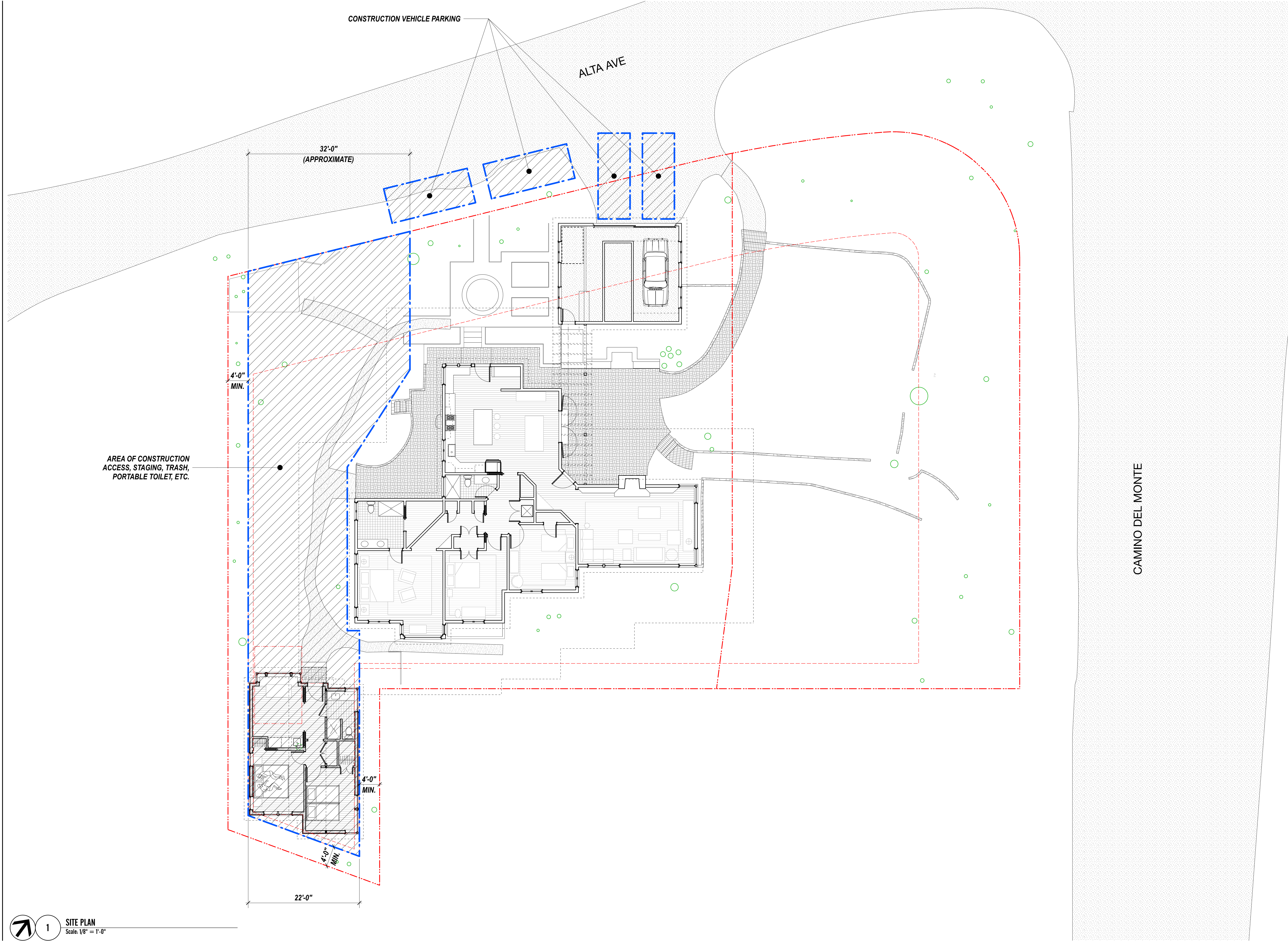
Parcels A and B as shown on the Parcel Map filed in Volume 14 of Parcel Maps at Page 104 Commonly known as 3038 Alta Ave., APN: 009-134-012 & 013 Located in Carmel-by-the-Sea, Monterey County, State of California

Prepared For: P. Wiley Curran
 Requested By: Doug Shaffer, McHenry Shaffer Architecture

November 2023

Rasmussen Land Surveying, Inc.
 2150 Garden Road, Suite A-3, Monterey, California 93940
 P: 831.375.7240 F: 831.375.2545

Project No. 11/2023 9:30 PM File Name: G:\Shared\dwg\3D Projects\2020-2026\2023 Projects\2023-072 Curran\Topographic Survey_3038 Alta Ave_2023-072.dwg



AREA OF CONSTRUCTION
ACCESS, STAGING, TRASH,
PORTABLE TOILET, ETC.

CONSTRUCTION VEHICLE PARKING

ALTA AVE

CAMINO DEL MONTE

32'-0"
(APPROXIMATE)

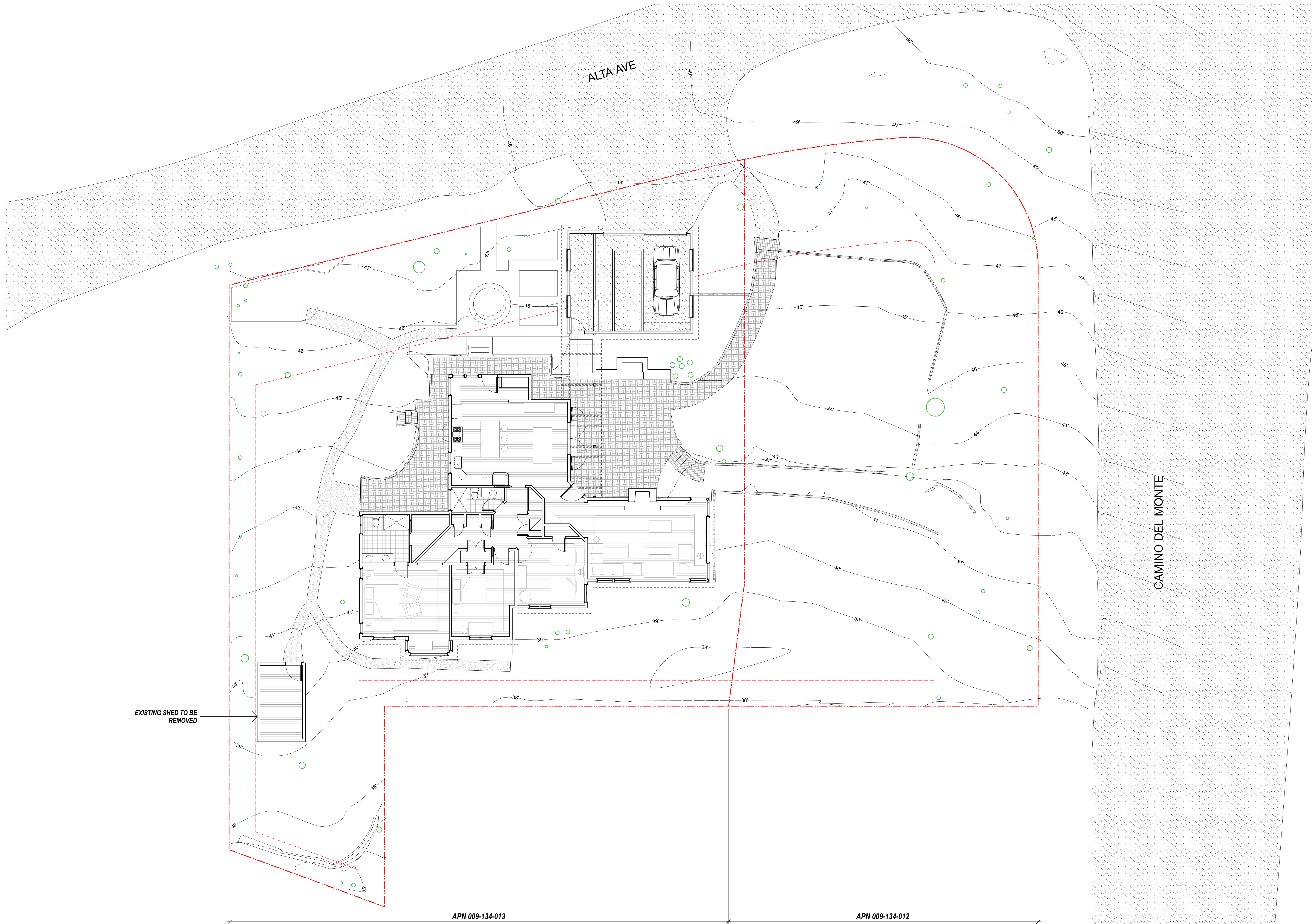
22'-0"

4'-0"
MIN.

4'-0"
MIN.

4'-0"
MIN.

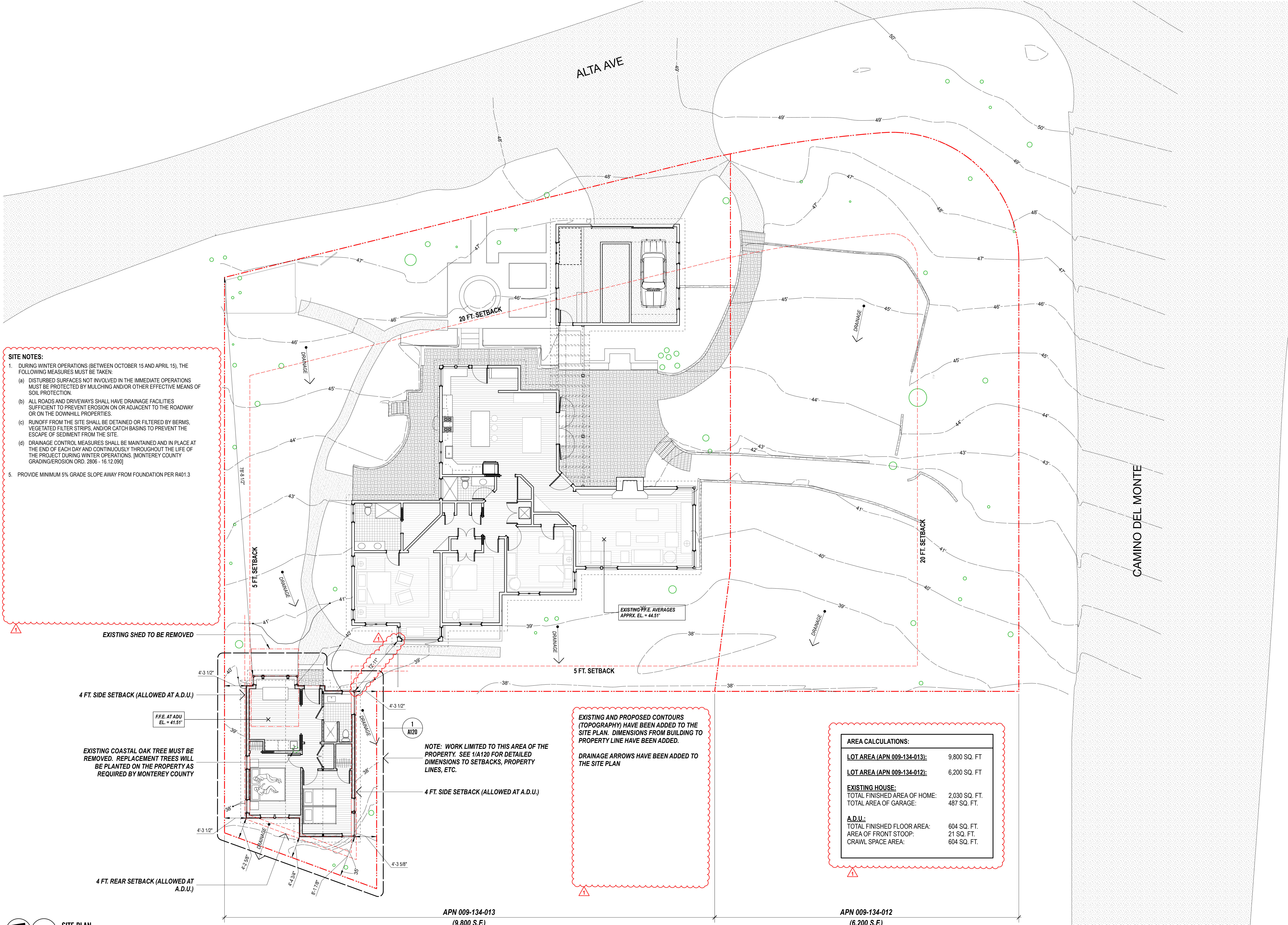
REV.	DATE	DESCRIPTION
	09-28-2024	CONCEPT REVIEW AT MSA
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	01-07-2025	PLAN FOR CARMEL TRIP
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	11-19-2025	RESPONSES TO COUNTY COMMENTS: PROGRESS SET



REV.	DATE	DESCRIPTION
	09-28-2024	CONCEPT REVIEW AT MSA
	10-09-2024	DRAWINGS FOR R.I. CONSTRUCTION
	12-09-2024	MEETING AT MSA
	01-02-2025	PLAN FOR CARMEL TRIP
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	11-18-2025	RESPONSES TO COUNTY COMMENTS: PROGRESS SET

**PRELIMINARY
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CURRAN RESIDENCE - A.D.U.
PROJECT ADDRESS: 3038 ALTA AVE., CARMEL, CA 93923
PROJECT # 23020



- SITE NOTES:**
- DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:
 - DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
 - RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
 - DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS. [MONTEREY COUNTY GRADING/EROSION ORD. 2806 - 16.12.090]
 - PROVIDE MINIMUM 5% GRADE SLOPE AWAY FROM FOUNDATION PER R401.3

EXISTING SHED TO BE REMOVED

4 FT. SIDE SETBACK (ALLOWED AT A.D.U.)

FFE AT ADU
EL. = 41.51'

EXISTING COASTAL OAK TREE MUST BE REMOVED. REPLACEMENT TREES WILL BE PLANTED ON THE PROPERTY AS REQUIRED BY MONTEREY COUNTY

4 FT. REAR SETBACK (ALLOWED AT A.D.U.)

NOTE: WORK LIMITED TO THIS AREA OF THE PROPERTY. SEE 1/A120 FOR DETAILED DIMENSIONS TO SETBACKS, PROPERTY LINES, ETC.

4 FT. SIDE SETBACK (ALLOWED AT A.D.U.)

EXISTING AND PROPOSED CONTOURS (TOPOGRAPHY) HAVE BEEN ADDED TO THE SITE PLAN. DIMENSIONS FROM BUILDING TO PROPERTY LINE HAVE BEEN ADDED.

DRAINAGE ARROWS HAVE BEEN ADDED TO THE SITE PLAN

AREA CALCULATIONS:

LOT AREA (APN 009-134-013):	9,800 SQ. FT.
LOT AREA (APN 009-134-012):	6,200 SQ. FT.
EXISTING HOUSE:	
TOTAL FINISHED AREA OF HOME:	2,030 SQ. FT.
TOTAL AREA OF GARAGE:	487 SQ. FT.
A.D.U.:	
TOTAL FINISHED FLOOR AREA:	604 SQ. FT.
AREA OF FRONT STOOP:	21 SQ. FT.
CRAWL SPACE AREA:	604 SQ. FT.

APN 009-134-013
(9,800 S.F.)

APN 009-134-012
(6,200 S.F.)

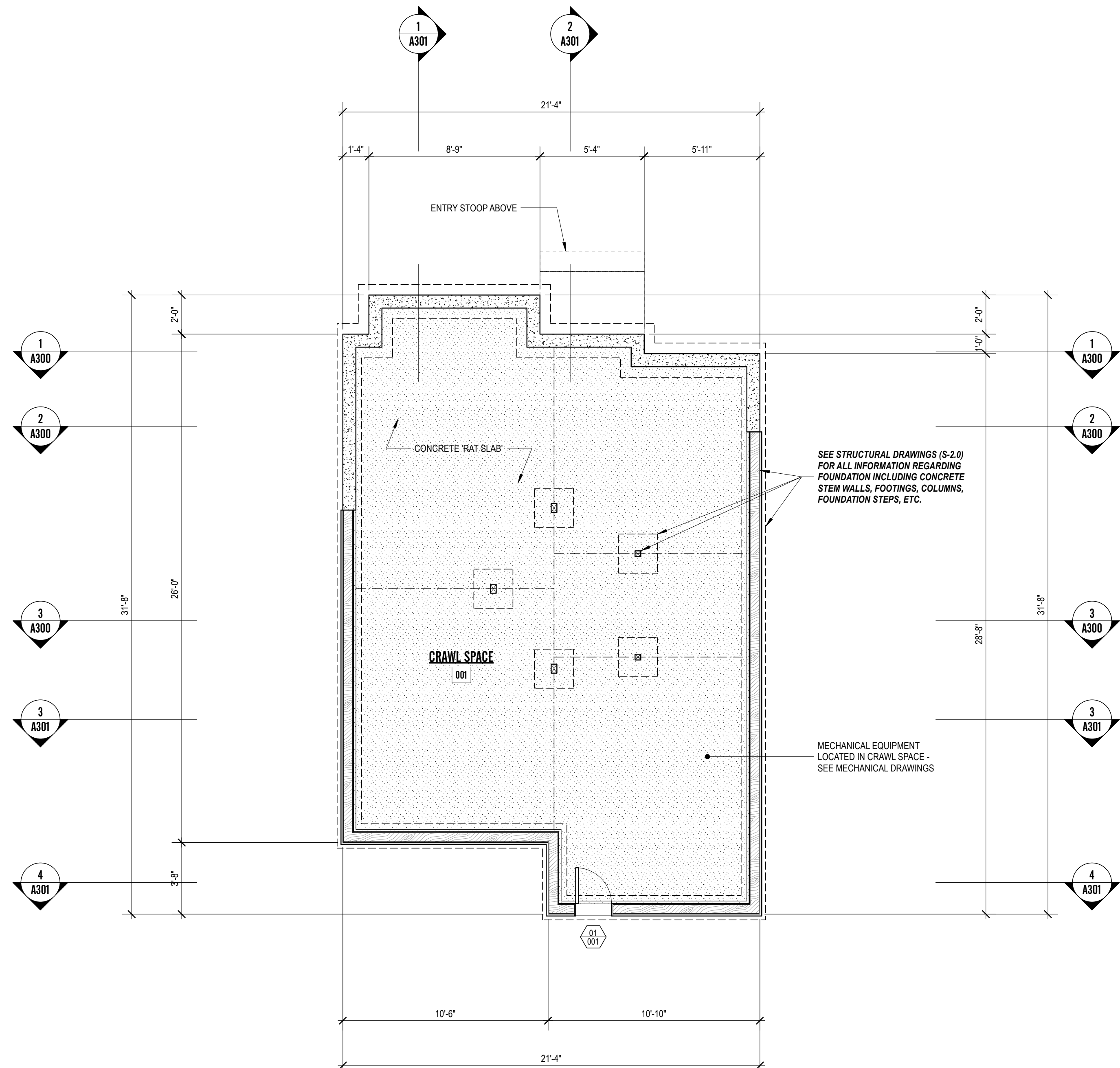
REV.	DATE	DESCRIPTION
	09-28-2024	CONCEPT REVIEW AT MSA
	10-09-2024	DRAWINGS FOR R.I. CONSTRUCTION
	12-09-2024	MEETING AT MSA
	01-02-2025	PLAN FOR CARMEL TRIP
	01-30-2025	PLAN UPDATES BASED ON 1/28 MEETING
	11-18-2025	RESPONSES TO COUNTY COMMENTS: PROGRESS SET

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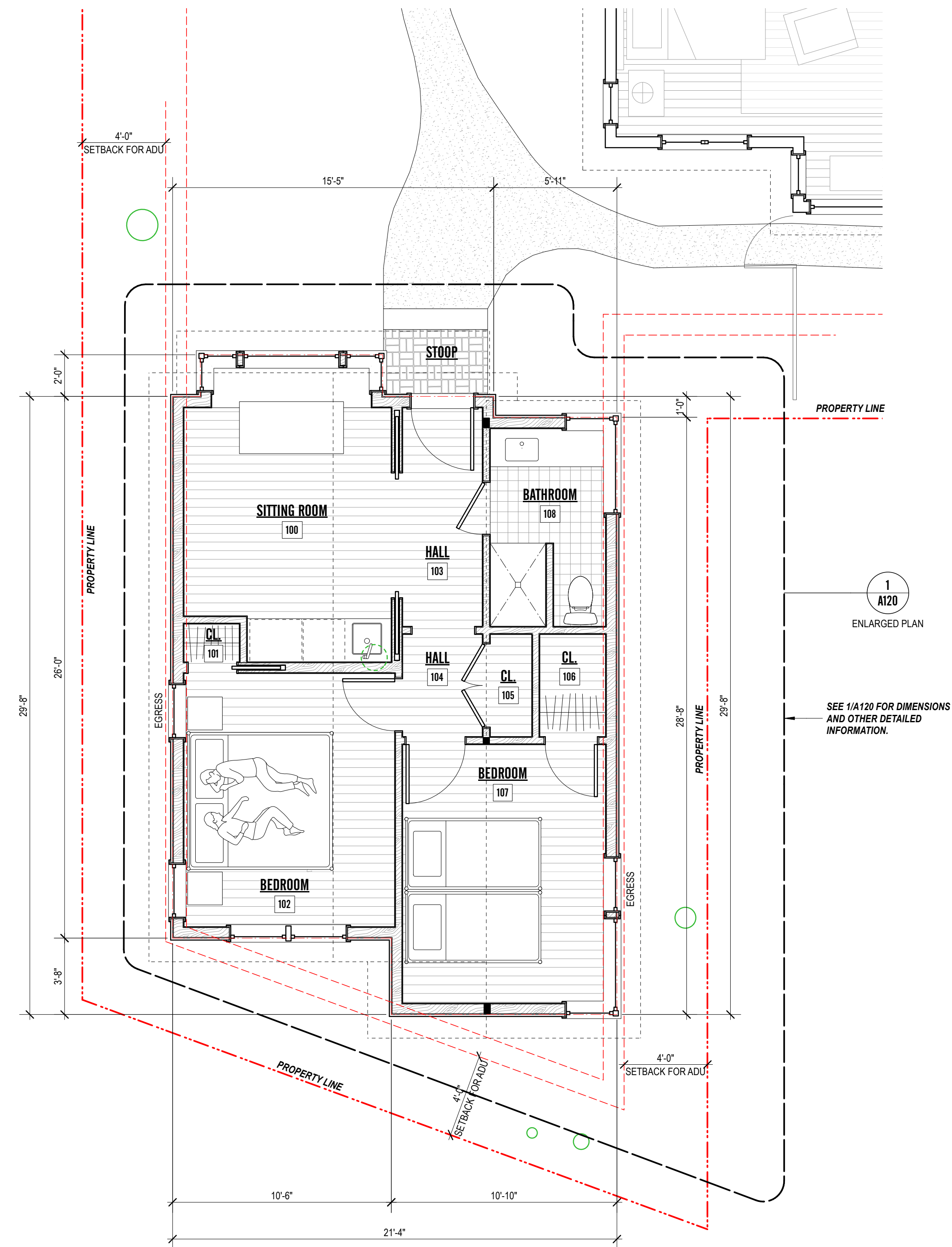
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CURRAN RESIDENCE - A.D.U.
PROJECT ADDRESS: 3038 ALTA AVE., CARMEL, CA 93923
PROJECT #: 23020

REV.	DATE	DESCRIPTION
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11-18-2025	RESPONSES TO COUNTY COMMENTS PROGRESS SET	

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CONSTRUCTION**



2 FOUNDATION PLAN
Scale: 1/4" = 1'-0"



1 FLOOR PLAN
Scale: 1/4" = 1'-0"

CURRAN RESIDENCE - WINDOW SCHEDULE

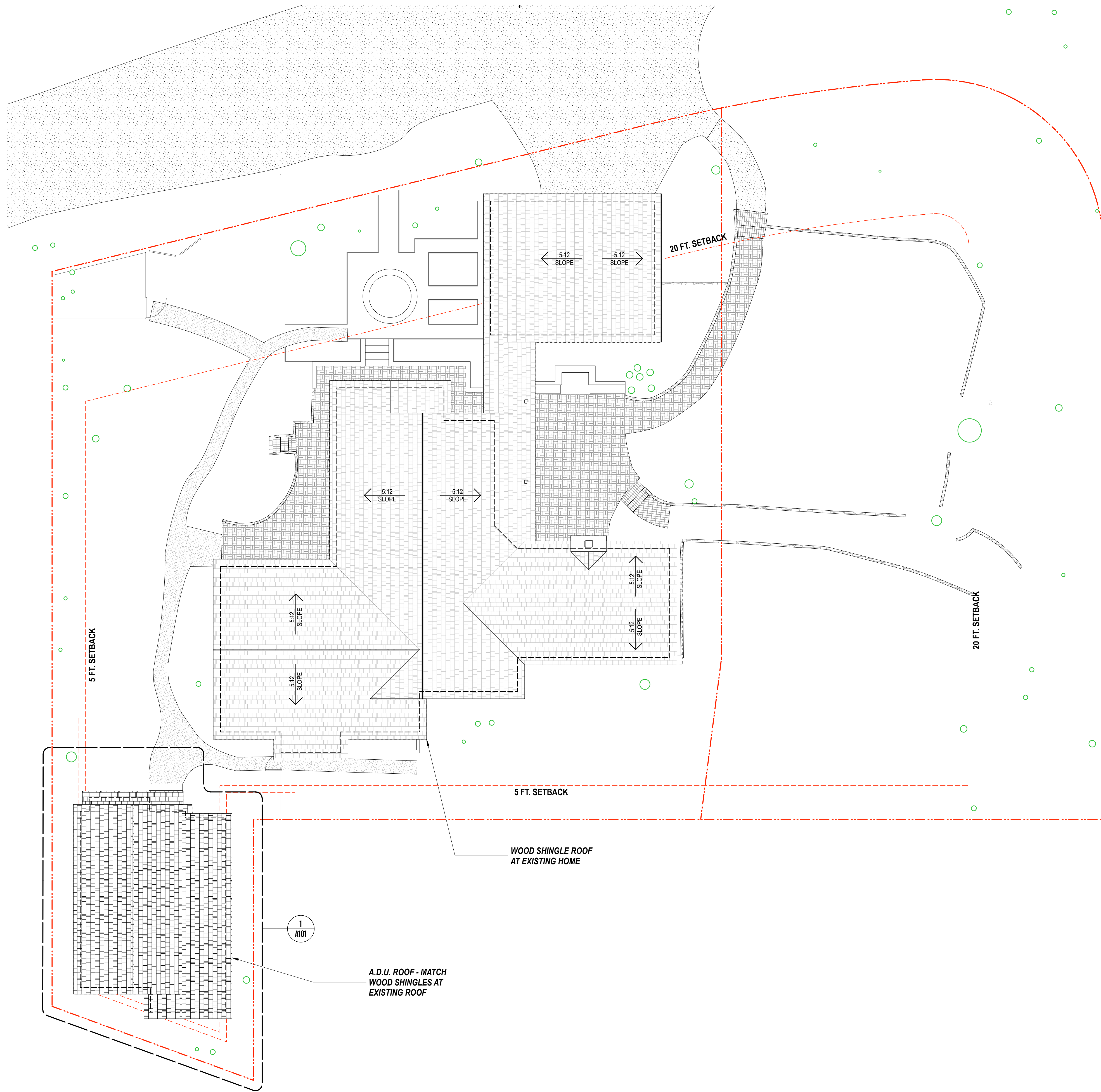
REV	PLAN LTR.	MANUF.	TYPE / OPERATION	FRAME SIZE (W X H)	SAFETY GLAZING REQUIRED (SEE NOTE 7.)	EGRESS REQUIRED (SEE NOTE 6.)	TOP OF WINDOW FRAME ABV. SUBFLOOR	ADDITIONAL NOTES
	A	MARVIN	CASEMENT	2'-8" X 4'-5 1/8"	YES	NO	7'-2"	
	B	MARVIN	CASEMENT	2'-8" X 4'-5 1/8"	YES	YES	7'-2"	
	C	MARVIN	CORNER (FIXED SASH)	(1'-9" / 1'-9") X 4'-5 1/8"	YES	NO	6'-10"	SEE SHEET A400 FOR CLARIFICATION REGARDING CORNER WINDOW WIDTHS. VERIFY CORRECT FRAME SIZE.
	D	MARVIN	FIXED SASH	4'-7" X 4'-5 1/8"	YES	NO	6'-10"	
	E	MARVIN	CORNER (FIXED SASH)	(1'-9" / 1'-9") X 4'-5 1/8"	YES	NO	6'-10"	SEE SHEET A400 FOR CLARIFICATION REGARDING CORNER WINDOW WIDTHS. VERIFY CORRECT FRAME SIZE.
	F	MARVIN	CORNER (FIXED SASH)	(2'-5 1/2" / 4'-7 1/2") X 3'-7 1/8"	YES	NO	6'-10"	SEE SHEET A400 FOR CLARIFICATION REGARDING CORNER WINDOW WIDTHS. VERIFY CORRECT FRAME SIZE.
	G	MARVIN	CASEMENT	2'-8" X 4'-5 1/8"	YES	YES	6'-10"	
	H	MARVIN	CORNER (FIXED SASH)	(2'-5 1/2" / 4'-7 1/2") X 4'-5 1/8"	YES	NO	6'-10"	SEE SHEET A400 FOR CLARIFICATION REGARDING CORNER WINDOW WIDTHS. VERIFY CORRECT FRAME SIZE.
	J1	MARVIN	CASEMENT	2'-8" X 4'-5 1/8"	YES	NO	7'-2"	
	J2	MARVIN	CASEMENT	2'-8" X 4'-5 1/8"	YES	NO	7'-2"	

- GENERAL NOTES:**
- SIZES INDICATED ARE NOMINAL. USE CLOSEST STANDARD SIZE FROM PRODUCT LINE WHEN POSSIBLE.
 - SUBMIT SHOP DRAWINGS FOR ALL WINDOWS AND DOORS FOR ARCHITECT'S APPROVAL BEFORE ORDERING.
 - HARDWARE COLOR AND EXTERIOR COLOR WILL BE SELECTED FROM STANDARD OPTIONS BY INTERIOR DESIGNER.
 - REFER TO PLANS AND ELEVATIONS FOR SWING DIRECTION AT WINDOWS AND DOORS.
 - PROVIDE INSECT SCREENS AT ALL OPERABLE WINDOWS. SCREEN TYPE AND FRAME COLOR T.B.S. BY INTERIOR DESIGNER.
 - EMERGENCY EGRESS REQUIREMENTS FROM SLEEPING ROOMS PER CRC R310.1.
 - MINIMUM NET CLEAR OPENING DIMENSION OF 24 INCHES IN HEIGHT.
 - MINIMUM NET CLEAR OPENING DIMENSION 20 INCHES IN WIDTH.
 - MINIMUM NET CLEAR OPENING DIMENSION OF 5.7 SQUARE FEET IN AREA.
 - OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR.
 - R308.4.3 GLAZING IN WINDOWS: GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION:
 - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET (0.836 M²).
 - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES (457 MM) ABOVE THE FLOOR.
 - THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES (914 MM) ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES (914 MM), MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING.

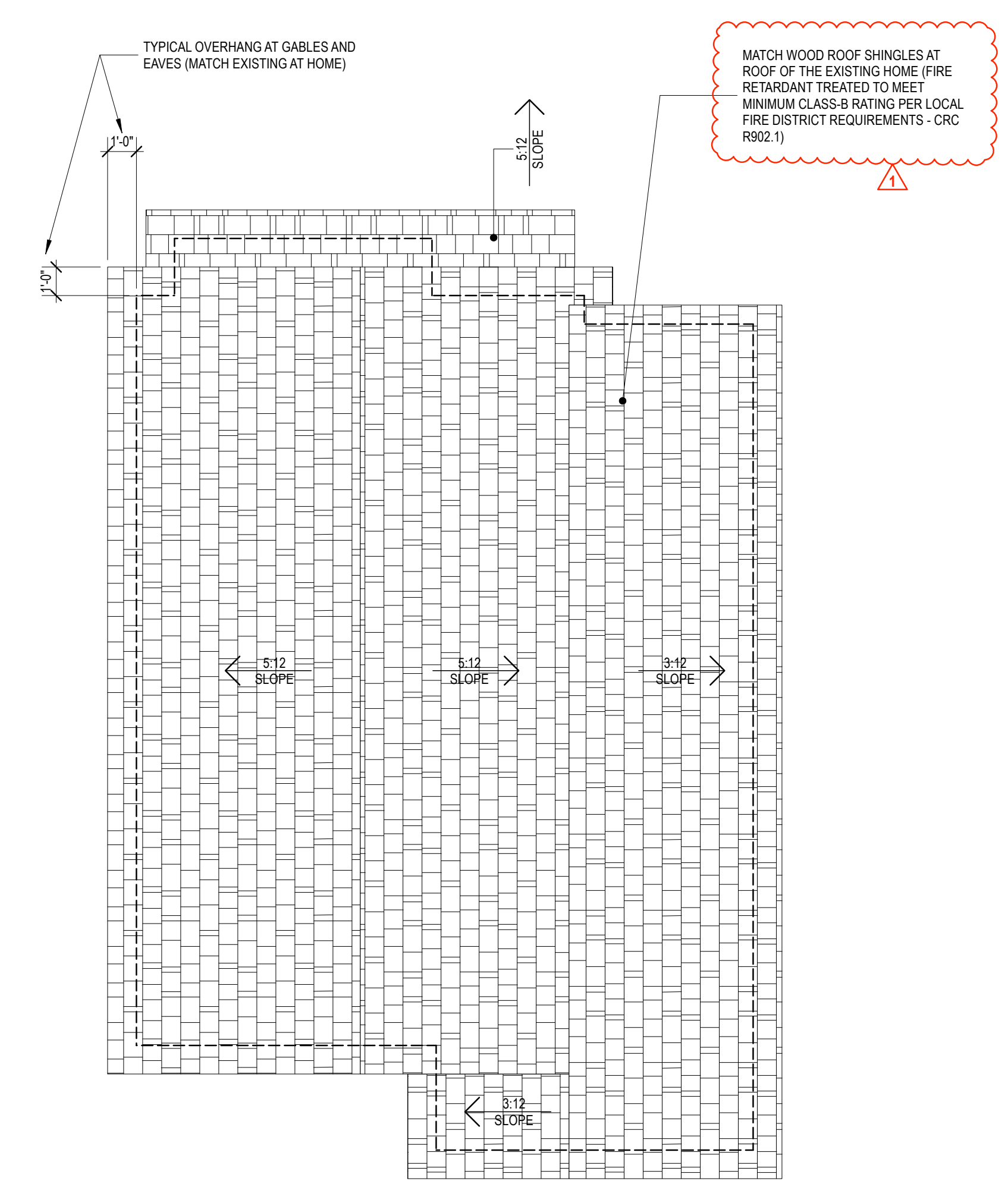
CURRAN RESIDENCE - INTERIOR DOOR SCHEDULE

REV.	NUMBER	TYPE	STYLE	DIMS. (W X H) - SEE PLAN FOR SWING / POCKET DIRECTION	SAFETY GLAZING REQUIRED (SEE NOTE 5.)	NOTES, HARDWARE, TRIMS, ETC.
	01/001	SWINGING		22" x 30"		*VERIFY SIZE WITH MECH. INSTALLER. (CRAWL SPACE ACCESS DOOR)
	01/100	POCKET (BI-PARTING)		72" x 84"	YES	
	01/101	SWINGING		30" X 84"		
	01/102	SWINGING		30" X 84"		
	01/103	POCKET		28" X 84"		
	01/104	SWINGING (DOUBLE)		48" X 84"		
	01/105	SWINGING		34" X 84"		DOORWAY SHALL HAVE A MINIMUM NET CLEAR OPENING OF 32" PER CRC R327
	01/106	SWINGING		30" X 84"		
	01/107	CASED OPENING		36" X 84"		
	01/108	SWINGING / DUTCH DOOR		36" X 84"	YES	SIDE HINGED EGRESS DOOR - SHALL MEET REQUIREMENTS OF CRC R311.2

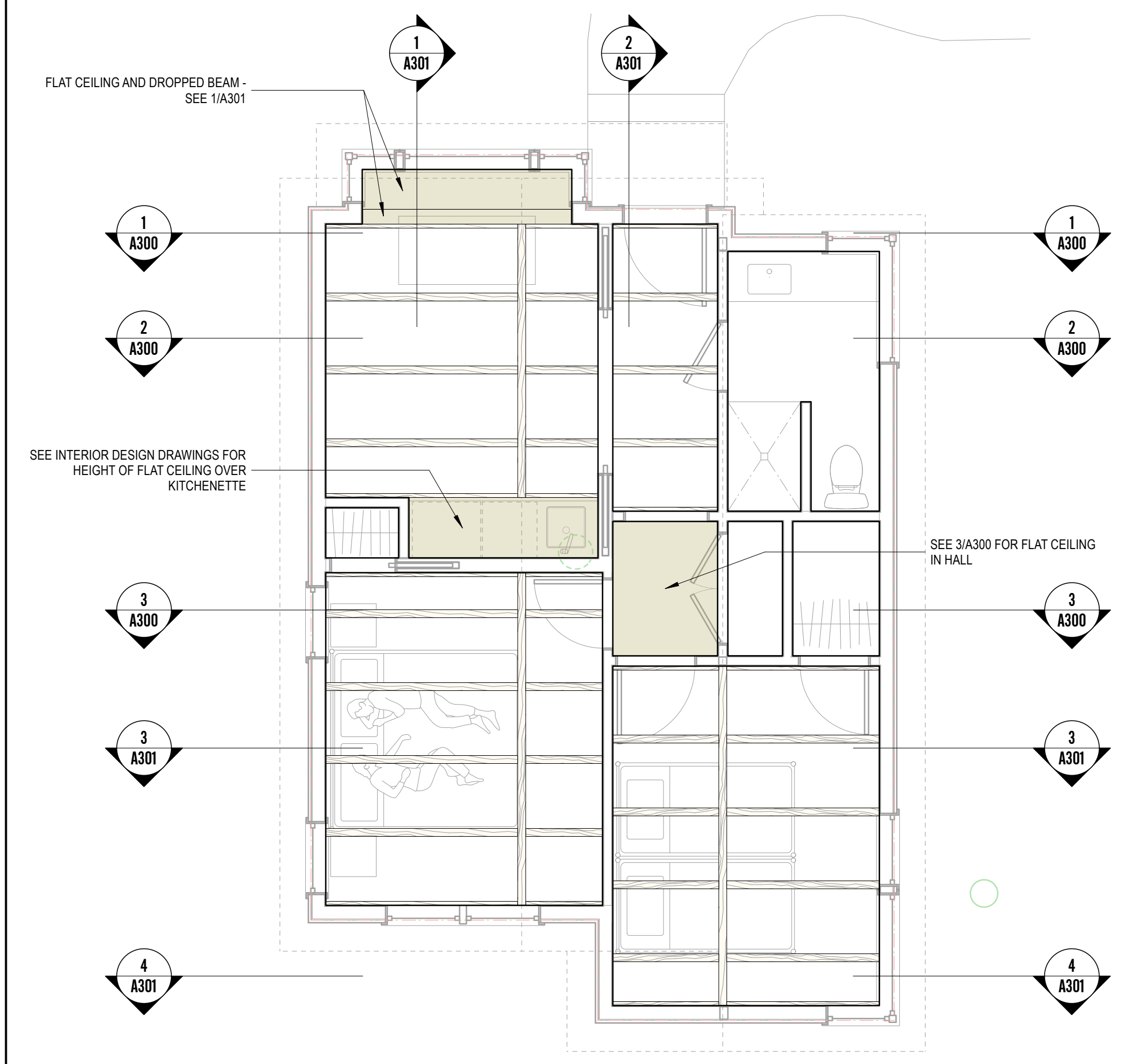
- GENERAL NOTES:**
- SEE SPEC FOR ADDITIONAL INFORMATION REGARDING INTERIOR DOORS
 - SEE INTERIOR DESIGN DRAWINGS FOR DOOR TYPE AND STYLE
 - PROVIDE INTERIOR DOOR ORDER FOR ARCHITECT'S REVIEW
 - PROVIDE DOOR BUMPERS AT ALL SWINGING DOORS
 - R308.4.3 GLAZING IN WINDOWS: GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION:
 - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET (0.836 M²).
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2 ROOF PLAN - A.D.U. AND EXISTING HOME
Scale: 1/8" = 1'-0"



1 ROOF PLAN - A.D.U.
Scale: 1/4" = 1'-0"



3 REFLECTED CEILING PLAN - FIRST FLOOR
Scale: 1/4" = 1'-0"

ARCHITECTURE:
McHENRY SHAFFER ARCHITECTURE
11 EAST GREGORY BLVD., STE. 100
KANSAS CITY, MO 64114
816.822.0897 MSARCHKAC.COM

STRUCTURAL ENGINEERING:
DUCKREW, INC.
831.659.3825 DUCKCFE@YAHOO.COM

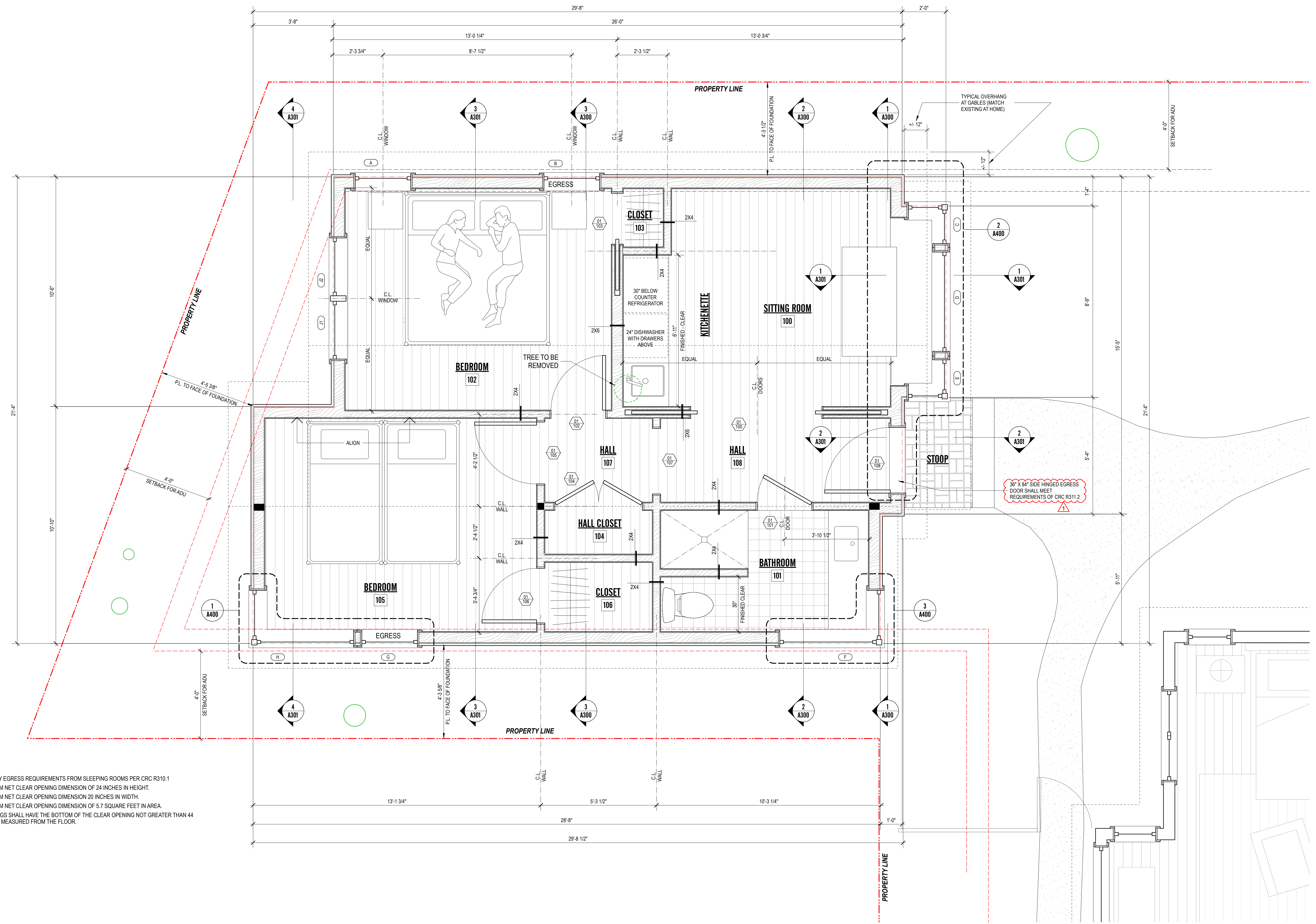
INTERIOR DESIGN:
GEORGE TERBOVICH, INC.
816.361.2100 GTINCDESIGN.COM

GENERAL CONTRACTOR:
GROZA CONSTRUCTION
803 ARREGO STREET
MONTEREY, CA 93940
831.665.7665

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PROJECT ADDRESS: 3038 ALTA AVE., CARMEL, CA 93923
PROJECT # 23020



- PLAN NOTES:**
1. EMERGENCY EGRESS REQUIREMENTS FROM SLEEPING ROOMS PER CRC R310.1
 - (a) MINIMUM NET CLEAR OPENING DIMENSION OF 24 INCHES IN HEIGHT.
 - (b) MINIMUM NET CLEAR OPENING DIMENSION 20 INCHES IN WIDTH.
 - (c) MINIMUM NET CLEAR OPENING DIMENSION OF 5.7 SQUARE FEET IN AREA.
 - (d) OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR.

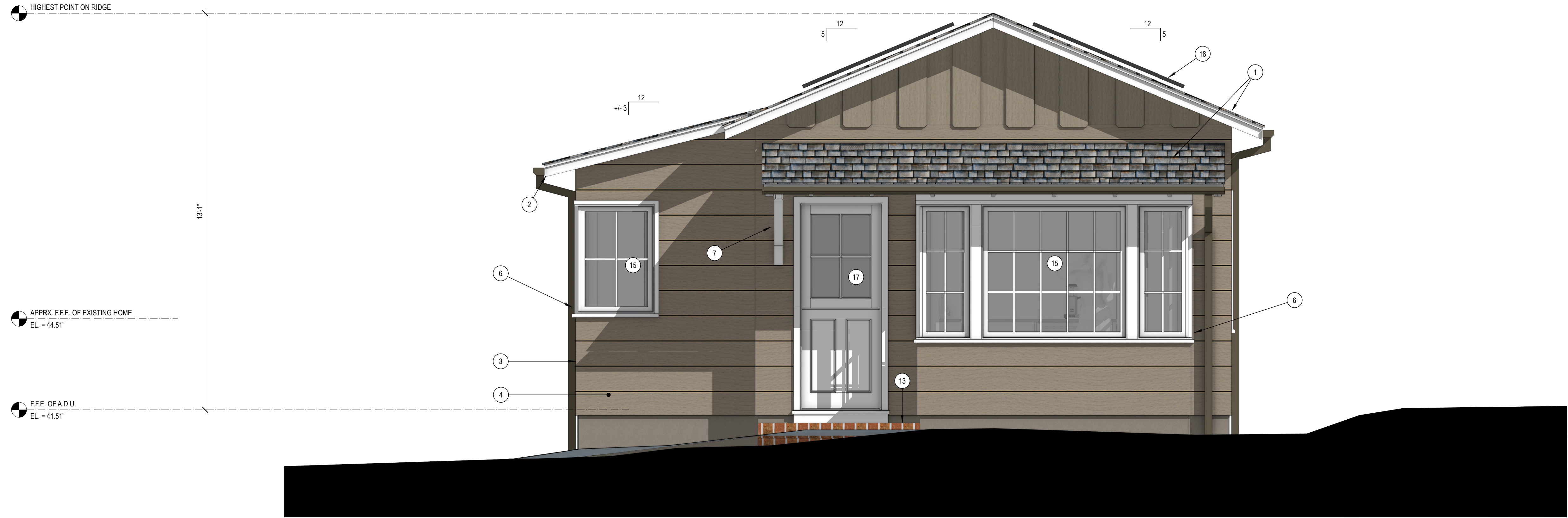
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PROJECT # 23020

PLAN / ELEVATION NOTES

1. MATCH ROOFING AT EXISTING HOME (WOOD SHINGLES)
2. MATCH EXPOSED RAFTER TAILS, OVERHANG DIMENSIONS AND OTHER CONSTRUCTION DETAILS AT EXISTING HOME
3. MATCH WINDOW TRIMS AT EXISTING HOME
4. MATCH SIDING MATERIALS AND OTHER DETAILS AT EXISTING HOUSE (REDWOOD LAP SIDING AND VERTICAL SIDING)
5. FOUNDATION WITH CRAWL SPACE
6. CONTINUOUS SILL AT CORNER WINDOWS - PAINTED
7. WHITE PAINTED 4X6 CEDAR BEAM AND BRACKET - SIMILAR DETAILING EXISTING AT WALKWAY FROM GARAGE
8. NOT USED
9. MODIFY GRAVEL PATHS, EDGING, ETC. AS REQUIRED. REVIEW WITH OWNER AND LANDSCAPER.
10. MATCH INTERIOR DETAILS AT EXISTING HOUSE INCLUDING WALL COVERINGS, FLOORING, VAULTED CEILINGS, ETC.
11. CABINETRY WITH DRAWERS, SINK, REFRIGERATOR AND STONE COUNTERTOP
12. BATHROOM WITH SHOWER, ULTRA HIGH EFFICIENCY TOILET AND CUSTOM SINGLE VANITY
13. BRICK PAVER PORCH / STOOP TO MATCH EXISTING
14. CASEMENT WINDOW
15. FIXED WINDOW
16. CASEMENT WINDOW - BEDROOM EGRESS
17. EXTERIOR DOOR
18. SOLAR PANELS AS REQUIRED BY THE 2022 CALIFORNIA RESIDENTIAL CODE



2 ELEVATION - A.D.U. - NORTH
Scale: 1/2" = 1'-0"



1 ELEVATION - A.D.U. - EAST
Scale: 1/2" = 1'-0"

ARCHITECTURE:
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11 EAST GREGORY BLVD. STE. 100
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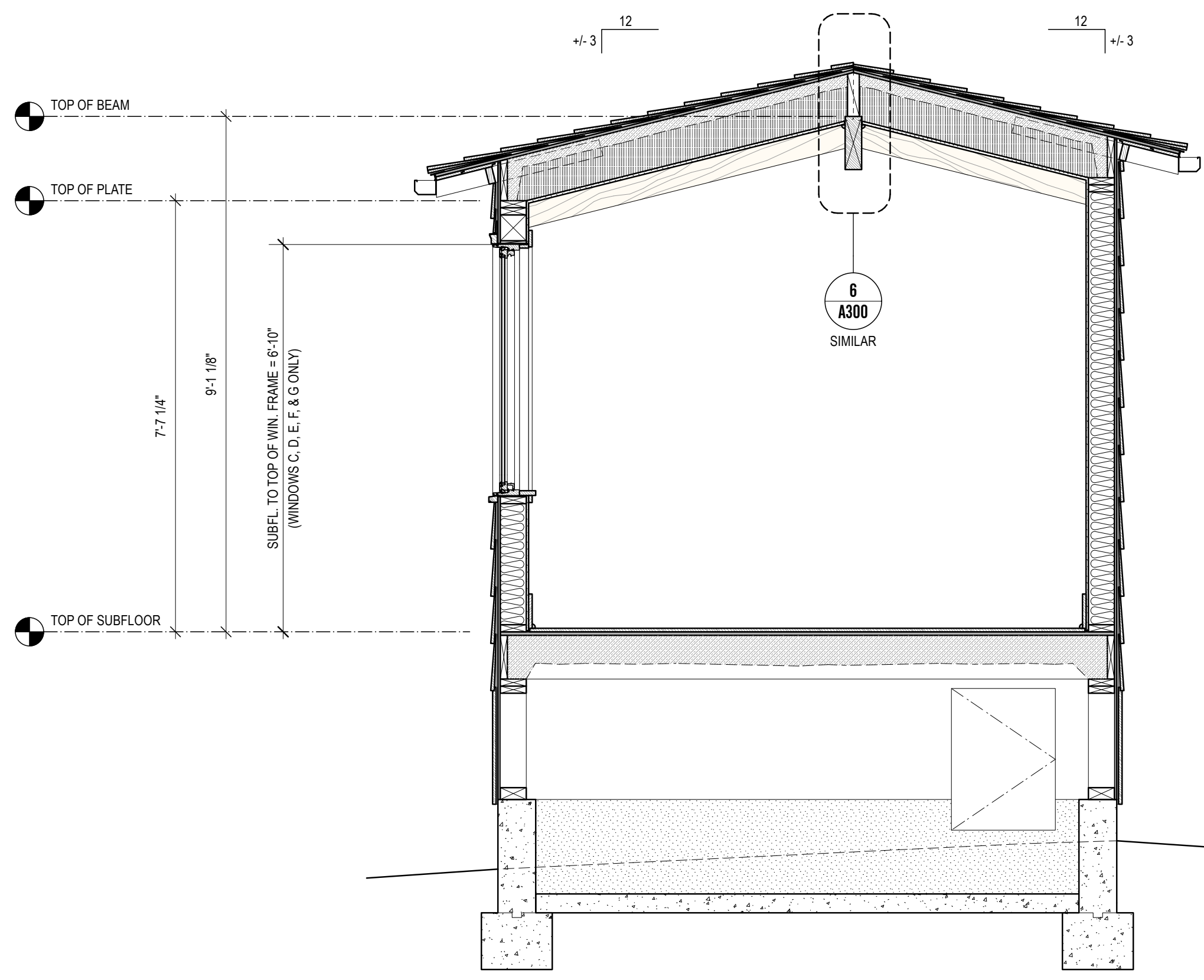
INTERIOR DESIGN:
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816.361.2100 GTINCDESIGN.COM

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MONTEREY, CA 93940
831.665.7665

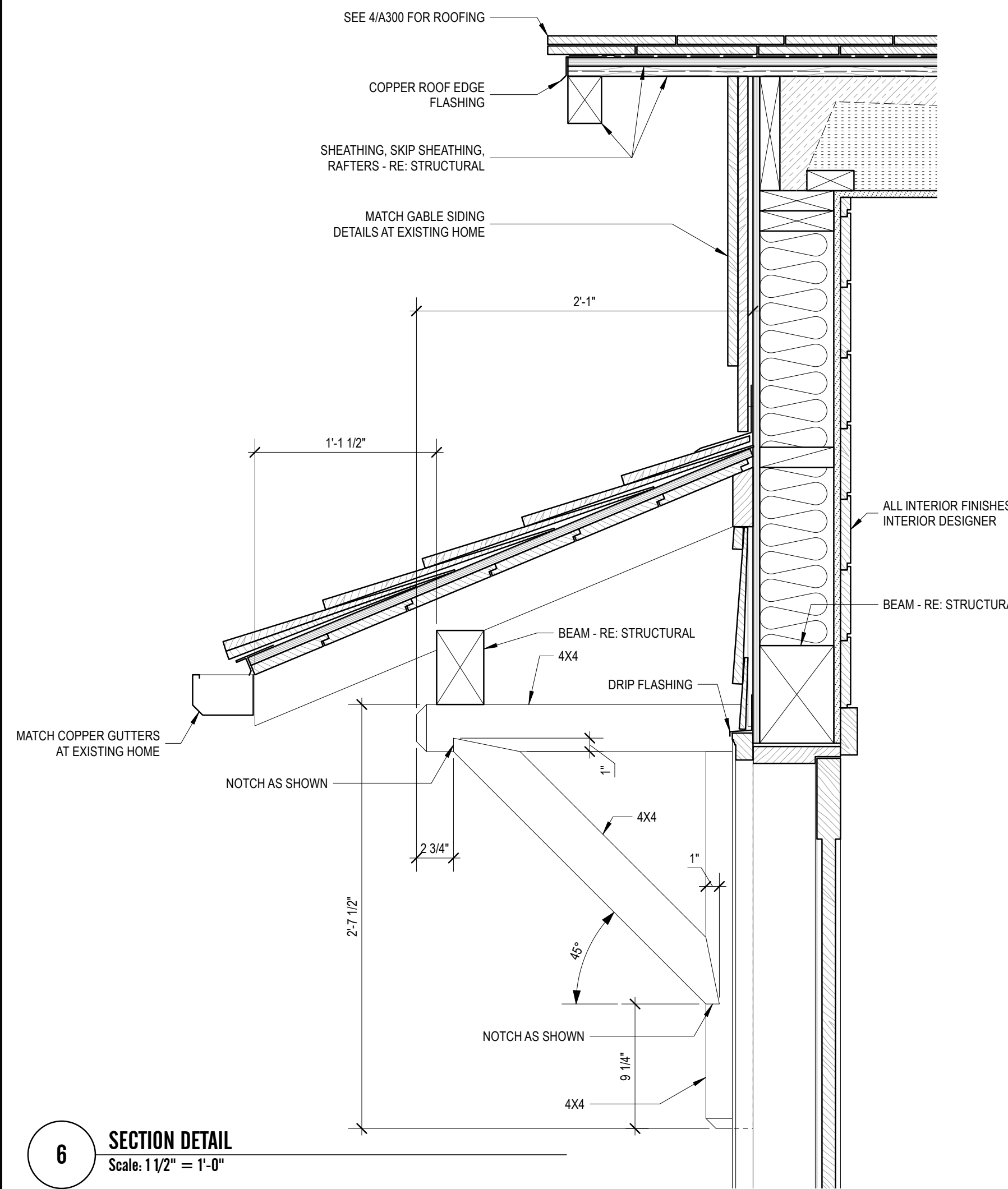
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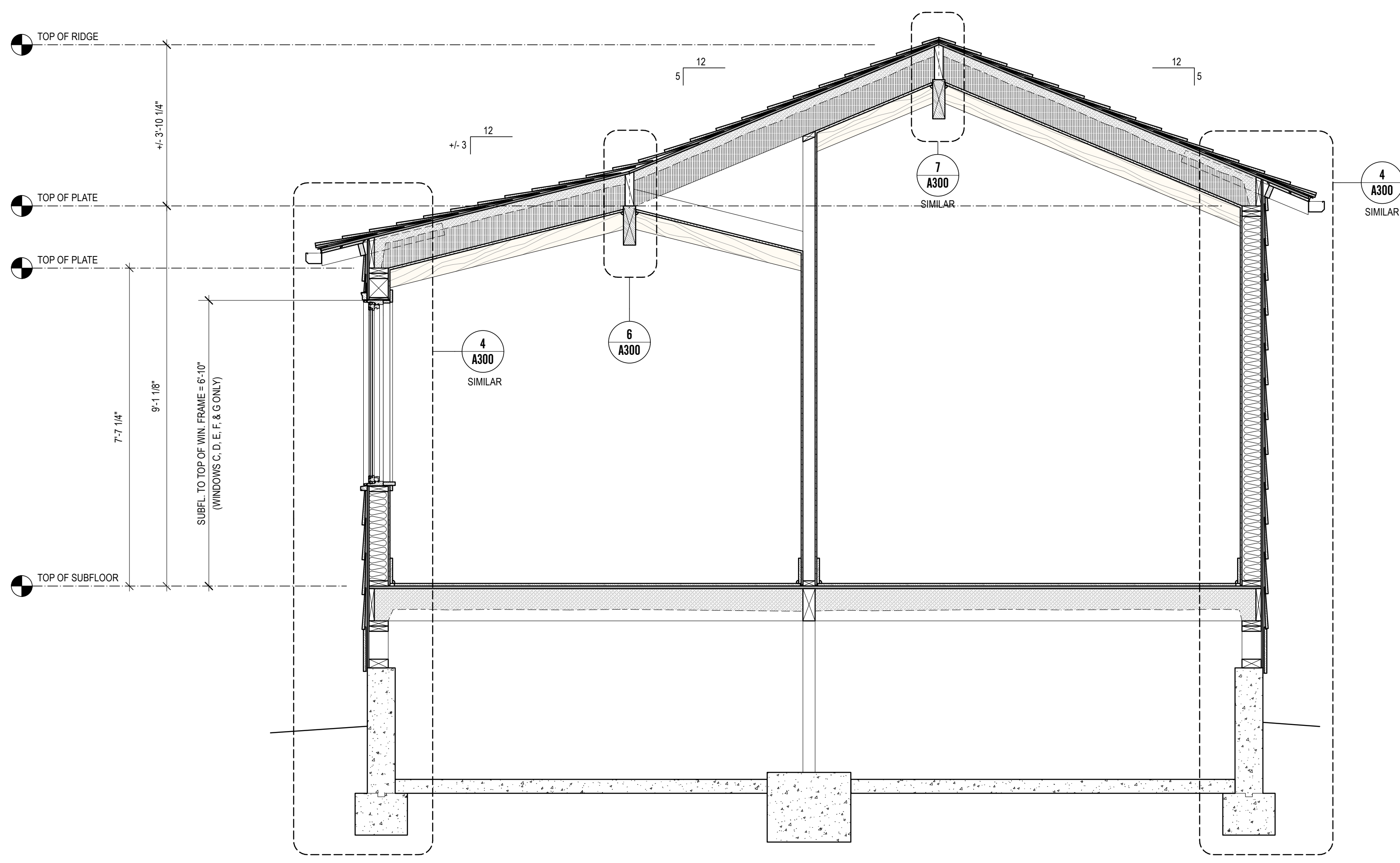
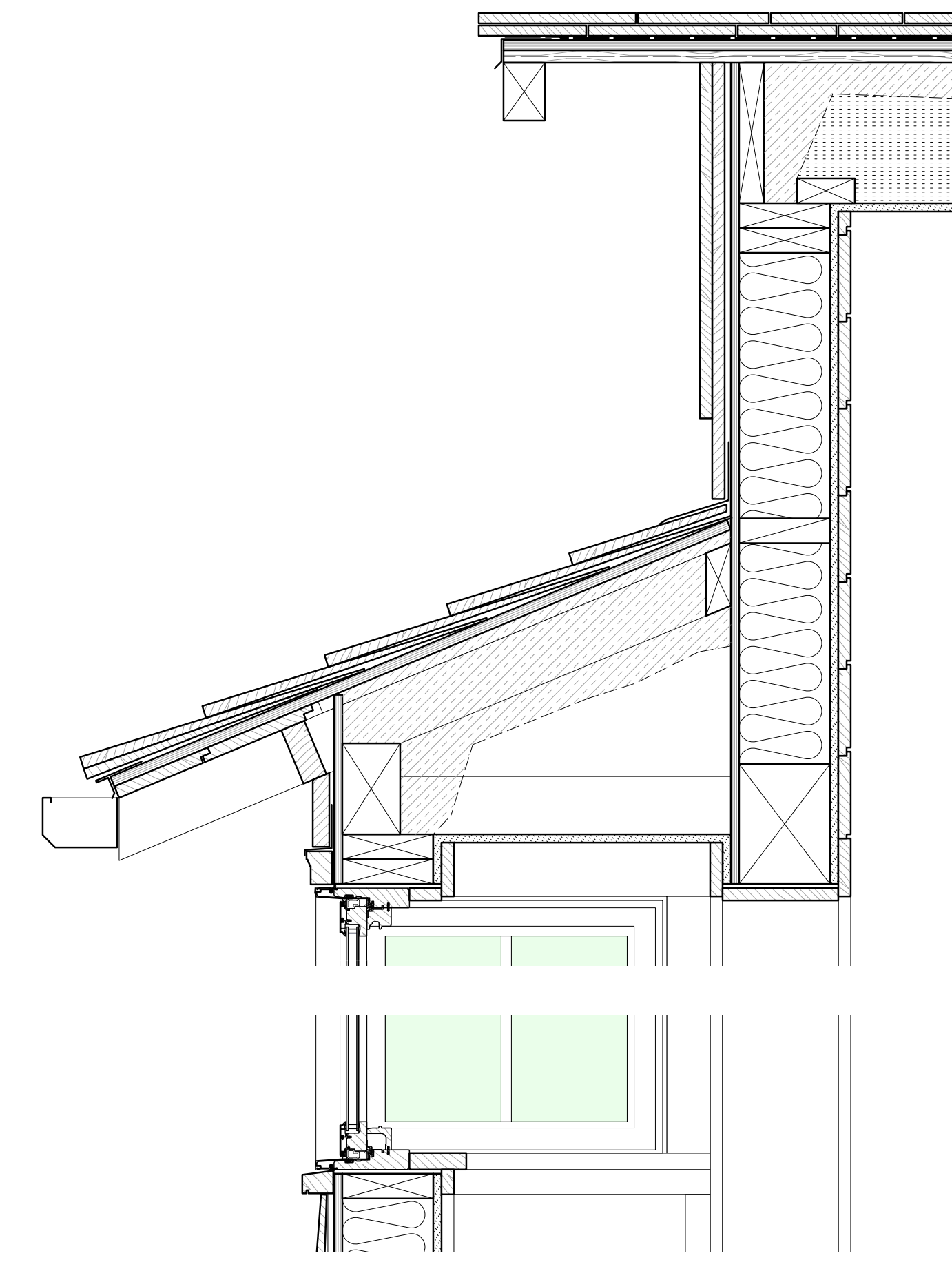


4 BUILDING SECTION
Scale: 1/2" = 1'-0"

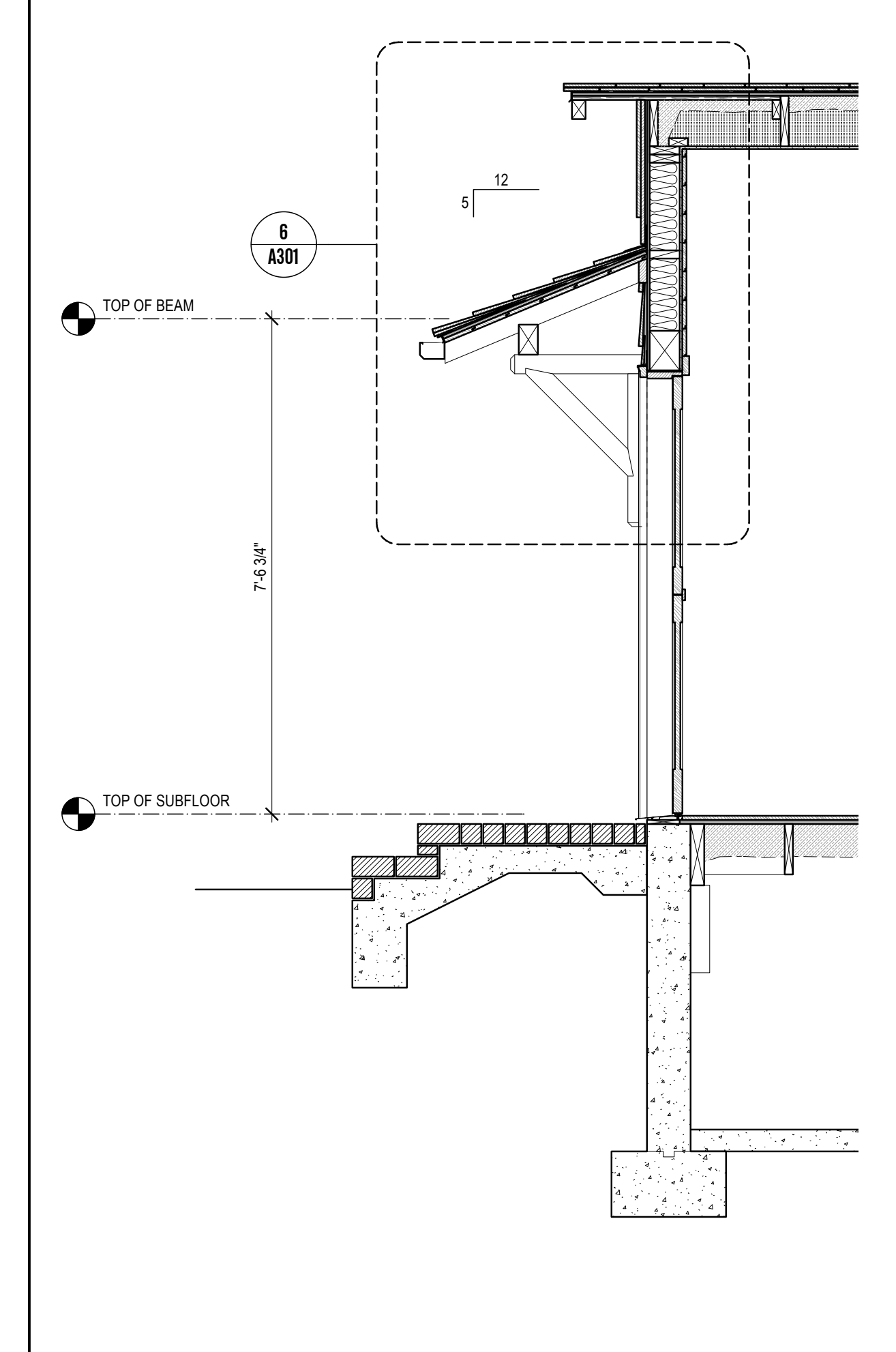


6 SECTION DETAIL
Scale: 1 1/2" = 1'-0"

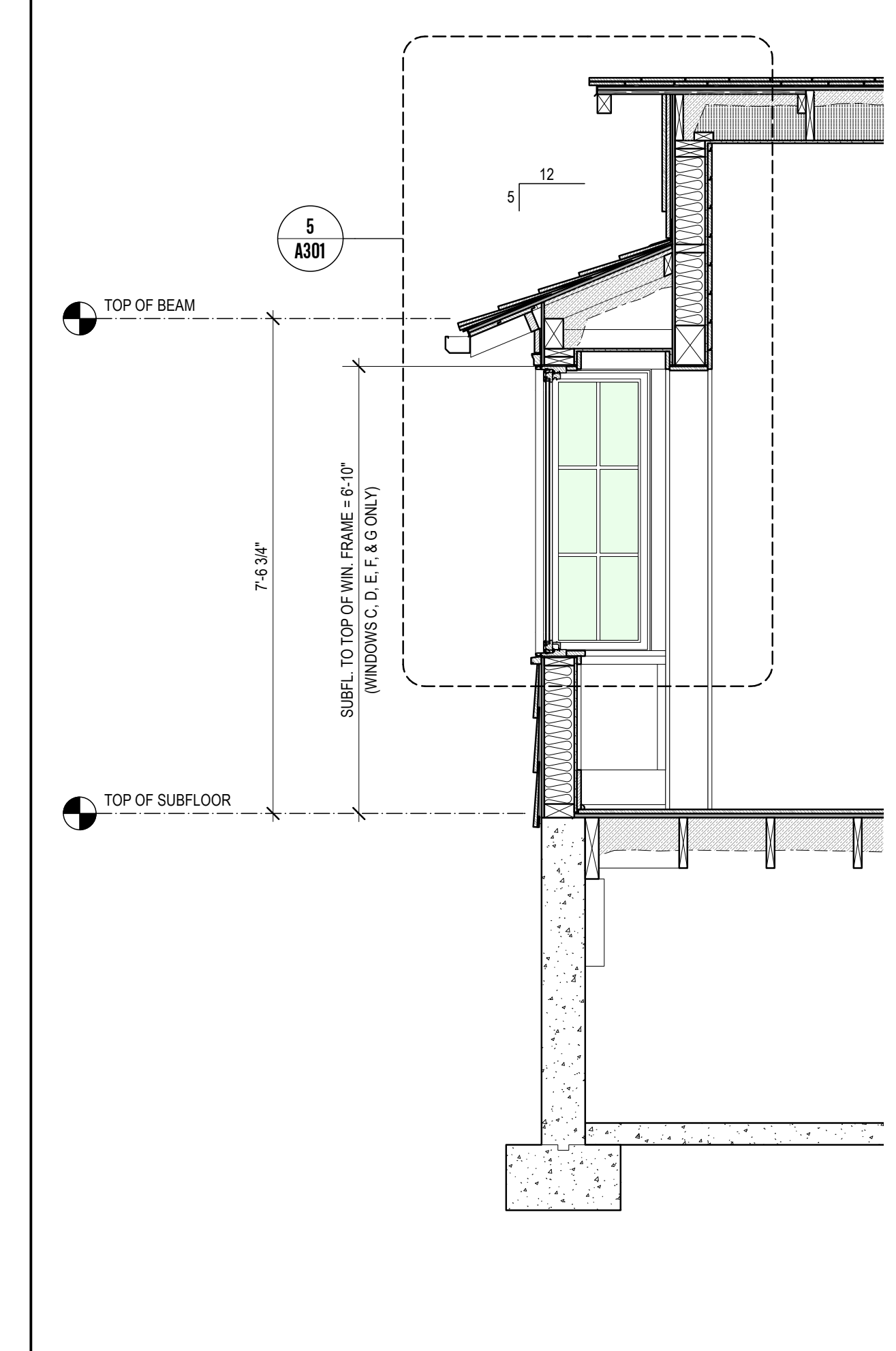
SEE 6/A301 FOR ADDITIONAL NOTES
5 SECTION DETAIL
Scale: 1 1/2" = 1'-0"



3 BUILDING SECTION
Scale: 1/2" = 1'-0"



2 BUILDING SECTION
Scale: 1/2" = 1'-0"

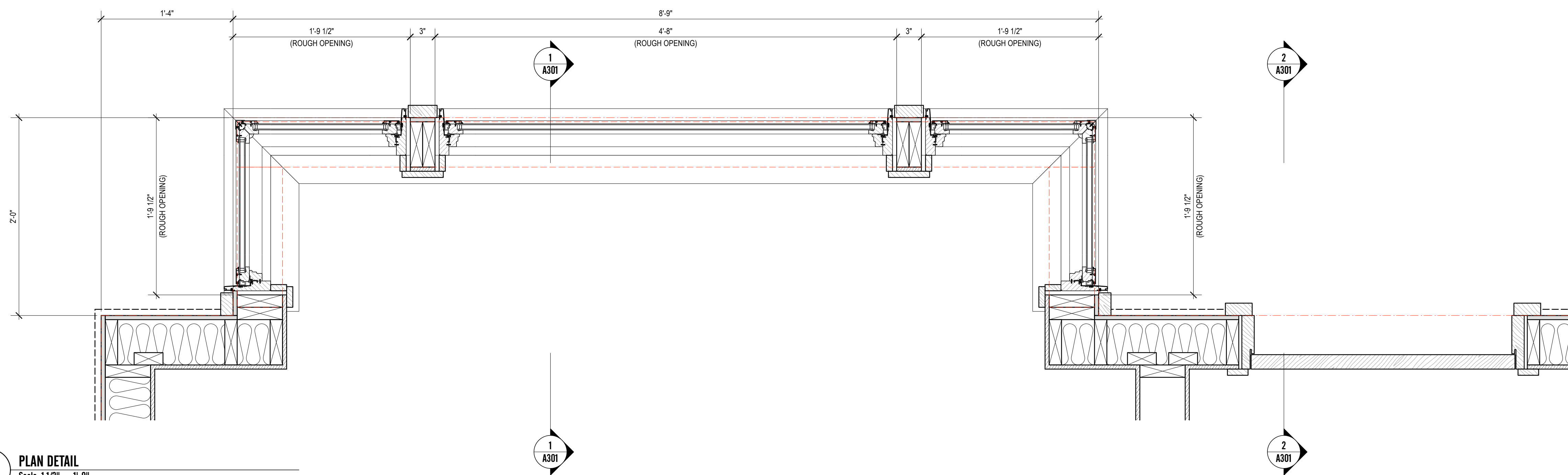


1 BUILDING SECTION
Scale: 1/2" = 1'-0"

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2 PLAN DETAIL
Scale: 1 1/2" = 1'-0"

Section Details

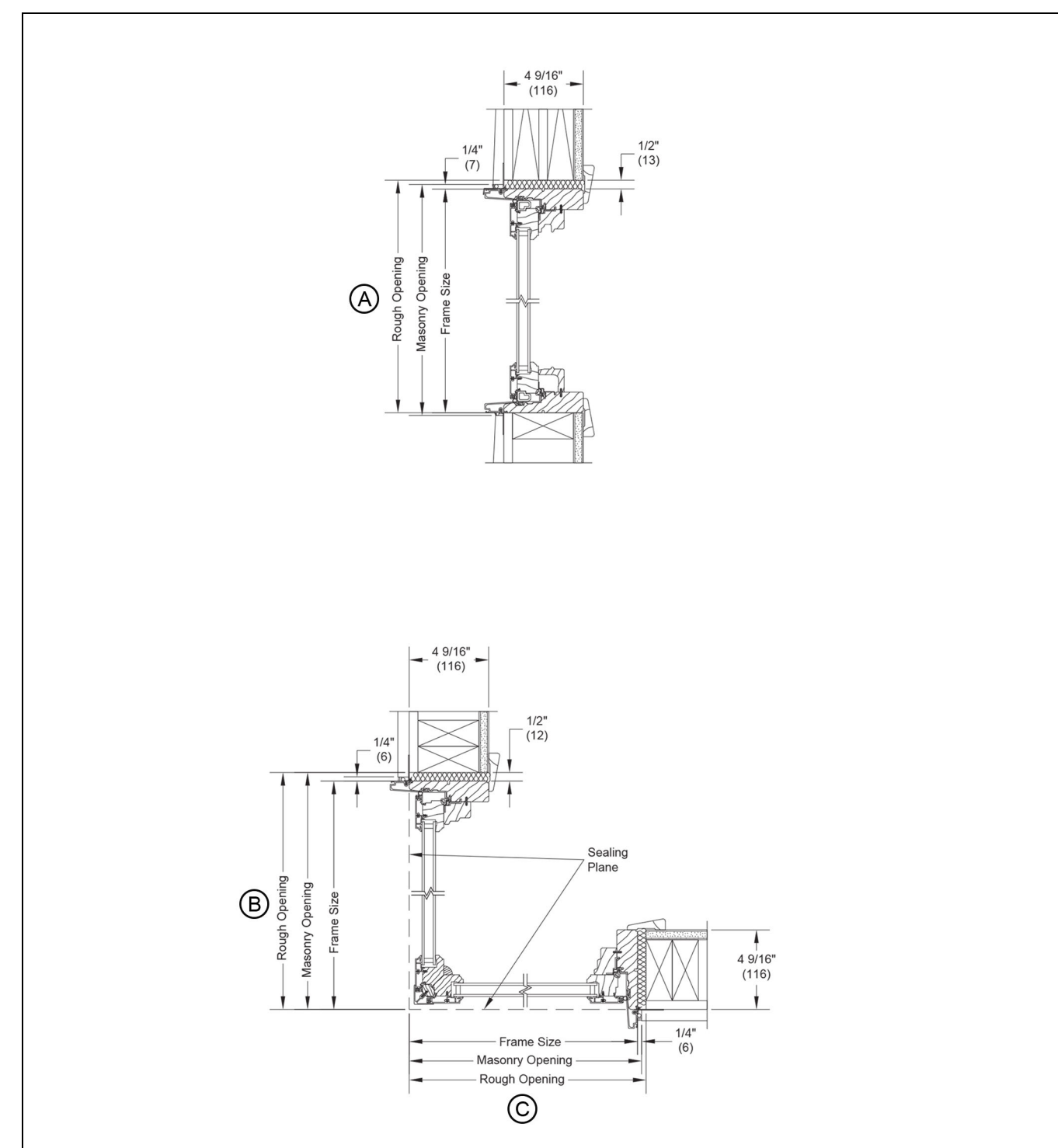


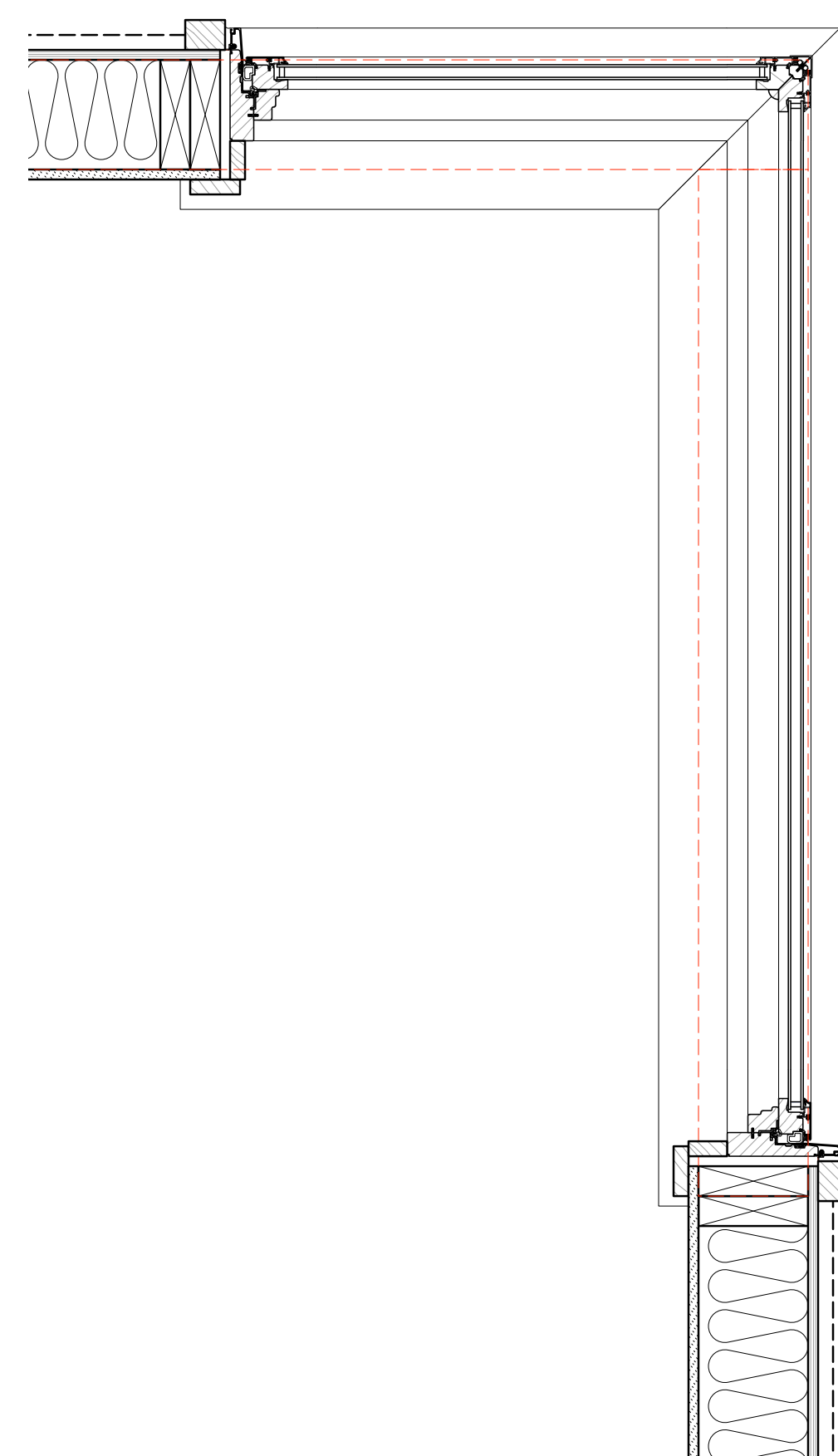
Figure 1

A	Corner window RO Height
B	Corner Window RO Left Leg (LH) Width
C	Corner Window RO Right Leg (RH) Width

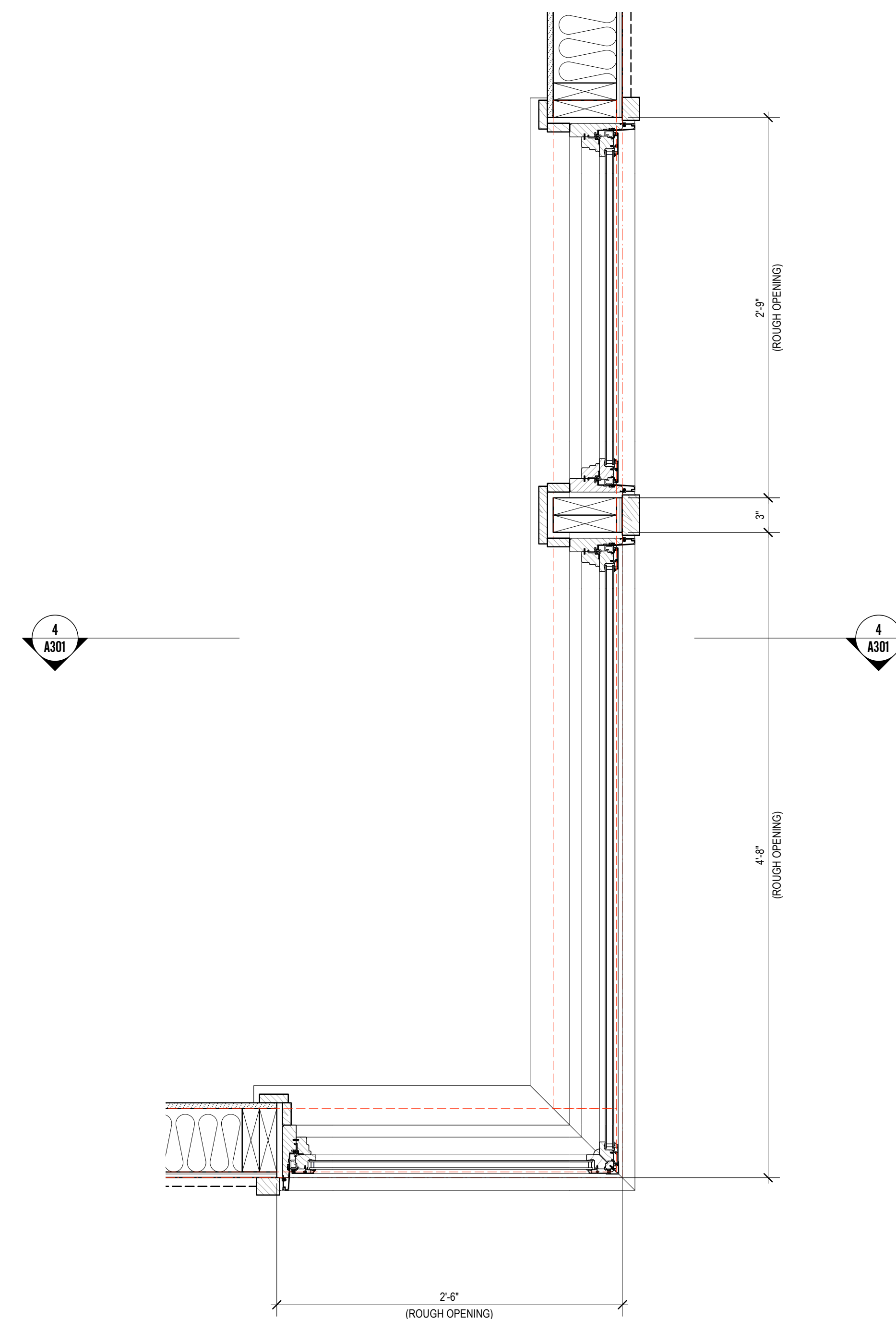
2022-05-26
19915806

2

Ultimate Casement Corner
Measuring Instructions



3 PLAN DETAIL
Scale: 1 1/2" = 1'-0"



1 PLAN DETAIL
Scale: 1 1/2" = 1'-0"

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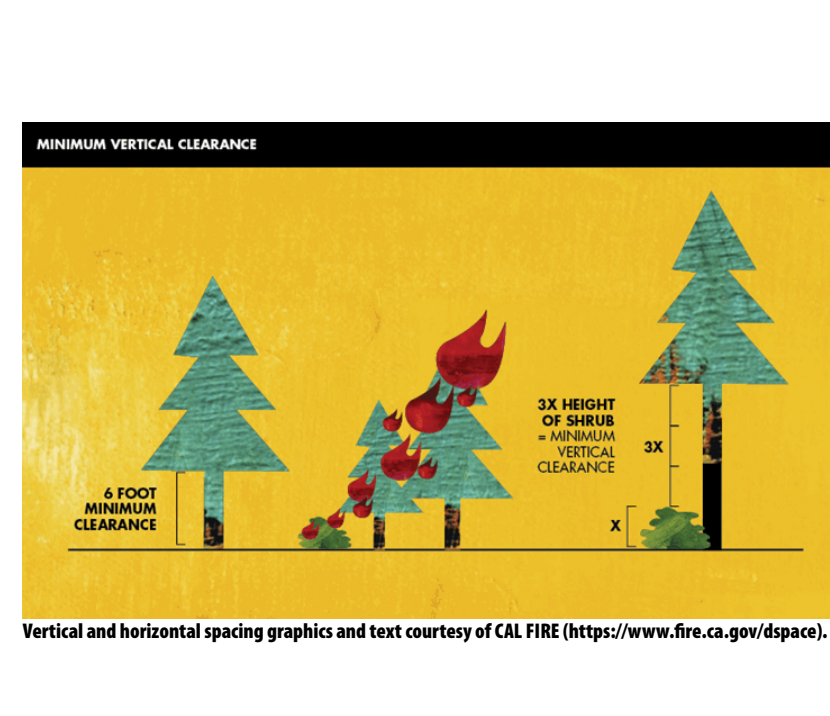
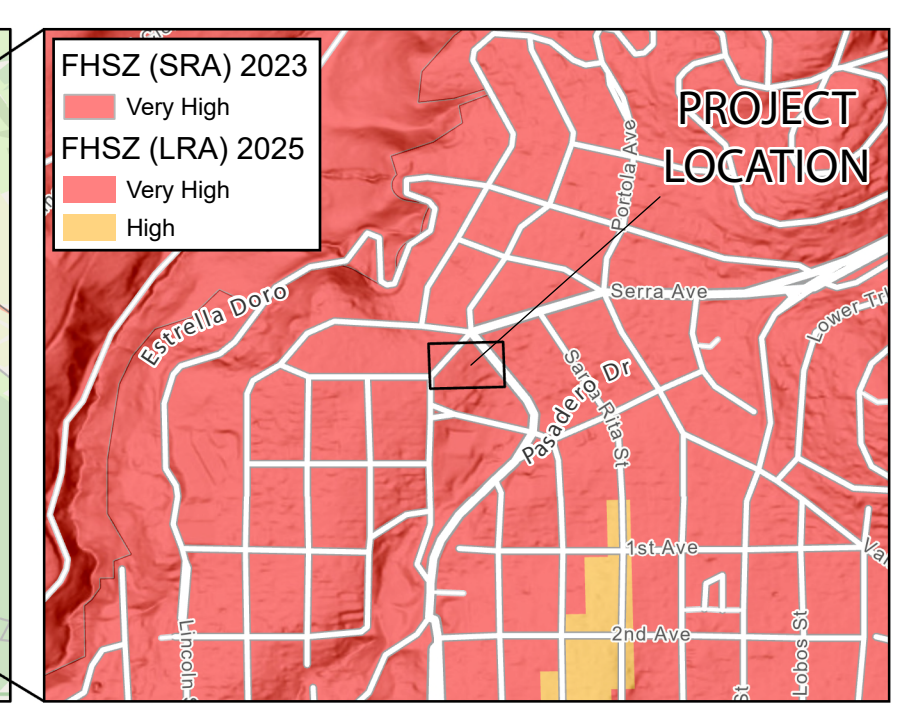
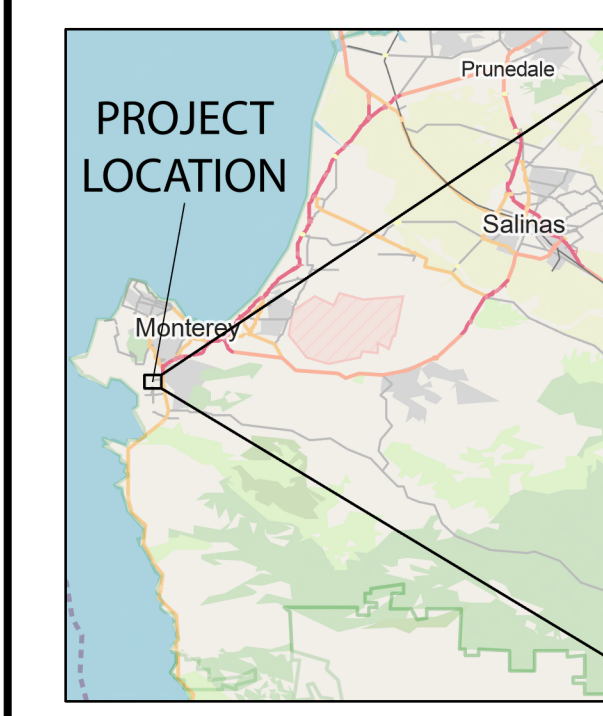
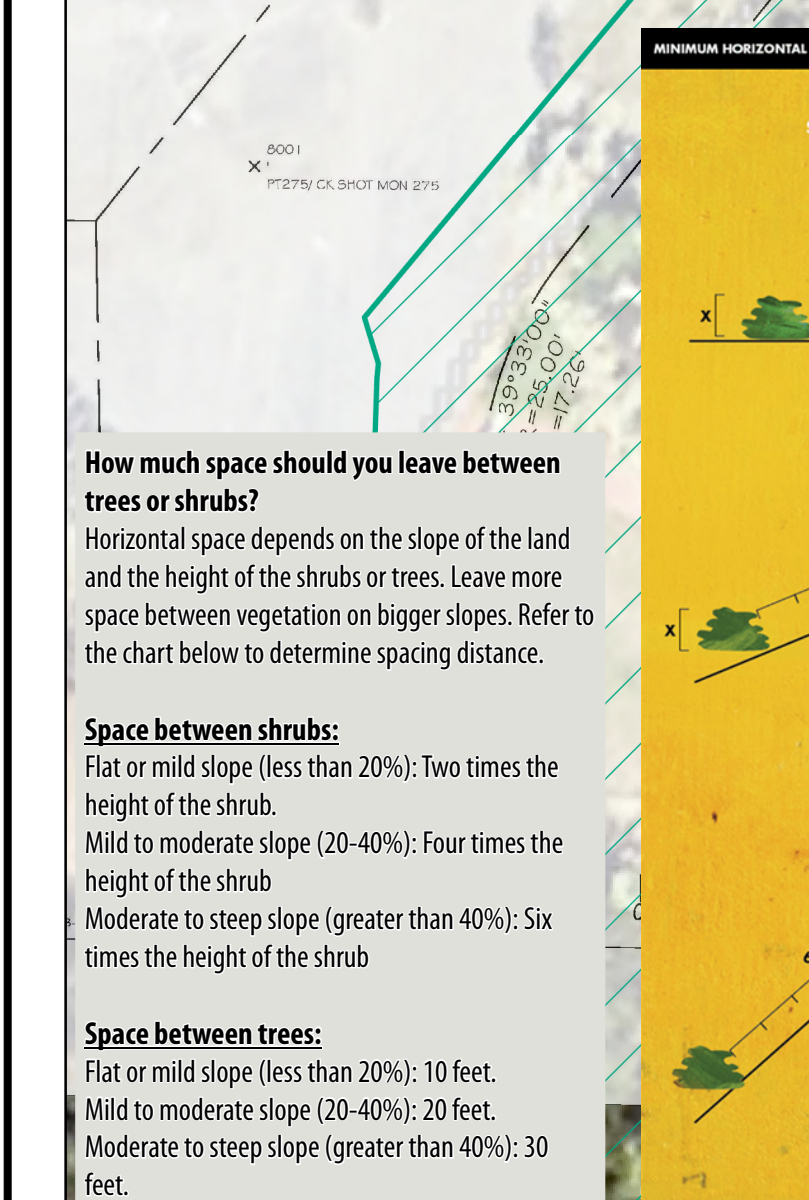
PLAN DETAILS

A400



along the survey. There may be easements or other rights, recorded or unrecorded, that are not shown here. Information regarding underground utility line locations should be obtained from the utility companies. Elevation contours indicate ground elevations. Symbols indicating tree trunk and tree canopy are drawn to scale based on a complete boundary survey was not performed.

- Legend:**
- Typical tree notation. Indicates an elevation of 30.24 at the trunk of a cypress tree with a 36" trunk diameter (inner circle) and a 40" diameter canopy (outer tree symbol). Multi-trunk trees identified with trunk diameter and clarifying notes following a symbol.
 - Finished surface elevation shot
 - Natural grade elevation shot
 - Indicates monument found as noted.
 - Subject Parcel Boundary
 - Original Lot Line
 - Parcel Boundary
 - Right of Way
 - Right of Way Center Line
 - Easement Line
 - catch basin drain
 - control point
 - electric meter or pull box
 - fire hydrant
 - gas meter or pull box
 - gas valve
 - guy anchor
 - irrigation pull box
 - irrigation control valve
 - light standard
 - manhole
 - point on line
 - sewer clean out
 - sign (pole)
 - storm drain manhole
 - sewer manhole
 - telephone manhole
 - telephone pull box
 - traffic signal box
 - cable television pull box
 - unmarked pull box
 - utility pole
 - water meter
 - water valve
 - well



Maintain space between the lowest tree branches and the ground or shrubs.

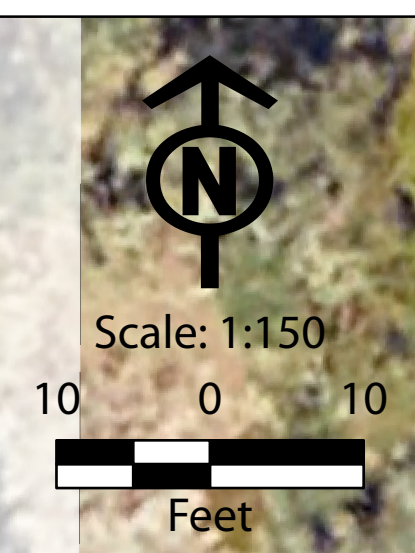
- Remove all tree branches at least six feet from the ground.
- Allow extra vertical space between shrubs and trees. Lack of vertical space can allow a fire to move from the ground to the brush to the treetops like a ladder. This leads to more intense fire closer to your home.
- Keep at least three times the height of any shrubs between the shrubs and the lowest branches of trees.

Example: A 5-foot shrub is growing near a tree. 15 feet of clearance is needed between the top of the shrub and the lowest tree branch.

TREES

- One 8.5" diameter dead Coast live oak tree should be removed (#035).
- One 16" Coast live oak (tree #055) is planned for removal. A minimum of 1 Coast live oak will be planted to replace tree #055. See Landscape Plan for planting location details.
- Tree removal permits will be obtained from Monterey County prior to the removal of any living trees 6" or greater in diameter.
- All other trees on the lot will be protected during construction and preserved.
- See Tree Resource Assessment and Preliminary Construction Impact Analysis ("arborist report") for additional information including tree species, DBH, current health conditions, protection zones and arborist comments.

See photos of trees #035 and #055.



Assessment Date: March 25, 2026

OVERVIEW OF SITE, LOCATION AND SURROUNDINGS
This Fuel Management Plan is provided as a guide for implementing home hardening and vegetation management practices in order to improve defensible space and reduce the overall risk of structure ignition by wildfire on the property, in compliance with standards set by NFPA, the LE-100 Defensible Space Inspection Program, CA Public Resources Code 4291 and local wildland fire safety requirements.

3038 Alta Avenue is located in the northern portion of Carmel, immediately southwest of the intersection of Alta Avenue and Camino del Monte. The closest fire stations are the Carmel-by-the-Sea Fire Station, located 7 miles and an estimated 4 minute drive from the property, and the Carmel Hill Fire Station located 1.5 miles and an estimated 7 minute drive from the property.

The parcel has a southeasterly aspect. The predominant wind is from the northwest, driven primarily by marine influence, with the exception of northeasterly 'offshore' winds that often occur during fall and winter and can be associated with elevated fire risk, particularly when combined with extended periods of dry weather. The parcel is located in a Very High Fire Hazard Severity Zone ("FHSZ") according to Cal Fire's most recently updated FHSZ map (2025).

Oak Woodland is the primary habitat type found on the property. The proposed ADU is planned for development in a gently sloped area in the southernmost corner of the property. There is one 16" Coast live oak tree (tag #055) planned for removal. One Coast live oak will be planted as a replacement. See photos of current conditions surrounding the lot and consult the local fire authority having jurisdiction for additional guidance on fuel management and fire safety on this lot. See aerial image (Google Earth).

DRIVEWAY AND ACCESS
The property is easily accessible for emergency vehicles from Alta Avenue. The driveway leading from Alta Avenue to the garage is less than 20' in length and provides space for large vehicles to turn around.

- Maintain 15+ feet of vertical clearance above the driveway.
- Regularly remove dead material, cut back and selectively remove shrubs to interrupt continuity of fuels along the driveway to a minimum of 15 feet from the edge of the driveway pavement. See Cal Fire Horizontal and Vertical Spacing diagrams provided.
- Maintain grasses to a height no greater than four (4) inches throughout the year to a minimum of 15 feet from the edge of the driveway pavement.
- Park vehicles facing out for emergency egress.

See photo (illustrations on photo not to scale).

STRUCTURES

- Use Class A Fire Rated roofing material for new construction and replace wood shingle roofing when major repairs are needed.
- Use a noncombustible siding material such as stucco or natural stone for new construction and/or when repairing existing exterior walls, per local building codes. At minimum, ensure that the first 6 inches at the bottom of each exterior wall is built with a noncombustible material.
- Enclose exposed wooden eaves.
- Use dual glazed, tempered glass windows.
- Maintain the roof and gutters free of leaves and needles throughout the year as part of regular maintenance. Note: significant leaf and needle accumulation was observed on the roofs of the main house and garage on March 25, 2026.
- Install noncombustible, noncorrosive mesh gutter guards to prevent leaf and needle litter accumulation.
- Cover all exterior vents with 1/2 inch gauge (or smaller) non-corrosive, non-combustible mesh screens to prevent ember intrusion.
- Use 1/2 inch gauge non-corrosive, non-combustible mesh screen on chimney outlets.
- Remove wooden fences where they are attached to the garage and replace them with non-combustible fencing (ex. metal). Avoid use of wooden decks and do not attach combustible fences, gates or landscape trellises to structures.
- Remove vines from brick chimney and exterior walls and avoid planting climbing vines adjacent to exterior walls or chimneys.
- Keep trees pruned back in order to maintain 10 feet of horizontal and vertical clearance from structures at all times, including chimney outlet(s).

See photos.

IMMEDIATE "Ember-Resistant" or "Noncombustible" ZONE (0-5 feet from structures)

- Maintain this area free of combustible items all at times throughout the year.
- Remove landscape vegetation and expand use of noncombustible ground cover such as gravel, concrete, flagstone, paving stones or bare mineral soil in the first 5 feet around the base of exterior walls.
- Regularly remove vegetation, leaves and needles as part of regular maintenance.
- Avoid planting new landscape plants in this area.

See photo (illustrations on photo not to scale).

INTERMEDIATE "Green" ZONE (5-30 feet from structures)

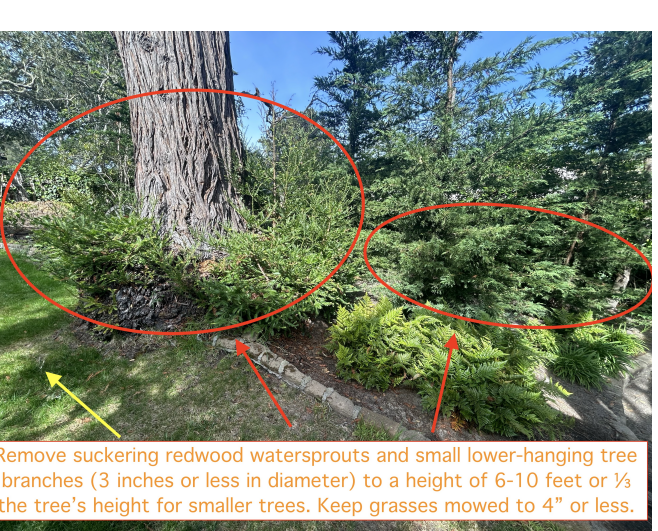
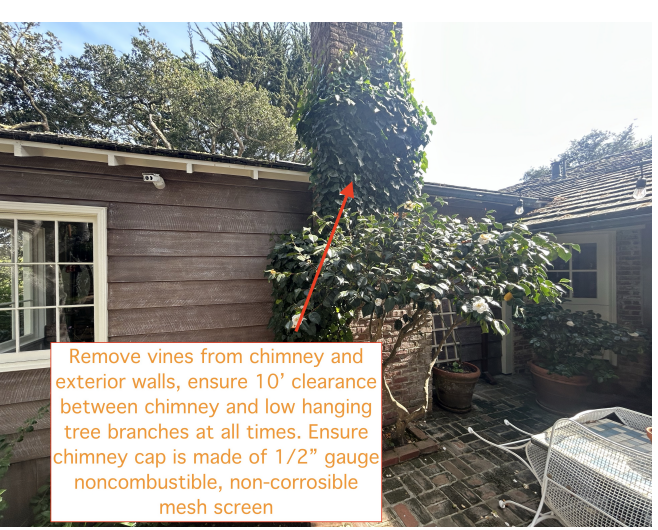
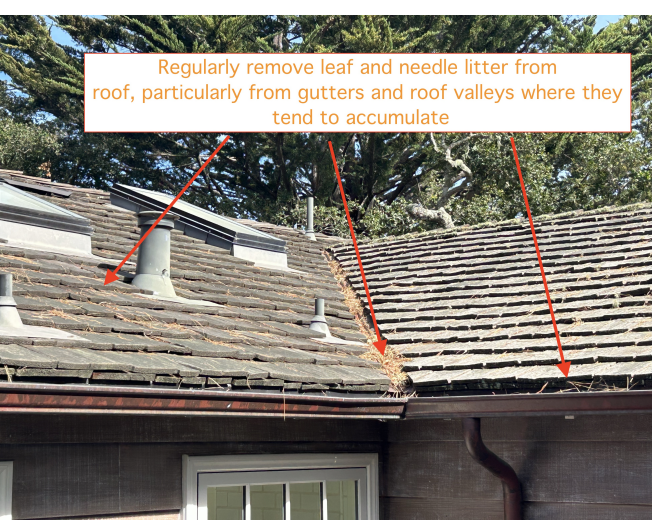
- Maintain grasses to a height no greater than four (4) inches throughout the year.
- Remove small lower-hanging tree branches (3 inches or less in diameter) to a height of 6-10 feet or 1/2 the tree's height for smaller trees.
- Regularly remove dead material and leaf litter as part of regular maintenance.
- Keep shrubs separated from trees and from each other according to Cal Fire Horizontal and Vertical Spacing diagrams provided.
- Maintain space between irrigated landscape plantings.
- Use fire resistant landscape plant species.
- Combustible items such as firewood should be stored a minimum of 30 feet from structures.
- Expand use of noncombustible pathway surfaces to interrupt continuity of wildfire fuels.

See photo (illustrations on photo not to scale).

EXTENDED "Management" ZONE (30-100+ feet from structures or to property line, whichever is closer)

- Maintain grasses to a height no greater than four (4) inches throughout the year.
- Remove redwood watersprouts and small lower-hanging tree branches (3 inches or less in diameter) to a height of 6-10 feet or 1/2 the tree's height for smaller trees.
- Regularly remove dead material and leaf litter.
- Keep shrubs separated from trees and from each other according to Cal Fire Horizontal and Vertical Spacing diagrams provided.
- Maintain space between irrigated landscape plantings.

See photo (illustrations on photo not to scale).



Source data:
Imagery provided by Google | Parcel boundaries provided by the County of Monterey's GIS Open Data Portal (accessed 3/31/2026) | Vegetation data acquired from the USGS Existing Vegetation Program (2020).



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Certified Wildfire Mitigation Specialist (NFPA)



CURRAN RESIDENCE
3038 ALTA AVENUE
CARMEL, CA 93923
MONTEREY COUNTY | APN: 009-134-012 & 013

FUEL MANAGEMENT PLAN

DATE: 4/1/2026
SCALE: 1:150
DRAWN BY: digitalmappingsolutions.com
SHEET NO: **V-1.0**
1 OF 1 SHEETS