

GENERAL NOTES:

1. ALL REFERENCES TO OWNER IN THESE DOCUMENTS SHALL BE CONSIDERED VERTEX TOWERS, OR ITS DESIGNATED REPRESENTATIVE.
2. ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY, THAT HE IS KNOWLEDGABLE OF THE WORK TO BE PERFORMED AND THAT HE IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE OF CALIFORNIA.
3. STRUCTURE IS DESIGNED IN ACCORDANCE WITH ANSI/TIA/EIA-222-G, 2009 REV H, FOR A 95 MPH 3-SECOND GUST WIND LOAD. THIS CONFORMS TO THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE, 2021 EDITION.
4. WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE, 2021 EDITION.
5. UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS, OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREIN, AND TO THE PROCEDURES TO BE USED ON THIS PROJECT.
6. ALL HARDWARE ASSEMBLY MANUFACTURER’S INSTRUCTIONS SHALL BE FOLLOWED EXACTLY AND SHALL SUPERCEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
7. IT IS THE CONTRACTOR’S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO ENSURE THE SAFETY OF THE STRUCTURE AND IT’S COMPONENT PARTS DURING ERECTION AND/OR FIELD MODIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF TEMPORARY BRACING, GUYS OR TIE DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER THE COMPLETION OF THE PROJECT.
8. ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING ANY MATERIALS ORDERING, FABRICATION OR CONSTRUCTION WORK ON THIS PROJECT. CONTRACTOR SHALL NOT SCALE CONTRACT DRAWINGS IN LIEU OF FIELD VERIFICATIONS. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND THE OWNER’S ENGINEER. THE DISCREPANCIES MUST BE RESOLVED BEFORE THE CONTRACTOR IS TO PROCEED WITH THE WORK. THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE OWNER AND/OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE PROCEDURES.
9. ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THIS PROJECT AND RELATED WORK COMPLIES WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL SAFETY CODES AND REGULATIONS GOVERNING THIS WORK.
11. ACCESS TO THE PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS, WITH THE RESIDENT LEASING AGENT FOR APPROVAL.
12. BILL OF MATERIALS AND PART NUMBERS LISTED ON CONSTRUCTION DRAWINGS ARE INTENDED TO AID CONTRACTOR. CONTRACTOR SHALL VERIFY PARTS AND QUANTITIES WITH MANUFACTURER PRIOR TO BIDDING AND/OR ORDERING MATERIALS.
13. ALL PERMITS THAT MUST BE OBTAINED ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR WILL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.
14. 24 HOURS PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, THE CONTRACTOR MUST NOTIFY THE APPLICABLE JURISDICTIONAL (STATE, COUNTY OR CITY) ENGINEER.
15. THE CONTRACTOR SHALL REWORK (DRY, SCARIFY, ETC.) ALL MATERIAL NOT SUITABLE FOR SUBGRADE IN ITS PRESENT STATE. AFTER REWORKING, IF THE MATERIAL REMAINS UNSUITABLE, THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL. ALL SUBGRADES SHALL BE PROOFROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING. ANY SOFTER MATERIAL SHALL BE REWORKED OR REPLACED.
16. THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL PIPES, DITCHES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURE IN OPERABLE CONDITION.
17. ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR FROM ACCEPTANCE DATE.
18. ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE PLANS (LATEST REVISION) PRIOR TO COMMENCING CONSTRUCTION. NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE DISCOVERED. THE OWNER SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHILE WORK IS BEING PERFORMED. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY GOVERNING AGENCY INSPECTORS.

STRUCTURAL STEEL NOTES:

1. THE FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE AISC SPECIFICATIONS AND MANUAL OF STEEL CONSTRUCTION, 14TH EDITION.
2. UNLESS OTHERWISE NOTED, ALL STRUCTURAL ELEMENTS SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

A. STRUCTURAL STEEL, ASTM DESIGNATION A36 OR A992 GR50.

B. ALL BOLTS, ASTM A325 TYPE I GALVANIZED HIGH STRENGTH BOLTS.

C. ALL NUTS, ASTM A563 CARBON AND ALLOY STEEL NUTS.

D. ALL WASHERS, ASTM F436 HARDENED STEEL WASHERS.
3. ALL CONNECTIONS NOT FULLY DETAILED ON THESE PLANS SHALL BE DETAILED BY THE STEEL FABRICATOR IN ACCORDANCE WITH AISC SPECIFICATIONS AND MANUAL OF STEEL CONSTRUCTION, 14TH EDITION.
4. HOLES SHALL NOT BE FLAME CUT THRU STEEL UNLESS APPROVED BY THE ENGINEER.
5. HOT-DIP GALVANIZE ALL ITEMS UNLESS OTHERWISE NOTED, AFTER FABRICATION WHERE PRACTICABLE. GALVANIZING: ASTM A123, ASTM A153/A153M OR ASTM A653/A653M, G90, AS APPLICABLE.
6. REPAIR DAMAGED SURFACES WITH GALVANIZING REPAIR METHOD AND PAINT CONFORMING TO ASTM A780 OR BY APPLICATION OF STICK OR THICK PASTE MATERIAL SPECIFICALLY DESIGNED FOR REPAIR OF GALVANIZING. CLEAN AREAS TO BE REPAIRED AND REMOVE SLAG FROM WELDS. HEAT SURFACES TO WHICH STICK OR PASTE MATERIAL IS APPLIED, WITH A TORCH TO A TEMPERATURE SUFFICIENT TO MELT THE METALLICS IN STICK OR PASTED; SPREAD MOLTEN MATERIAL UNIFORMLY OVER SURFACES TO BE COATED AND WIPE OFF EXCESS MATERIAL.
7. A NUT LOCKING DEVICE SHALL BE INSTALLED ON ALL PROPOSED AND/OR REPLACED BOLTS.
8. ALL PROPOSED AND/OR REPLACED BOLTS SHALL BE OF SUFFICIENT LENGTH TO EXCLUDE THE THREADS FROM THE SHEAR PLANE.
9. ALL PROPOSED AND/OR REPLACED BOLTS SHALL BE OF SUFFICIENT LENGTH SUCH THAT THE END OF THE BOLT BE AT LEAST FLUSH WITH THE FACE OF THE NUT. IT IS NOT PERMITTED FOR THE BOLT END TO BE BELOW THE FACE OF THE NUT AFTER TIGHTENING IS COMPLETED.
10. ALL ASSEMBLY BOLTS ARE TO BE TIGHTENED TO A "SNUG TIGHT" CONDITION AS DEFINED IN SECTION 8.1 OF THE AISC, "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS", DATED JUNE 30, 2004.
11. FLAT WASHERS ARE TO BE INSTALLED WITH BOLTS OVER SLOTTED HOLES.
12. DO NOT OVER TORQUE ASSEMBLY BOLTS. GALVANIZING ON BOLTS, NUTS, AND STEEL PARTS ;MAY ACT AS A LUBRICANT, THUS OVER TIGHTENING MAY OCCUR AND MAY CAUSE BOLTS TO CRACK AND SNAP OFF.
13. PAL NUTS ARE TO BE INSTALLED AFTER NUTS ARE TIGHT AND WITH EDGE LIP OUT. PAL NUTS ARE NOT REQUIRED WHEN SELF-LOCKING NUTS ARE PROVIDED.
14. GALVANIZED ASTM A325 BOLTS SHALL NOT BE REUSED.
15. WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AMERICAN WELDING SOCIETY (AWS) D1.1-2010 STRUCTURAL WELDING CODE – STEEL.

PROJECT INFORMATION:
VT-CA-0058
TORO PARK

225 RIVER ROAD
SALINAS, CA 93908
(MONTEREY COUNTY)

PLANS PREPARED FOR:



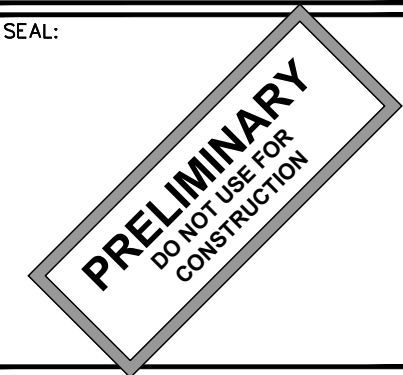
VERTEX TOWERS
2 COMMERCIAL ST
SHARON, MA 02067
OFFICE: (617) 817-8564

PLANS PREPARED BY:



326 TRYON ROAD
RALEIGH, NC 27603
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



4	04-23-26	REVISED PRELIMINARY
3	04-03-26	REVISED PRELIMINARY
2	03-20-26	REVISED PRELIMINARY
1	09-25-24	REVISED PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: KOO | CHECKED BY: KEM

SHEET TITLE:

**GENERAL
NOTES**

SHEET NUMBER: N-1	REVISION: 4 TEP#: 326215.375666
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ELEVATION CERTIFICATE
IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION	FOR INSURANCE COMPANY USE
A1. Building Owner's Name: VERTEX TOWERS	Policy Number: _____
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: 225 RIVER ROAD	Company NAIC Number: _____
City: SALINAS State: CA ZIP Code: 93908	
A3. Property Description (e.g., Lot and Block Numbers or Legal Description) and/or Tax Parcel Number: APN: 139-021-001-00	
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.):	
A5. Latitude/Longitude: Lat. 36.604816 Long. 121.637186 Horizontal Datum: ☐ NAD 1927 ☒ NAD 1983 ☐ WGS 84	
A6. Attach at least two and when possible four clear photographs (one for each side) of the building (see Form pages 7 and 8).	
A7. Building Diagram Number: 5	
A8. For a building with a crawlspace or enclosure(s): a) Square footage of crawlspace or enclosure(s): _____ sq. ft. b) Is there at least one permanent flood opening on two different sides of each enclosed area? ☐ Yes ☐ No ☐ N/A c) Enter number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade: Non-engineered flood openings: _____ Engineered flood openings: _____ d) Total net open area of non-engineered flood openings in A8.c: _____ sq. in. e) Total rated area of engineered flood openings in A8.c (attach documentation – see Instructions): _____ sq. ft. f) Sum of A8.d and A8.e rated area (if applicable – see Instructions): _____ sq. ft.	
A9. For a building with an attached garage: a) Square footage of attached garage: _____ sq. ft. b) Is there at least one permanent flood opening on two different sides of the attached garage? ☐ Yes ☐ No ☐ N/A c) Enter number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade: Non-engineered flood openings: _____ Engineered flood openings: _____ d) Total net open area of non-engineered flood openings in A9.c: _____ sq. in. e) Total rated area of engineered flood openings in A9.c (attach documentation – see Instructions): _____ sq. ft. f) Sum of A9.d and A9.e rated area (if applicable – see Instructions): _____ sq. ft.	

SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1.a. NFIP Community Name: MONTEREY COUNTY	B1.b. NFIP Community Identification Number: 060195		
B2. County Name: MONTEREY	B3. State: CA	B4. Map/Panel No.: 0360	B5. Suffix: G
B6. FIRM Index Date: 04/02/2009	B7. FIRM Panel Effective/Revised Date: 04/02/2009		
B8. Flood Zone(s): AE	B9. Base Flood Elevation(s) (BFE) (Zone AO, use Base Flood Depth): 61.0		
B10. Indicate the source of the BFE data or Base Flood Depth entered in Item B9: ☐ FIS ☒ FIRM ☐ Community Determined ☐ Other: _____			
B11. Indicate elevation datum used for BFE in Item B9: ☐ NGVD 1929 ☒ NAVD 1988 ☐ Other/Source: _____			
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? ☐ Yes ☒ No Designation Date: _____ ☐ CBRS ☐ OPA			
B13. Is the building located seaward of the Limit of Moderate Wave Action (LIMWA)? ☐ Yes ☒ No			

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ELEVATION CERTIFICATE
IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

SECTION G – COMMUNITY INFORMATION (RECOMMENDED FOR COMMUNITY OFFICIAL COMPLETION)
The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Section A, B, C, E, G, or H of this Elevation Certificate. Complete the applicable item(s) and sign below when: G1. ☐ The information in Section C was taken from state law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.) G2.a. ☐ A local official completed Section E for a building located in Zone A (without a BFE), Zone AO, or Zone ARIA/O, or when Item E5 is completed for a building located in Zone AO. G2.b. ☐ A local official completed Section H for insurance purposes. G3. ☐ In the Comments area of Section G, the local official describes specific corrections to the information in Sections A, B, E and H. G4. ☐ The following information (Items G5–G11) is provided for community floodplain management purposes. G5. Permit Number: _____ G6. Date Permit Issued: _____ G7. Date Certificate of Compliance/Occupancy Issued: _____ G8. This permit has been issued for: ☐ New Construction ☐ Substantial Improvement G9.a. Elevation of as-built lowest floor (including basement) of the building: _____ feet ☐ meters Datum: _____ G9.b. Elevation of bottom of as-built lowest horizontal structural member: _____ feet ☐ meters Datum: _____ G10.a. BFE (or depth in Zone AO) of flooding at the building site: _____ feet ☐ meters Datum: _____ G10.b. Community's minimum elevation (or depth in Zone AO) requirement for the lowest floor or lowest horizontal structural member: _____ feet ☐ meters Datum: _____ G11. Variance issued? ☐ Yes ☐ No If yes, attach documentation and describe in the Comments area. The local official who provides information in Section G must sign here. <i>I have completed the information in Section G and certify that it is correct to the best of my knowledge. If applicable, I have also provided specific corrections in the Comments area of this section.</i> Local Official's Name: _____ Title: _____ NFIP Community Name: _____ Telephone: _____ Ext.: _____ Email: _____ Address: _____ City: _____ State: _____ ZIP Code: _____ Signature: _____ Date: _____ Comments (including type of equipment and location, per C2.e, description of any attachments, and corrections to specific information in Sections A, B, D, E, or H): _____

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ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)
C1. Building elevations are based on: ☒ Construction Drawings* ☐ Building Under Construction* ☐ Finished Construction *A new Elevation Certificate will be required when construction of the building is complete. C2. Elevations – Zones A1–A30, AE, AH, AO, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO, A99. Complete Items C2.a–h below according to the Building Diagram specified in Item A7. In Puerto Rico only, enter meters. Benchmark Utilized: CAMT RTCM-3213 Vertical Datum: NAVD 1988 Indicate elevation datum used for the elevations in items a) through h) below: ☐ NGVD 1929 ☒ NAVD 1988 ☐ Other: _____ Datum used for building elevations must be the same as that used for the BFE. Conversion factor used? ☐ Yes ☒ No If Yes, describe the source of the conversion factor in the Section D Comments area. Check the measurement used: a) Top of bottom floor (including basement, crawlspace, or enclosure floor): 62.00 ☒ feet ☐ meters b) Top of the next higher floor (see Instructions): _____ ☐ feet ☐ meters c) Bottom of the lowest horizontal structural member (see Instructions): _____ ☐ feet ☐ meters d) Attached garage (top of slab): _____ ☐ feet ☐ meters e) Lowest elevation of Machinery and Equipment (M&E) servicing the building (describe type of M&E and location in Section D Comments area): 62.00 ☒ feet ☐ meters f) Lowest Adjacent Grade (LAG) next to building: ☒ Natural ☐ Finished 49.30 ☒ feet ☐ meters g) Highest Adjacent Grade (HAG) next to building: ☒ Natural ☐ Finished 50.40 ☒ feet ☐ meters h) Finished LAG at lowest elevation of attached deck or stairs, including structural support: _____ ☐ feet ☐ meters

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by state law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.
Were latitude and longitude in Section A provided by a licensed land surveyor? ☒ Yes ☐ No
☐ Check here if attachments and describe in the Comments area.
Certifier's Name: Patrick B. Donohoe License Number: 9332
Title: Project Surveyor
Company Name: Ambit Consulting
Address: 428 Main Street
City: Huntington Beach State: CA ZIP Code: 92648
Signature: Patrick B. Donohoe Digitally signed by Patrick B. Donohoe Date: 2023.08.17 10:12:48 -0500 Date: 08/17/2023
Telephone: (562) 706-0821 Ext.: _____ Email: patdonohoe@ambitconsulting.us
Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.
Comments (including source of conversion factor in C2; type of equipment and location per C2.e; and description of any attachments):
Telecommunication equipment on raised platform.



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ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

SECTION H – BUILDING'S FIRST FLOOR HEIGHT INFORMATION FOR ALL ZONES (SURVEY NOT REQUIRED) (FOR INSURANCE PURPOSES ONLY)
The property owner, owner's authorized representative, or local floodplain management official may complete Section H for all flood zones to determine the building's first floor height for insurance purposes. Sections A, B, and I must also be completed. Enter heights to the nearest tenth of a foot (nearest tenth of a meter in Puerto Rico). <i>Reference the Foundation Type Diagrams (at the end of Section H Instructions) and the appropriate Building Diagrams (at the end of Section I Instructions) to complete this section.</i> H1. Provide the height of the top of the floor (as indicated in Foundation Type Diagrams) above the Lowest Adjacent Grade (LAG): a) For Building Diagrams 1A, 1B, 3, and 6–9. Top of bottom floor (include above-grade floors only for buildings with subgrade crawlspaces or enclosure floors) is: _____ feet ☐ meters ☐ above the LAG b) For Building Diagrams 2A, 2B, 4, and 6–9. Top of next higher floor (i.e., the floor above basement, crawlspace, or enclosure floor) is: _____ feet ☐ meters ☐ above the LAG H2. Is all Machinery and Equipment servicing the building (as listed in Item H2 instructions) elevated to or above the floor indicated by the H2 arrow (shown in the Foundation Type Diagrams at end of Section H Instructions) for the appropriate Building Diagram? ☐ Yes ☐ No

SECTION I – PROPERTY OWNER (OR OWNER'S AUTHORIZED REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and H must sign here. The statements in Sections A, B, and H are correct to the best of my knowledge. **Note:** If the local floodplain management official completed Section H, they should indicate in Item G2.b. and sign Section G.
☐ Check here if attachments are provided (including required photos) and describe each attachment in the Comments area.
Property Owner or Owner's Authorized Representative Name: _____
Address: _____
City: _____ State: _____ ZIP Code: _____
Signature: _____ Date: _____
Telephone: _____ Ext.: _____ Email: _____
Comments: _____

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ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

SECTION E – BUILDING MEASUREMENT INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO, ZONE ARIA/O, AND ZONE A (WITHOUT BFE)
For Zones AO, ARIA/O, and A (without BFE), complete Items E1–E5. For Items E1–E4, use natural grade, if available. If the Certificate is intended to support a Letter of Map Change request, complete Sections A, B, and C. Check the measurement used. In Puerto Rico only, enter meters. Building measurements are based on: ☒ Construction Drawings* ☐ Building Under Construction* ☐ Finished Construction *A new Elevation Certificate will be required when construction of the building is complete. E1. Provide measurements (C2.a in applicable Building Diagram) for the following and check the appropriate boxes to show whether the measurement is above or below the natural HAG and the LAG. a) Top of bottom floor (including basement, crawlspace, or enclosure) is: 11.60 ☒ feet ☐ meters ☒ above or ☐ below the HAG. b) Top of bottom floor (including basement, crawlspace, or enclosure) is: 12.70 ☒ feet ☐ meters ☒ above or ☐ below the LAG. E2. For Building Diagrams 8–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (C2.b in applicable Building Diagram) of the building is: _____ feet ☐ meters ☐ above or ☐ below the HAG. E3. Attached garage (top of slab) is: _____ feet ☐ meters ☐ above or ☐ below the HAG. E4. Top of platform of machinery and/or equipment servicing the building is: _____ feet ☐ meters ☐ above or ☐ below the HAG. E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S AUTHORIZED REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.
☐ Check here if attachments and describe in the Comments area.
Property Owner or Owner's Authorized Representative Name: _____
Address: _____
City: _____ State: _____ ZIP Code: _____
Signature: _____ Date: _____
Telephone: _____ Ext.: _____ Email: _____
Comments: _____

FEMA Form FF-206-FY-22-152 (formerly 086-0-33) (10/22)

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ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

BUILDING PHOTOGRAPHS

See Instructions for Item A6.

FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: 225 RIVER ROAD City: SALINAS State: CA ZIP Code: 93908 Policy Number: _____ Company NAIC Number: _____ Instructions: Insert below at least two and when possible four photographs showing each side of the building (for example, may only be able to take front and back pictures of townhouses/rowhouses). Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." Photographs must show the foundation. When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A6 and A9. Photo One Caption: Plan view Photo Two Caption: Profile view 62'-0" (ACTUAL) T/PLATFORM 61'-0" (ACTUAL) BASE FLOOD ELEVATION 49'-9" (ACTUAL) T/GRADE

FEMA Form FF-206-FY-22-152 (formerly 086-0-33) (10/22)

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PROJECT INFORMATION:
VT-CA-0058
TORO PARK

225 RIVER ROAD
SALINAS, CA 93908
(MONTEREY COUNTY)

PLANS PREPARED FOR:



VERTEX TOWERS

2 COMMERCIAL ST

SHARON, MA 02067

OFFICE: (617) 817-8564

PLANS PREPARED BY:



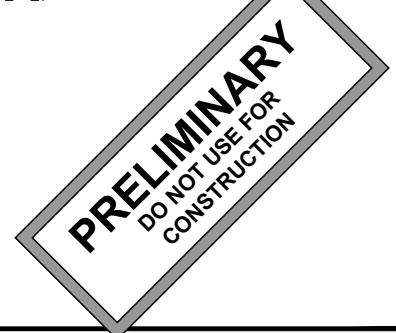
326 TRYON ROAD

RALEIGH, NC 27603

OFFICE: (919) 661-6351

www.tepgroup.net

SEAL:



4	04-23-26	REVISED PRELIMINARY
3	04-03-26	REVISED PRELIMINARY
2	03-20-26	REVISED PRELIMINARY
1	09-25-24	REVISED PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: - CHECKED BY: -

SHEET TITLE:

FEMA
ELEVATION
CERTIFICATE

SHEET NUMBER:

C-1

REVISION:

4

TEP#: 326215.375666

Wetlands



January 16, 2023

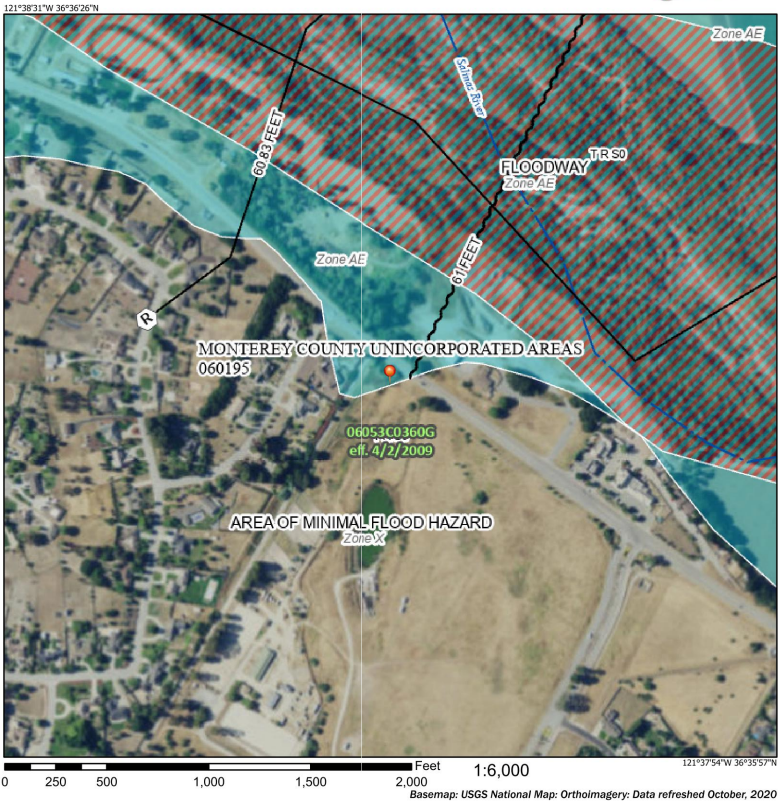
Wetlands

- Estuarine and Marine Deepwater
- Estuarine and Marine Wetland
- Freshwater Emergent Wetland
- Freshwater Forested/Shrub Wetland
- Freshwater Pond
- Lake
- Other
- Riverine

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

National Wetlands Inventory (NWI)
This page was produced by the NWI mapper

National Flood Hazard Layer FIRMette



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE) Zone A, V, X, AP
- With BFE or Depth Zone AE, AD, AH, VE, AR
- Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD

- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levee. See Notes. Zone X
- Area with Flood Risk due to Levee Zone D

OTHER AREAS

- Area of Minimal Flood Hazard Zone X
- Effective LOMRs
- Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

OTHER FEATURES

- Cross Sections with 1% Annual Chance Water Surface Elevation
- Coastal Tract
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Tract Baseline
- Profile Baseline
- Hydrographic Feature

MAP PANELS

- Digital Data Available
- No Digital Data Available
- Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 1/16/2023 at 11:01 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

PROJECT INFORMATION:
VT-CA-0058
TORO PARK
225 RIVER ROAD
SALINAS, CA 93908
(MONTEREY COUNTY)

PLANS PREPARED FOR:



VERTEX TOWERS
2 COMMERCIAL ST
SHARON, MA 02067
OFFICE: (617) 817-8564

PLANS PREPARED BY:



326 TRYON ROAD
RALEIGH, NC 27603
OFFICE: (919) 661-6351
www.tepgroup.net

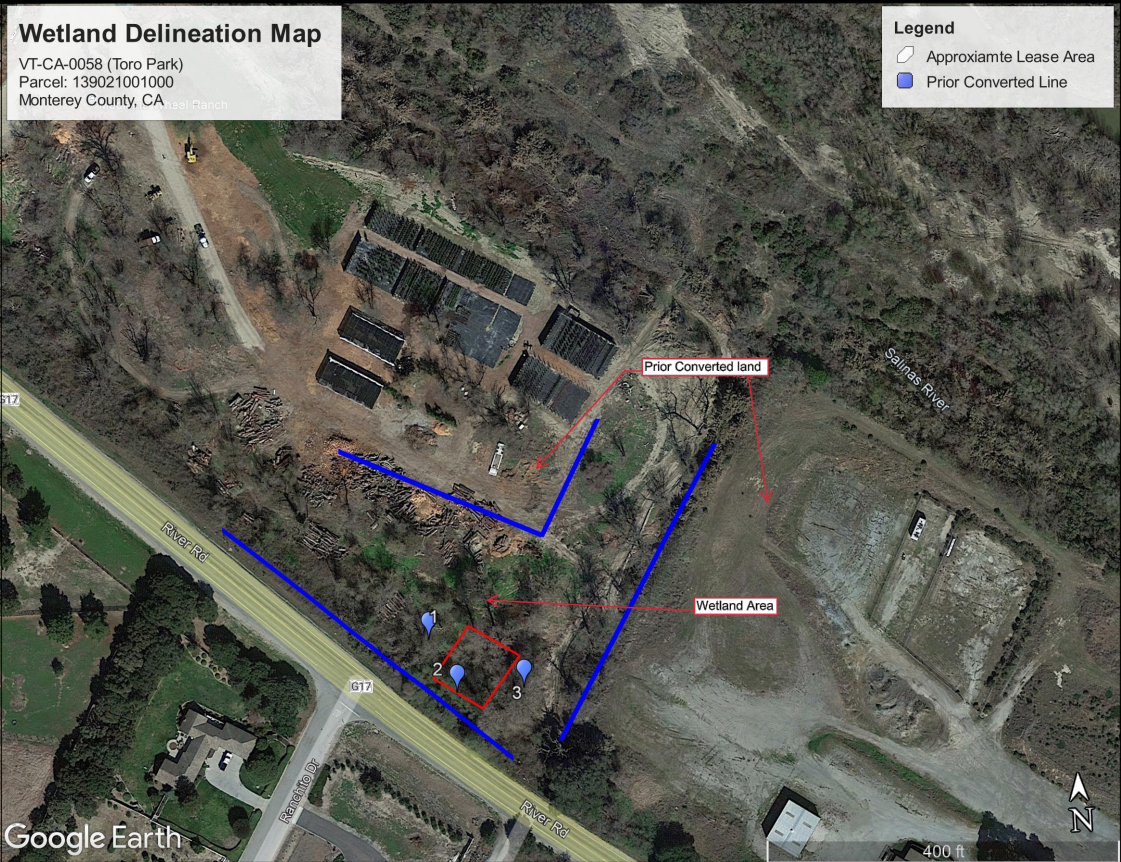
NATIONAL WETLANDS INVENTORY MAP

FEMA MAP

Wetland Delineation Map

VT-CA-0058 (Toro Park)
Parcel: 139021001000
Monterey County, CA

- Legend**
- Approximate Lease Area
 - Prior Converted Line

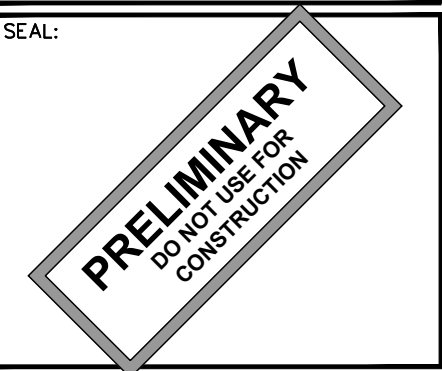


TEP WETLAND DELINEATION MAP



GOOGLE AREA MAP

SEAL:



4	04-23-26	REVISED PRELIMINARY
3	04-03-26	REVISED PRELIMINARY
2	03-20-26	REVISED PRELIMINARY
1	09-25-24	REVISED PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: AJR | CHECKED BY: KEM

SHEET TITLE:

**REFERENCE
MAPS**

SHEET NUMBER:	REVISION:
Z-1	4
	TEP#: 326215.375666

1-A CERTIFICATION		
LATITUDE:	N 36° 36' 17.34"	(NAD '83)
LONGITUDE:	W 121° 38' 13.87"	(NAD '83)
GROUND ELEVATION:	49.3'±	(AMSL NAVD '88)

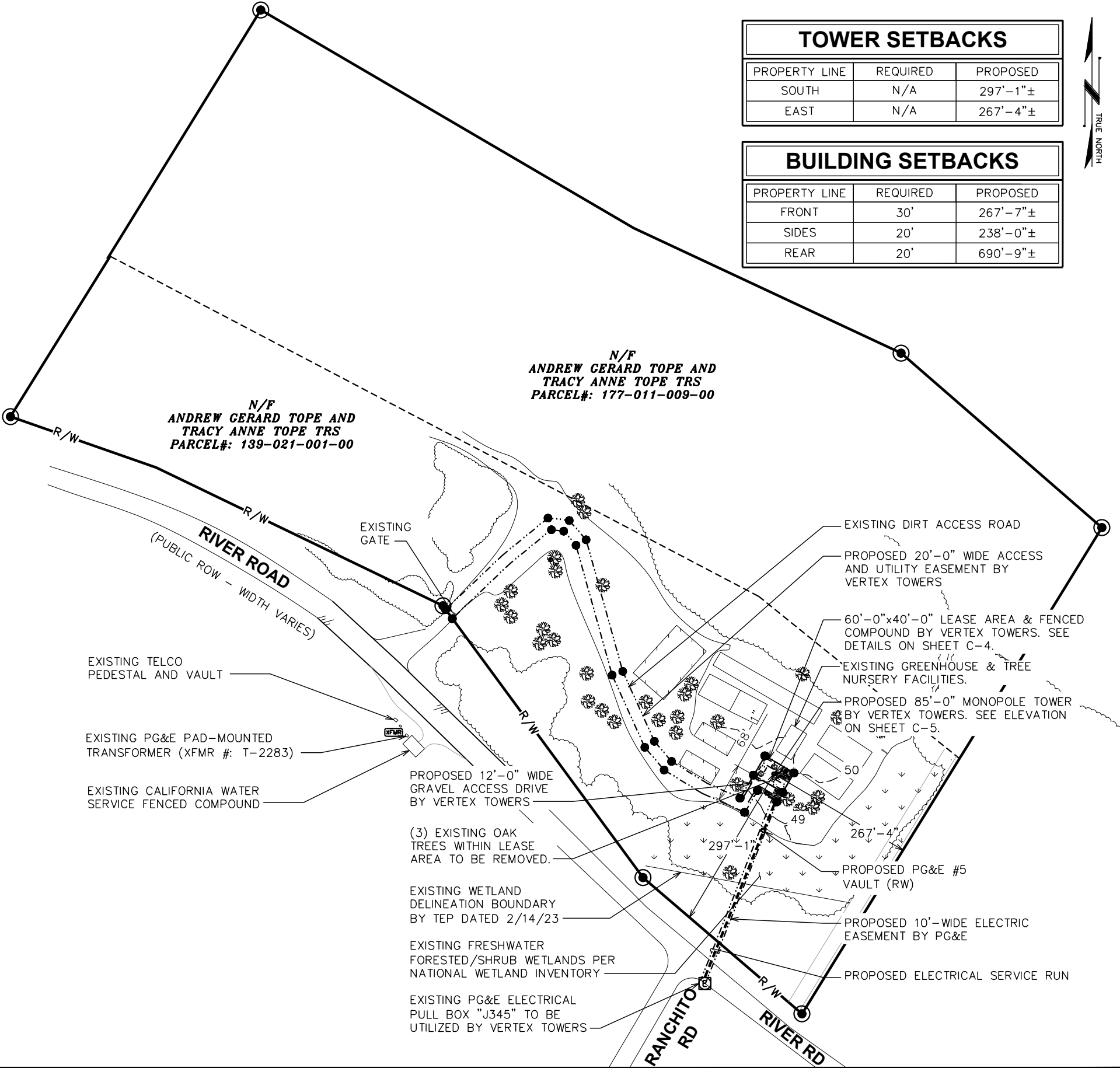
LEGEND	
	PARENT PROPERTY LINE
	ADJACENT PROPERTY LINE
	EASEMENT/LEASE CORNER
	EXIST. METER
	EXIST. TRANSFORMER
	EXIST. UTILITY POLE
	EXIST. TELCO PEDESTAL
	SECTION CORNER
	PROPERTY CORNER
	EXIST. CONTOUR LINE
	EDGE OF PAVEMENT
	OVERHEAD WIRE
	BURIED TELEPHONE LINE
	RIGHT-OF-WAY
	FENCE
	EXISTING TREE LINE

NOTES:

1. THE BASIS OF THE MERIDIANS AND COORDINATES FOR THIS PLAT IS THE NORTH AMERICAN DATUM (NAD83).
2. VERTICAL INFORMATION SHOW IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
3. ALL DISTANCES ARE GROUND UNLESS OTHERWISE NOTED.
4. THE PROPOSED TOWER IS LOCATED IN FLOOD ZONE "AE", AREA DETERMINED TO BE INSIDE THE 1% CHANCE OF ANNUAL FLOOD BASED UPON COMMUNITY PANEL #06053C0360G, EFFECTIVE APRIL 02, 2009.

SITE PLAN

SCALE: 1" = 200'



TOWER SETBACKS		
PROPERTY LINE	REQUIRED	PROPOSED
SOUTH	N/A	297'-1"±
EAST	N/A	267'-4"±

BUILDING SETBACKS		
PROPERTY LINE	REQUIRED	PROPOSED
FRONT	30'	267'-7"±
SIDES	20'	238'-0"±
REAR	20'	690'-9"±

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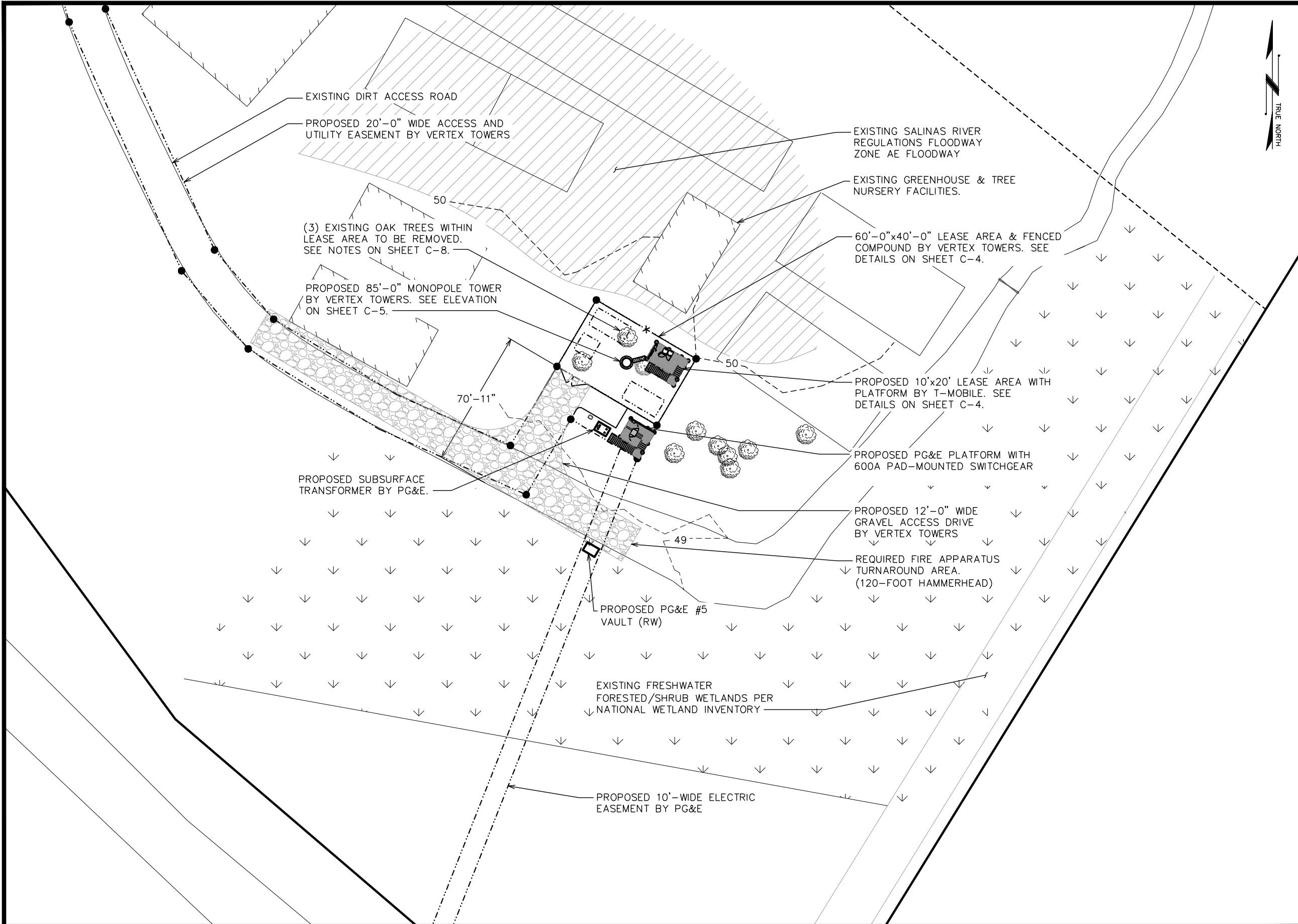
SEAL:

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REV	DATE	ISSUED FOR:

DRAWN BY: AJR | CHECKED BY: KEM

SHEET TITLE:
EXTENDED SITE PLAN

SHEET NUMBER: C-2	REVISION: 4 TEP#: 326215.375666
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PROJECT INFORMATION:

VT-CA-0058
TORO PARK

225 RIVER ROAD
SALINAS, CA 93908
(MONTEREY COUNTY)

PLANS PREPARED FOR:



VERTEX TOWERS
2 COMMERCIAL ST
SHARON, MA 02067
OFFICE: (617) 817-8564

PLANS PREPARED BY:



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SEAL:

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CONSTRUCTION

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REV	DATE	ISSUED FOR:

DRAWN BY: AJR

CHECKED BY: KEM

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

C-3

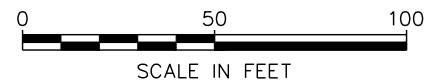
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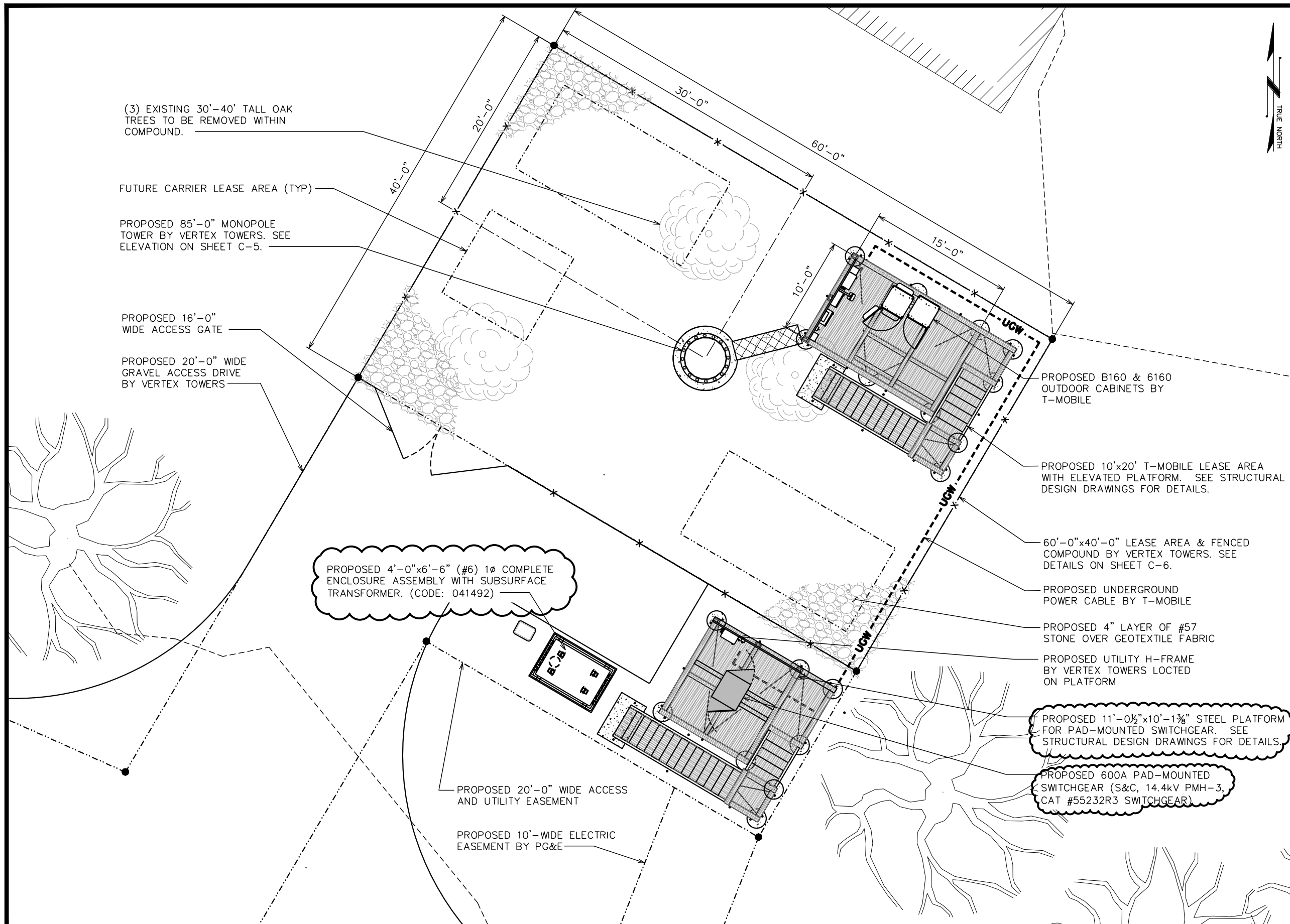
4

TEP#: 326215.375666

SITE PLAN

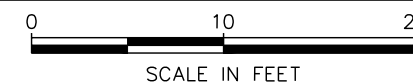
SCALE: 1" = 50'





COMPOUND DETAIL

SCALE: 1" = 10'



PROJECT INFORMATION:
VT-CA-0058
TORO PARK
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PLANS PREPARED FOR:



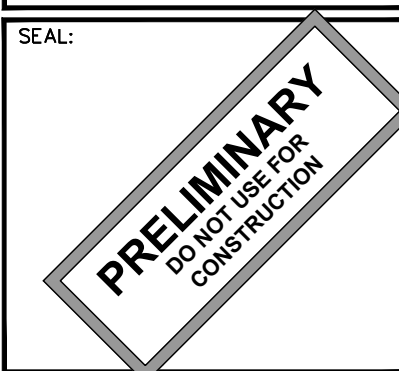
VERTEX TOWERS
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SHARON, MA 02067
OFFICE: (617) 817-8564

PLANS PREPARED BY:



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REV	DATE	ISSUED FOR:

DRAWN BY: NMC CHECKED BY: NMC

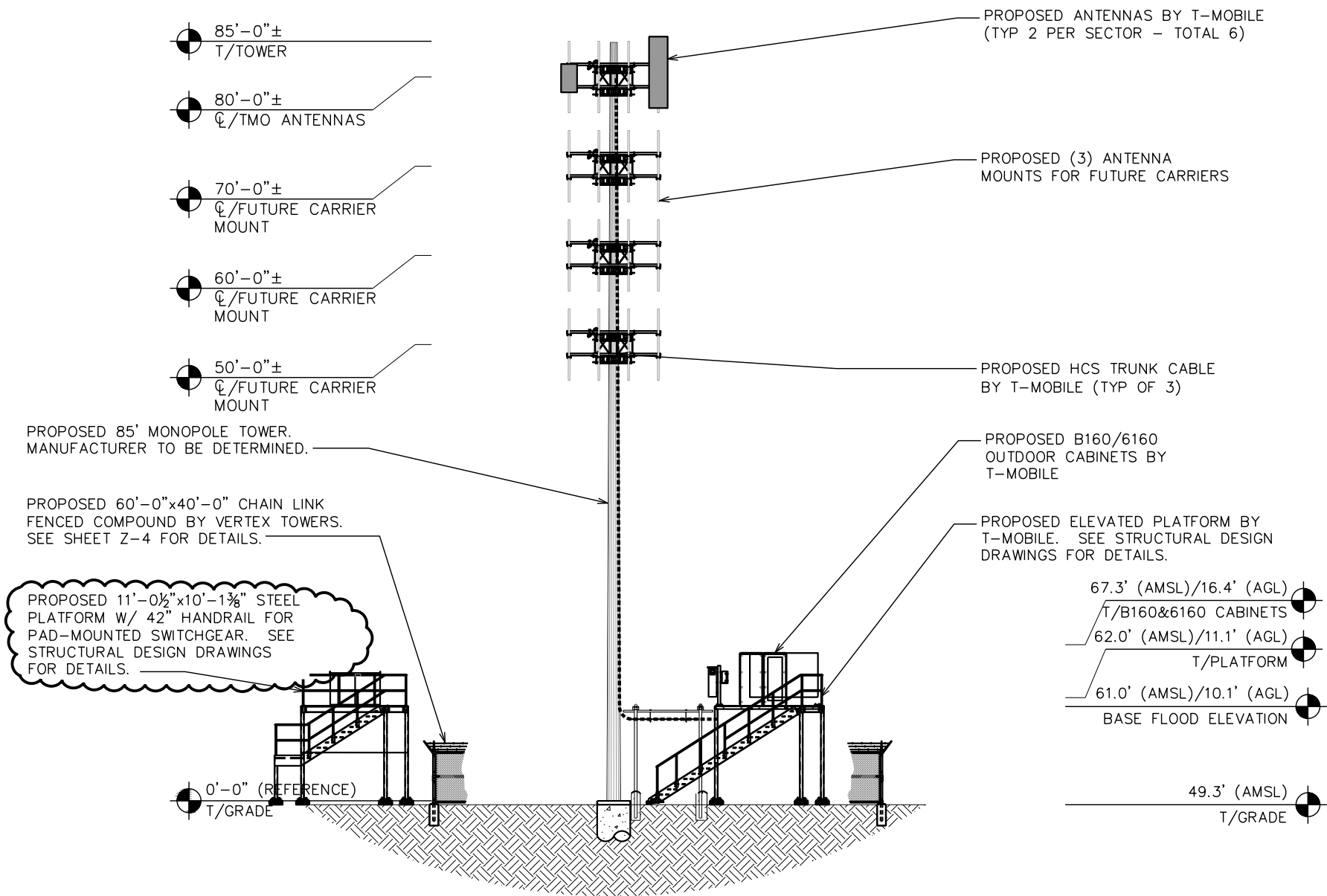
SHEET TITLE:

**COMPOUND
DETAIL**

SHEET NUMBER:	REVISION:
C-4	4
TEP #: 326215.375666	

TOWER NOTES:

- 1. TOWER TO REMAIN A GALVANIZED COLOR.
- 2. TOWER SHALL NOT BE LIT UNLESS OTHERWISE REQUIRED BY THE FEDERAL AVIATION ADMINISTRATION.
- 3. PROPOSED COAX TO BE ROUTED INSIDE TOWER USING HOISTING GRIPS.
- 4. TOWER TO INCLUDE SAFETY CABLE. DO NOT INCLUDE SAFETY CLIMB MECHANISM.



TOWER ELEVATION

SCALE: 1/16" = 1'-0"



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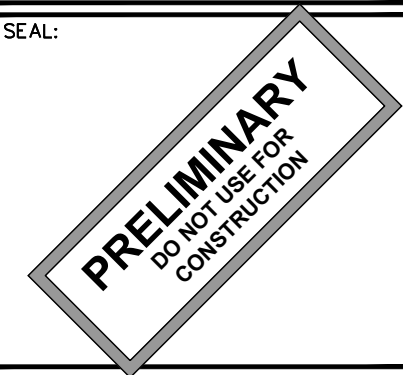
VERTEX TOWERS
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OFFICE: (617) 817-8564

PLANS PREPARED BY:



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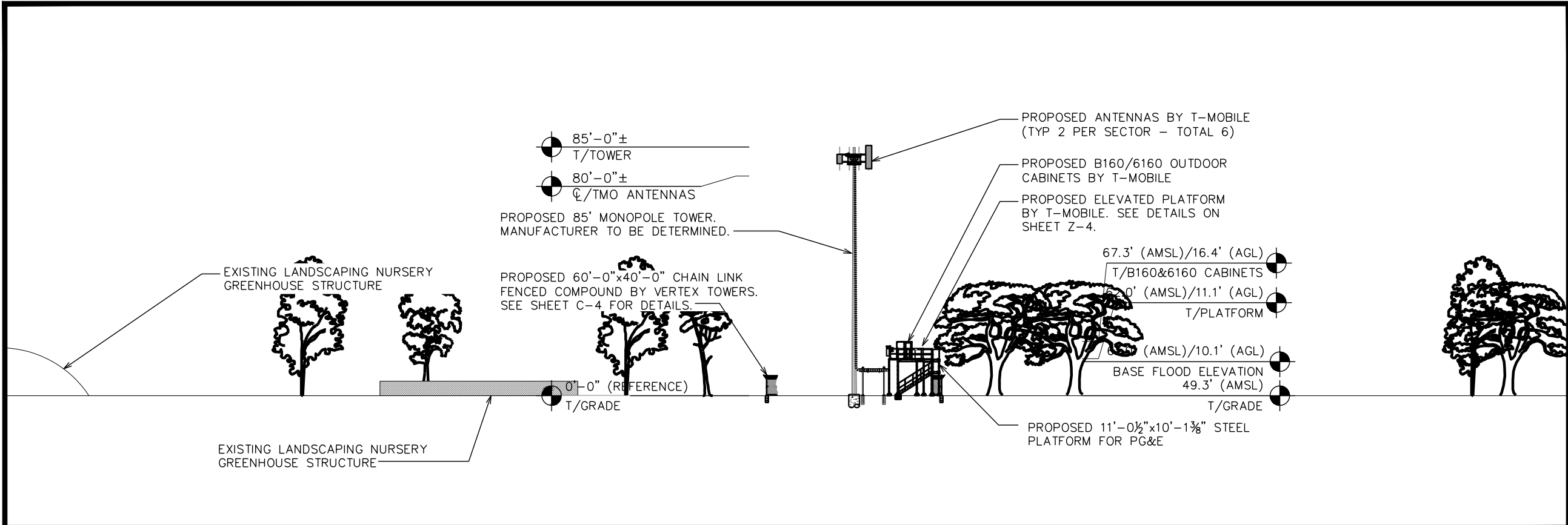
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DRAWN BY: NMC | CHECKED BY: NMC

SHEET TITLE:

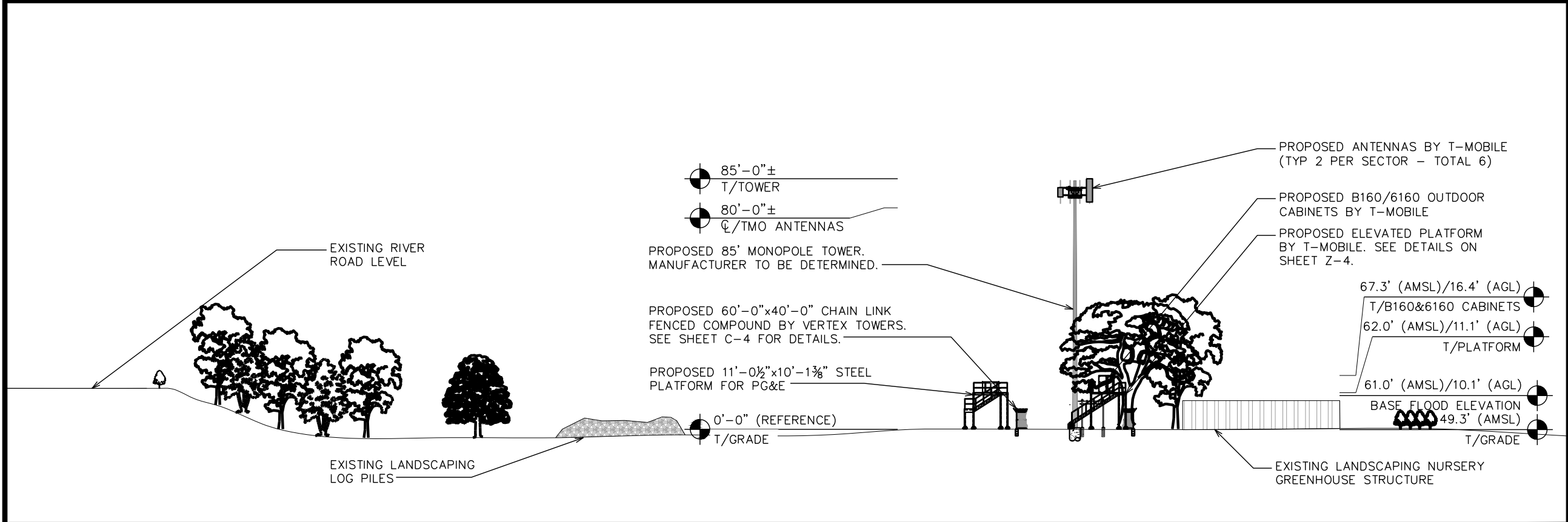
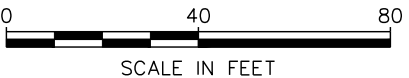
TOWER ELEVATION

SHEET NUMBER: C-5	REVISION: 4 TEP#: 326215.375666
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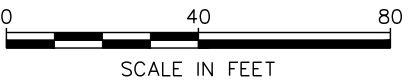
TOWER ELEVATION (LOOKING NORTH)

SCALE: 1" = 40'



TOWER ELEVATION (LOOKING WEST)

SCALE: 1" = 40'



PROJECT INFORMATION:
VT-CA-0058
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(MONTEREY COUNTY)

PLANS PREPARED FOR:



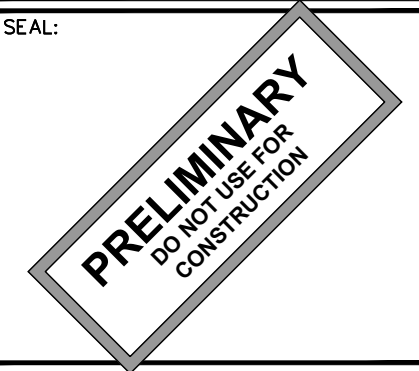
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OFFICE: (617) 817-8564

PLANS PREPARED BY:



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REV	DATE	ISSUED FOR:

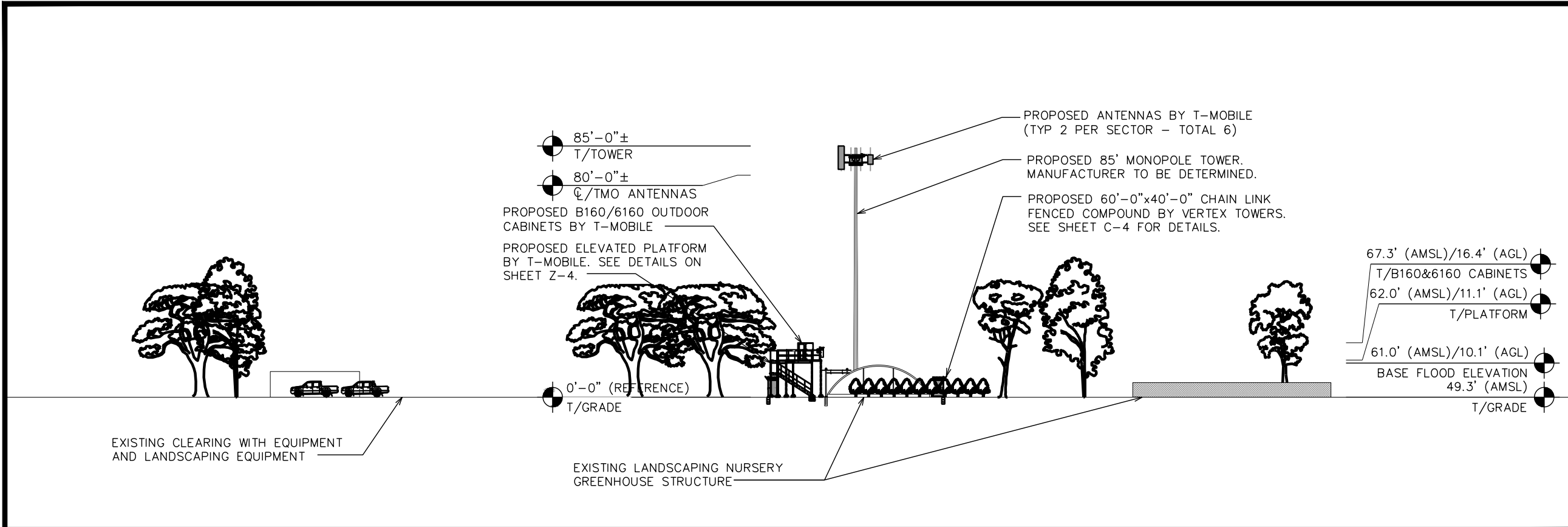
DRAWN BY: NMC | CHECKED BY: SEB

SHEET TITLE:
**TOWER ELEVATION
(LOOKING NORTH &
WEST)**

SHEET NUMBER:
C-5B

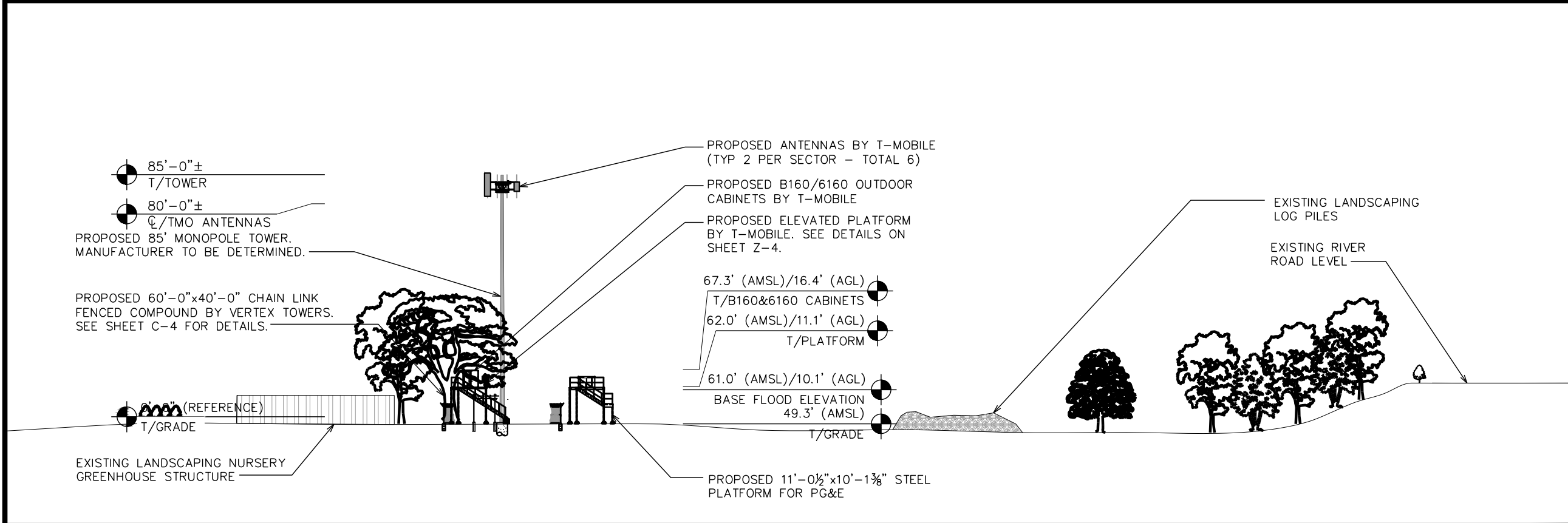
REVISION:
4

TEP#: 326215.375666



TOWER ELEVATION (LOOKING SOUTH)

SCALE: 1" = 40'



TOWER ELEVATION (LOOKING EAST)

SCALE: 1" = 40'

PROJECT INFORMATION:
VT-CA-0058
TORO PARK
225 RIVER ROAD
SALINAS, CA 93908
(MONTEREY COUNTY)

PLANS PREPARED FOR:



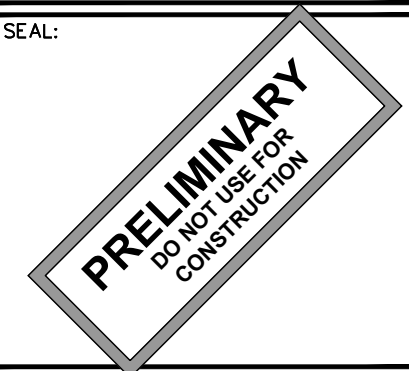
VERTEX TOWERS
2 COMMERCIAL ST
SHARON, MA 02067
OFFICE: (617) 817-8564

PLANS PREPARED BY:



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RALEIGH, NC 27603
OFFICE: (919) 661-6351
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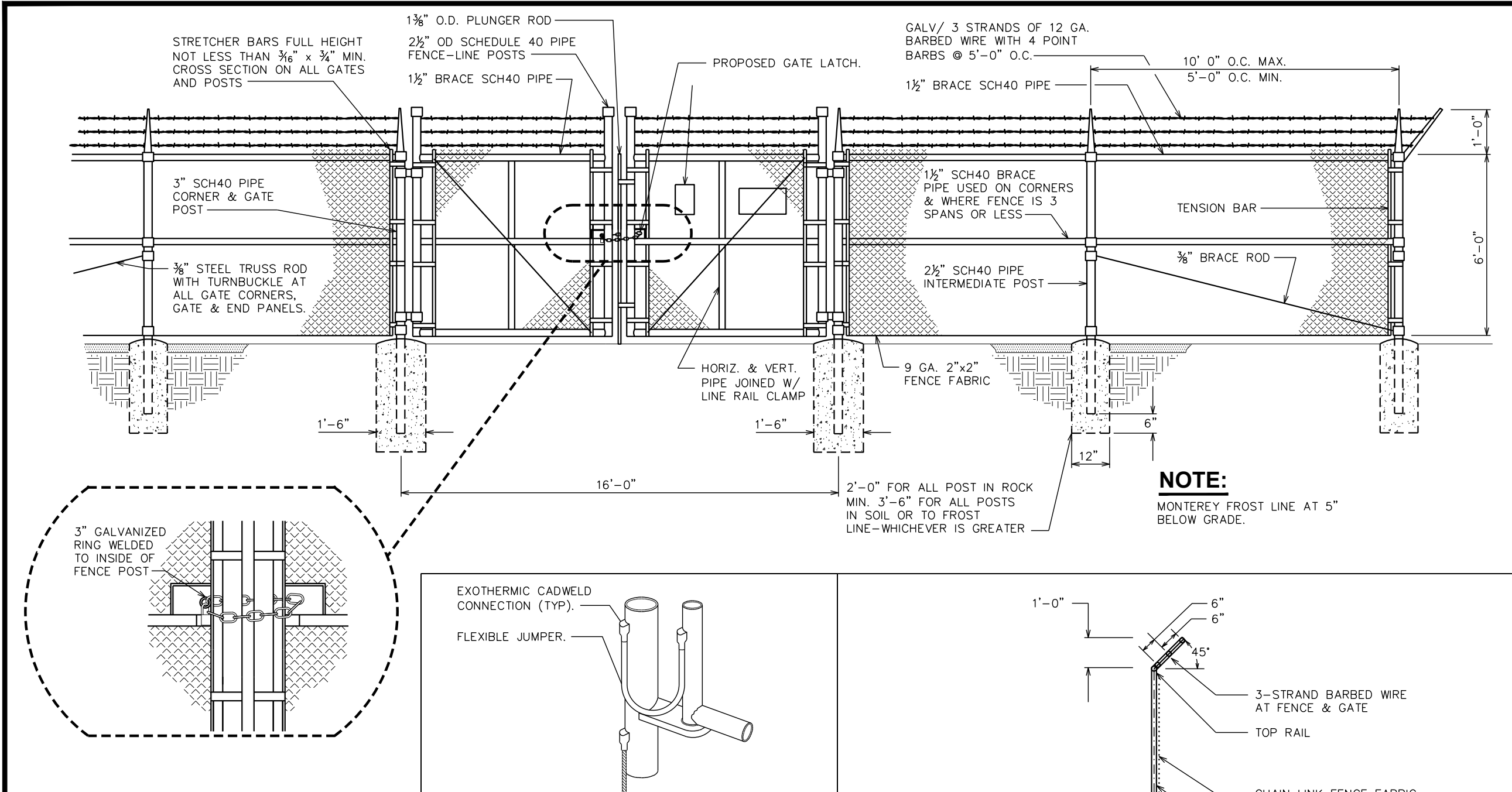


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REV	DATE	ISSUED FOR:

DRAWN BY: NMC | CHECKED BY: SEB

SHEET TITLE:
**TOWER ELEVATION
(LOOKING SOUTH &
EAST)**

SHEET NUMBER: **C-5C** | REVISION: **4**
TEP#: 326215.375666

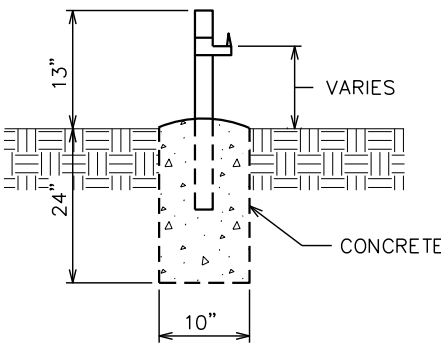
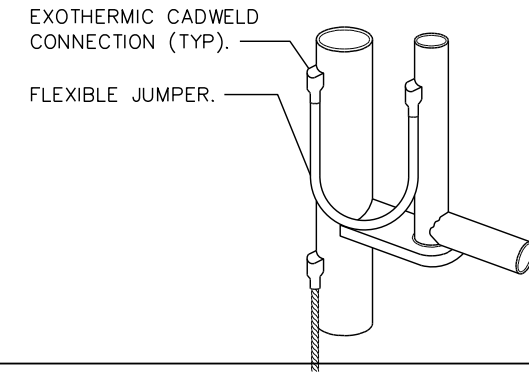


TYPICAL FENCE ELEVATION

SCALE: N.T.S.

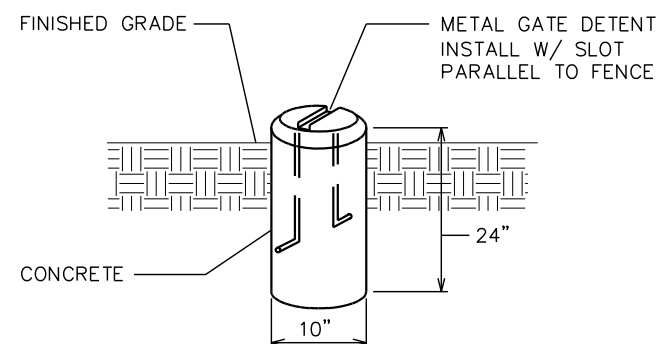
GROUNDING AT GATE POST

SCALE: N.T.S.



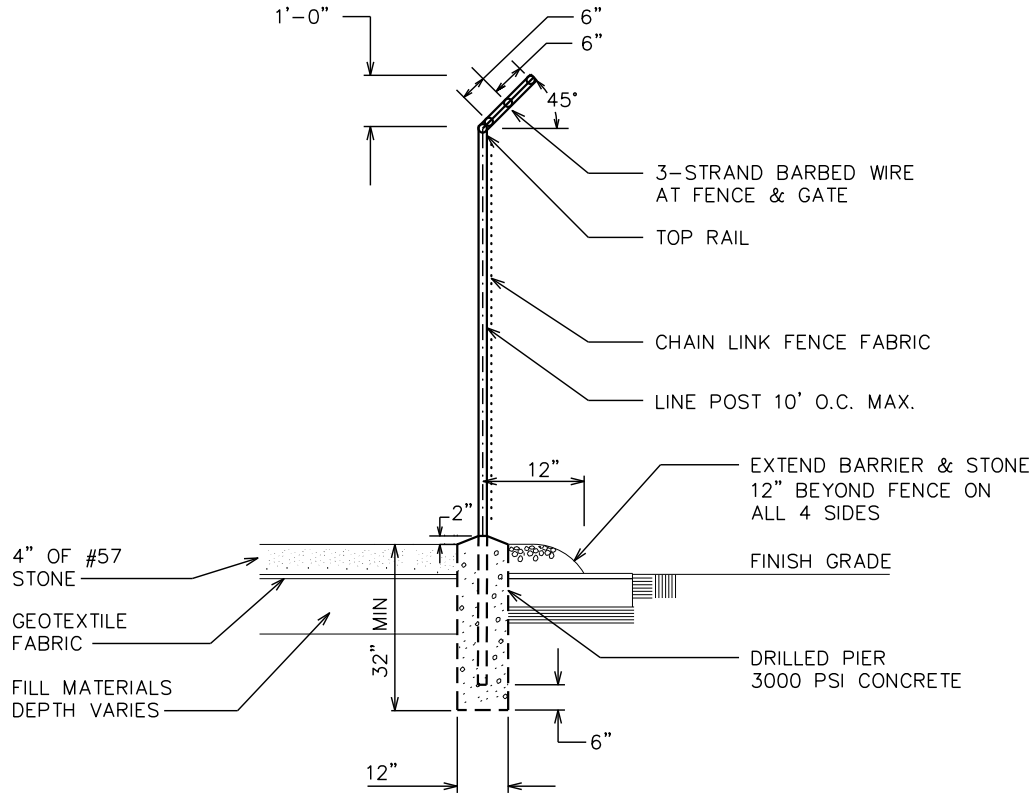
TYPICAL FENCE ELEVATION

SCALE: N.T.S.



GATE DETENT DETAIL

SCALE: N.T.S.



FENCE / BARBED WIRE ARM DETAIL

SCALE: N.T.S.

PROJECT INFORMATION:
VT-CA-0058
TORO PARK
225 RIVER ROAD
SALINAS, CA 93908
(MONTEREY COUNTY)

PLANS PREPARED FOR:

Vertex Towers

VERTEX TOWERS
2 COMMERCIAL ST
SHARON, MA 02067
OFFICE: (617) 817-8564

PLANS PREPARED BY:

TEP

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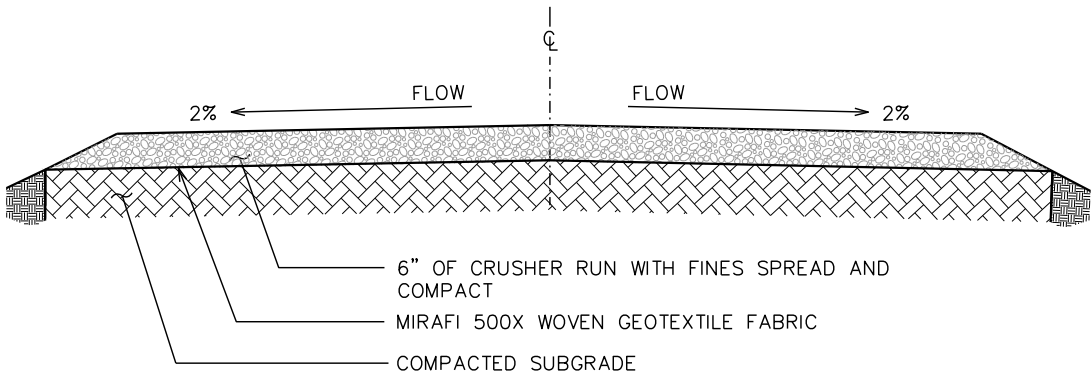
SHEET TITLE:

FENCE DETAILS

SHEET NUMBER: **C-6**

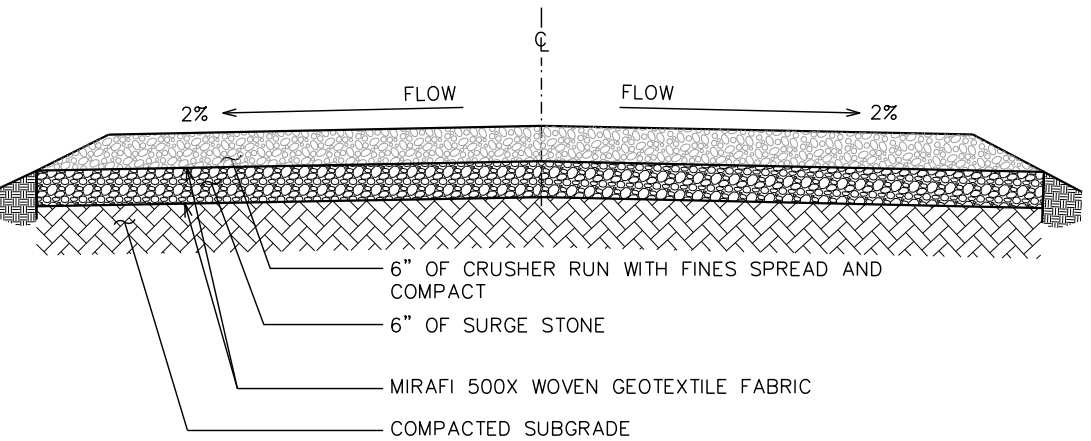
REVISION: **4**

TEP#: 326215.375666



STANDARD ROAD SECTION (GOOD SUBGRADE)

SCALE: $\frac{3}{8}$ " = 1'-0"



STANDARD ROAD SECTION (POOR SUBGRADE)

SCALE: $\frac{3}{8}$ " = 1'-0"

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PLANS PREPARED FOR:



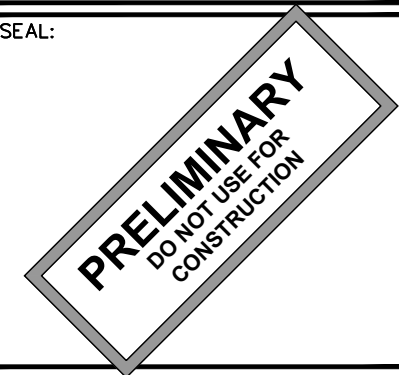
VERTEX TOWERS
2 COMMERCIAL ST
SHARON, MA 02067
OFFICE: (617) 817-8564

PLANS PREPARED BY:



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SEAL:



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REV	DATE	ISSUED FOR:

DRAWN BY: CHECKED BY:

SHEET TITLE:

**DRIVEWAY &
CULVERT DETAILS**

SHEET NUMBER: **C-7** REVISION: **4**
TEP#: 326215.375666

NOTE:

CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE ACROSS COMPOUND.

LEGEND	
SILT FENCE	
LODA	

(3) EXISTING LARGE TREES TO BE REMOVED AND RELOCATED. SEE NOTES ON THIS SHEET.

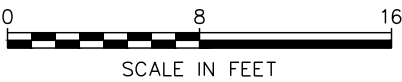
EXISTING SHRUBS AND WEED TO BE REMOVED THROUGHOUT EXTENTS OF COMPOUND. SEE NOTES ON THIS SHEET.

PROPOSED SILT FENCE TO BE INSTALLED AROUND PERIMETER OF DISTURBED LEASE AREA AND FENCED COMPOUND

ACCESSIBLE GRAVEL DRIVE AND ACCESS GATE SHALL BE SECURED AT ENTRANCE WITH STRAW BALES DURING ANY RAIN EVENT.

CLEARING & EROSION CONTROL PLAN

SCALE: 1/8" = 1'-0"



CLEARING EXTENTS

CLEARING & TREE REMOVAL NOTES:

- REFER TO TREE REMOVAL AND MITIGATION REPORT BY HOPE ENVIRONMENTAL CONSULTING, DAVID HOPE RPF/CPESC FOR ADDITIONAL DETAILS AND NARRATIVE.
- THREE EXISTING LARGE WILLOW TREES SHALL BE REMOVED AND RELOCATED.
 - ENSURE NEW SITE IS EXCAVATED BEFORE REMOVAL FOR QUICK PLACEMENT.
 - CUT TO SO THE BOTTOM 10' OF THE TREE BASE AND ROOT-WAD REMAIN.
 - WRAP TREE AND ROOT-WAD IN CANVAS AND KEEP MOIST FOR TRANSPORT TO APPROVED SITE ALONG THE SALINAS RIVER.
 - RE-BURY THE TREES IMMEDIATELY AFTER EXCAVATION AND RE-LOCATION.
 - A QUALIFIED EXPERT SHOULD SUPERVISE THE RELOCATION AND EXCAVATION MONITORING.
 - INSPECTIONS FOR COMPLIANCE SHOULD BE CONDUCTED BY A CERTIFIED ARBORIST OR REGISTERED PROFESSIONAL FORESTER.
- ARUNDO DONAX WEEDS/NON-NATIVE INVASIVE SPECIES REMOVAL:
 - CURRENT ARUNDO DONAX WEEDS SHALL BE REMOVED USING A BACKHOE OR EXCAVATOR.
 - ENSURE PLANT IS UPROOTER AND TRANSPORTED TO AN APPROPRIATE DISPOSAL SITE OR INCINERATED TO ENSURE NO LIVING FRAGMENTS REMAIN.
 - SPECIAL ATTENTION SHALL BE GIVEN AROUND ITS ORIGINAL LOCATION, WHERE IT IS CRUCIAL TO REMOVE ALL ROOTS AND SMALL RHIZOMES BELOW THE SOIL AND SURROUNDING EXISTING PLANTS.

REGISTERED PROFESSIONAL FORESTER CONTACT/MONTERY COUNTY APPROVED FORESTER:
HOPE ENVIRONMENTAL CONSULTING
DAVID HOPE, PRINCIPAL REGISTERED FORESTER # 2614
CERTIFIED PROFESSIONAL EROSION CONTROL SPECIALIST #466
PHONE: (707) 239-0175
EMAIL: daveseverywhere@gmail.com

TREE REMOVAL NOTES

SCALE: N.T.S.

PROJECT INFORMATION:
VT-CA-0058
TORO PARK
225 RIVER ROAD
SALINAS, CA 93908
(MONTEREY COUNTY)

PLANS PREPARED FOR:



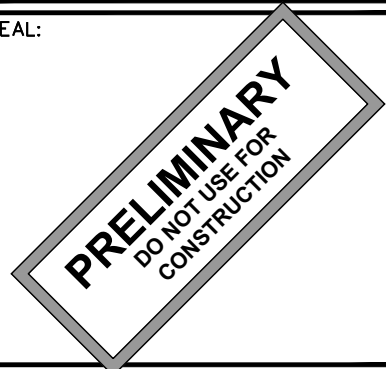
VERTEX TOWERS
2 COMMERCIAL ST
SHARON, MA 02067
OFFICE: (617) 817-8564

PLANS PREPARED BY:



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RALEIGH, NC 27603
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SEAL:



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DRAWN BY: CHECKED BY:

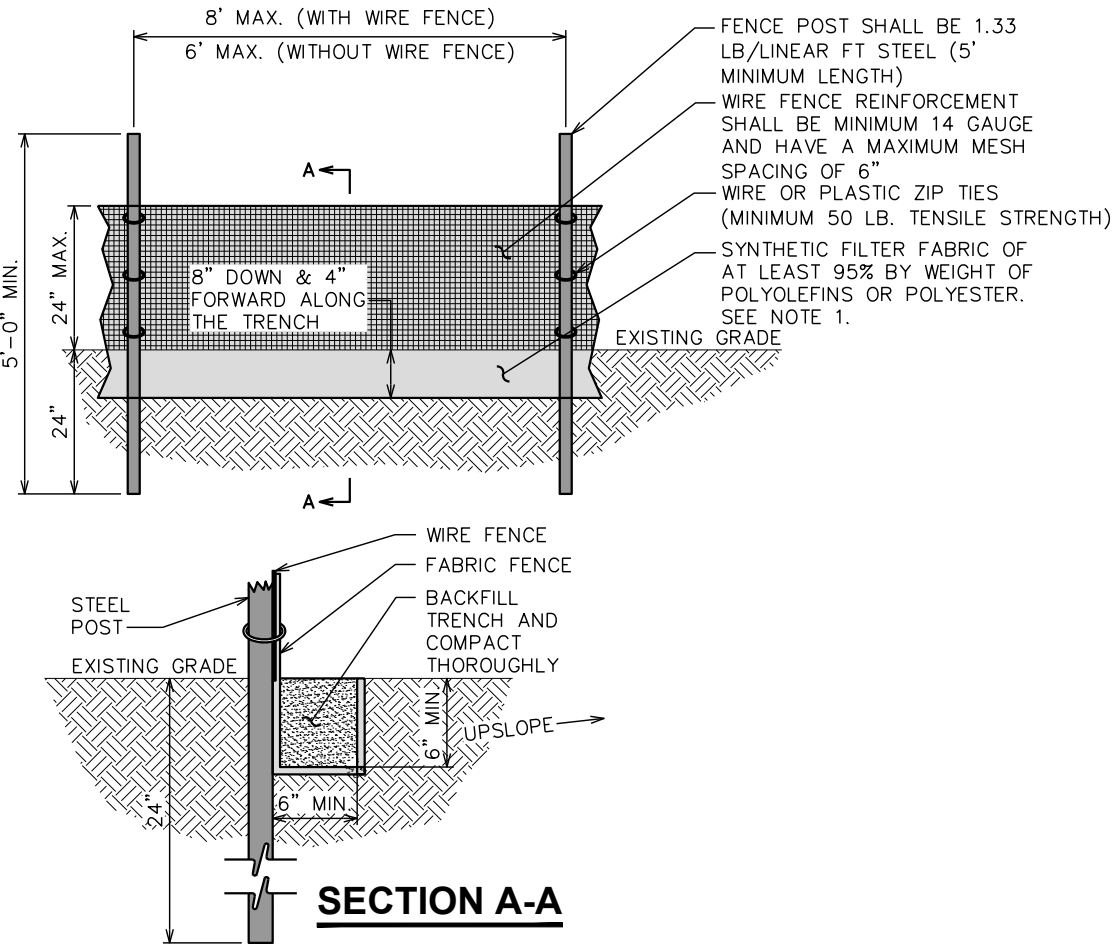
SHEET TITLE:

CLEARING & EROSION CONTROL PLAN

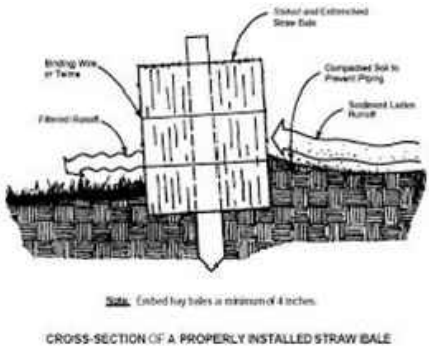
SHEET NUMBER:	REVISION:
C-8	4
TEP#: 326215.375666	

NOTES:

- 1. FILTER FABRIC SHALL CONFORM TO THE REQUIREMENTS LISTED IN ASTM D 6461.
- 2. ENDS OF INDIVIDUAL FILTER FABRIC SHALL BE SECURELY FASTENED AT A SUPPORT POST WITH 4 FEET MINIMUM OVERLAP TO THE NEXT POST.
- 3. PLACE 12 INCHES OF FABRIC ALONG THE BOTTOM AND SIDE OF THE TRENCH.
- 4. INSPECT SEDIMENT FENCE(S) AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL.
- 5. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE.
- 6. AFTER CONSTRUCTION IS COMPLETE, THE CONTRACTOR SHALL REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS, BRING THE AREA TO GRADE AND PROPERLY STABILIZE THE SITE.



STRAW BALE DRY DAM SAMPLE



STRAW BALE STAKING SAMPLE

EROSION CONTROL PLAN NOTES:

- 1. REFER TO EROSION CONTROL PLAN REPORT BY HOPE ENVIRONMENTAL CONSULTING, DAVID HOPE CPESC # 466 FOR ADDITIONAL DETAILS AND NARRATIVE.
- 2. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- 3. IN ACCORDANCE WITH THE CALIFORNIA STATE WATER BEST MANAGEMENT PRACTICES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND INSPECTION OF ALL EROSION CONTROL DEVICES LOCATED ON PRIVATE PROPERTY.
- 4. ALL MATERIALS NECESSARY FOR EROSION CONTROL SHALL BE ON SITE BY SEPTEMBER 15th AND IN PLACE BY OCTOBER 1st.
- 5. EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON, OR FROM OCTOBER 15th THROUGH APRIL 30th.
- 6. IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE AT ONCE, AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVED EROSION CONTROL PLAN.
 - A. SILT FENCE WILL BE SECURED AROUND THE CONSTRUCTION SITE INCLUDING CLOSING THE GATE.
 - B. PRIOR TO GATE CLOSER ALL BARE SOILS WILL BE COVERED WITH 4mil PLASTIC TO PREVENT RAIN DROP IMPACT.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL INSTALLATIONS AFTER EACH STORM.

EROSION CONTROL NOTES

SCALE: N.T.S.

EXCAVATED SOIL / CONTROL AREA NOTES:

- 1. ALL EROSION CONTROL STRUCTURES SHALL BE MAINTAINED UNTIL CONSTRUCTION IS FINISHED. UPON COMPLETION ALL BARE SOILS SHALL BE COVERED WITH CLEAN WOOD CHIPS AT LEAST 6" DEEP.
- 2. ALL EXCAVATED SOIL SHALL BE COVERED ONSITE OR MOVED TO A DRY DAM AND COVERED WITH PLASTIC DURING ANY RAINFALL. [DRY DAM SHALL BE A MINIMUM OF 10'x15']
- 3. THE 10'x15' DRY DAM WILL BE CONSTRUCTED WITH HAY BALES AND PROFESSIONALLY INSTALLED TO PREVENT SOILS OR SEDIMENT TRANSPORT (REFER TO EROSION CONTROL PLAN). ALL MATERIALS PLACED IN DRY DAM WILL BE COVERED WITH 4mil PLASTIC SHEETING SO NO RAIN CAN ENTER. THIS MAY REQUIRE CREATING HIGH CENTER TO DRAIN WATER OVER THE EDGE, ½ INCH PVC PIPE CAN SUFFICE.
- 4. AT NO TIME WILL EQUIPMENT OR VEHICLES TRACK ON THEIR TIRES ANY MUD OR DIRT OUTSIDE THE SILT FENCE AREA UNLESS IMMEDIATELY REMOVED AT THE EXIT GATE AND PROPERLY TRANSPORTED TO THE CONTROL AREA.

WINTER OPERATING PLAN (OCTOBER 15th TO APRIL 15th)

- 1. NO WORK SHALL OCCUR IF THERE IS A 25% OR GREATER CHANCE OF RAIN WITHIN 24 HOURS.
- 2. ALL BARE SOILS WITHIN THE SILT FENCE SHALL BE COMPLETELY COVERED WITH 6 INCHES OF WOOD CHIPS OR 4mil PLASTIC SHEETING WHILE WORK IS NOT COMMENCING.
- 3. WITHIN THE CONSTRUCTION AREA DURING RAINFALL, ALL EXPOSED SOILS WILL BE COVERED WITH 4mil PLASTIC SHEETING TO GUARD AGAINST RAIN IMPACT.
- 4. WORK CAN ONLY OCCUR DURING DRY RAINLESS PERIODS.
- 5. UPON COMPLETION OF CONSTRUCTION, A PERMANENT LAYER OF WOOD CHIPS, AT 6 INCHES DEEP, WILL BE ESTABLISHED

PROJECT INFORMATION:
VT-CA-0058
TORO PARK
225 RIVER ROAD
SALINAS, CA 93908
(MONTEREY COUNTY)

PLANS PREPARED FOR:



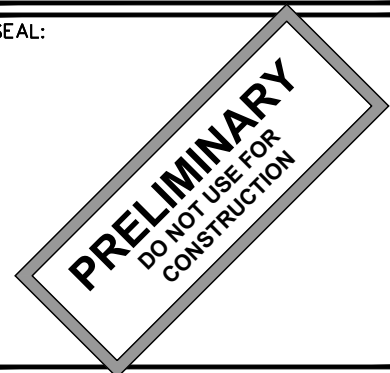
VERTEX TOWERS
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SHARON, MA 02067
OFFICE: (617) 817-8564

PLANS PREPARED BY:



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RALEIGH, NC 27603
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SEAL:



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DRAWN BY: CHECKED BY:

SHEET TITLE:

SILT FENCE
DETAILS

SHEET NUMBER:	REVISION:
C-9	4
	TEP#: 326215.375666

NOTES:

1. SIGNS SHALL BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL, AND PAINTED WITH LONG LASTING UV RESISTANT COATINGS.
2. SIGNS (EXCEPT WHERE NOTED OTHERWISE) SHALL BE MOUNTED TO THE TOWER, GATE AND FENCE USING A MINIMUM OF 9 GAUGE ALUMINUM WIRE, HOG RINGS (AS UTILIZED IN FENCE INSTALLATIONS) OR BRACKETS WHERE NECESSARY. BRACKETS SHALL BE OF SIMILAR METAL AS THE STRUCTURE TO AVOID GALVANIC CORROSION.
3. ADDITIONAL E911 ADDRESS SIGNS ARE REQUIRED AT EACH ACCESS ROAD GATE LEADING TO THE COMPOUND AS WELL AS ON THE COMPOUND GATE ITSELF.
4. ADDITIONAL FCC REGISTRATION # SIGNS ARE REQUIRED AT EACH ACCESS ROAD GATE LEADING TO THE COMPOUND AS WELL AS ON THE COMPOUND GATE ITSELF. SIGN SHALL MEASURE (20" LONG x 4" TALL). THE LETTERS SHALL BE 1" AND THE NUMBERS SHALL BE 2".
5. RECOMMENDED SOURCES FOR OBTAINING SIGNAGE:

ST. CLAIR SIGNS
3184 WADE HAMPTON BOULEVARD
TAYLORS, SC 29687
(864) 244-0040

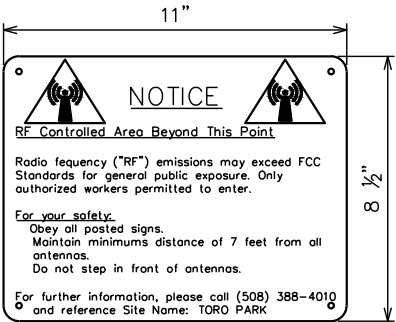
RF EXPOSURE SIGNS
RICHARD TELL ASSOCIATES
3433 RINGSTAR ROAD, SUITE 3
NORTH LAS VEGAS, NV 89030
(702) 645-3338

EXCEL SIGN & DECAL
1509 NORTH MILPITAS BLVD.
MILPITAS, CA 95035
(408) 942-8881

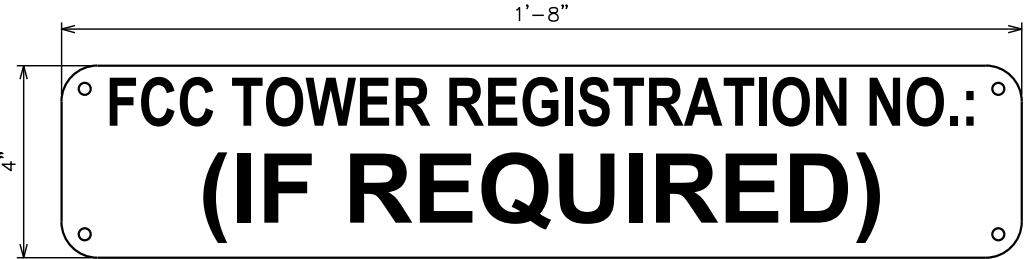
- ① SITE IDENTIFICATION SIGN (TYP)
- ② FCC/RF EXPOSURE SIGN
- ③ STREET ADDRESS SIGN
- ④ TOWER REGISTRATION SIGN



- ① SITE IDENTIFICATION
- 48" X 48" ALUMINUM SIGN WITH ¼" DRILLED HOLDER IN EACH CORNER
THICKNESS: 0.04" (⅛") OR CLOSEST STANDARD THICKNESS
QUANTITY: 1
- VERIFY E911 ADDRESS PRIOR TO SIGN FABRICATION AND INSTALLATION



- ② WHITE BACKGROUND W/ BLACK LETTERING



- ④ WHITE BACKGROUND WITH BLACK LETTERING
QUANTITY: (2)
TO BE MOUNTED ON: COMPOUND ACCESS GATE
ACCESS DRIVE GATE
(SEE NOTE 4)

NOTE:
NUMBER SHOWN IS GENERIC,
CONTACT CONSTRUCTION MANAGER
FOR ACTUAL FCC TOWER REG. #.

PROJECT INFORMATION:
VT-CA-0058
TORO PARK
225 RIVER ROAD
SALINAS, CA 93908
(MONTEREY COUNTY)

PLANS PREPARED FOR:



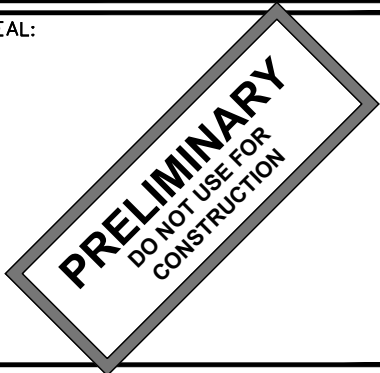
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SHEET TITLE:

SIGNAGE DETAILS

SHEET NUMBER:	REVISION:
C-10	4
	TEP#: 326215.375666

TYPICAL SIGNS AND SPECIFICATIONS

SCALE: N.T.S.

SCOPE:

1. PROVIDE LABOR, MATERIALS, INSPECTION, AND TESTING TO PROVIDE CODE COMPLIANCE FOR ELECTRIC, TELEPHONE, AND GROUNDING/LIGHTNING SYSTEMS.

CODES:

1. THE INSTALLATION SHALL COMPLY WITH APPLICABLE LAWS AND CODES. THESE INCLUDE BUT ARE NOT LIMITED TO THE LATEST ADOPTED EDITIONS OF:
- A. THE NATIONAL ELECTRICAL SAFETY CODE

B. THE NATIONAL ELECTRIC CODE – NFPA–70

C. REGULATIONS OF THE SERVING UTILITY COMPANY

D. LOCAL AND STATE AMENDMENTS

E. THE INTERNATIONAL ELECTRIC CODE – IEC (WHERE APPLICABLE)
2. PERMITS REQUIRED SHALL BE OBTAINED BY THE CONTRACTOR.
3. AFTER COMPLETION AND FINAL INSPECTION OF THE WORK, THE OWNER SHALL BE FURNISHED A CERTIFICATE OF COMPLETION AND APPROVAL.

TESTING:

1. UPON COMPLETION OF THE INSTALLATION, OPERATE AND ADJUST THE EQUIPMENT AND SYSTEMS TO MEET SPECIFIED PERFORMANCE REQUIREMENTS. THE TESTING SHALL BE DONE BY QUALIFIED PERSONNEL.

GUARANTEE:

1. IN ADDITION TO THE GUARANTEE OF THE EQUIPMENT BY THE MANUFACTURER, EACH PIECE OF EQUIPMENT SPECIFIED HEREIN SHALL ALSO BE GUARANTEED FOR DEFECTS OF MATERIAL OR WORKMANSHIP OCCURRING DURING A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE OF THE WORK BY THE OWNER AND WITHOUT EXPENSE TO THE OWNER.
2. THE WARRANTEE CERTIFICATES & GUARANTEES FURNISHED BY THE MANUFACTURERS SHALL BE TURNED OVER TO THE OWNER.

UTILITY CO-ORDINATION:

1. CONTRACTOR SHALL COORDINATE WORK WITH THE POWER AND TELEPHONE COMPANIES AND SHALL COMPLY WITH THE SERVICE REQUIREMENTS OF EACH UTILITY COMPANY.

EXAMINATION OF SITE:

1. PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL VISIT THE SITE OF THE JOB AND SHALL FAMILIARIZE THEMSELVES WITH THE CONDITIONS AFFECTING THE PROPOSED ELECTRICAL INSTALLATION AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. FAILURE TO COMPLY WITH THE INTENT OF THIS SECTION WILL IN NO WAY RELIEVE THE CONTRACTOR OF PERFORMING THE WORK NECESSARY FOR A COMPLETE AND WORKING SYSTEM OR SYSTEMS.

CUTTING, PATCHING AND EXCAVATION:

1. COORDINATION OF SLEEVES, CHASES, ETC., BETWEEN SUBCONTRACTORS WILL BE REQUIRED PRIOR TO THE CONSTRUCTION OF ANY PORTION OF THE WORK. CUTTING AND PATCHING OF WALLS, PARTITIONS, FLOORS, AND CHASES IN CONCRETE, WOOD, STEEL OR MASONRY SHALL BE DONE AS PROVIDED ON THE DRAWINGS.
2. NECESSARY EXCAVATIONS AND BACKFILLING INCIDENTAL TO THE ELECTRICAL WORK SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWING.
3. SEAL PENETRATIONS THROUGH RATED WALLS, FLOORS, ETC., WITH APPROVED METHOD AS LISTED BY UL.

RACEWAYS / CONDUITS GENERAL:

1. EXTERIOR RACEWAYS AND GROUNDING SLEEVES SHALL BE SEALED AT POINTS OF ENTRANCE AND EXIT. THE RACEWAY SYSTEM SHALL BE BONDED PER NEC.

EXTERIOR CONDUIT:

1. EXPOSED CONDUIT SHALL BE NEATLY INSTALLED AND RUN PARALLEL OR PERPENDICULAR TO STRUCTURAL ELEMENTS. SUPPORTS AND MOUNTING HARDWARE SHALL BE HOT DIPPED GALVANIZED STEEL.
2. THE CONDUIT SHALL BE RIGID STEEL AT GRADE TRANSITIONS OR WHERE EXPOSED TO DAMAGE.
3. UNDERGROUND CONDUITS SHALL BE RIGID STEEL, SCH40 PVC, OR SCH80 PVC AS INDICATED ON THE DRAWINGS.
4. BURIAL DEPTH OF CONDUITS SHALL BE AS REQUIRED BY CODE FOR EACH SPECIFIC CONDUIT TYPE AND APPLICATION, BUT SHALL NOT BE LESS THAN THE FROST DEPTH AT THE SITE.
5. CONDUIT ROUTES ARE SCHEMATIC. CONTRACTOR SHALL FIELD VERIFY ROUTES BEFORE BID. COORDINATE ROUTE WITH OWNER.

INTERIOR CONDUIT:

1. CONCEALED CONDUIT IN WALLS OR INTERIOR SPACES ABOVE GRADE MAY BE EMT OR PVC.
2. CONDUIT RUNS SHALL USE APPROVED COUPLINGS AND CONNECTORS. PROVIDE INSULATED BUSHING FOR ALL CONDUIT TERMINATIONS. CONDUIT RUNS IN A WET LOCATION SHALL HAVE WATERPROOF FITTINGS.
3. PROVIDE SUPPORTS FOR CONDUITS IN ACCORDANCE WITH NEC REQUIREMENTS. CONDUITS SHALL BE SIZED AS REQUIRED BY NEC.

EQUIPMENT:

1. DISCONNECT SWITCHES SHALL BE SERVICE ENTRANCE RATED, HEAVY DUTY TYPE.
2. CONTRACTOR SHALL VERIFY MAXIMUM AVAILABLE FAULT CURRENT AND COORDINATE INSTALLATION WITH THE LOCAL UTILITY BEFORE STARTING WORK. CONTRACTOR WILL VERIFY THAT EXISTING CIRCUIT BREAKERS ARE RATED FOR MORE THAN AVAILABLE FAULT CURRENT AND REPLACE AS NECESSARY.
3. NEW CIRCUIT BREAKERS SHALL BE RATED TO WITHSTAND THE MAXIMUM AVAILABLE FAULT CURRENT AS DETERMINED BY THE LOCAL UTILITY.

CONDUCTORS:

1. FURNISH AND INSTALL CONDUCTORS SPECIFIED IN THE DRAWINGS. CONDUCTORS SHALL BE COPPER AND SHALL HAVE TYPE THWN (MIN) (75° C) INSULATION, RATED FOR 600 VOLTS.
2. THE USE OF ALUMINUM CONDUCTORS SHALL BE LIMITED TO THE SERVICE FEEDERS INSTALLED BY THE UTILITY.
3. CONDUCTORS SHALL BE PROVIDED AND INSTALLED AS FOLLOWS:
- A. MINIMUM WIRE SIZE SHALL BE #12 AWG.

B. CONDUCTORS SIZE #8 AND LARGER SHALL BE STRANDED. CONDUCTORS SIZED #10 AND #12 MAY BE SOLID OR STRANDED.

C. CONNECTION FOR #10 AWG #12 AWG SHALL BE BY TWISTING TIGHT AND INSTALLING INSULATED PRESSURE OR WIRE NUT CONNECTIONS.

D. CONNECTION FOR #8 AWG AND LARGER SHALL BE BY USE OF STEEL CRIMP–ON SLEEVES WITH NYLON INSULATOR.
3. CONDUCTORS SHALL BE COLOR CODED IN ACCORDANCE WITH NEC STANDARDS.

UL COMPLIANCE:

1. ELECTRICAL MATERIALS, DEVICES, CONDUCTORS, APPLIANCES, AND EQUIPMENT SHALL BE LABELED/LISTED BY UL OR ACCEPTED BY JURISDICTION (I.E., LOCAL COUNTY OR STATE) APPROVED THIRD PARTY TESTING AGENCY.

GROUNDING:

1. ELECTRICAL NEUTRALS, RACEWAYS AND NON–CURRENT CARRYING PARTS OF ELECTRICAL EQUIPMENT AND ASSOCIATED ENCLOSURES SHALL BE GROUNDED IN ACCORDANCE WITH NEC ARTICLE 250. THIS SHALL INCLUDE NEUTRAL CONDUCTORS, CONDUITS, SUPPORTS, CABINETS, BOXES, GROUND BUSSES, ETC. THE NEUTRAL CONDUCTOR FOR EACH SYSTEM SHALL BE GROUNDED AT A SINGLE POINT.
2. PROVIDE GROUND CONDUCTOR IN RACEWAYS PER NEC.
3. PROVIDE BONDING AND GROUND TO MEET NFPA 780 – "LIGHTNING PROTECTION" AS A MINIMUM.
4. PROVIDE GROUNDING SYSTEM AS INDICATED ON THE DRAWINGS, AS REQUIRED BY THE NATIONAL ELECTRIC CODE, RADIO EQUIPMENT MANUFACTURERS, AND MOTOROLA R56 (AS APPLICABLE).

ABBREVIATIONS AND LEGEND		
A	– AMPERE	PNLBD – PANELBOARD
AFG	– ABOVE FINISHED GRADE	PVC – RIGID NON–METALLIC CONDUIT
ATS	– AUTOMATIC TRANSFER SWITCH	RGS – RIGID GALVANIZED STEEL CONDUIT
AWG	– AMERICAN WIRE GAUGE	SW – SWITCH
BCW	– BARE COPPER WIRE	TGB – TOWER GROUND BAR
BFG	– BELOW FINISHED GRADE	UL – UNDERWRITERS LABORATORIES
BKR	– BREAKER	V – VOLTAGE
C	– CONDUIT	W – WATTS
CKT	– CIRCUIT	XFMR – TRANSFORMER
DISC	– DISCONNECT	XMTR – TRANSMITTER
EGR	– EXTERNAL GROUND RING	
EMT	– ELECTRIC METALLIC TUBING	
FSC	– FLEXIBLE STEEL CONDUIT	
GEN	– GENERATOR	
GPS	– GLOBAL POSITIONING SYSTEM	
GRD	– GROUND	
IGB	– ISOLATED GROUND BAR	
IGR	– INTERIOR GROUND RING (HALO)	
KW	– KILOWATTS	
NEC	– NATIONAL ELECTRIC CODE	
PCS	– PERSONAL COMMUNICATION SYSTEM	
PH	– PHASE	
PNL	– PANEL	

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UNDERGROUND ELECTRICAL CONDUIT

UNDERGROUND TELEPHONE CONDUIT

KILOWATT–HOUR METER

UNDERGROUND BONDING AND GROUNDING CONDUCTOR.

GROUND ROD

CADWELD

GROUND ROD WITH INSPECTION WELL

PROJECT INFORMATION:

VT-CA-0058
TORO PARK

225 RIVER ROAD
SALINAS, CA 93908
(MONTEREY COUNTY)

PLANS PREPARED FOR:



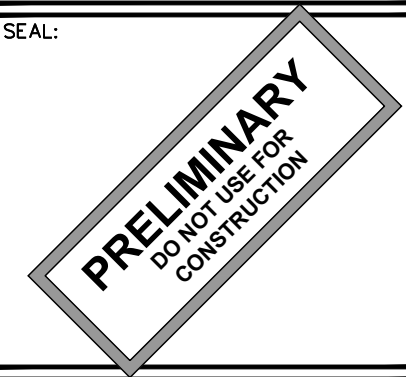
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DRAWN BY:	CHECKED BY:
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SHEET TITLE:

ELECTRICAL
NOTES

SHEET NUMBER: E-1	REVISION: 4 TEP#: 326215.375666
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T-MOBILE EQUIPMENT POWER PANEL SCHEDULE											120/240V 1-PHASE, 3-WIRE
LOAD SERVED	VOLT AMPERES (WATTS)		TRIP	CKT #	PHASE	CKT #	TRIP	VOLT AMPERES (WATTS)		LOAD SERVED	
	L1	L2						L1	L2		
6160 CABINET	8,200		100A	1	A	2	20A	180		TVSS SURGE SUPPRESSOR	
		8,200		3	B	4			180		
SPACE	-		-	5	A	6	20A	360		GFCI OUTLET/LIGHTS	
SPACE		-	-	7	B	8	20A		500	LIGHTING	
SPACE	-		-	9	A	10	-	-		SPACE	
SPACE		-	-	11	B	12	-		-	SPACE	
SPACE	-		-	13	A	14	-	-		SPACE	
SPACE		-	-	15	B	16	-		-	SPACE	
SPACE	-		-	17	A	18	-	-		SPACE	
SPACE		-	-	19	B	20	-		-	SPACE	
VOLT AMPS	8,200	8,200						540	680	VOLT AMPS	
L1 VOLT AMPERES				8,740		8,880		L2 VOLT AMPERES			
L1 AMPS				72.8		74.0		L2 AMPS			
				74.0				MAX AMPS			
				92.5				MAX AMPS x125%			

FUTURE EQUIPMENT SHOWN FOR
REFERENCE ONLY. ACTUAL
EQUIPMENT MAY VARY.

PROPOSED 600A PAD-MOUNTED
SWITCHGEAR (S&C, 14.4kV PMH-3,
CAT #55232R3 SWITCHGEAR)

PROPOSED 4'-0"x6'-6" (#6) 1Ø
COMPLETE ENCLOSURE ASSEMBLY
WITH SUBSURFACE TRANSFORMER.
(CODE: 041492)

PROPOSED 11'-0½"x10'-1¾" STEEL
PLATFORM FOR PAD-MOUNTED SWITCHGEAR
(FINAL DIMENSIONS, DESIGN PENDING
SWITCHGEAR MAKE/MODEL APPROVAL)

(P) (1)-3" PVC CONDUIT
W/ (3)-3/0, (1)-#6 GND,
(3)-#12 AWG BY T-MOBILE

TO POWER
SOURCE

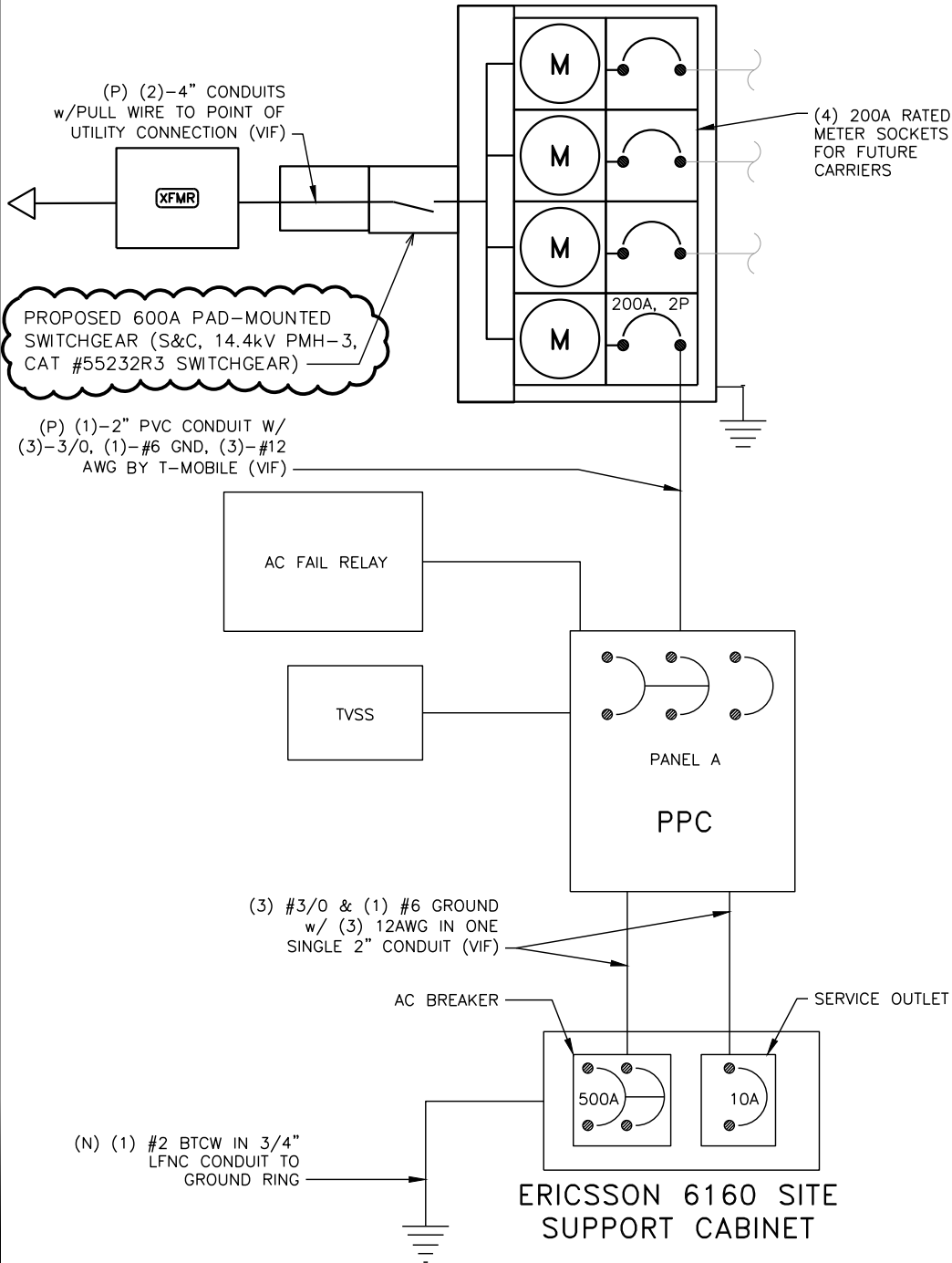
TO FIBER
HANDHOLE

ONE-LINE ELEVATION

SCALE: N.T.S.

NOTES:

1. TOTAL ELECTRICAL SERVICE SHALL BE 600A, 120/240V, 1Ø 3 WIRE.
2. SERVICE SHALL BE INSTALLED WITH A BREAKER TYPE DISCONNECT.
3. FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT, REFER TO VENDOR PRINTS PROVIDED BY EQUIPMENT CABINET OR SHELTER MANUFACTURER.
4. METER SOCKETS PROVIDED AND INSTALLED BY PG&E.
5. WHEN UTILITY COMPANY REQUIRES A SERVICE DISCONNECT OTHER THAN THE MAIN BREAKER IN POWER PANEL OF THE UTILITY CABINET, REMOVE BONDING JUMPER IN EQUIPMENT CABINET AND BOND SERVICE DISCONNECT PER NEC REQUIREMENTS.
6. POWER PANEL SCHEDULE FOR REFERENCE ONLY. CONTRACTOR TO REFER TO EQUIPMENT SPECIFICATIONS FOR EXACT POWER LOADING.
7. CONTRACTOR SHALL CONFIRM AVAILABLE FAULT CURRENT WITH UTILITY PROVIDER PRIOR TO ORDERING EQUIPMENT.



PROJECT INFORMATION:
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TORO PARK**
225 RIVER ROAD
SALINAS, CA 93908
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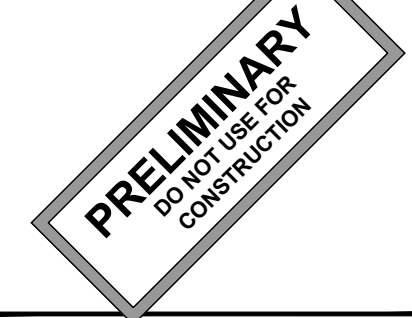
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SHEET TITLE:
**ONE-LINE ELEVATION
AND POWER PANEL
SCHEDULE**

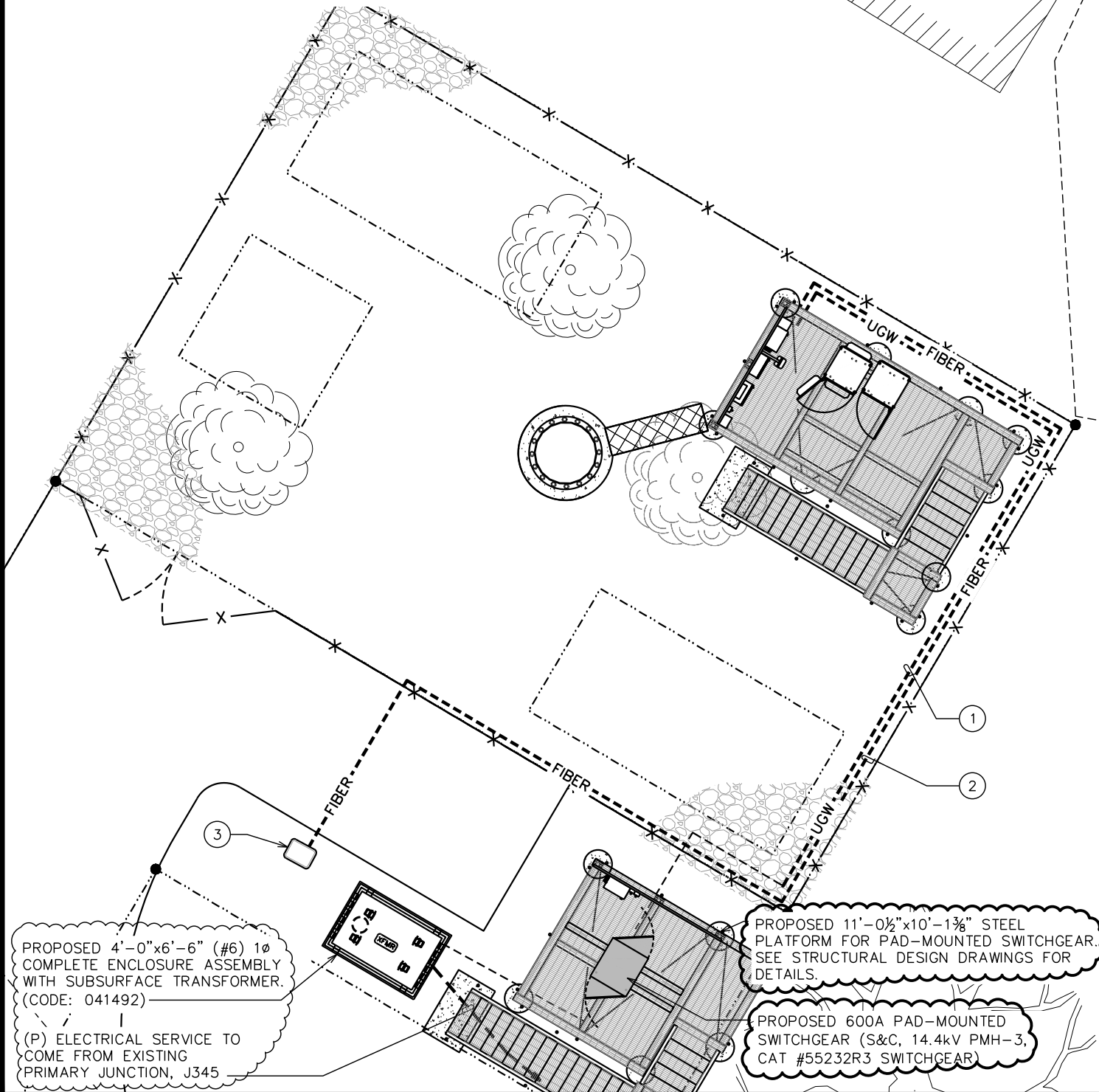
SHEET NUMBER:
E-2

REVISION:
4

TEP#: 326215.375666

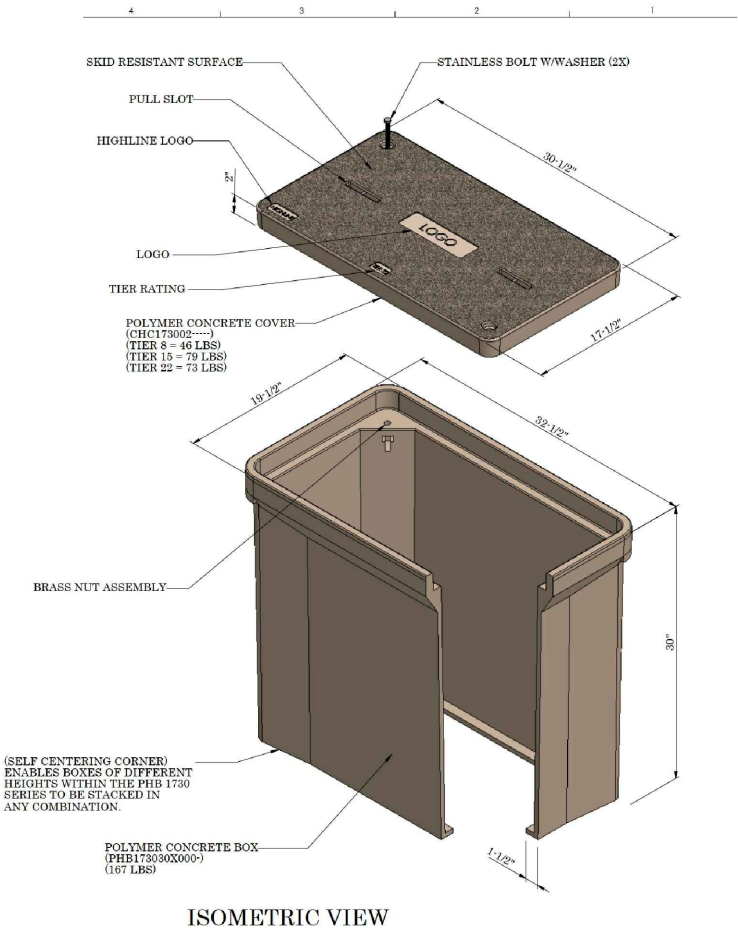
DRAWING NOTES:

- ① (1)-3" PVC CONDUIT W/ (3)-3/0, (1) #6 GND, (3) #12 AWG FOR POWER TO H-FRAME. (BY T-MOBILE). CONTRACTOR TO COORDINATE WITH PG&E FOR LOCATION OF SERVICE CONNECTION AND CONDUIT REQUIREMENTS.
- ② (1)-3" PVC FIBER CONDUIT W/ AAV BACKHAUL ALARMS 4PR 24GA CAT5E FROM NEMA ENCLOSURE ON H-FRAME TO PROPOSED FIBER HANDHOLE AT RIGHT-OF-WAY.
- ③ PROPOSED FIBER HANDHOLE (BY OTHERS). SEE DETAIL THIS SHEET. CONTRACTOR TO USE EQUIVALENT HANDHOLE TO DETAIL SHOWN ON THIS SHEET.



POWER AND FIBER PLAN

SCALE: 1" = 10'



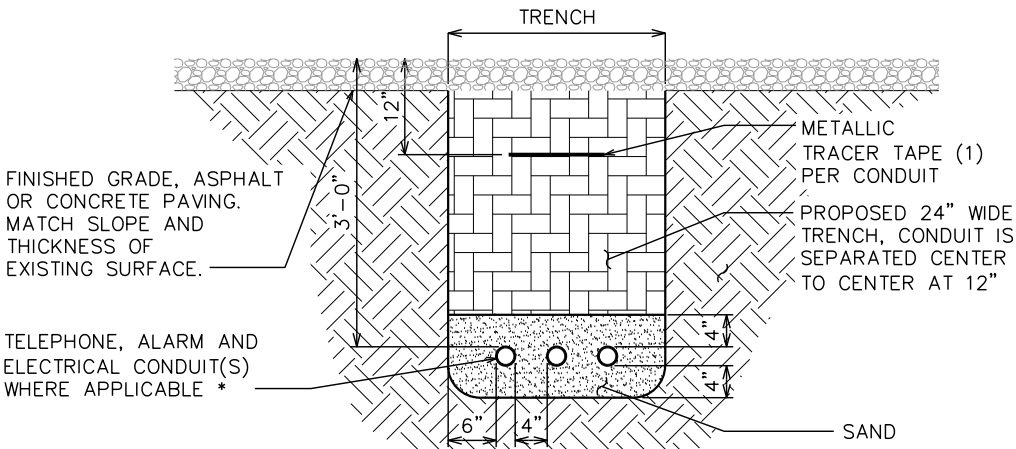
ISOMETRIC VIEW

TYPICAL FIBER HANDHOLE DETAIL

SCALE: N.T.S.

NOTES:

1. ACTUAL SEPARATION OF CONDUITS TO BE DETERMINED BY SITE SPECIFIC REQUIREMENTS.
2. PROVIDE PVC CONDUIT BELOW GRADE EXCEPT AS NOTED BELOW.
3. PROVIDE RGS CONDUIT AND ELBOWS AT STUB UP LOCATIONS (I.E. SERVICE POLES, EQUIPMENT, ETC.)
4. PROVIDE RGS CONDUIT FOR INSTALLATIONS BELOW PARKING LOTS AND ROADWAYS.



* SEPARATION DIMENSIONS TO BE VERIFIED WITH LOCAL UTILITY COMPANY REQUIREMENTS.

UNDERGROUND CONDUIT(S) TRENCH DETAIL

SCALE: N.T.S.

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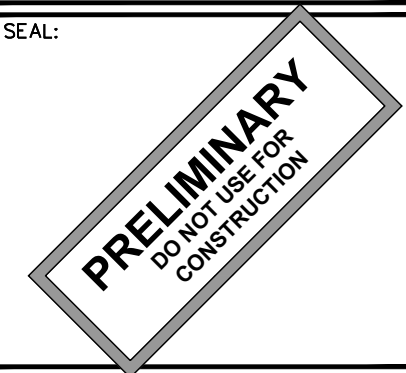
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DRAWN BY: NMC | CHECKED BY: MSG

SHEET TITLE:

**POWER AND FIBER
PLAN DETAILS**

SHEET NUMBER:

E-3

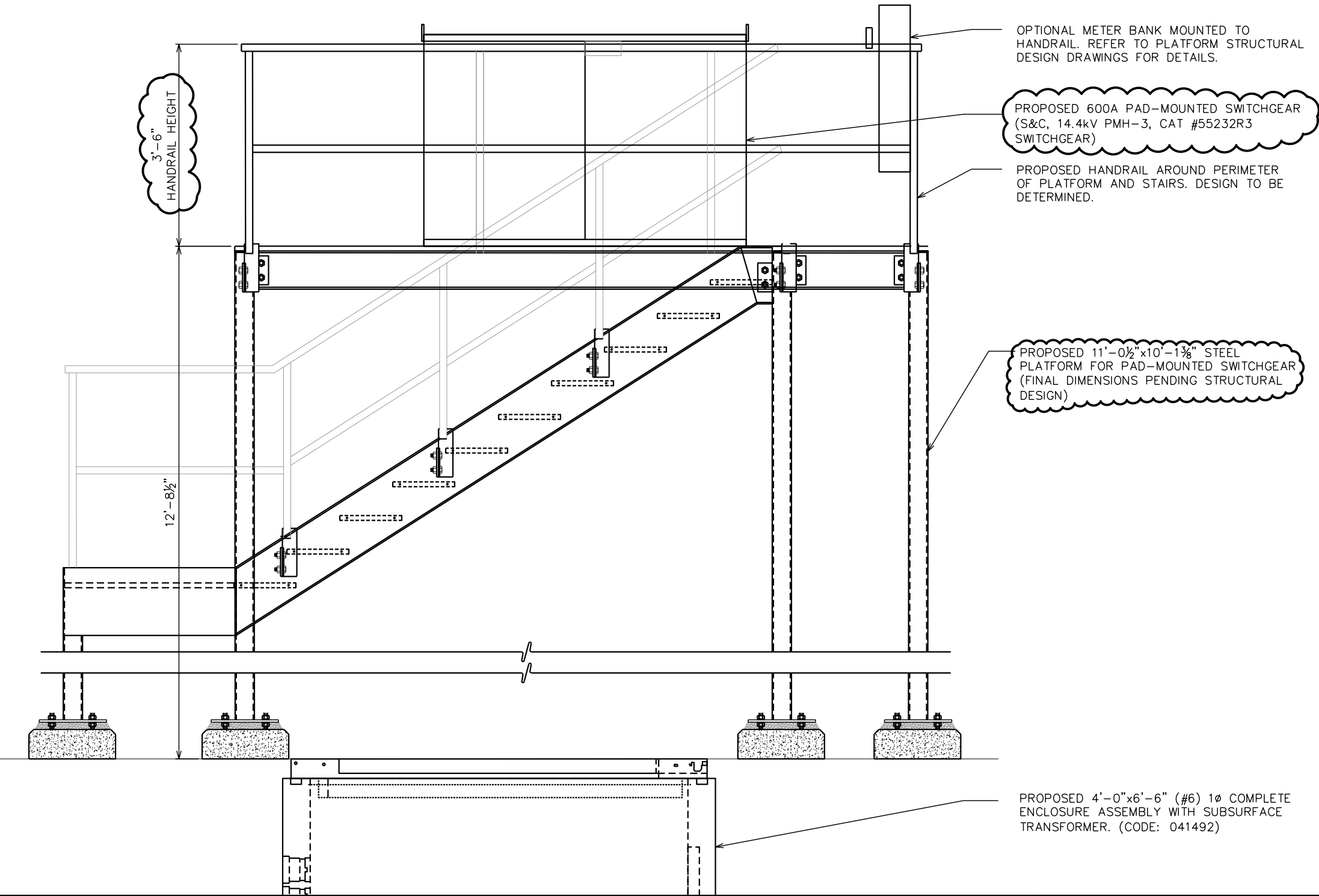
REVISION:

4

TEP#: 326215.375666

NOTES:

- 1 REFER TO THE SITE LAYOUT PLAN FOR THE EXACT LOCATION OF THE PLATFORM
- 2 CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANY FOR METER.
- 3 PACIFIC GAS & ELECTRIC (PG&E) TO PROVIDE AND INSTALL METER SOCKET.
- 4 CONTRACTOR TO ENSURE WORKING SPACES REQUIRED BY PG&E AND THE NEC (ART. 110.26), STATE, OR LOCAL CODES.



SERVICE RACK DETAILS

SCALE: ½" = 1'-0"



PROJECT INFORMATION:
VT-CA-0058
TORO PARK
225 RIVER ROAD
SALINAS, CA 93908
(MONTEREY COUNTY)

PLANS PREPARED FOR:

VERTEX TOWERS
2 COMMERCIAL ST
SHARON, MA 02067
OFFICE: (617) 817-8564

PLANS PREPARED BY:

326 TRYON ROAD
RALEIGH, NC 27603
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:

**ZONING
REVIEW**

4	04-23-26	REVISED PRELIMINARY
3	04-03-26	REVISED PRELIMINARY
2	03-20-26	REVISED PRELIMINARY
1	09-25-24	REVISED PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: NMC | CHECKED BY: NMC

SHEET TITLE:

**SERVICE
RACK DETAILS**

SHEET NUMBER:	REVISION:
E-4	4
	TEP#: 326215.375666

Primary Electric Underground Enclosures

UG-1: Enclosures
Greenbook

4' 0" x 6' 6" (#6) Complete Enclosure Assemblies (incidental transformer shown)

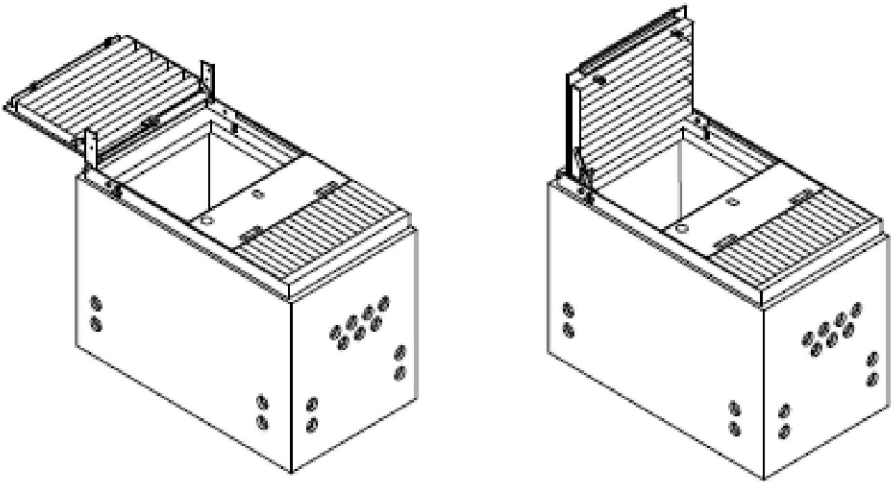


Figure 6
Isometric View of 4' 0" x 6' 6" Enclosure Assembly
(not to scale)

Table 6 Complete Enclosure Assembly (for 200-amp distribution)

Application	Enclosure Size	Type of Traffic	Type of Cover	Code ¹
1Ø Horizontal Transformers	4' 0" x 6' 6" x 5' 0"	Incidental	Quick-Release Aluminum	041492
	4' 0" x 6' 6" x 5' 0"	Full-Traffic	Quick-Release Steel	041493
	4' 0" x 6' 6" x 6' 0"	Heavy Full-Traffic	Concrete	041494
Equipment/Splice Box	4' 0" x 6' 6" x 5' 0"	Incidental	Quick-Release Aluminum	041495
	4' 0" x 6' 6" x 5' 0"	Full-Traffic	Quick-Release Steel	041496
	4' 0" x 6' 6" x 6' 0"	Heavy Full-Traffic	Concrete	041521

¹ Code includes body, frame, and cover assembly. The heavy full-traffic assembly also includes a 12" extension. When extra depth is required, order additional extension from Table 7 on Page 12.

Primary Electric Underground Enclosures

UG-1: Enclosures
Greenbook

4' 0" x 6' 6" (#6) Enclosure and Extensions

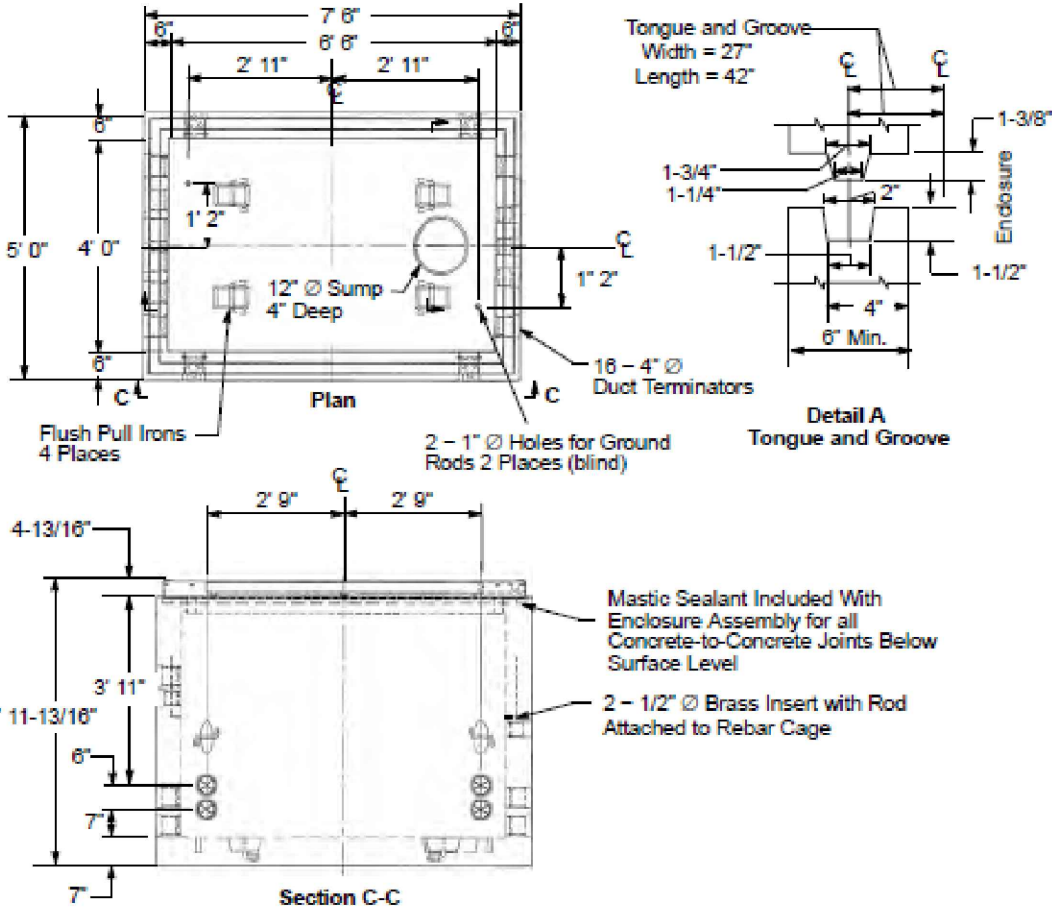


Figure 7
4' 0" x 6' 6" Body Enclosure

Table 7 Codes for Enclosure Bodies and Extensions (Figure 7)

Item	Description	Code	Weight - Approximate (lbs.)
1	Body, 60" Depth	041567	11,750
2	Extension, 6" Depth ¹	041569	800
3	Extension, 12" Depth ¹	041570	1,600
4	Extension, 18" Depth ¹	041574	2,400

¹ Joints must be interchangeable with those shown in Detail A on Page 12 and approved by PG&E electric distribution personnel.

PROJECT INFORMATION:
VT-CA-0058
TORO PARK
225 RIVER ROAD
SALINAS, CA 93908
(MONTEREY COUNTY)

PLANS PREPARED FOR:



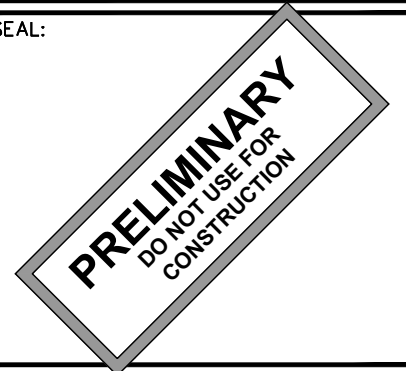
VERTEX TOWERS
2 COMMERCIAL ST
SHARON, MA 02067
OFFICE: (617) 817-8564

PLANS PREPARED BY:



326 TRYON ROAD
RALEIGH, NC 27603
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



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REV	DATE	ISSUED FOR:

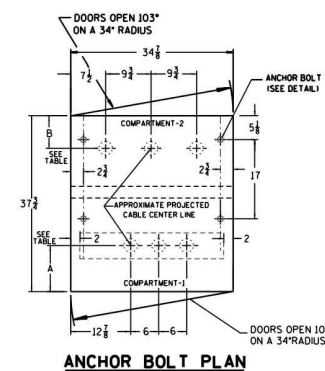
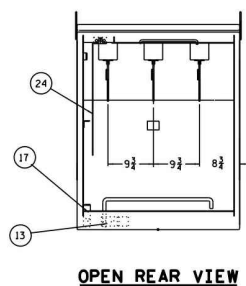
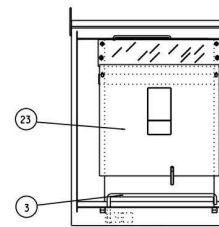
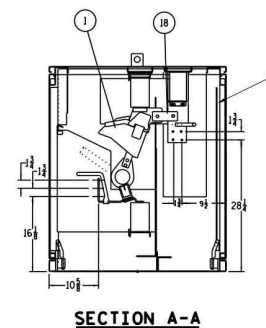
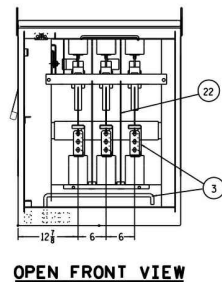
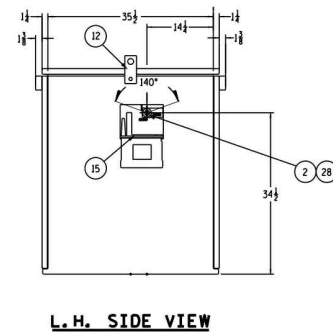
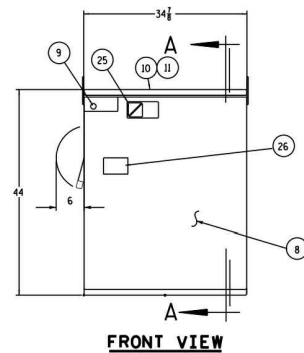
DRAWN BY: KOO CHECKED BY: KEM

SHEET TITLE:
**UNDERGROUND
TRANSFORMER
ENCLOSURE**

SHEET NUMBER:
E-5

REVISION:
4

TEP#: 326215.375666

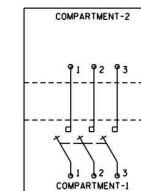
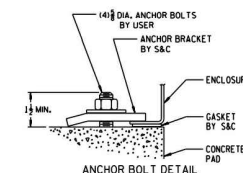


SUFFIX	DRAWING NO.	SUFFIX	DRAWING NO.
A2	CPA-1384	K14	CPA-1565
A10	CPA-1583	K17	CPA-1566
A12	CPA-1584	K18	CPA-1567
B1	CPA-1385	K19	CPA-1568
B2	CPA-1386	K20	CPA-1569
B5	CVU-2908	M1	CVU-2621
B11	CPA-1585	M2	CVU-2622
B12	CPA-1586	N6	CVU-2855
F1	CVU-2599	N7	CVU-2856
F2	CPA-1387	N8	CVU-2857
F12	CPA-1587	N9	CVU-2858
G7	CVU-2616	N11	CVU-2945
J2	CVU-2942	N12	CVU-2946
K1	CPA-1362	P1	CVU-2628
K2	CPA-1363	P3	CVU-2629
K3	CPA-1364	P4	CVU-2630
K4	CPA-1365	U2	CVU-2683
K7	CPA-1366	U3	CVU-2684
K8	CPA-1367	X	RD-7036®
K9	CPA-1368	Z	CPA-6402
K10	CPA-1369	*1	CVU-2921
K11	CPA-1562	*2	CVU-2922
K12	CPA-1563	*3	CVU-2923
K13	CPA-1564	*4	CVU-2924
		*5	CVU-2925
		*6	CVU-2926

④ OVERALL RATINGS:	
VOLTAGE, KV	14.4
NOMINAL	17.0
MAX. DESIGN	95
BIL	35
POWER FREQ. WITHSTAND	60
POWER FREQ., HZ	
SHORT-CIRCUIT:	
AMPERES, PEAK	36 400
PEAK WITHSTAND	
AMPERES, RMS SYM.	14 000
ONE-SEC. SHORT TIME WITHSTAND	
MVA, THREE-PHASE AT RATED NOMINAL VOLTAGE	350
MAIN BUS RATINGS, AMPERES:	
CONTINUOUS CURRENT	600
SHORT-CIRCUIT:	
PEAK, PEAK WITHSTAND	36 400
RMS SYM., ONE-SEC. SHORT-TIME WITHSTAND	14 000
MINI-RUPTER® SWITCH RATINGS, AMPERES:	
CONTINUOUS CURRENT	600
LIVE SWITCHING:	
LOAD SPLITTING AND LOAD DROPPING	600
SHORT-CIRCUIT:	
PEAK, PEAK WITHSTAND	36 400
RMS SYM., ONE-SEC. SHORT-TIME WITHSTAND	14 000
FAULT-MAKING, DUTY-CYCLE, THREE-TIME:	
PEAK	36 400
RMS SYM.	14 000

CABLE LOCATING DIMENSIONS			
SUFFIX	CABLE PLY REQ'D.	"A" DIM	"B" DIM
NONE	NO	9 $\frac{1}{8}$	11 $\frac{1}{8}$
M1		8 $\frac{1}{4}$ *	11 $\frac{1}{8}$ *
U2	YES ∇	10 $\frac{1}{8}$ ■	10 $\frac{1}{8}$ ■
U3		10 $\frac{1}{8}$ ▲	10 $\frac{1}{8}$ ▲
		9 $\frac{1}{2}$	10 $\frac{1}{2}$

- ◆ WHEN BASE SPACER SUFFIX K1 THRU K20 IS USED, PIT IS NOT REQUIRED.
- USE THIS DIMENSION WHEN G&W PAT-170J IS INSTALLED
- ▲ USE THIS DIMENSION WHEN JOSLYN J-9280 IS INSTALLED
- PROJECTED CABLE CENTER LINES ARE $\frac{3}{8}$ " TO THE FRONT AND REAR OF THE DIMENSION
- PROJECTED CABLE CENTER LINE IS 4" TO THE FRONT OF THIS DIMENSION.



1. 600-AMPERE MINI-RUPTER SWITCH
IN COMPARTMENT 1.
 2. SWITCH OPERATING SHAFT (3/4" HEX.)
WITH POSITION INDICATOR AND PAD-
LOCKABLE COVER.
 3. SWITCH COMPARTMENT GROUND
STUDS.
 8. HINGED CROSS-KINKED DOORS (OPEN
103 DEG.) WITH A DOOR HOLDER ROD.
 9. PENTA-LATCH DOOR-LATCHING
SYSTEM--ACCOMMODATES PADLOCK
WITH 1/2" DIA. SHACKLE.
 10. CROSS-KINKED ROOF.
 11. UNDERCOATING OF ROOF SECTION
WITH INSULATING "NO-DRIP" COMPOUND.
 12. LIFTING TABS (REMOVE AFTER
INSTALLATION AND REPLACE BOLTS).
 13. GROUND PAD WITH 2-HOLE NEMA
DRILLING TYPICAL IN EACH COMPART-
MENT.
 15. FOLDING SWITCH-OPERATING HANDLE.
CABLE SUPPORT ANGLES.
 18. 600-AMPERE ALUMINUM BUS.
 22. SWITCH BARRIERS.
 23. SWITCH DUAL-PURPOSE FRONT
BARRIERS.
 24. TERMINATION BARRIERS.
 - NAMEPLATE.
 26. WARNING SIGN.
- SPECIAL FEATURE:
27. INNER BARRIER ASSEMBLY (TERMINATION)
 28. ARROW ON SWITCH POSITION INDICATOR DIAL.

UNLESS OTHERWISE SPECIFIED:
 DECIMAL DIMS TO BE $\pm$
 FRACTIONAL DIMS TO BE $\pm$
 ANGLES TO BE $\pm$
 WHEN CHECKED,
 BREAK ALL CORNERS ☐
 WHEN CHECKED,
 REMOVE ALL BURRS ☐

55232R3-S132	3	05/26/16	SC595447	UPDATED DESCRIPTION OF SPECIAL FEATURE 28
	2	03/23/10	SC149544	RATING LABEL UPDATED TO EE
	1	06/12/01	ENW T5-6142	ADDED SPECIAL FEATURE 28.
	NO.	DATE	NOTICE NO.	
	REVISIONS			
	PROPRIETARY STATEMENT			
	THIS DOCUMENT AND ALL PREVIOUS ISSUES ARE THE SECRET AND CONFIDENTIAL PROPERTY OF THE UNITED STATES GOVERNMENT. IT IS TO BE KEPT SECRET AND CONFIDENTIAL AND NEITHER THE CONTENTS NOR THE EXISTENCE OF THIS DOCUMENT IS TO BE DISCLOSED TO ANY OTHER PERSON OR ORGANIZATION WITHOUT THE WRITTEN AUTHORIZATION OF THE SECRETARY OF THE ARMY. ANY DISCLOSURE OF THE CONTENTS OF THIS DOCUMENT TO ANY OTHER PERSON OR ORGANIZATION WITHOUT THE WRITTEN AUTHORIZATION OF THE SECRETARY OF THE ARMY IS A VIOLATION OF THE PROHIBITION ON DISCLOSURE OF SECRET INFORMATION. ANY DISCLOSURE OF THE CONTENTS OF THIS DOCUMENT TO ANY OTHER PERSON OR ORGANIZATION WITHOUT THE WRITTEN AUTHORIZATION OF THE SECRETARY OF THE ARMY IS A VIOLATION OF THE PROHIBITION ON DISCLOSURE OF SECRET INFORMATION. ANY DISCLOSURE OF THE CONTENTS OF THIS DOCUMENT TO ANY OTHER PERSON OR ORGANIZATION WITHOUT THE WRITTEN AUTHORIZATION OF THE SECRETARY OF THE ARMY IS A VIOLATION OF THE PROHIBITION ON DISCLOSURE OF SECRET INFORMATION.			

		SCALE
		DR. BY A. K.
		CH. BY AK
NEXT ASSEMBLY	PRODUCT DESCRIPTION	APP. BY JFZ
USED ON		DATE 5-31-9

	S&C ELECTRIC COMPANY GENERAL OFFICES • CHICAGO		<i>Specialists in Electric Power Switching and Protection</i>	
	DESCRIPTION S&C PAD-MOUNTED GEAR MANUAL MODEL PMH-3 14.4 KV NOMINAL, 17 KV MAX., 95 KV BTL		CATALOG DIMENSIONAL DRAWING DRAWING NO. 55232R3-S132	

PROJECT INFORMATION:
VT-CA-0058
TORO PARK
225 RIVER ROAD
SALINAS, CA 93908
(MONTEREY COUNTY)

PLANS PREPARED FOR:



VERTEX TOWERS
2 COMMERCIAL ST
SHARON, MA 02067
OFFICE: (617) 817-8564

PLANS PREPARED BY:



326 TRYON ROAD
RALEIGH, NC 27603
OFFICE: (919) 661-6351
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SEAL:

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1	09-25-24	REVISED PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: NMC	CHECKED BY: MSQ
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SHEET TITLE:

PMH-3 PAD-MOUNTED SWITCHGEAR

SHEET NUMBER:

E-6

REVISION:

4

TEP#: 326215.375666

GROUNDING NOTES:

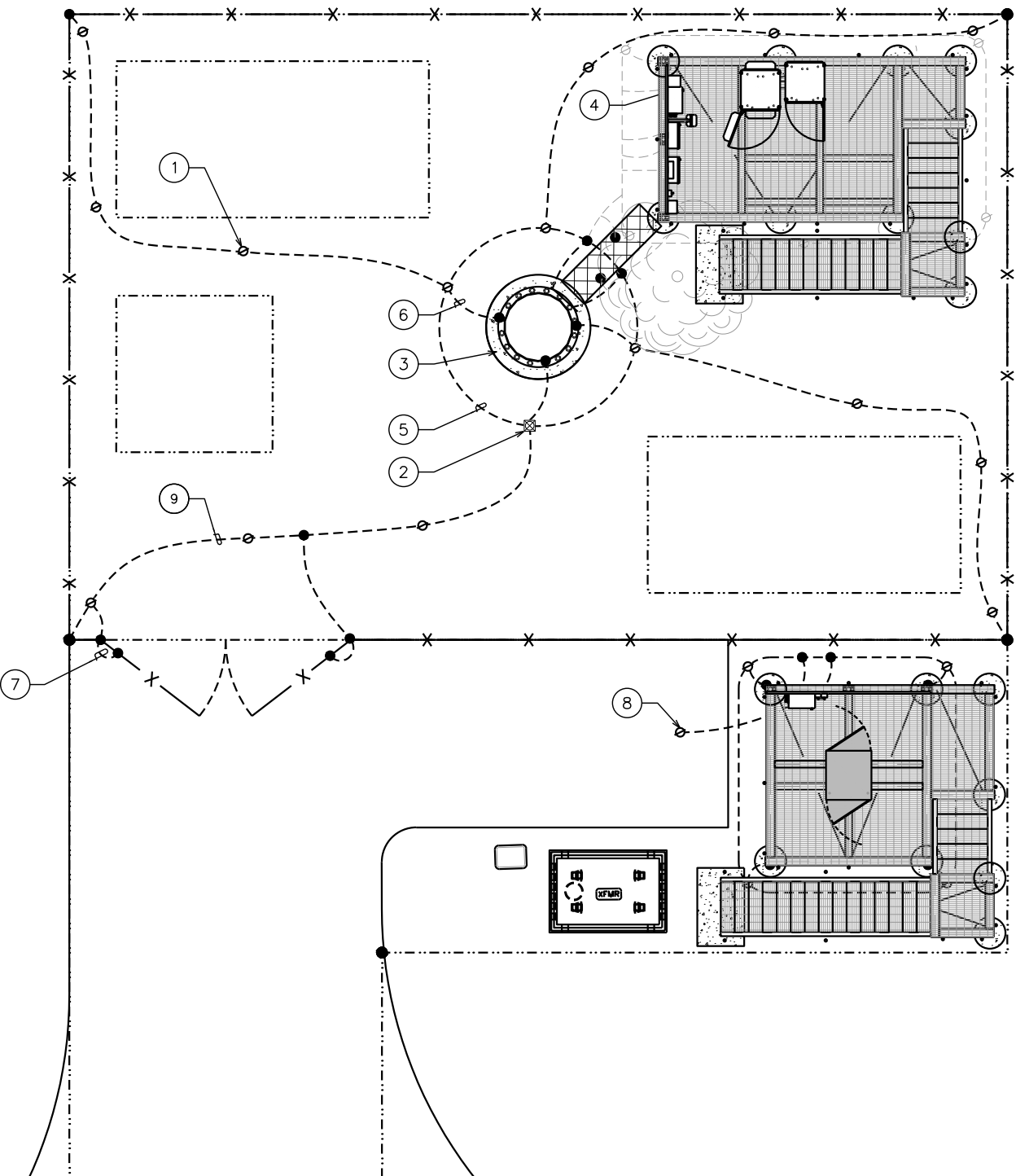
- 1. CONTRACTOR SHALL VERIFY THAT GROUNDING ELECTRODES SHALL BE CONNECTED IN A RING USING #2 AWG BARE TINNED COPPER WIRE. THE TOP OF THE GROUND RODS AND THE RING CONDUCTOR SHALL BE 30 INCHES BELOW FINISHED GRADE. GROUNDING ELECTRODES SHALL BE DRIVEN ON 10'-0" CENTERS (PROVIDE AND INSTALL AS REQUIRED. REQUIRED PER PLAN BELOW).
- 2. BONDING OF THE GROUNDED CONDUCTOR (NEUTRAL) AND THE GROUNDING CONDUCTOR SHALL BE AT THE SERVICE DISCONNECTING MEANS. BONDING JUMPER SHALL BE INSTALLED PER N.E.C. ARTICLE 250.30.
- 3. GROUND RING CONNECTION CONDUCTORS SHALL BE OF EQUAL LENGTH, MATERIAL, AND BONDING TECHNIQUE.
- 4. CONTRACTOR SHALL ENSURE GROUND RING IS WITHIN 12 TO 36 INCHES OF THE EQUIPMENT PAD, FENCE, OR TOWER FOUNDATION. PROVIDE AND INSTALL GROUNDING CONNECTIONS SHOWN BELOW AS NEEDED PER EXISTING SITE GROUNDING SYSTEM. CONTRACTOR SHALL VERIFY EXISTING SITE GROUNDING CONDITIONS BEFORE STARTING WORK OR PURCHASING EQUIPMENT.
- 5. BOND GROUND BAR TO EXTERNAL GROUND RING WITH 1 RUN OF #2 BARE, TINNED, SOLID COPPER CONDUCTOR IN PVC. CONNECT BAR END WITH 2 HOLE LUG, AND "CADWELD" THE OTHER END TO THE EXTERNAL GROUND ROD.
- 6. ALL DOWN CONDUCTORS MUST GO DOWN.
- 7. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER WHEN THE GROUNDING SYSTEM IS COMPLETE. THE CONSTRUCTION MANAGER SHALL INSPECT THE GROUNDING SYSTEM PRIOR TO BACKFILLING.

DRAWING NOTES:

- 1 GROUND ROD 5/8"x10' LONG (TYP)
- 2 GROUND ROD WITH INSPECTION WELL (TYP)
- 3 CADWELD (TYP)
- 4 2-HOLE LUG MECHANICAL CONNECTION (TYP)
- 5 PROPOSED TOWER GROUND RING
- 6 GROUND LEAD FROM TOWER TO TOWER GROUND RING (TYP)
- 7 GATE POST GROUNDING (TYP)
- 8 PROPOSED SERVICE ENTRANCE GROUNDING ELECTRODE
- 9 #2 GROUND LEAD FROM TOWER GROUND RING TO FENCE POST (TYP)

GROUNDING PLAN

SCALE: 1" = 10'



PROJECT INFORMATION:
VT-CA-0058
TORO PARK
225 RIVER ROAD
SALINAS, CA 93908
(MONTEREY COUNTY)

PLANS PREPARED FOR:

VERTEX TOWERS
2 COMMERCIAL ST
SHARON, MA 02067
OFFICE: (617) 817-8564

PLANS PREPARED BY:

326 TRYON ROAD
RALEIGH, NC 27603
OFFICE: (919) 661-6351
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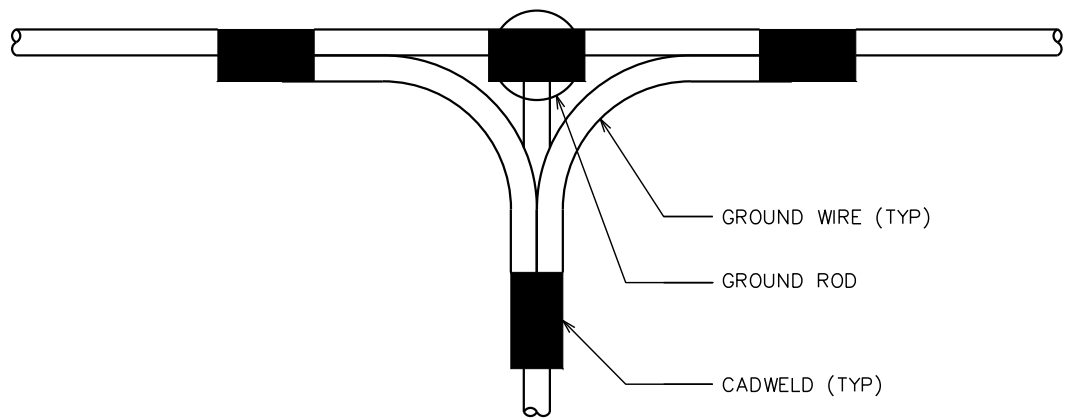
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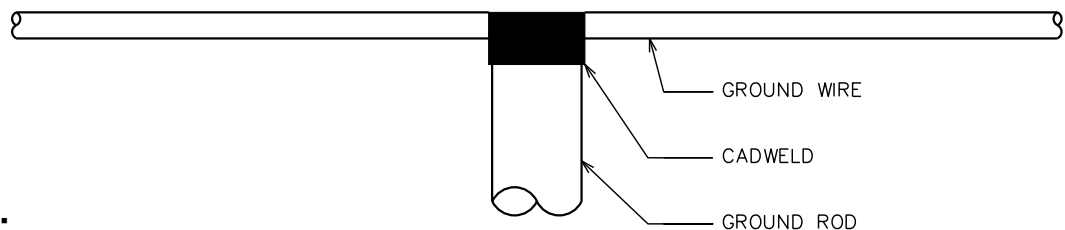
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SHEET TITLE:
GROUNDING PLAN

SHEET NUMBER: E-7	REVISION: 4 TEP#: 326215.375666
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TOP VIEW



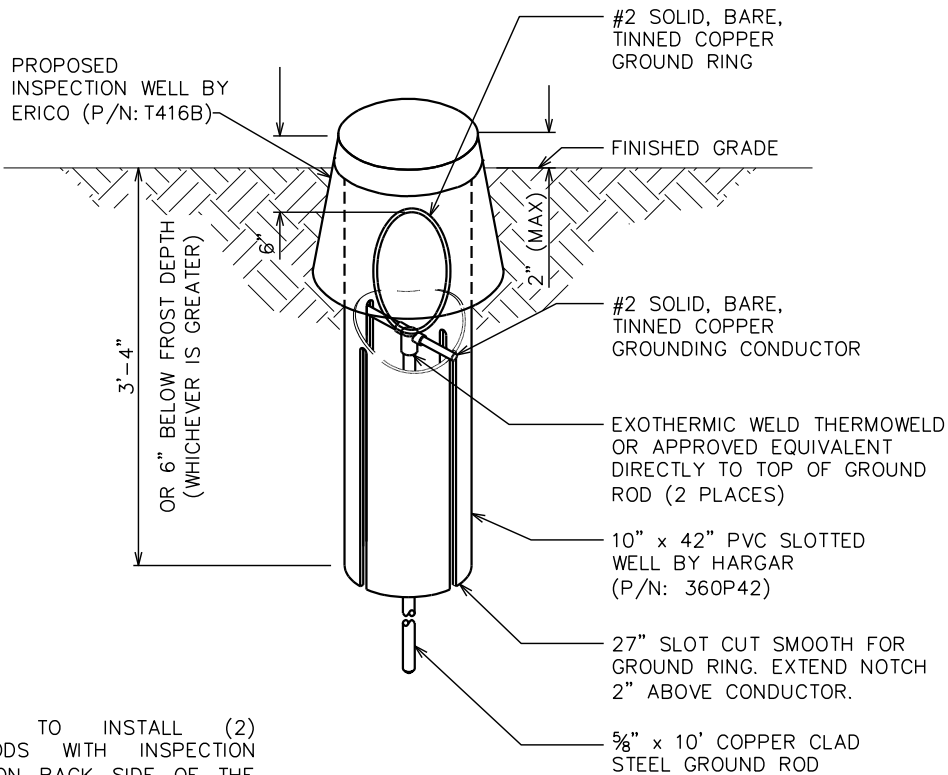
SIDE VIEW

NOTE:

MINIMUM SPACING OF 12"
BETWEEN ALL CADWELDS

CADWELD GROUNDING DETAIL

SCALE: N.T.S.

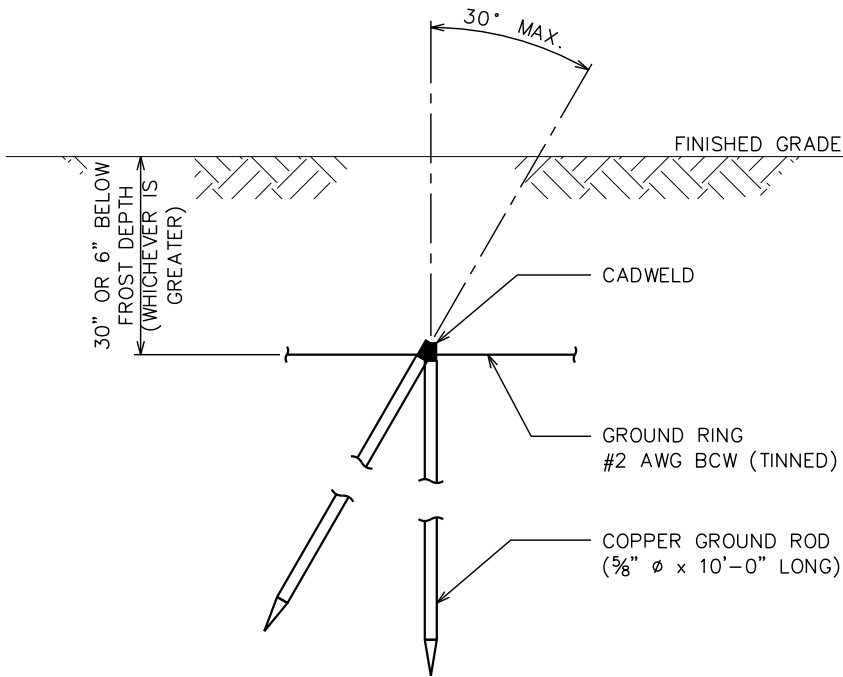


NOTE:

CONTRACTOR TO INSTALL (2)
GROUND RODS WITH INSPECTION
WELLS. (1) ON BACK SIDE OF THE
TOWER AND (1) LOCATED BY THE
H-FRAME NOT TO OBSTRUCT THE
PATH TO THE METER CENTER.

GROUND ROD WITH INSPECTION WELL DETAIL

SCALE: N.T.S.



COPPER-CLAD STEEL GROUND ROD DETAIL

SCALE: N.T.S.

PROJECT INFORMATION:
VT-CA-0058
TORO PARK
225 RIVER ROAD
SALINAS, CA 93908
(MONTEREY COUNTY)

PLANS PREPARED FOR:



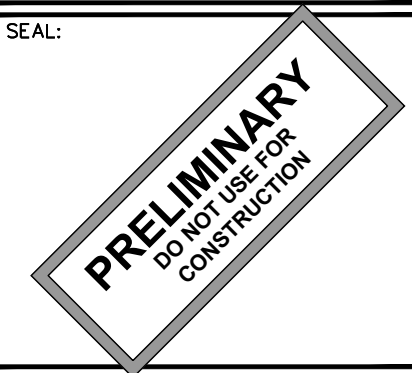
VERTEX TOWERS
2 COMMERCIAL ST
SHARON, MA 02067
OFFICE: (617) 817-8564

PLANS PREPARED BY:



326 TRYON ROAD
RALEIGH, NC 27603
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



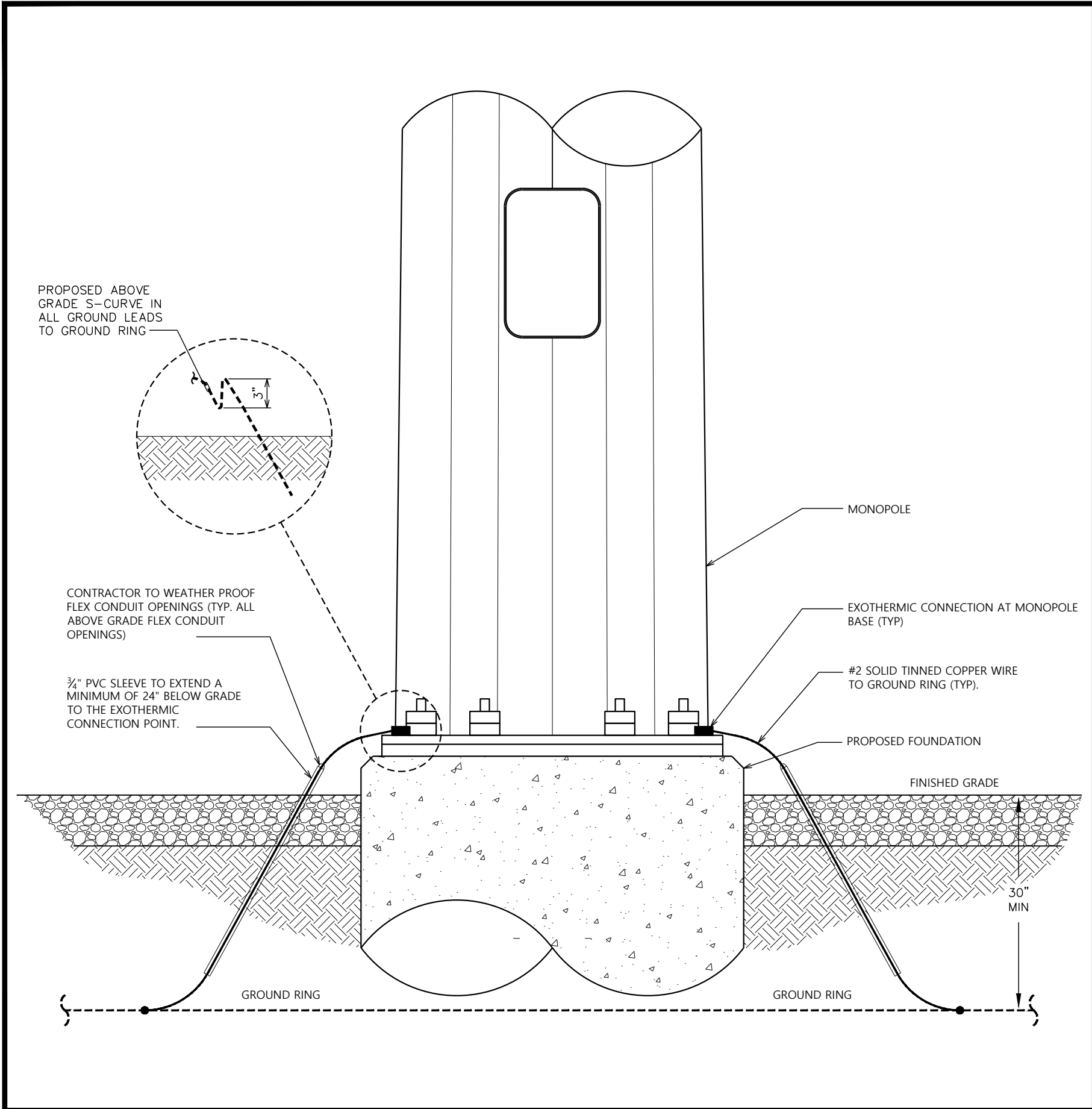
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3	04-03-26	REVISED PRELIMINARY
2	03-20-26	REVISED PRELIMINARY
1	09-25-24	REVISED PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: CHECKED BY:

SHEET TITLE:

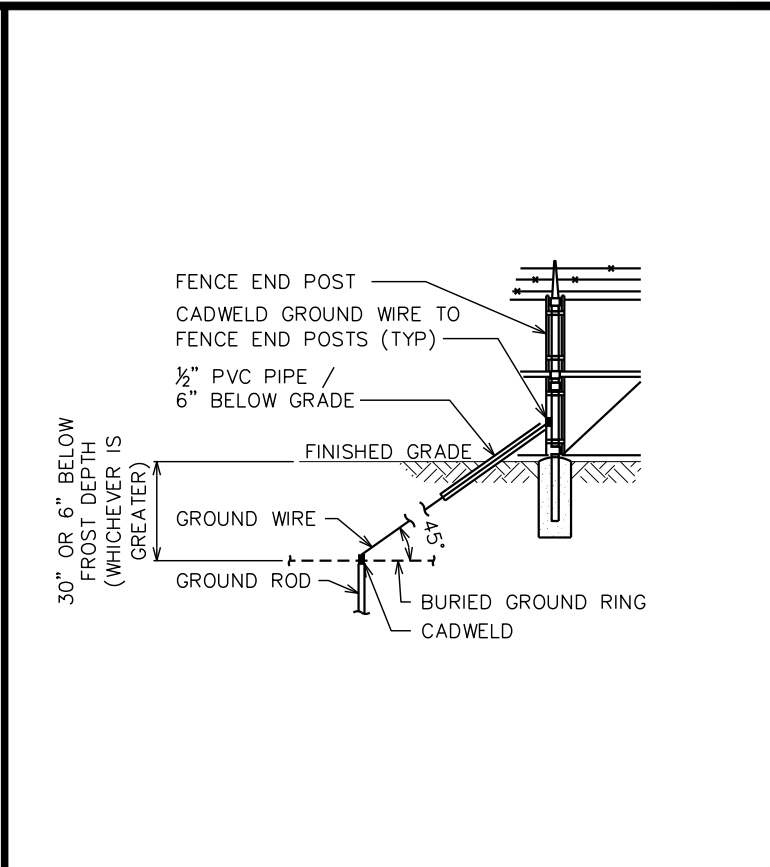
**GROUNDING
DETAILS I**

SHEET NUMBER: **E-8** REVISION: **4**
TEP#: 326215.375666



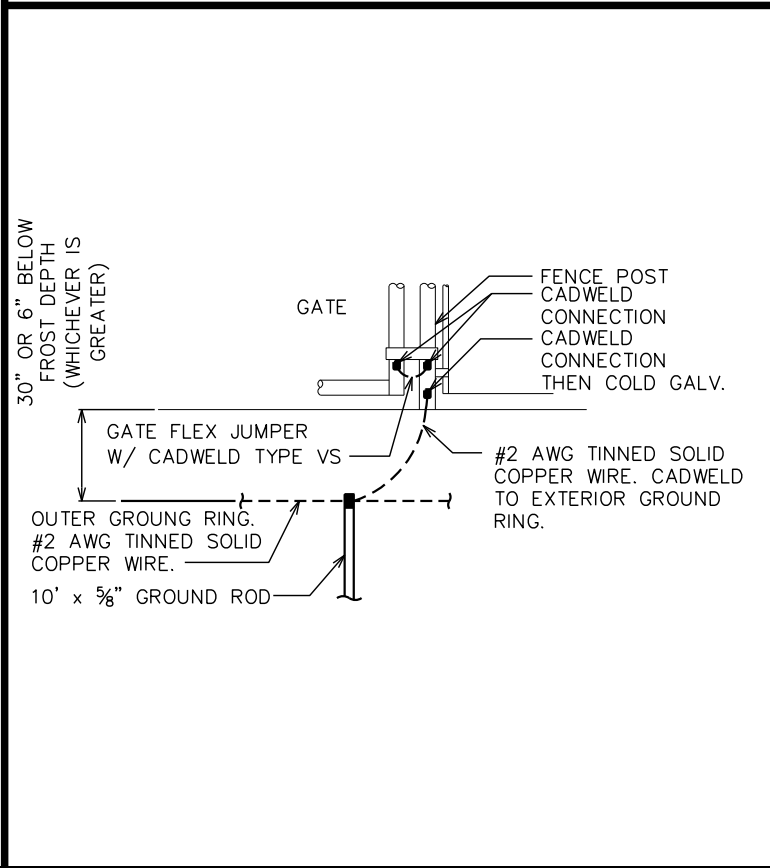
TOWER GROUNDING DETAIL

SCALE: N.T.S.



FENCE GROUNDING DETAIL

SCALE: N.T.S.



TYP. GATE POST GROUNDING DETAIL

SCALE: N.T.S.

PROJECT INFORMATION:
VT-CA-0058
TORO PARK
225 RIVER ROAD
SALINAS, CA 93908
(MONTEREY COUNTY)

PLANS PREPARED FOR:



**Vertex
Towers**

VERTEX TOWERS
2 COMMERCIAL ST
SHARON, MA 02067
OFFICE: (617) 817-8564

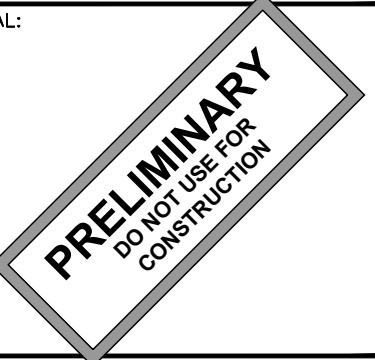
PLANS PREPARED BY:



TEP

326 TRYON ROAD
RALEIGH, NC 27603
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



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DO NOT USE FOR
CONSTRUCTION

4	04-23-26	REVISED PRELIMINARY
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1	09-25-24	REVISED PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: CHECKED BY:

SHEET TITLE:

**GROUNDING
DETAILS II**

SHEET NUMBER:	REVISION:
E-9	4
TEP#: 326215.375666	