

Exhibit C

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**Before the Zoning Administrator
in and for the County of Monterey, State of California**

In the matter of the application of:

HODGE/KEARE (PLN230140)

RESOLUTION NO. 24-003

Resolution by the Monterey County Zoning
Administrator:

- 1) Finding that the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15301 and none of the exceptions listed in Section 15300.2 apply; and
- 2) Approving a Combined Development Permit consisting of:
 - a. Coastal Administrative Permit and Design Approval to allow the demolition of a 6,256 square foot main residence with an attached guest unit, two-car garage and a 1,476 square foot detached accessory dwelling unit; and the construction of an 8,467 square foot main residence with a 2,723 square foot basement, a 320 square foot pool and associated site improvements;
 - b. Coastal Administrative Permit and Design Approval to allow construction of 960 square foot accessory dwelling unit with an attached three-car garage; and
 - c. Coastal Development Permit for development within 750 feet of known archaeological resources.

[PLN230140 JOHN HODGE/STACEY KEARE,
3406 17 Mile Drive, Pebble Beach, Del Monte
Forest Area Plan, (APN: 008-381-002-000)]

Corrected Resolution

Corrected on 2/2/24 to correct the
referenced condition number listed in
Finding 3, Evidence c of this resolution.

The HODGE/KEARE application (PLN230140) came on for a public hearing before the Monterey County Zoning Administrator on January 25, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, including the conditions of approval and project plans, the Monterey County Zoning Administrator finds and decides as follows:

FINDINGS

- 1. FINDING: CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

- EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
- the 1982 Monterey County General Plan;
 - Del Monte Forest Land Use Plan (LUP);
 - Del Monte Forest Coastal Implementation Plan (CIP, Part 5);
 - and
 - Monterey County Zoning Ordinance (Title 20).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) The project involves demolition of a 6,256 square foot, two-story single-family dwelling with an attached guest house and two-car garage, and a 1,476 square foot detached accessory dwelling unit; and construction of an 8,467 square foot single-family dwelling and a 960 square foot two-story detached accessory dwelling unit (ADU) and garage. Site improvements include removal of approximately 15,000 square feet of impermeable hardscape, and re-landscaping to include additional planting of 19 new Coast live oak trees, native plantings throughout landscaping and associated excavation for a 2,723 square foot basement, a 320 square foot pool, and hot tub resulting in a total of 7,500 cubic yards of cut and 1,000 yards of fill (6,000 cubic yards of net export).
- c) Allowed Use. The property is located at 3406 17 Mile Drive, Pebble Beach, within the Del Monte Forest LUP, in unincorporated Monterey County. The parcel is zoned as Low Density Residential, 1.5 acres per unit with a Design Control overlay, coastal zone or “LDR/1.5-D(CZ)”, which allows a single family dwelling and accessory structures. Therefore, the project is an allowed land use for this site.
- d) Lot Legality. The 2.347-acre lot is shown in its current size and configuration as Lot 8-B in Block 129 on Book 8, page 38 Map of El Pescadero. Therefore, the County recognizes it as a legal lot of record.
- e) Development Standards – Setbacks and Height. Development standards for the LDR zoning district are identified in Title 20 Section 20.14.060.C.1. The required structure setbacks for the subject property are 30 feet (front), 20 feet (side) and 20 feet (rear). The replacement single-family dwelling will be located primarily within the same footprint as the existing residence and will have a front setback of over 100 feet, a rear setback of 84 feet, and side setbacks of 36 feet 11 inches at the southeast side and 135 feet 4 inches at the northwest side. The maximum allowed height for main structures in the LDR zoning district is 30 feet above average natural grade. The existing residence to be demolished is 25 feet 3 inches above average natural grade, and the proposed residence is 26 feet 1 inch above natural grade. The required setbacks for the habitable ADUs are 50 feet (front) and 6 feet (side and rear), and the minimum distance between the main structure and accessory structures is 10 feet. The proposed ADU has a front setback of 145 feet, and both sides and back setbacks are well over 6 feet. The distance between the main dwelling and ADU is over 10 feet. The height requirement for ADUs is 15 feet above average natural grade,

and the proposed ADU height is 14 feet 6 inches. Therefore, as proposed, the project meets all required development standards.

- f) Development Standards – Impervious Surface Coverage. The subject property is located within the Carmel Bay Area of Special Biological Significance (ASBS) and shall be limited to 9,000 square feet of impervious site coverage pursuant to the Del Monte Forest LUP Policy No. 77. The property is 2.34 acres (102,235 square feet). The property is currently developed with a 4,305 square foot main house site coverage and a 1,476 square foot accessory dwelling unit, along with 15,007 of impermeable hardscape, constituting a total of 20,803 square feet of existing lot coverage. This is currently over the maximum allowable site coverage of 9,000 square feet. The proposed development includes 7,117 square foot main house coverage, 960 square foot accessory dwelling unit, 219 square feet of roof overhangs and eaves greater than 30 inches, and 700 square feet of impervious hardscape totaling in a proposal of 8,996 square feet of impervious coverage. The proposed development will reduce the site coverage to be under the 9,000 square foot maximum allowable site coverage. The remaining developed areas will be returned to oak woodland by planting 19 new Coast live oak trees and native plantings throughout landscaping.
- g) Development Standards – Lot Coverage and Floor Area Ratio (FAR). Pursuant to Title 20 Section 20.14.060.E and F, the LDR district allows a maximum lot coverage of 15% and FAR of 17.5%. The proposed lot coverage is 8,296 square feet, or 7.9%, within the requirement. The existing FAR is 7,837 square feet, or 7.7%. The proposed development will be 10,561 square feet, or 10.3%, also within the requirement.
- h) Design. The subject parcel and surrounding area are designated as a Design Control Zoning District (“D” zoning overlay) and pursuant to Title 20 Chapter 20.44, the location, size, configuration, materials, and colors of structures and fences are regulated to assure the protection of the public viewshed and neighborhood character. The Applicant proposes exterior colors and material finishes to include board-formed concrete walls with weathered gray wood siding accent screening, dark bronze metal trellis, dark bronze metal doors and windows, and dark brown flat tile roof. This project will not have a detrimental effect on the existing neighborhood character nor an effect on the public viewshed. The proposed single-family dwelling is located in substantially the same location as the existing single-family dwelling and would therefore not significantly alter the massing of the existing home as to create an adverse visual impact. The project will be screened from the public viewshed by the proposed tree plantings. The primary colors and materials are consistent with Coastal Implementation Plan Section 20.147.070.B.3; these have an earth tone appearance and harmoniously blend into the site’s surroundings. The fencing will be open to not obstruct views. The fencing at the rear of the property will be split rail and wire. The retaining walls are proposed as stone walls with the exception of the site wall that runs between the main dwelling and ADU is proposed as wood. The architectural style and massing will be consistent with the surrounding residential development. Prior to issuance of building permit(s), the landscape plan and exterior lighting

shall be approved by HCD Planning pursuant to Title 20 Section 20.14.060 and will be controlled by use of the County's standard condition (Condition No. 4 and Condition No. 6).

- i) Biological Resources. The site has been identified within the regional area through the California Natural Diversity Data Base (CNDDB) for native plant communities including Maritime Chaparral, Monterey Pine Forest, Monterey Cypress Forest, Coast Live Oak Forest, Grasslands, and Dune Habitat. A Biological Assessment (LIB230228 – see Finding 2, Evidence “b”) was prepared by Fred Ballerini confirming that the project site has been thoroughly altered to the point that vegetation on the parcel is void of any significant native habitat within the proposed areas of construction. During the site visit, several bird and mammal species were observed on neighboring parcels containing adequate vegetative cover. The recommendation to implement an expansive native oak woodland grassland restoration plan will greatly enhance the habitat values of the parcel. Ballerini recommended implementation of an invasive species eradication plan, installation of temporary perimeter exclusionary fencing to allow for native grasses to become established and ceasing irrigation of existing Coast live oak trees within the critical root zones to minimize potential spread of soil fungus to the trees. These recommendations have been incorporated within the project as part of the preliminary landscape plan and will be implemented through Condition No. 4. as recommended, and in accordance with the Migratory Bird Treaty Act, a pre-construction nesting survey will be required through implementation of Condition No. 5.
- j) Cultural Resources. The site is in an area identified in County records as having high archaeological sensitivity. In accordance with CIP Section 20.147.080.B, an archaeological report was prepared to analyze the potential of the project to impact archaeological resources. A Phase I Archaeological Report (LIB230227 – see Finding 2, Evidence “b”) was prepared by Achasta Archaeological Services (Achasta) in January 2022. The assessment included a records search which identified several known resources within 750-feet of the proposed development. The assessment also included a field survey of the subject property and archival research to determine if resources extend into the project site. Achasta's pedestrian survey of the Project Area produced negative results and indicated that significant cultural materials are not located within the project area. Their analysis also indicated the proposed renovations would not affect a historical resource and no further archeological investigation was recommended. The County reviewed the report and agreed with its conclusions. However, due to the site's high archaeological sensitivity and the proximity of known resources, a standard condition of approval has been incorporated, Condition No. 3, which would require the applicant to stop work if any cultural resources or human remains are identified.
- k) Historical Resources. The property's historical significance is tied to its first owner, Edward S. Hunter and his son, Robert Hunter, who he passed the property to upon his death. Robert Hunter appears to be a significant historical figure for his brokerage firm; however, a building at his San Francisco office location, the Hunter-Dunlin Building, is

more closely associated with Hunter and is in the National Registry. Hunter engaged architect Wallace Neff to design his vacation home, which was constructed in 1928. The vacation home also appears to be significant as an example of the Spanish Colonial Revival architecture that Neff was known for. The Hunter vacation house took on a roughly cruciform form with multi-leveled roof lines and balconies, decorative tiles, an elaborate chimney cap, and an enclosed courtyard with a fountain. However, starting in 1953, the house underwent several alterations over the course of two decades. The alterations included removing three pairs of French doors in the sun porch and replacing them with three sliding-glass doors, relocating the fireplace from the south end to the west side of the living room and adjoining the room with the sunroom and verandah, and installing two enormous windows at the south end overlooking the 13th hole and drastically changing the south side of the house. A one-story addition to the east wing was added and a chimney was removed. At an unknown date, possibly the 1960s or 1970s, all of the original wood-sash windows were replaced with vinyl-sash windows, altering the character of the house. A Phase I Historical Assessment (LIB230226– see Finding 2, Evidence “b”) prepared by Anthony Kirk concludes that due to the significant changes, the house has lost its historic integrity and is no longer able to convey its original character. A Peer Review Letter provided by Meg Clovis (LET_CLOVIS – see Finding 2, Evidence “b”) agrees with Anthony Kirk’s assessment that the house has lost its historical integrity and is not a historic resource.

- l) Land Use Advisory Committee (LUAC) Review. County staff referred the project to the Del Monte Forest Land Use Advisory Committee (LUAC) for review. Staff received and forwarded a letter from a neighbor to the LUAC prior to the public meeting. The letter requested for the LUAC to consider that the proposed location of the house does not extend past the neighbor’s house. The LUAC reviewed the project at a duly noticed public meeting on October 5, 2023, at which all persons had the opportunity to be heard. The neighbor was in attendance at the meeting and made a public comment addressing her concerns regarding the location. The neighbor requested to move the house two feet further back, to which the Agent agreed to explore the opportunity to re-site the house with the Applicants. Subsequent to the LUAC meeting, several attempts were made to set up a meeting between the neighbors and Applicants, and an agreement has not been reached. The proposed project meets all of the setback requirements. The LUAC voted 6-0 to support the project as proposed
- m) The project planner reviewed the project via the County’s GIS records, and conducted a site visit on October 5, 2023, to verify that the proposed project conforms to the applicable plans and Monterey County Code.
- n) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230140.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.
- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) The following reports have been prepared:
 - “Biological Assessment” (LIB230228) prepared by Fred Ballerini, Pacific Grove, CA, June 29, 2023.
 - “Geotechnical Report” (LIB230229) prepared by Greg Bloom, PE, GE, Butano Geotechnical Engineering, Inc., Watsonville, CA, June 20, 2023.
 - “Phase I Archaeological Assessment” (LIB230227) prepared by Susan Morley, M.A., RPA, Marina, CA, January 2022 (revised August 2023).
 - “Supplemental Memorandum” (LET_MORLEY) prepared by Susan Morley, M.A., RPA, Marina, CA, September 28, 2023.
 - “Phase I Historical Assessment” (LIB230226) prepared by Anthony Kirk, Ph.D., Santa Barbara, CA, August 6, 2021.
 - “Peer Review” (LET_CLOVIS) prepared by Margaret Clovis, M.A., Salinas, CA, September 16, 2021.County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230140.
3. **FINDING:** **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities for the existing single-family dwelling exist; public water and sewer connections are provided by CalAm, as managed by the Monterey Peninsula Water Management District, and

the Pebble Beach Community Services District, respectively. Service for the project will be provided through the same connections.

- c) The project is located on 17 Mile Drive, which is a frequently traveled road. To minimize the overall construction impacts to the neighborhood, approval and implementation of a Construction Management Plan is required (Condition No. 9).
- d) Staff conducted a site inspection on October 5, 2023 to verify that the site is suitable for this use.
- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230140.

4. FINDING:

NO VIOLATIONS – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

EVIDENCE:

- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
- b) Staff conducted a site inspection on October 5, 2023 and researched County records to assess if any violation exists on the subject property.
- c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230140.

5. FINDING:

CEQA (Exempt) – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

EVIDENCE:

- a) The project is categorically exempt from environmental review pursuant to Section 15301 of the CEQA Guidelines, Existing Facilities. This exemption applies to whether the project involves negligible or no expansion of use. The project consists of demolition and re-construction of a single-family dwelling and accessory dwelling unit in roughly the same size, massing and intended use as the existing single-family dwelling and therefore will not increase the expansion of use.
- b) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. CEQA Section 15302 is not qualified by consideration of the project location; the project does not contribute to any cumulative environmental effects; there is not the reasonable possibility that the project would cause an impact due to unusual circumstances; the project is not viewable from a scenic highway; is not a hazardous waste site or any list compiled pursuant to Section 65962.5 of the Government Code; and does not involve any identified historical resources.
- c) No adverse environmental effects were identified during staff review of the development application during a site visit on October 5, 2023.
- d) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230140.

6. FINDING:

PUBLIC ACCESS – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3

- of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.
- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in DMF CIP, Section 20.147.130 can be demonstrated.
 - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - c) The subject property is not described as an area where the Local Coastal Program requires physical public access (Figure 8, Major Public Access and Recreational Facilities, in the DMF LUP).
 - d) The subject project site is not identified as an area where the Local Coastal Program requires visual public access (Figure 3, Visual Resources, in the DMF LUP).
 - e) Based on the project location, and its topographical relationship to visual public access points in the area, the development proposal will not interfere with visual access along 17-Mile Drive or from Point Lobos. Consistent with DMF LUP Policies 123 and 137, the proposed development will not block significant public views toward the ocean and will not adversely impact the public viewshed or scenic character in the project vicinity.
 - f) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN230140.

7. **FINDING:** APPEALABILITY – The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.
- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Section 20.86.030 of the Monterey County Zoning Ordinance (Title 20), an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) Coastal Commission. Pursuant to Section 20.86.080.A.3 of the Monterey County Zoning Ordinance (Title 20), the project is appealable to the California Coastal Commission, as it involves non-exempt development requiring a Coastal Development Permit pursuant to Title 20 Section 20.14.030.F (development on a positive archaeological site), and is therefore conditionally allowable under the base zoning.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- 1) Find that the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15301 and none of the exceptions listed in Section 15300.2 apply; and
- 2) Approve the Combined Development Permit consisting of:
 - a. Coastal Administrative Permit and Design Approval to allow the demolition of a 6,256 square foot main residence with an attached guest unit, two-car garage and a 1,476 square foot detached accessory dwelling unit; and the construction of an

8,467 square foot main residence with a 2,723 square foot basement, a 320 square foot pool and associated site improvements;

- b. Coastal Administrative Permit and Design Approval to allow construction of 960 square foot accessory dwelling unit with an attached three-car garage; and
- c. Coastal Development Permit for development within 750 feet of known archaeological resources.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 25th day of January, 2024.

DocuSigned by:

Mike Novo

9D45DC219AC247C

Mike Novo, AICP
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON 2/2/24

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE 2/12/24

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services offices in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230140

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

**Condition/Mitigation
Monitoring Measure:**

This Combined Development Permit (PLN230140) allows the demolition of a 6,256 square foot main residence with an attached guest unit, two-car garage and a 1,476 square foot detached accessory dwelling unit; and the construction of an 8,467 square foot main residence with a 2,723 square foot basement, a 960 square foot detached accessory dwelling unit with an attached garage, 320 square foot pool and associated site improvements. The property is located at 3406 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-381-002-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. The County shall allow flexibility to re-site the main dwelling up to two feet toward 17 Mile Drive. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or
Monitoring
Action to be
Performed:**

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "A Combined Development Permit (Resolution Number 24-003) was approved by the Zoning Administrator for Assessor's Parcel Number 008-380-002-000 on January 25, 2024. The permit was granted subject to 11 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Prior to the issuance of grading and building permits, certificates of compliance, or
Monitoring commencement of use, whichever occurs first and as applicable, the Owner/Applicant
Action to be shall provide proof of recordation of this notice to the HCD - Planning.
Performed:

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation If, during the course of construction, cultural, archaeological, historical or
Monitoring Measure: paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or The Owner/Applicant shall adhere to this condition on an on-going basis.

Monitoring
Action to be Prior to the issuance of grading or building permits and/or prior to the recordation of the
Performed: final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD0012(D) - LANDSCAPE PLAN AND MAINTENANCE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, an electronic copy of the final landscaping plan shall be submitted to HCD - Planning. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The landscaping plan shall balance the proposed oak woodland planting to preserve ocean views and not overwhelm the public viewshed. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD- Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD- Planning)

Compliance or Monitoring Action to be Performed: Owner/Applicant/Agent/Contractor shall submit final landscape plans and contractor's estimate to HCD- Planning for review and approval prior to issuance of Building Permits. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Owner/Applicant/Agent/Contractor shall submit to HCD- Planning approved landscape plans, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval prior to issuance of Building Permits.

5. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Any tree removal or construction activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Contractor shall submit to HCD-Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

6. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit an electronic copy of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations, Title 24, Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD- Planning, prior to the issuance of building permits. (HCD – Planning)

Compliance or Monitoring Action to be Performed: The lighting shall be installed and maintained in accordance with the approved plan.

Compliance or Monitoring Action to be Performed: Owner/Applicant/Agent shall submit an electronic copy of the lighting plans to HCD - Planning for review and approval prior to the issuance of building permits. Approved lighting plans shall be incorporated into final building plans.

7. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

8. PD004 - INDEMNIFICATION AGREEMENT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The property owner agrees as a condition and in consideration of the approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the county for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, filing of the final map, whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the county harmless. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, filing of the final/parcel map, whichever occurs first and as applicable.

Owner/Applicant/Agent shall submit signed and notarized Indemnification Agreement to the Director of HCD – Planning for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to HCD – Planning.

9. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project.

Compliance or Monitoring Action to be Performed: 1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

10. PD016 - NOTICE OF REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states: "A biological report has been prepared for this parcel by Fred Ballerini, dated June 29, 2023, and is on record in Monterey County HCD-Planning, Library No. 230228. All development shall be in accordance with this report."

Compliance or Monitoring Action to be Performed: Submit proof that all development has been implemented in accordance with the report to HCD-Planning for review and approval.

Submit signed and notarized document to the HCD-Planning for review and signature by the County.

11. RESTORATION AND MONITORING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall submit a restoration plan in accordance with the recommendations contained in the Biological Assessment (LIB230228) to HCD-Planning for review and approval. The restoration plan shall include the following: use local plant sources for seed and container plant revegetation material, removal of exotic species, revegetation, success criteria, yearly monitoring, establishment of a monitoring program to track the success of non-native vegetation control and establishment of native species, and establishment of an ongoing maintenance program for non-native plant control and other actions noted during monitoring. Quarterly monitoring of the restoration area will occur during the first year and then yearly for the following 3 years.

Compliance or Monitoring Action to be Performed: Prior to issuance of construction or grading permits from Building Services, the Owner/Applicant shall submit a restoration plan detailing the recommendations of LIB230228 and this condition to HCD-Planning for review and approval.

Prior to issuance of construction or grading permits from Building Services, the Owner/Applicant shall submit to HCD-Planning a copy of a contract between the owner/applicant and a qualified biologist indicating that the restoration plan and monitoring program will be implemented.

Prior to final inspection, the Project Biologist shall prepare and submit to HCD-Planning for review and approval, a report confirming that exotic species have been removed, and all replanting and revegetation activities have successfully occurred.

On an ongoing basis for the duration of the required monitoring period, annual reports shall be submitted to HCD-Planning for review and approval detailing compliance the approved restoration plan.

GENERAL NOTES

- COORDINATION
- IF THESE DRAWINGS ARE NOT **24" x 36"** THEY HAVE BEEN REDUCED OR ENLARGED
 - THE STANDARD A.I.A. GENERAL CONDITIONS ARE HEREBY MADE A PART OF THESE DRAWINGS
 - ALL WORK SHALL COMPLY w/ THE 2022 CALIFORNIA BUILDING CODE (2022 CABC), 2022 CALIFORNIA PLUMBING CODE (2022 CPC), CALIFORNIA MECHANICAL CODE (2022 CMC), CALIFORNIA ELECTRICAL CODE (2022 CEC), AND THE 2021 NFPA 101 LIFE SAFETY CODE; AND ALL OTHER APPLICABLE STATE & LOCAL CODES, RULES, AND REGULATIONS**
 - ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS OTHERWISE NOTED
 - DO NOT SCALE DRAWINGS FOR DIMENSIONS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS
 - DISCREPANCIES BETWEEN THESE DRAWINGS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK

- CONTRACTOR DUTIES
- THE CONTRACTOR SHALL:
 - FURNISH, PAY FOR, AND FILE ALL NECESSARY PERMITS, FEES, INSPECTIONS, ETC. EXCEPT FOR PLAN CHECK, ZONING, AND SCHOOL FEES WHICH WILL BE PAID FOR BY THE OWNER
 - GUARANTTEE ALL WORK FOR ONE YEAR AS EVIDENCED BY THE DATE OF THE FINAL CERTIFICATE OF PAYMENT
 - PROVIDE RELEASE OF ALL SUBCONTRACTOR AND SUPPLIER LIENS BEFORE FINAL PAYMENT IS MADE
 - FILE WORKMAN'S COMPENSATION
 - ARRANGE FOR ALL INSPECTIONS AS CALLED FOR IN SECTION 108.4 OF THE 2010 CABC
 - CONTRACTOR SHALL INSTALL ALL MATERIALS AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND ALL APPLICABLE CODES
 - CONTRACTOR SHALL PROTECT EXISTING VEGETATION AND ADJACENT SITE IMPROVEMENTS FROM DAMAGE DURING THE COURSE OF THE WORK
 - CONTRACTOR SHALL BRACE STRUCTURE AS REQUIRED DURING CONSTRUCTION
 - CONTRACTOR SHALL PROVIDE STRICT CONTROL OF JOB CLEANUP TO REMOVE DUST AND DEBRIS FROM CONSTRUCTION AREA
 - ALL SPECIAL INSPECTION AGENCIES, INDIVIDUALS, AND SHOP FABRICATORS SHALL BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO ANY WORK BEING PERFORMED. CONTRACTOR SHALL SUBMIT ALL DOCUMENTATION FOR APPROVAL
 - CONTRACTOR SHALL PROVIDE PLANS OF GAS LINE SIZING TO THE BUILDING INSPECTION OFFICE PRIOR TO CALLING FOR INSPECTION

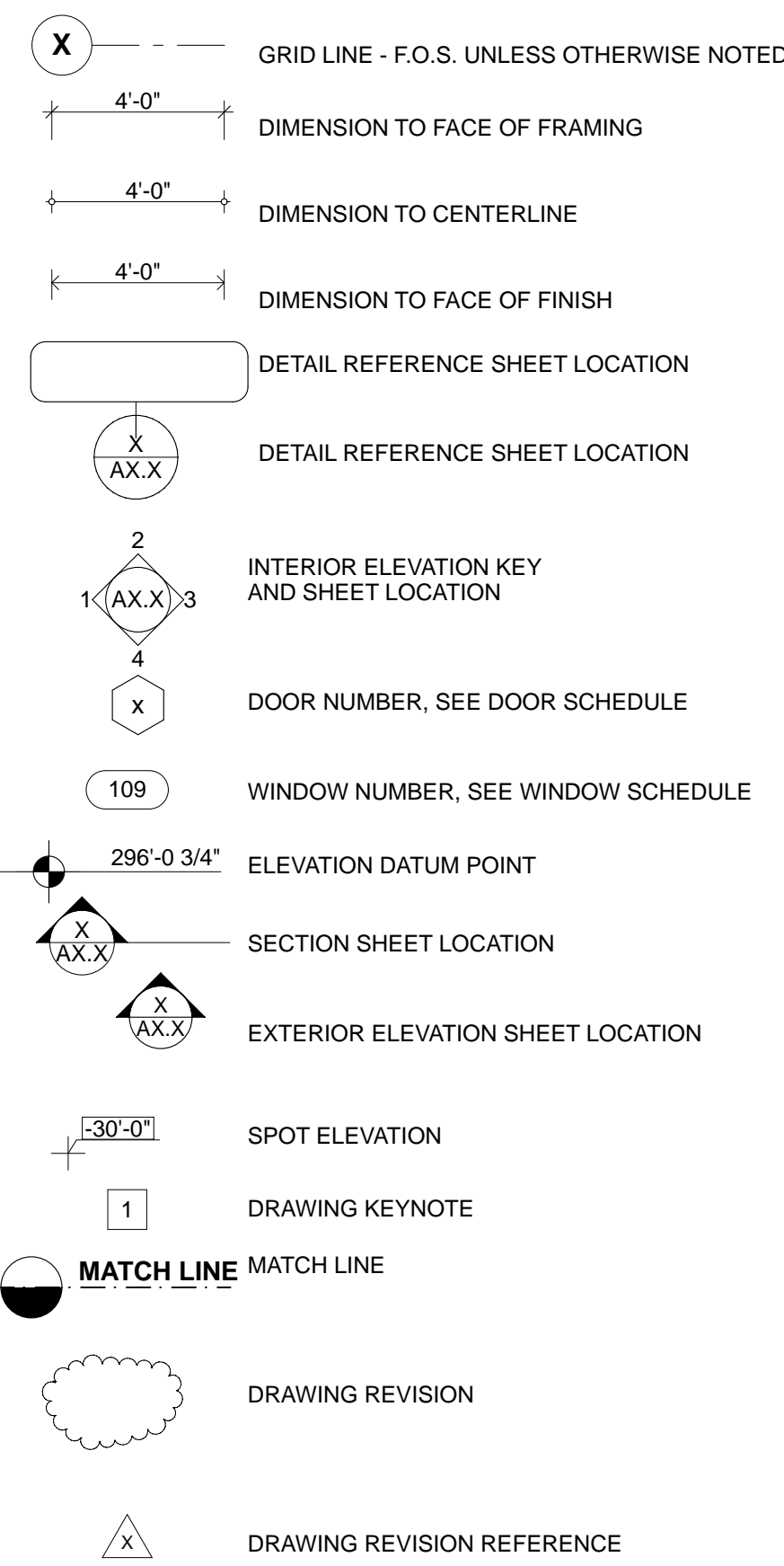
- GENERAL
- ALL STAIRS WITH MORE THAN THREE RISERS SHALL HAVE ONE (1) 1-1/4" - 2" DIAMETER HANDRAIL w/ 1-1/2" CLEARANCE FROM THE WALL. ALL RAILS SHALL BE BETWEEN 34" AND 38" ABOVE NOSING OF THE TREAD AND BE CONTINUOUS FROM THE TOP RISER TO THE BOTTOM RISER -- 2022 CABC SEC. 1011
 - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER - 2022 CRC SEC. R312
 - FIREBLOCKING AND DRAFTSTOPPING SHALL BE PROVIDED IN ALL LOCATIONS IN ACCORDANCE w/ 2022 CABC SEC. 718
 - HEARTH'S SHALL EXTEND 20" IN FRONT AND 12" BEYOND EACH SIDE OF FIREPLACE OPENING
 - FIREPLACE SHALL HAVE TIGHT FITTING METAL OR GLASS DOOR AND OUTSIDE AIR INTAKE WITH DAMPER AND CONTROL
 - ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED -- 2022 CABC SEC. 2406

- ENERGY
- THIS BUILDING MEETS THE ENERGY BUILDING DESIGN REQUIREMENTS OF TITLE 24 PART 6. SEE **SHEET #** FOR CERTIFICATE OF COMPLIANCE.
 - ALL WINDOWS AND DOORS SHALL BE DOUBLE GLAZED U.O.N.
 - INSULATION SHALL MEET THE CALIFORNIA ENERGY COMMISSION (C.E.C.) QUALITY STANDARDS AND BE CERTIFIED BY THE MANUFACTURER.
 - ALL FREEZERS, REFRIGERATORS, AND FLUORESCENT LAMP BALLASTS SHALL BE CERTIFIED BY THE C.E.C.
 - ALL HVAC EQUIPMENT, WATER HEATERS, FAUCETS, AND SHOWER HEADS SHALL BE CERTIFIED BY THE C.E.C.
 - ALL TOILETS ARE TO BE ULTRA LOW FLOW 1.6 GALLONS MAXIMUM FLUSH CAPACITY
 - THERMOSTATS SHALL BE OF A PROGRAMMABLE DUAL SET BACK TYPE.
 - WATER HEATER SHALL BE INSULATED WITH R-12 BLANKET AND PIPES WITHIN FIRST FIVE FEET OF TANK WITH R-4
 - ALL GENERAL LIGHTING SHALL BE HIGH EFFICACY & COMPLY w/ TITLE 24 CALCULATIONS -- 2022 CEC TABLE 150.0-A

- LIFE SAFETY
- BUILDINGS TO BE FULLY SPRINKLERED IN ACCORDANCE w/ 2022 CRC SEC. 313 AND NFPA 101 13D. DRAWINGS TO BE SUBMITTED FOR PERMIT BY DESIGN/BUILD SUBCONTRACTOR
 - SMOKE DETECTORS SHALL BE HARD-WIRED IN CEILINGS AND EQUIPPED w/ A BATTERY BACKUP. SEE REFLECTED CEILING AND MECHANICAL PLANS FOR EXACT LOCATIONS -- 2022 CABC SEC. 907
 - ALL SMOKE DETECTORS TO BE WIRED FOR 24 HOUR MONITORING BY REMOTE ANSWERING STATION PER NFPA 72

- MEP
- ALL GAS APPLIANCES SHALL HAVE GAS IGNITER TYPE PILOTS AND INTERMITTENT IGNITION DEVICES
 - CLOTHES DRYERS SHALL BE VENTED TO THE OUTSIDE. PROVIDE BACKDRAFT DAMPER
 - WATER HEATERS SHALL BE SECURELY FASTENED TO PREVENT OVERTURNING -- 2022 CPC SEC. 507.2
 - ALL HOT WATER FAUCETS WITH 10 FEET OR MORE OF PIPE BETWEEN FAUCET AND WATER HEATER ARE TO BE EQUIPPED WITH HOT WATER RECIRCULATING SYSTEM
 - ALL SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE
 - ALL HOSE BIBBS SHALL HAVE APPROVED NON-REMOVABLE BACK FLOW PREVENTION DEVICES -- 2022 CPC CHAPTER 6
 - DUCTS SHALL BE CONSTRUCTED, INSTALLED AND INSULATED PER 2022 CMC
 - EXHAUST SYSTEMS SHALL HAVE DAMPER CONTROLS
 - ALL ELECTRICAL OUTLETS IN EXTERNAL WALLS SHALL HAVE INSULATING GASKETS
 - NO LIGHT FIXTURES IN CLOTHES CLOSETS SHALL BE CLOSER THAN 12" TO COMBUSTIBLE STORAGE ITEMS -- 2022 CEC ARTICLE 410
 - ALL 120V / 1-PH / 15- & 20- AMP BRANCH CIRCUITS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER -- 2022 CEC ARTICLE 210.12

SYMBOLS



ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR	K.D.	KILD DRIED
A.B.	ANCHOR BOLT	L.H.	LEFT HAND
ABV.	ABOVE	LAV.	LAVATORY
A.C.	AIR CONDITIONING	L.T.	LIGHT
ADJ.	ADJUSTABLE	MAX.	MAXIMUM
ALUM.	ALUMINUM	MED.	MEDIUM
ASPH.	ASPHALT	MFR.	MANUFACTURER
B.O.	BOTTOM OF	MIN.	MINIMUM
B.U.R.	BUILT-UP ROOFING	MIR.	MIRROR
BD	BOARD	MOUN.	MOUNTED
BLDG.	BUILDING	MTL.	METAL
BLKG.	BLOCKING	(N)	NEW
BLW.	BELOW	N.T.S.	NOT TO SCALE
BM.	BEAM	NIC	NOT IN CONTRACT
BR.	BRONZE	O.	OVER
BTW.	BETWEEN	O.C.	ON CENTER
C.I.	CAST IRON	OPG.	OPENING
C.I.P.	CAST IN PIPE	P.T.	PRESSURE TREATED
C.O.	CLEAN OUT	PL.	PLATE
CAB.	CABINET	PLAM.	PLASTIC LAMINATE
CL.	CENTER LINE	PLYWD.	PLYWOOD
CLG.	CEILING	PNL.	PANEL
CLO.	CLOSET	PR.	PAIR
CLR.	CLEAR	PTD.	PAINTED
CMU	CONCRETE MASONRY UNIT	R	RISER
COL.	COLUMN	R.H.	RIGHT HAND
CONC.	CONCRETE	R.O.	ROUGH OPENING
CONT.	CONTINUOUS	R.W.L.	RAIN WATER LEADER
CSK.	COUNTERSINK	RAD. / R.	RADIUS
CSMT.	CASEMENT	REINF.	REINFORCED
CTR.	CENTER	REQ'D	REQUIRED
CW	COLD WATER	RESIL.	RESILIENT
DF	DOUGLAS FIR	RM.	ROOM
DH	DOUBLE HUNG	RWD.	REDWOOD
DIA.	DIAMETER	S.A.D.	SEE ARCHITECTURAL DRAWINGS
DIM.	DIMENSION	S.C.	SOLID CORE
DISP.	GARBAGE DISPOSAL	S.C.D.	SEE CIVIL DRAWINGS
DN.	DOWN	S.L.D.	SEE LANDSCAPE DRAWINGS
DR.	DOOR	S.P.	SOLID PIPE
DTL	DETAIL	S.S.	STAINLESS STEEL
DW	DISHWASHER	S.S.D.	SEE STRUCTURAL DRAWINGS
DWG.	DRAWING	S.T.	STEEL TROWEL
DWR.	DRAWER	SH.	SHelf
(E)	EXISTING	SHWR.	SHOWER
EA.	EACH	SIM.	SIMILAR
EL.	ELEVATION	SPK.	SPEAKER
ELEV.	ELEVATOR (OR ELEVATION)	STL.	STEEL
EQU.	EQUAL	STN.	STAIN
EXP.	EXPOSED	T&G	TONGUE & GROOVE
EXT.	EXTERIOR	T	TREAD
F.G.	FINISHED GRADE / FIXED GLASS	T.O.	TOP OF
F.O.C.	FACE OF CONCRETE	T.O.C.	TOP OF CONCRETE
F.O.F.	FACE OF FINISH	T.O.P.	TOP OF PLATE
F.O.S.	FACE OF STUD	T.O.S.	TOP OF STEEL / SLAB
FD	FLOOR DRAIN	T.O.W.	TOP OF WALL
FDN.	FOUNDATION	T.S.	TUBE STEEL
FIN.	FINISH	THK.	THICKNESS
FLR.	FLOOR	TYP.	TYPICAL
FRFR.	FIREPROOFING	U.O.N.	UNLESS OTHERWISE NOTED
FTG.	FOOTING	V.I.F.	VERIFY IN FIELD
G.I.	GALVANIZED IRON	V.T.R.	VENT THROUGH ROOF
G.W.B.	GYPsum WALLBOARD	V.P.	VENT PIPE
GA.	GAUGE	W.O.	WHERE OCCURS
GL.	GLASS	W.P.	WATERPROOFING
H.C.	HOLLOW CORE	W.S.	WEATHER STRIPPING
H.W.	HOT WATER	W/	WITH
HB	HOSEBIB	WC	WATER CLOSET
HDR.	HEADER	WD.	WOOD
HOR.	HORIZONTAL	WINDW.	WINDOW
HT	HEIGHT	WH	WATER HEATER
HTR.	HEATER		
I.D.	INSIDE DIAMETER		
INS.	INSULATION		
INT.	INTERIOR		
J.H.	JOIST HANGER		
JB	JUNCTION BOX		
JST.	JOIST		
JT	JOINT		

DIRECTORY

OWNER:	HODGE/KEARE FAMILY TRUST 3406 17 MILE DRIVE PEBBLE BEACH, CA 93953
ARCHITECT:	WALKER WARNER ARCHITECTS 353 FOLSOM STREET, SAN FRANCISCO, CA 94105 TEL: 415-318-8900 EMAIL: GWARNER@WALKERWARNER.COM
GENERAL CONTRACTOR:	STOCKER & ALLAIRE 21 MANDEVILLE COURT MONTEREY, CA 93940 CONTACT: DAVID STOCKER TEL: 831-375-1890 EMAIL: DSTOCKER@STOCKERLLAIRE.COM
LANDSCAPE ARCHITECT:	LUTSKO ASSOCIATES 3295 MISSION ST SAN FRANCISCO, CA 94110 CONTACT: MYRA MESSNER TEL: 415-914-7124 EMAIL: MYRA@LUTSKOASSOCIATES.COM
STRUCTURAL ENGINEER:	STRANDBERG ENGINEERING 1511 15TH STREET SAN FRANCISCO, CA 94103 CONTACT: JOYCE FENG TEL: 415-906-2438 EMAIL: JOYCE@STRANDBERGENG.COM
CIVIL ENGINEER:	SHERWOOD DESIGN ENGINEERS 625 2ND STREET, SUITE 202 PETALUMA, CA 94952 CONTACT: CHRISTINA NICHOLSON TEL: 707-773-7829 EMAIL: CNICHOLSON@SHERWOODENGINEERS.COM
M/E/P ENGINEERS:	AXIOM ENGINEERS + COLEBREIT ENGINEERING 22 LOWER RAGSDALE DR, SUITE A MONTEREY, CA 93940 CONTACT: BILL ESTES TEL: 831-649-8000 EMAIL: BILLE@AXIOMENGINEERS.COM
GEOTECHNICAL ENGINEER:	BUTANO GEOTECHNICAL ENGINEERING, INC. 231 GREEN VALLEY RD FREEDOM, CA 95019 TEL: 831-724-2612
LIGHTING DESIGNER:	VITA PEHAR DESIGN 10005 BODEGA HIGHWAY SEBASTOPOL, CA 95472 CONTACT: VITA PEHAR TEL: 707-829-6363

PROJECT DATA

LOCATION:	3406 17 MILE DRIVE PEBBLE BEACH CA 93953
APN:	008-381-002
LOT SIZE:	102,107 sq. ft.
ZONING:	LDR/1.5-D (CZ)
BLDG USE:	SINGLE FAMILY RESIDENTIAL
OCC. GROUP:	R-3
CONST. TYPE:	TYPE V
CLIMATE ZONE:	3
GENERAL PLAN LAND USE DESIGNATION:	DEL MONTE FOREST LAND USE PLAN
WATER PROVIDER:	CALIFORNIA-AMERICAN WATER
SEWER PROVIDER:	PEBBLE BEACH CSD
BLDG. CODE:	2022 CA RESIDENTIAL BUILDING CODE (CRC) 2022 CA MECHANICAL CODE (CMC) 2022 CA ELECTRICAL CODE (CEC) 2022 CA PLUMBING CODE (CPC) 2022 CA ENERGY CODE (CEC) 2022 CA GREEN BUILDING CODE (CGBC) 2021 NFPA 101 LIFE SAFETY CODE ALL OTHER APPLICABLE STATE & LOCAL RULES AND REGULATIONS

FIRE SPRINKLERS:	NFPA 13D COMPLIANT
PROJECT SCOPE:	REPLACE EXISTING SINGLE FAMILY RESIDENCE, DETACHED ACCESSORY DWELLING UNIT AND ASSOCIATED SITE WORK WITH NEW MAIN RESIDENCE AND DETACHED 2-CAR GARAGE WITH ACCESSORY DWELLING UNIT ABOVE. NEW MAIN RESIDENCE TO INCLUDE A BASEMENT STORAGE AREA (FULLY BELOW GRADE), NEW POOL AND SPA AND ASSOCIATED SITE WORK.

PROPOSED CUT	6,000	cubic yds
PROPOSED FILL	1,500	cubic yds

LOT SIZE:	102,107	sq. ft.
MAX. ALLOWABLE FLOOR AREA:	17,868	sq. ft.
PROPOSED FLOOR AREA:		
SECOND FLOOR	1,524	sq. ft.
FIRST FLOOR	7,117	sq. ft.
ACCESSORY DWELLING UNIT	960	sq. ft.
GARAGE	960	sq. ft.
PROPOSED BUILDING FLOOR AREA:	10,561	sq. ft. (10.3%)
BASEMENT (FULLY BELOW GRADE)	2,723	sq. ft.
CRAWL SPACE	4,373	sq. ft.

LOT SIZE:	102,107	sq. ft.
MAX. ALLOWABLE BSC PERCENTAGE:	15.0%	
MAX. ALLOWABLE BSC:	15,317	sq. ft.
PROPOSED BSC:		
BUILDING	8,077	sq. ft.
TERRACES OVER 24" ABOVE NAT. GRADE	0	sq. ft.
EAVES & AWNINGS OVER 30" DEEP	219	sq. ft.
PROPOSED BUILDING SITE COVERAGE:	8,296	sq. ft. (7.9%)

MAXIMUM ALLOWED:	9,000	sq. ft.
EXISTING:		
(E) MAIN HOUSE:	4,305	sq. ft.
(E) ACCESSORY DWELLING UNIT:	1,386	sq. ft.
(E) SHED:	105	sq. ft.
(E) HARDSCAPE:	15,007	sq. ft.
(E) IMPERMEABLE LOT COVERAGE:	20,803	sq. ft.
PROPOSED:		
MAIN HOUSE:	7,117	sq. ft.
GARAGE / ACCESSORY DWELLING UNIT:	960	sq. ft.
HARDSCAPE:	700	sq. ft.
DECKS & TERRACES >24" HIGH:	0	sq. ft.
ROOF OVERHANGS & EAVES >30":	219	sq. ft.
PROPOSED IMPERMEABLE LOT COVERAGE:	8,996	sq. ft.
PROPOSED PERMEABLE LOT COVERAGE:	18,573	sq. ft.

EXISTING MAIN HOUSE:		
AVERAGE NATURAL GRADE:	109.06'	
EXISTING BUILDING HEIGHT:	25'-8" (134.72')	
EXISTING ADU:		
AVERAGE NATURAL GRADE:	114.95'	
EXISTING BUILDING HEIGHT:	14'-9" (129.7')	
PROPOSED MAIN HOUSE:		
AVERAGE NATURAL GRADE:	109'-8" (109.67')	
ALLOWABLE BUILDING HEIGHT:	+30'-0" (139.67')	
PROPOSED BUILDING HEIGHT:	26'-1" (135.75')	
PROPOSED GARAGE/ADU:		
AVERAGE NATURAL GRADE:	122'-8" (122.63')	
ALLOWABLE BUILDING HEIGHT:	+15'-0" (137.63')	
PROPOSED BUILDING HEIGHT:	14'-6" (137.13')	

DRAWING INDEX

ARCHITECTURAL	
A0.0	COVER SHEET
A0.1	COLOR & MATERIAL PALETTE
A0.2	COLOR & MATERIAL PALETTE
A0.3	PROPOSED FLOOR AREA & BUILDING CALCULATIONS
A0.4	PROPOSED HARDSCAPE REDUCTION PLAN
A0.5	SITE SURVEY
A1.0	PROPOSED SITE PLAN
AA2.0	MAIN HOUSE - BASEMENT
AA2.1	MAIN HOUSE - FIRST FLOOR
AA2.2	MAIN HOUSE - SECOND FLOOR, LOW ROOF & DECK
AA2.3	MAIN HOUSE - HIGH ROOF & TRELLIS
AA3.0	MAIN HOUSE - ELEVATIONS
AA3.1	MAIN HOUSE - ELEVATIONS
AA4.0	MAIN HOUSE - SECTIONS
AA4.1	MAIN HOUSE - SECTIONS
AB2.0	GARAGE/ADU - PLANS
AB3.0	GARAGE/ADU - ELEVATIONS/SECTIONS

LANDSCAPE	
L1.1	LANDSCAPE SITE PLAN
L2.1	STREET ELEVATIONS
L3.1	PLANTING PLAN
L3.2	PLANTING SCHEDULE AND NOTES
L4.1	LANDSCAPE LIGHTING PLAN
L4.2	LANDSCAPE LIGHTING SPECIFICATIONS

WALKER WARNER ARCHITECTS

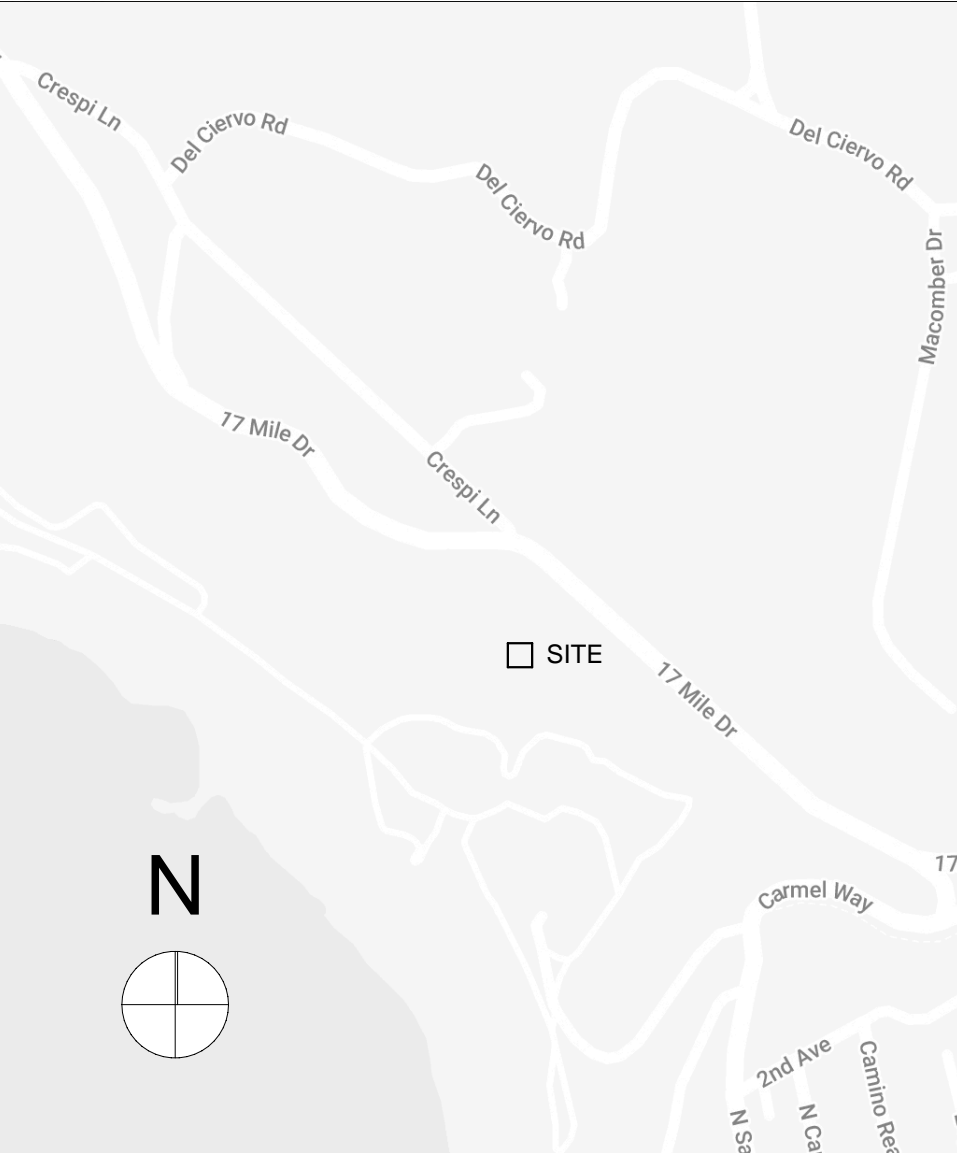
353 Folsom Street
San Francisco, California 94105
415.318.8900
www.walkerwarner.com

A P N : 0 0 8 - 3 8 1 - 0 0 2

HODGE PEBBLE BEACH

3406 17 MILE DRIVE,
PEBBLE BEACH CA, 93953

VICINITY MAP

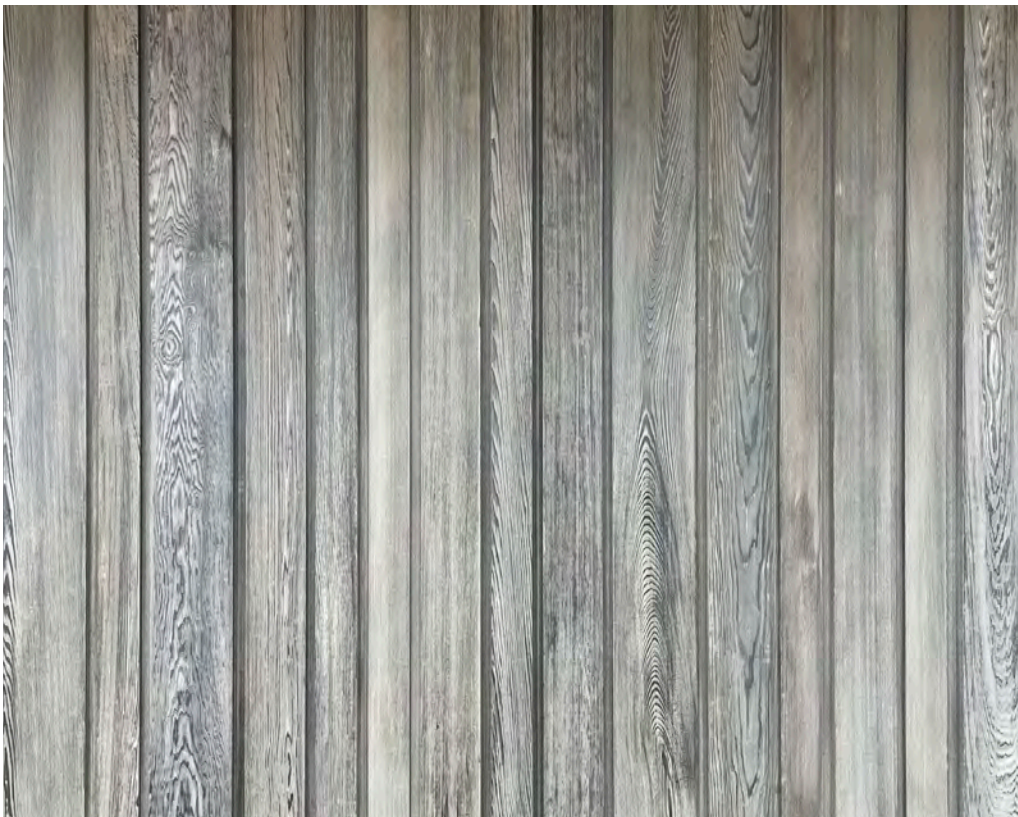


ISSUED:	
PLANNING SUBMITTAL	2023-08-04
PLANNING RE-SUBMITTAL	2024-01-09

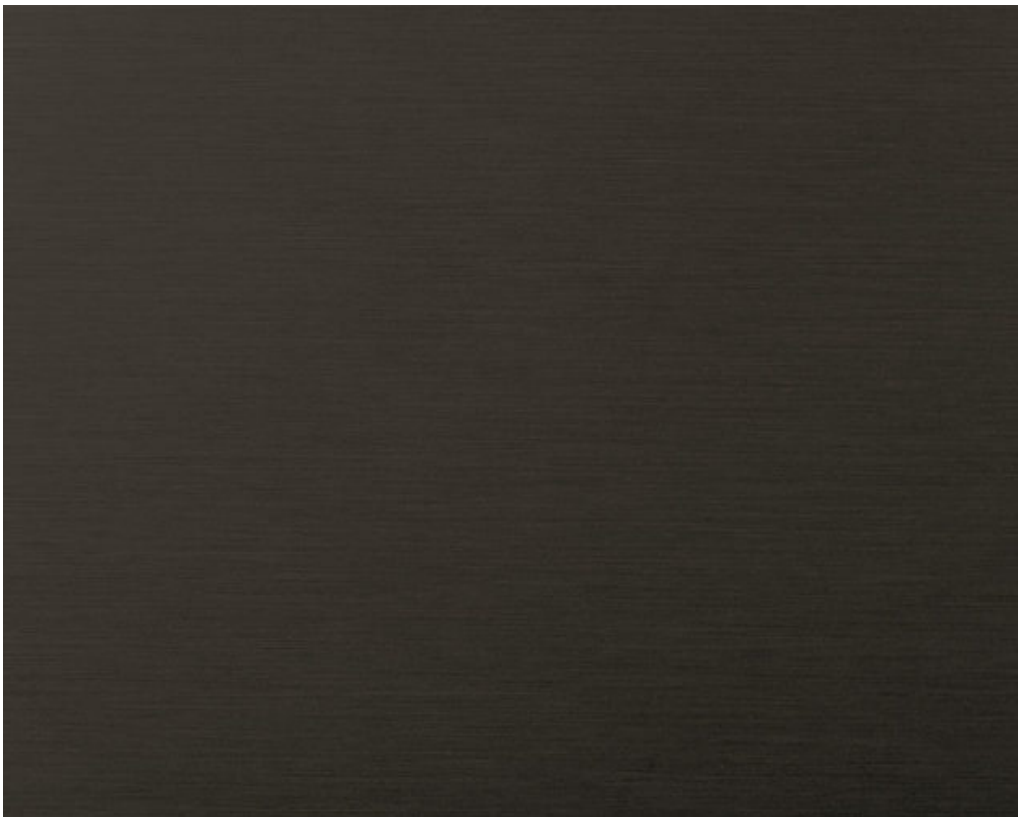
COVER SHEET	
SCALE :	AS NOTED
JOB NUMBER :	2022_07
SHEET :	A0.0



1. CONCRETE



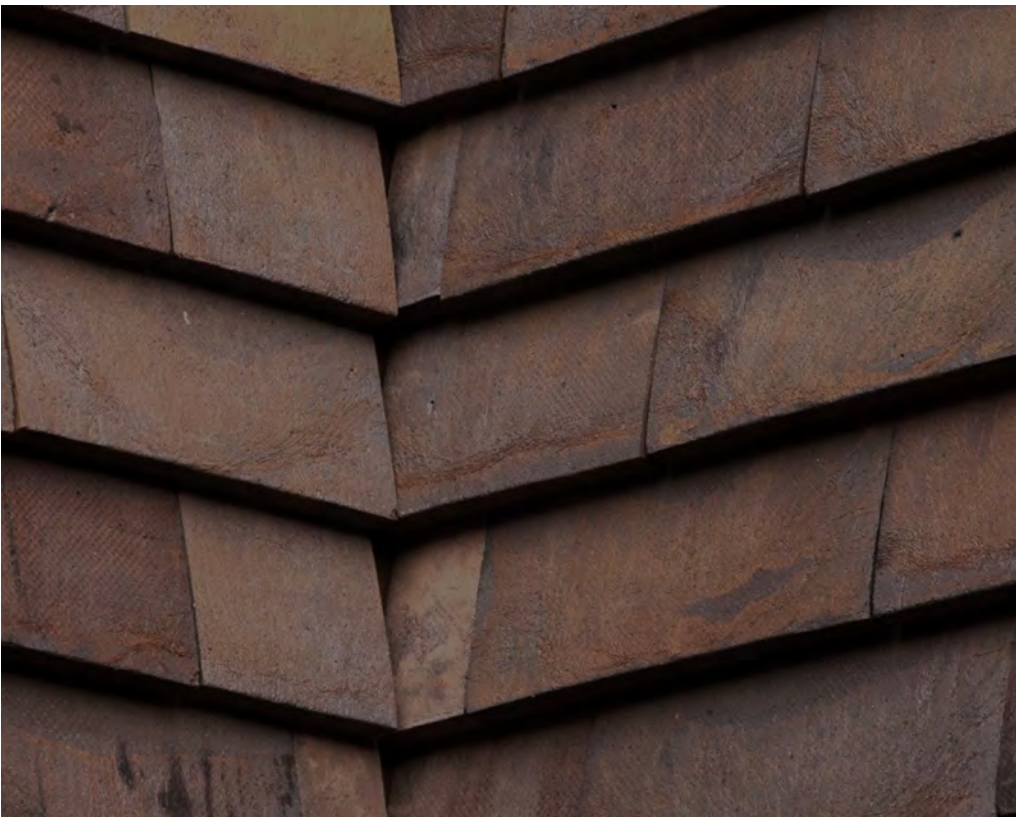
2. WOOD



3. METAL



4. OPENINGS



5. TILE

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HODGE PEBBLE BEACH

3406 17 MILE DRIVE,
PEBBLE BEACH CA, 93953

ISSUED:

PLANNING SUBMITTAL 2023-08-04
PLANNING RE-SUBMITTAL 2024-01-09

COLOR & MATERIAL
PALETTE

SCALE : AS NOTED

JOB NUMBER : 2022_07

SHEET : A0.1

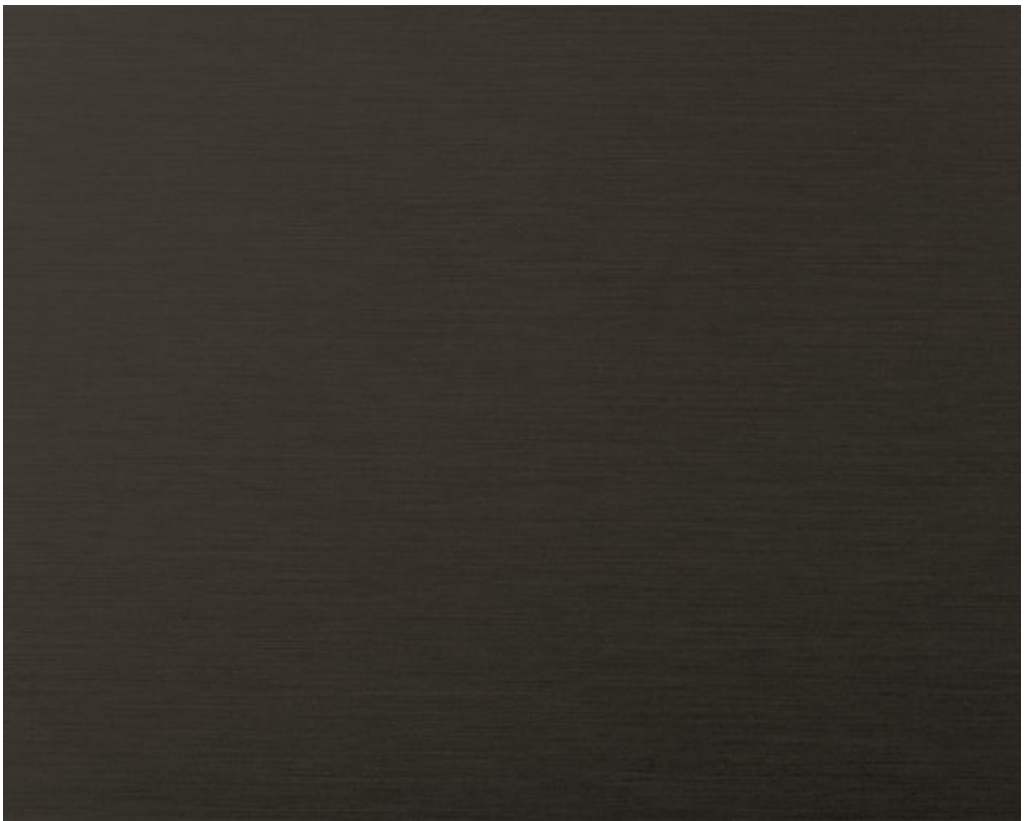
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1. CONCRETE



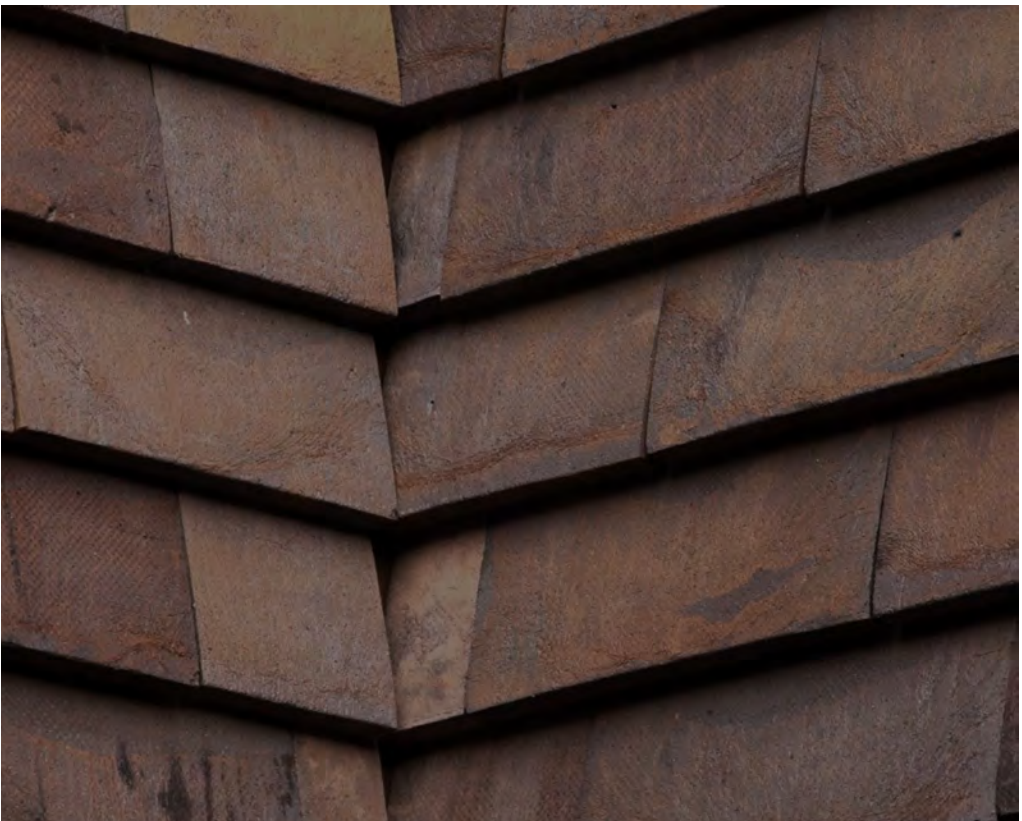
2. WOOD



3. METAL



4. OPENINGS



5. TILE



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A P N : 0 0 8 - 3 8 1 - 0 0 2

HODGE PEBBLE BEACH

3406 17 MILE DRIVE,
PEBBLE BEACH CA, 93953

ISSUED:

PLANNING SUBMITTAL 2023-08-04
PLANNING RE-SUBMITTAL 2024-01-09

COLOR & MATERIAL
PALETTE

SCALE : AS NOTED

JOB NUMBER : 2022_07




SHEET : A0.2

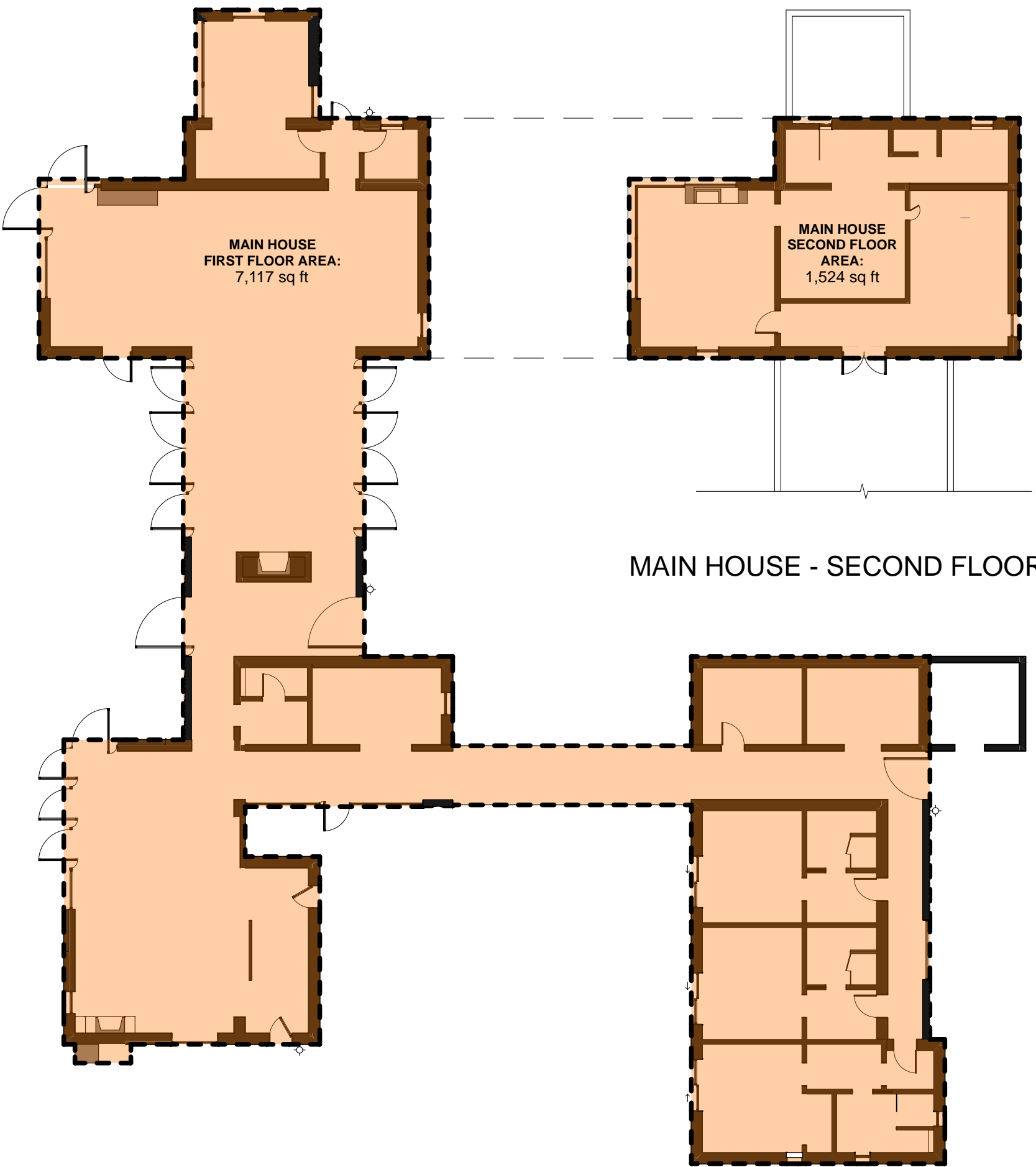
NOTES - PROPOSED FLOOR AREA:

FLOOR AREA	
(N) MAIN HOUSE:	1,524 sq ft
SECOND FLOOR:	7,117 sq ft
FIRST FLOOR:	8,641 sf ft
SUB-TOTAL:	
(N) ADU:	960 sq ft
(N) GARAGE:	960 sq ft
TOTAL FLOOR AREA:	10,561 sq ft

BASEMENT (FULLY BELOW GRADE)	
(N) MAIN HOUSE:	2,723 sq ft
CRAWL SPACE AREA	
(N) MAIN HOUSE:	4,373 sq ft

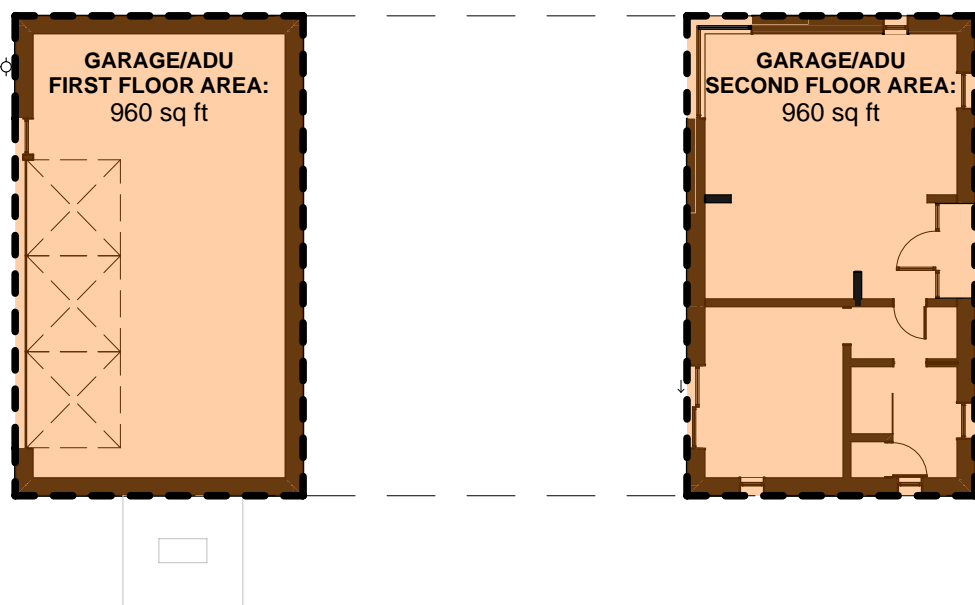
LEGEND - FLOOR AREA

	FLOOR AREA
	BASEMENT FLOOR AREA
	CRAWLSPACE FLOOR AREA

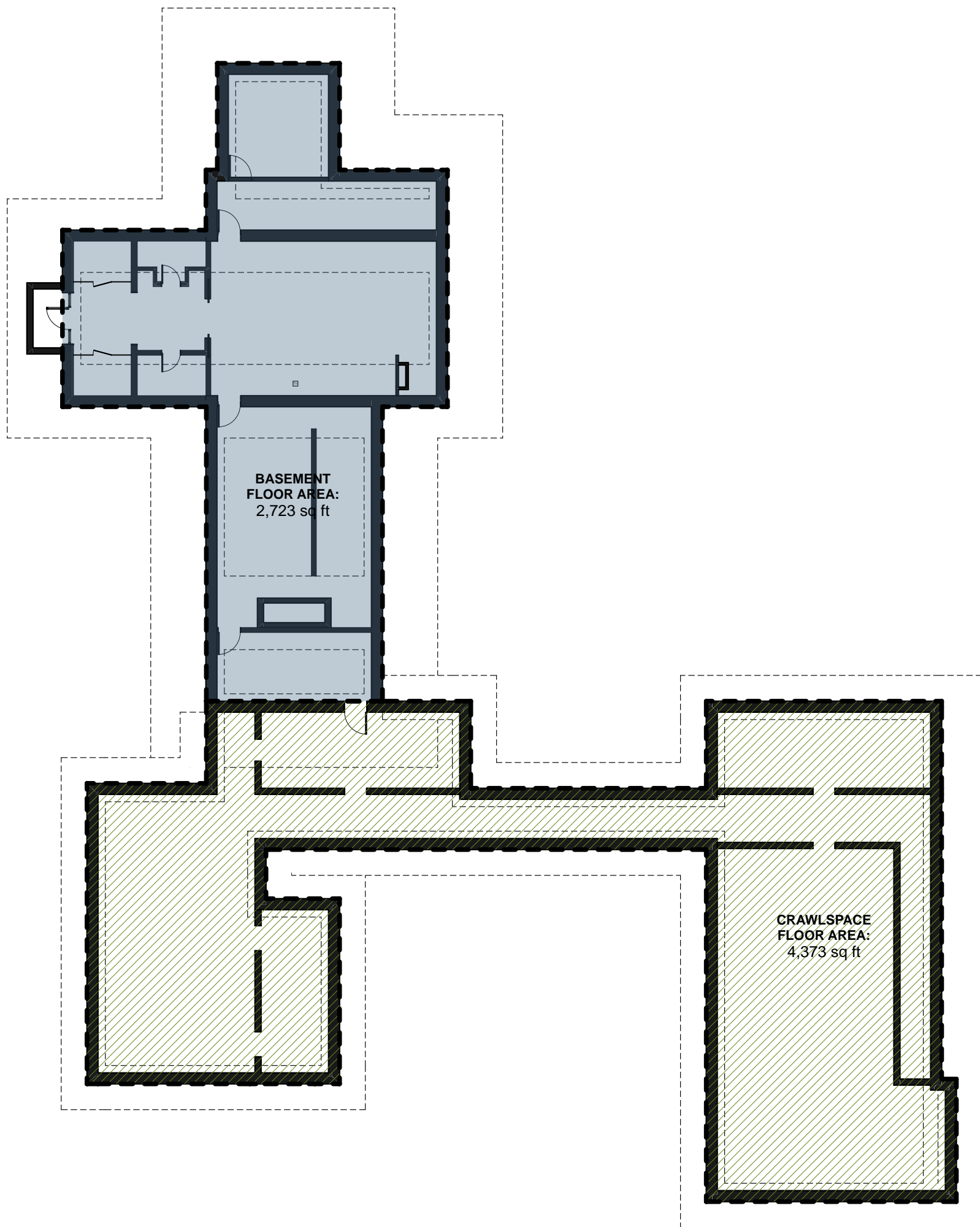


MAIN HOUSE - SECOND FLOOR

MAIN HOUSE - FIRST FLOOR



GARAGE/ADU - FIRST FLOOR GARAGE/ADU - SECOND FLOOR



MAIN HOUSE - BASEMENT

ISSUED:

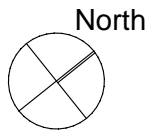
PLANNING SUBMITTAL	2023-08-04
PLANNING RE-SUBMITTAL	2024-01-09

PROPOSED FLOOR AREA & BUILDING CALCULATIONS

SCALE : AS NOTED

JOB NUMBER : 2022_07

SHEET : A0.3



NOTES - LOT COVERAGE:

EXISTING LOT COVERAGE:

(E) MAIN HOUSE COVERAGE: 4,305 sq. ft.
(E) ACCESSORY DWELLING UNIT: 1,386 sq. ft.
(E) SHED 105 sq. ft.
(E) HARDSCAPE: 15,007 sq. ft.
EXISTING LOT COVERAGE TOTAL: 20,803 sq. ft.

PROPOSED LOT COVERAGE (IMPERMEABLE):

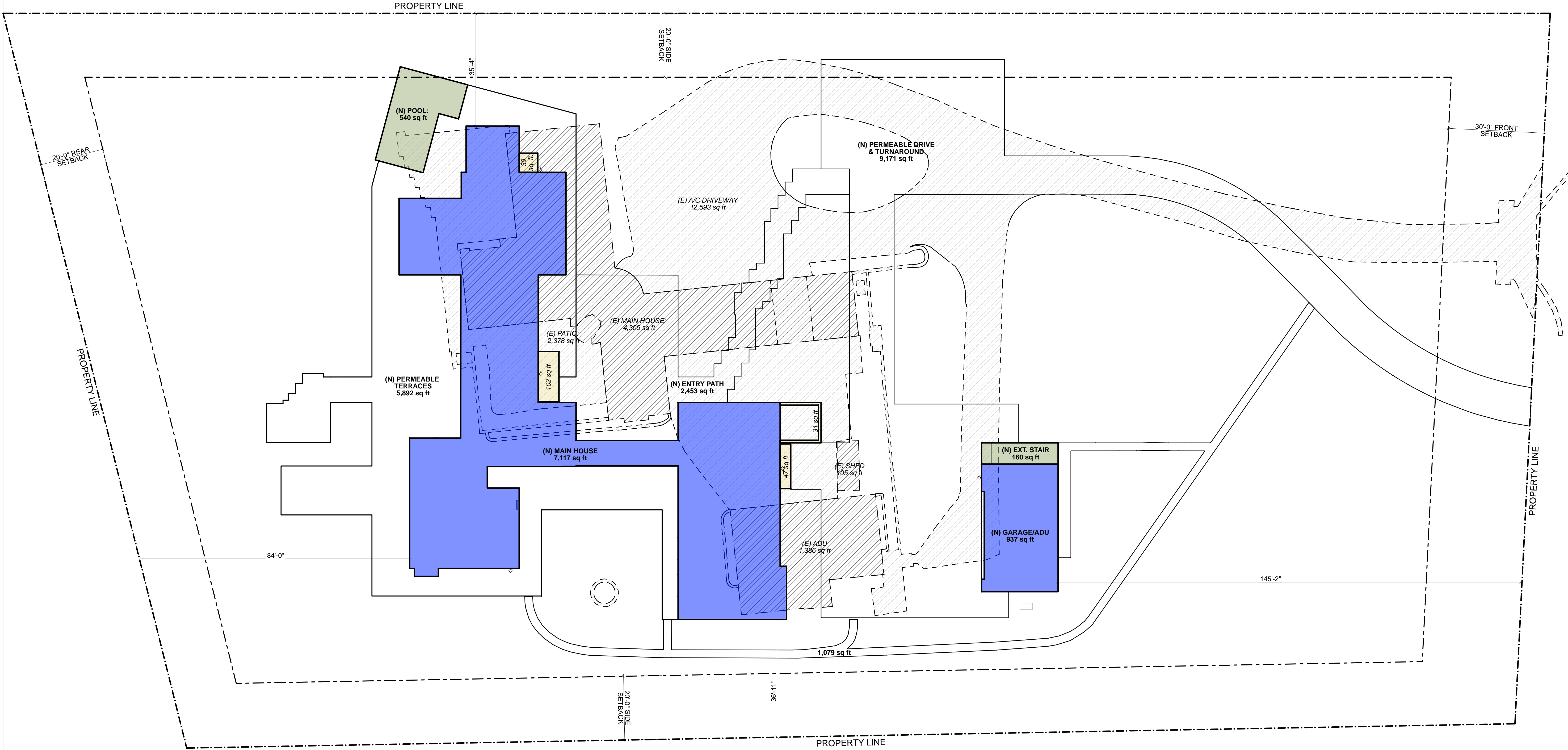
PROPOSED HOUSE COVERAGE: 7,117 sq. ft.
PROPOSED ADU COVERAGE: 960 sq. ft.
PROPOSED HARDSCAPE: 700 sq. ft.
DECKS & TERRACES >24" HIGH: 0 sq. ft.
ROOF OVERHANGS & EAVES >30": 219 sq. ft.
PROPOSED LOT COVERAGE TOTAL: 8,996 sq. ft.

PROPOSED LOT COVERAGE (PERMEABLE):

PROPOSED LOT COVERAGE TOTAL: 18,573 sq. ft.

LEGEND - LOT COVERAGE:

- EXISTING BUILDING COVERAGE
- EXISTING HARDSCAPE/DEVELOPED AREA
- PROPOSED BUILDING COVERAGE
- PROPOSED BUILDING COVERAGE - ROOF OVERHANGS
- PROPOSED HARDSCAPE
- PROPOSED PERMEABLE PAVING



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3406 17 MILE DRIVE,
PEBBLE BEACH CA, 93953

ISSUED:

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PROPOSED HARDSCAPE
REDUCTION PLAN

SCALE: AS NOTED

JOB NUMBER: 2022_07

SHEET: A0.4

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1
A0.4

LOT COVERAGE SITE PLAN

SCALE: 1/16" = 1'-0"

NOTES - SITE PLAN:

1. EXISTING CONTOURS ARE SHOWN. S.C.D. FOR PROPOSED FINISH GRADING
2. S.C.D. FOR DRAINAGE INFORMATION
3. NOT USED
4. NOT USED

LEGEND - SITE PLAN:

- PROPERTY LINE
--- SETBACK LINE
--- EXISTING CONTOURS
(N) STRUCTURES
(N) HARDSCAPE, SEE SITE COVERAGE PLAN
LOW WATTAGE, DOWN-LIT EXTERIOR LIGHT FIXTURE PER SPECIFICATION
(E) TREE TO REMAIN
(N) TREE

EXTERIOR FIXTURE SPECIFICATION:

HAMMERTONSTUDIO



TORRENT OUTDOOR SCONCE

\$995 - \$1,295

CONFIGURE YOUR PRODUCT

Size

24" W

Finish

Argento Grey

Quantity

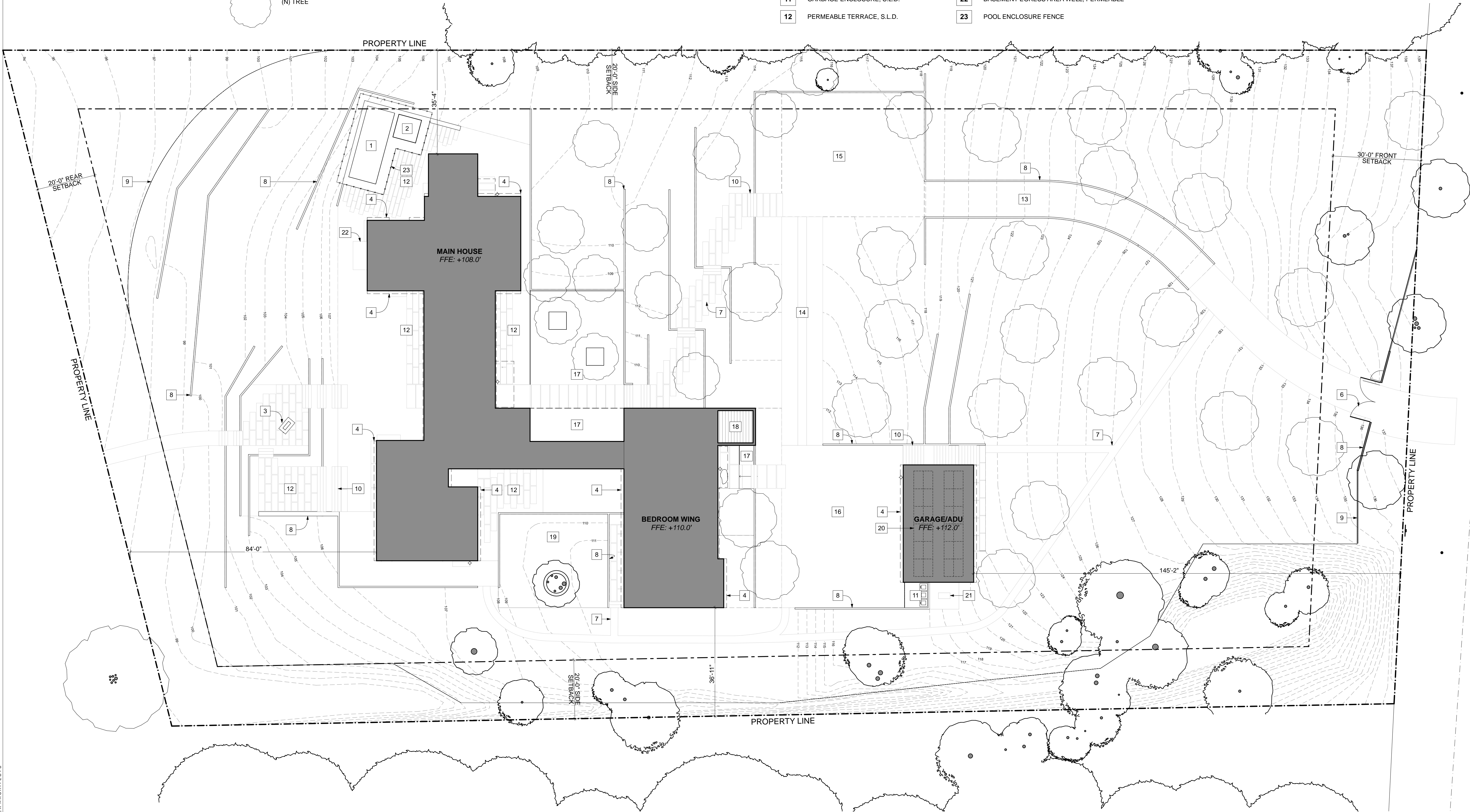
SKU: CD00002-02-AG-CA-L2

This clean lined outdoor sconce design casts light downward on both sides through sparkling textured glass that's kiln-fused by Hammerton artisans. Aluminum construction, marine grade pre-treatment and AAMA 2604 powder coat finishes ensure long lasting beauty in all climates.

The Torrent sconce has been certified as Dark Sky compliant by the International Dark Sky Association.

KEYNOTES - SITE PLAN:

- 1 POOL
2 HOT TUB
3 FIREPLACE, S.L.D.
4 LINE OF OVERHANG ABOVE
6 GATE, S.L.D.
7 PATH, S.L.D.
8 SITE WALL, S.L.D.
9 FENCE, S.L.D.
10 STAIR, S.L.D.
11 GARBAGE ENCLOSURE, S.L.D.
12 PERMEABLE TERRACE, S.L.D.
13 PERMEABLE PAVED DRIVEWAY, S.L.D.
14 PERMEABLE GRASSCRETE DRIVEWAY, S.L.D.
15 PERMEABLE PAVED HAMMERHEAD TURNAROUND, S.L.D.
16 PERMEABLE PAVED AUTOCOURT, S.L.D.
17 GRAVEL ZEN GARDEN, S.L.D.
18 OUTDOOR WASH, PERMEABLE
19 OAK GARDEN
20 ROOFTOP SOLAR PANEL ARRAY
21 EMERGENCY BACK-UP GENERATOR
22 BASEMENT EGRESS AREA WELL, PERMEABLE
23 POOL ENCLOSURE FENCE



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ISSUED:

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PROPOSED SITE PLAN

SCALE: AS NOTED

JOB NUMBER: 2022_07

SHEET: A1.0

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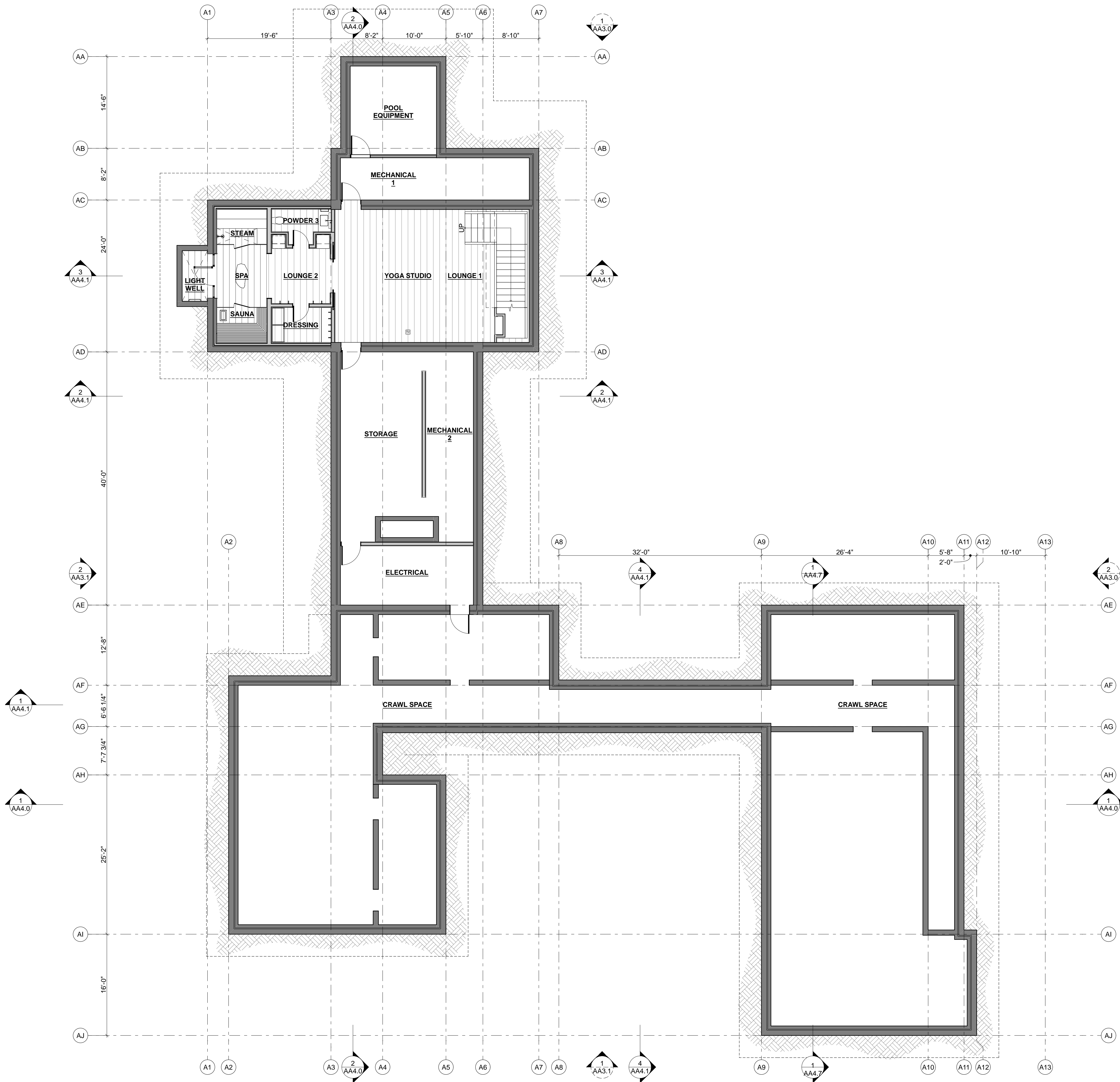
1
A1.0

SITE PLAN

SCALE: 1/16" = 1'-0"

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1
AA2.0
MAIN HOUSE - BASEMENT
SCALE: 1/8" = 1'-0"

GENERAL NOTES - LAYOUT PLAN

- ALL GRIDLINES ARE TO FACE OF CONCRETE, U.O.N.
- ALL DIMENSIONS TO FACE OF STUD OR FACE OF CONCRETE, U.O.N. SEE DIMENSION SYMBOLS ON COVER SHEET
- SEE SITE PLANS FOR ADDITIONAL HARDSCAPE INFORMATION
- NOT USED

LEGEND - LAYOUT PLAN:

- PROPOSED 2X WOOD FRAMED WALL
- PROPOSED CONCRETE WALL, S.S.D.

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ISSUED:

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MAIN HOUSE - BASEMENT

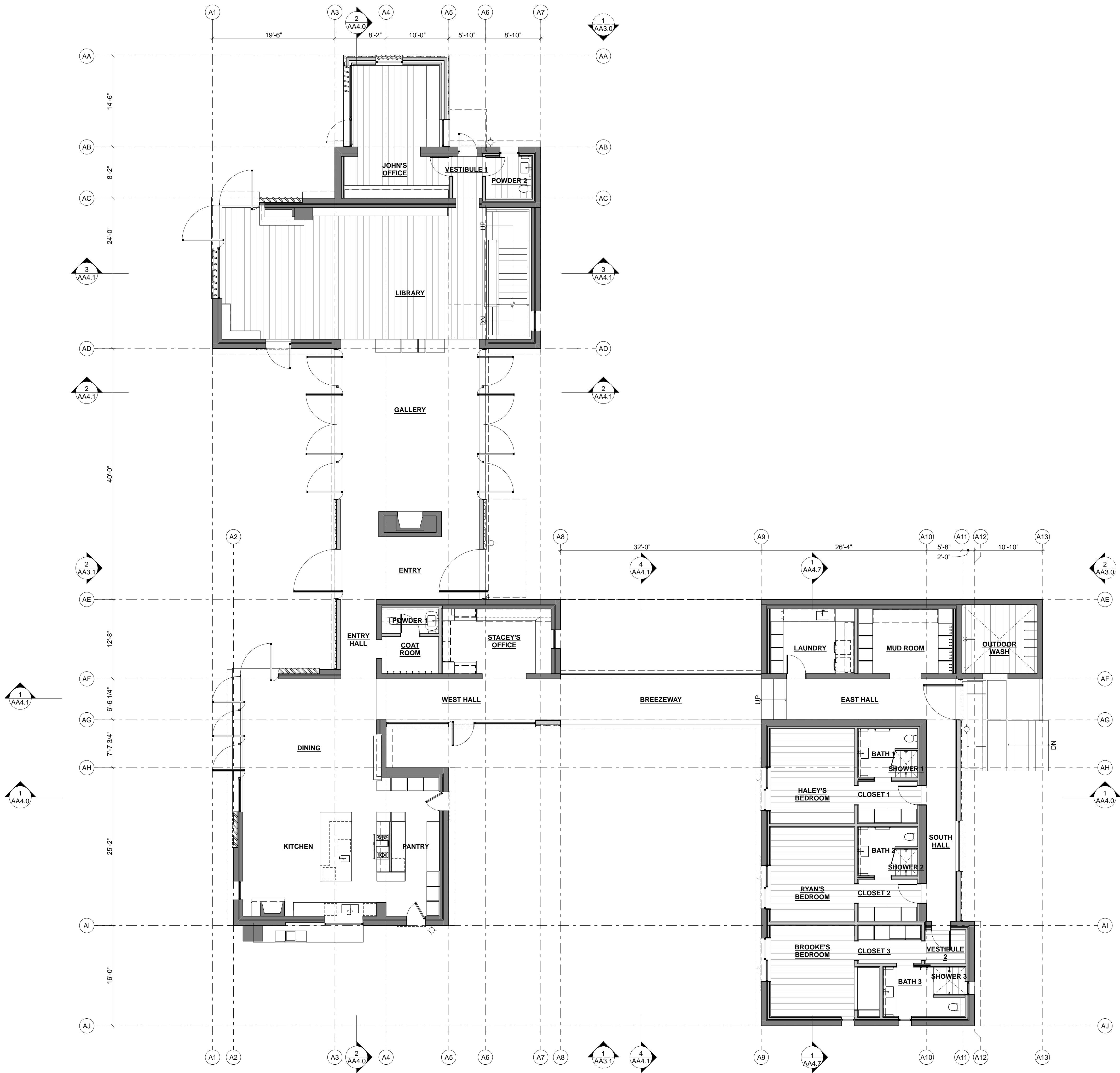
SCALE: AS NOTED

JOB NUMBER: 2022_07

SHEET: AA2.0

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1
AA2.1
MAIN HOUSE - FIRST FLOOR
SCALE: 1/8" = 1'-0"

GENERAL NOTES - LAYOUT PLAN

- ALL GRIDLINES ARE TO FACE OF CONCRETE, U.O.N.
- ALL DIMENSIONS TO FACE OF STUD OR FACE OF CONCRETE, U.O.N. SEE DIMENSION SYMBOLS ON COVER SHEET
- SEE SITE PLANS FOR ADDITIONAL HARDSCAPE INFORMATION
- NOT USED

LEGEND - LAYOUT PLAN:

- PROPOSED 2X WOOD FRAMED WALL
- PROPOSED CONCRETE WALL, S.S.D.

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MAIN HOUSE - FIRST
FLOOR

SCALE: AS NOTED

JOB NUMBER: 2022_07

SHEET: AA2.1

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MAIN HOUSE - SECOND FLOOR, LOW ROOF & DECK

SCALE : AS NOTED

JOB NUMBER : 2022_07

SHEET : **AA2.2**

- ALL GRIDLINES ARE TO FACE OF CONCRETE, U.O.N.
- ALL DIMENSIONS TO FACE OF STUD OR FACE OF CONCRETE, U.O.N. SEE DIMENSION SYMBOLS ON COVER SHEET
- SEE SITE PLANS FOR ADDITIONAL HARDSCAPE INFORMATION
- NOT USED

PROPOSED 2X WOOD FRAMED WALL

PROPOSED CONCRETE WALL, S.S.D.

1
AA2.2

MAIN HOUSE - SECOND FLOOR

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

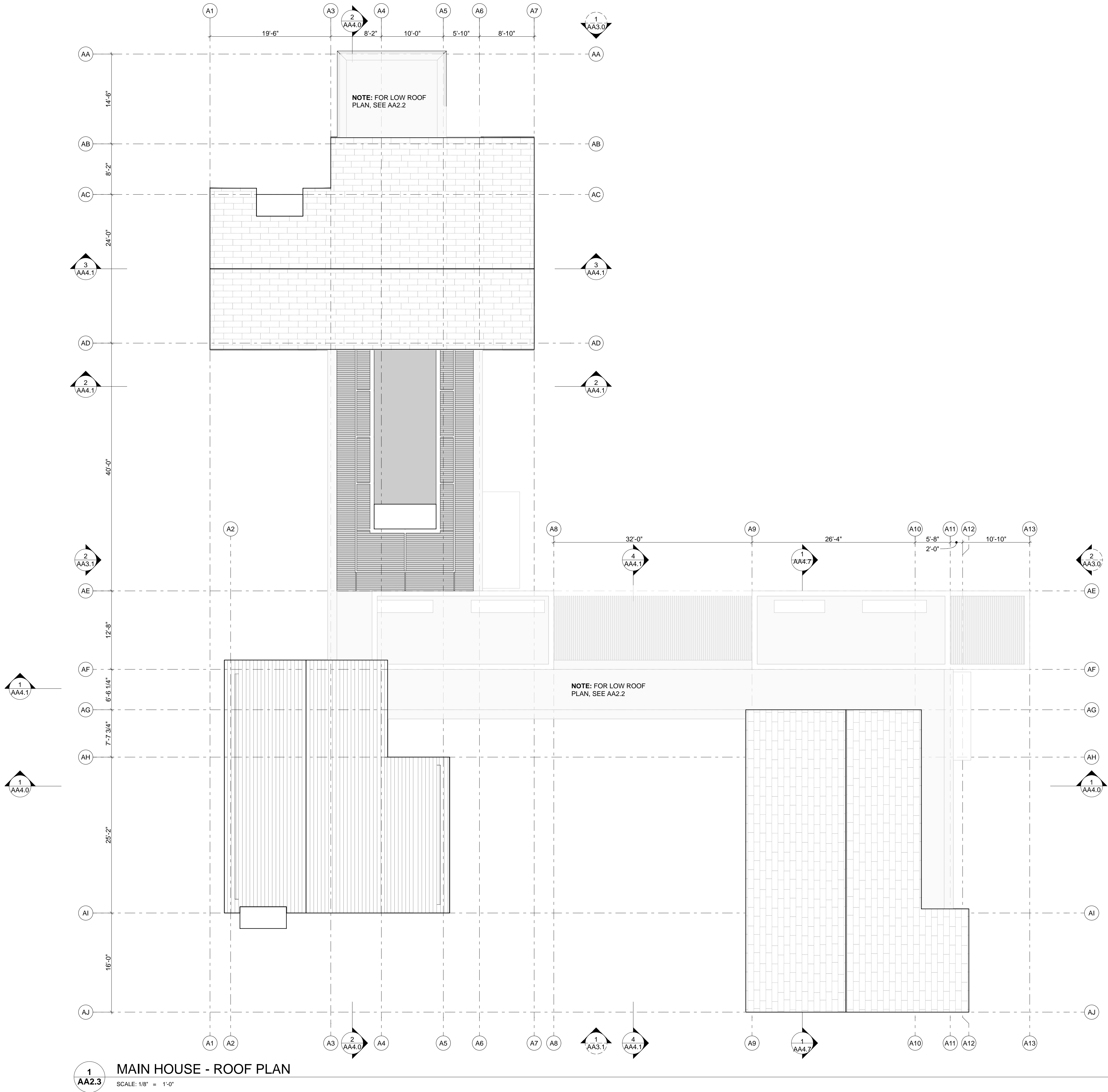
North

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GENERAL NOTES - LAYOUT PLAN

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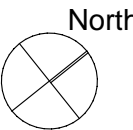
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MAIN HOUSE - HIGH ROOF
& TRELLIS

SCALE: AS NOTED

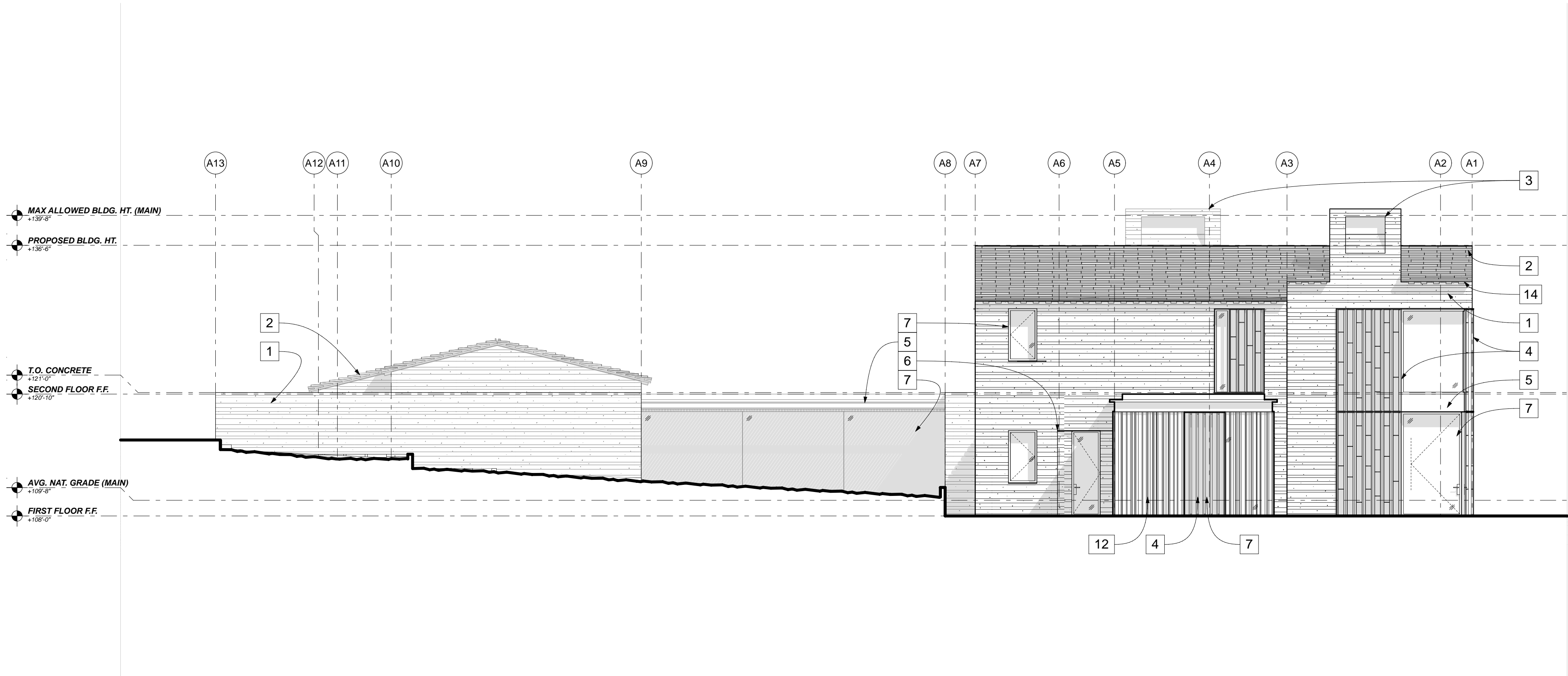
JOB NUMBER: 2022_07

SHEET: AA2.3

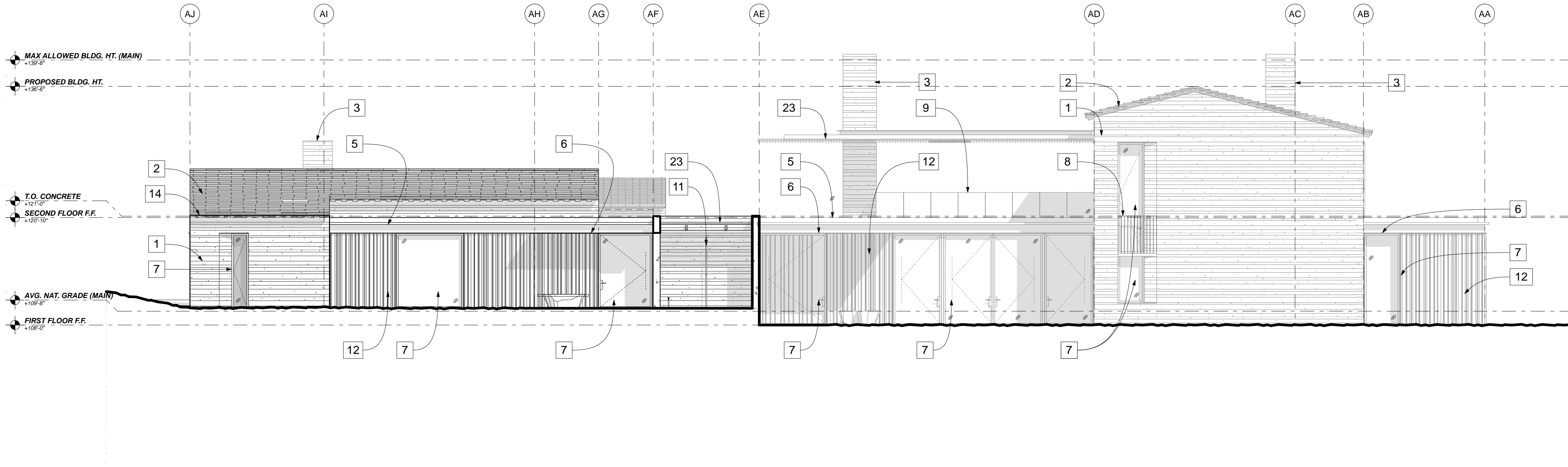


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1 MAIN HOUSE - NORTH ELEVATION - 1/8"
AA3.0 SCALE: 1/8" = 1'-0"



2 MAIN HOUSE - EAST ELEVATION - 1/8"
AA3.0 SCALE: 1/8" = 1'-0"

NOTES - ELEVATION / SECTION:

- S.C.D. FOR DRAINAGE INFORMATION
- NOT USED
- NOT USED

KEYNOTES - ELEVATION / SECTION:

- 1 CONCRETE WALL
- 2 CLAY ROOF TILE
- 3 CONCRETE CHIMNEY W/ CUSTOM MTL. MESH SPARK ARRESTOR
- 4 OPERABLE WOOD LOUVERS SET IN SLIDING METAL FRAME
- 5 METAL FASCIA
- 6 METAL AWNING
- 7 METAL DOOR OR WINDOW SYSTEM
- 8 METAL GUARDRAIL @ 42" A.F.F.
- 9 GLASS GUARDRAIL @ 42" A.F.F.
- 10 OVERHEAD GARAGE DOOR
- 11 OUTDOOR WASH
- 12 EXT. WOOD WALL CLADDING
- 13 BUILT-IN BBQ
- 14 EXPOSED ROOF RAFTER
- 15 ROOF STRUCTURE
- 16 LOW SLOPE MEMBRANE ROOF
- 17 NOT USED
- 18 SLAB ON GRADE, S.S.D.
- 19 RAT SLAB, S.S.D.
- 20 INT. DROPPED CEILING ASSEMBLY
- 21 FIREPLACE W/ HEARTH
- 22 FIXED SKYLIGHT O/ CURB & FLASHING
- 23 WOOD & METAL. TRELLIS
- 24 SITE WALL
- 25 LINE OF EXISTING GRADE
- 26 CONCRETE FOOTING, S.S.D.
- 27 TRASH ENCLOSURE

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MAIN HOUSE - ELEVATIONS

SCALE : AS NOTED

JOB NUMBER : 2022_07

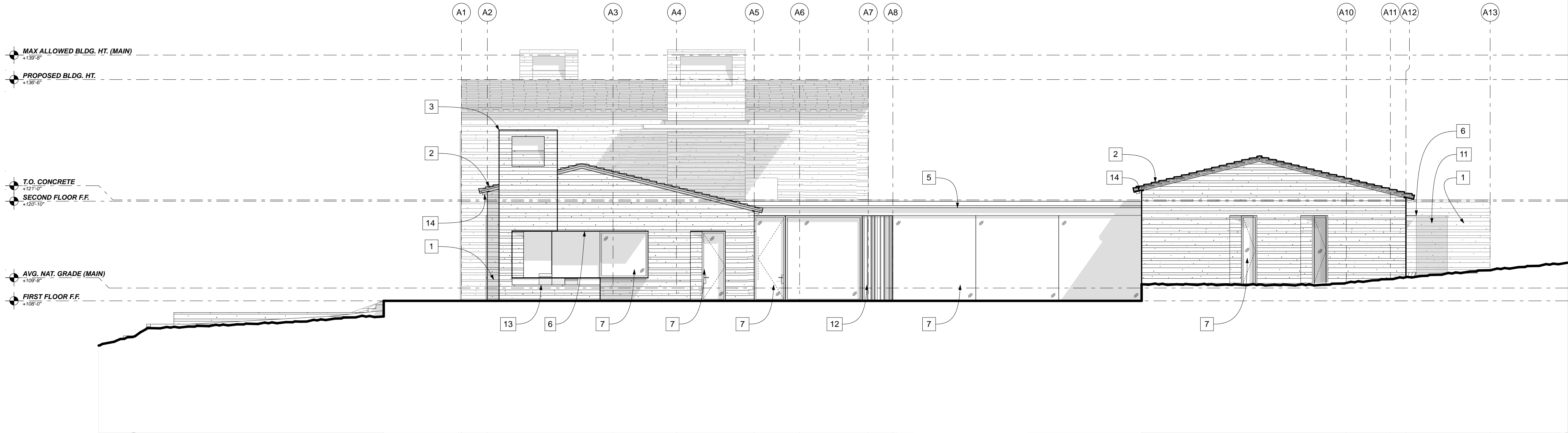
SHEET : AA3.0

NOTES - ELEVATION / SECTION:

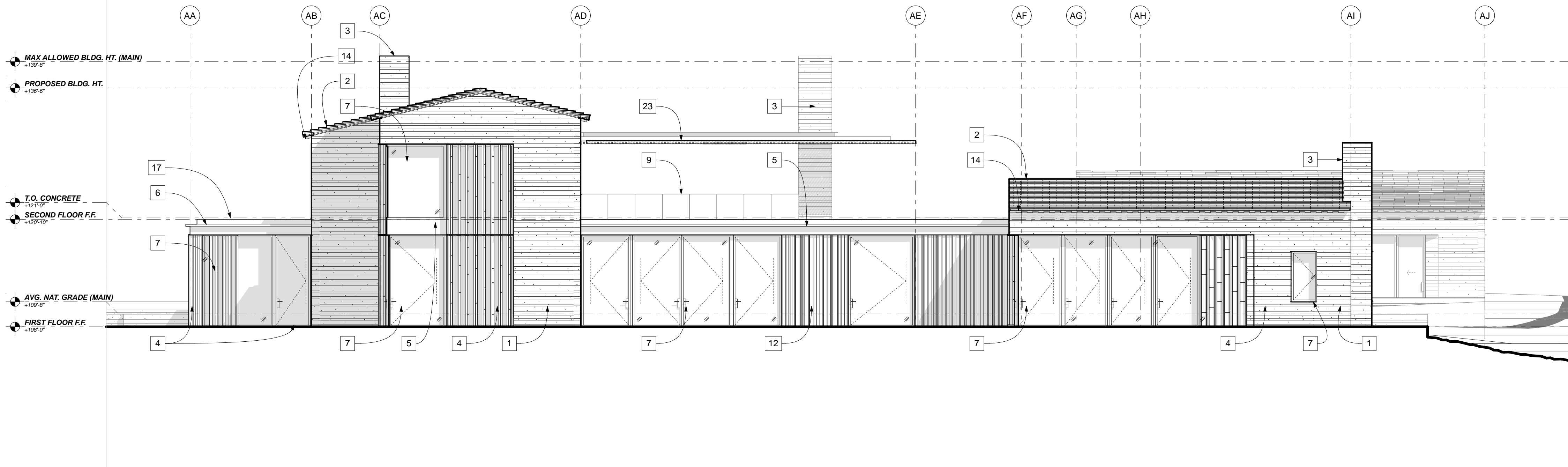
- S.C.D. FOR DRAINAGE INFORMATION
-- NOT USED
-- NOT USED

KEYNOTES - ELEVATION / SECTION:

- 1 CONCRETE WALL
2 CLAY ROOF TILE
3 CONCRETE CHIMNEY W/ CUSTOM MTL. MESH SPARK ARRESTOR
4 OPERABLE WOOD LOUVERS SET IN SLIDING METAL FRAME
5 METAL FASCIA
6 METAL AWNING
7 METAL DOOR OR WINDOW SYSTEM
8 METAL GUARDRAIL @ 42" A.F.F.
9 GLASS GUARDRAIL @ 42" A.F.F.
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23 WOOD & METAL. TRELLIS
24 SITE WALL
25 LINE OF EXISTING GRADE
26 CONCRETE FOOTING, S.S.D.
27 TRASH ENCLOSURE



1 MAIN HOUSE - SOUTH ELEVATION - 1/8"
AA3.1 SCALE: 1/8" = 1'-0"



2 MAIN HOUSE - WEST ELEVATION - 1/8"
AA3.1 SCALE: 1/8" = 1'-0"

ISSUED:

PLANNING SUBMITTAL 2023-08-04
PLANNING RE-SUBMITTAL 2024-01-09

MAIN HOUSE - ELEVATIONS

SCALE : AS NOTED

JOB NUMBER : 2022_07

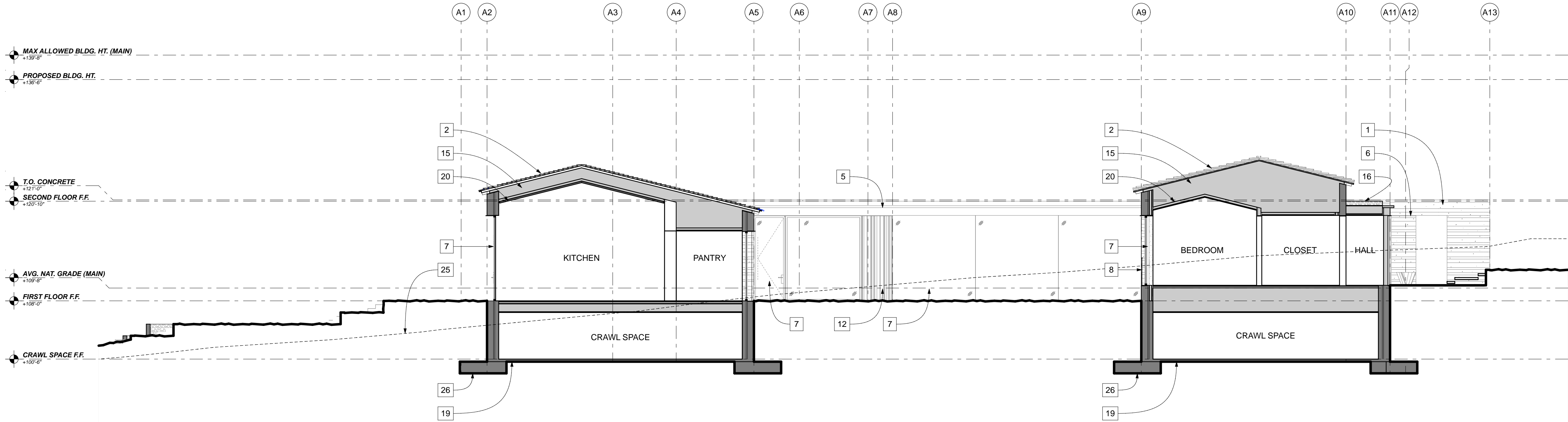
SHEET : AA3.1

NOTES - ELEVATION / SECTION:

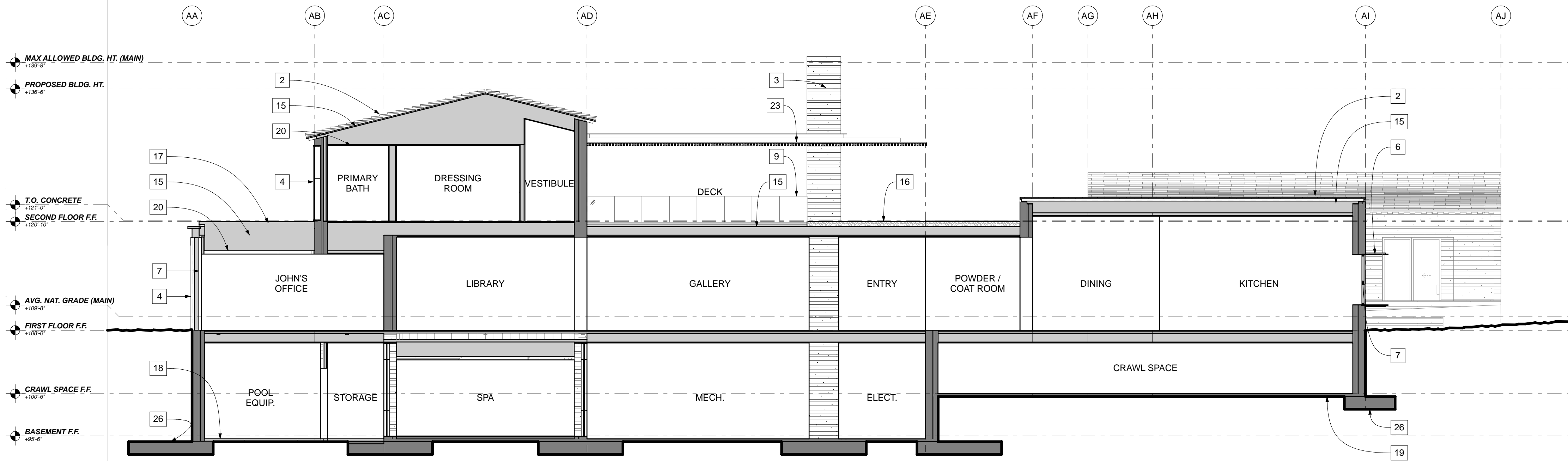
- S.C.D. FOR DRAINAGE INFORMATION
-- NOT USED
-- NOT USED

KEYNOTES - ELEVATION / SECTION:

- 1 CONCRETE WALL
2 CLAY ROOF TILE
3 CONCRETE CHIMNEY W/ CUSTOM MTL. MESH SPARK ARRESTOR
4 OPERABLE WOOD LOUVERS SET IN SLIDING METAL FRAME
5 METAL FASCIA
6 METAL AWNING
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20 INT. DROPPED CEILING ASSEMBLY
21 FIREPLACE W/ HEARTH
22 FIXED SKYLIGHT O/ CURB & FLASHING
23 WOOD & METAL. TRELLIS
24 SITE WALL
25 LINE OF EXISTING GRADE
26 CONCRETE FOOTING, S.S.D.
27 TRASH ENCLOSURE



1 MAIN HOUSE - E/W SECTION (KITCHEN/BEDROOM)
AA4.0 SCALE: 1/8" = 1'-0"



2 MAIN HOUSE - N/S SECTION (OFFICE/KITCHEN)
AA4.0 SCALE: 1/8" = 1'-0"

ISSUED:

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MAIN HOUSE - SECTIONS

SCALE : AS NOTED

JOB NUMBER : 2022_07

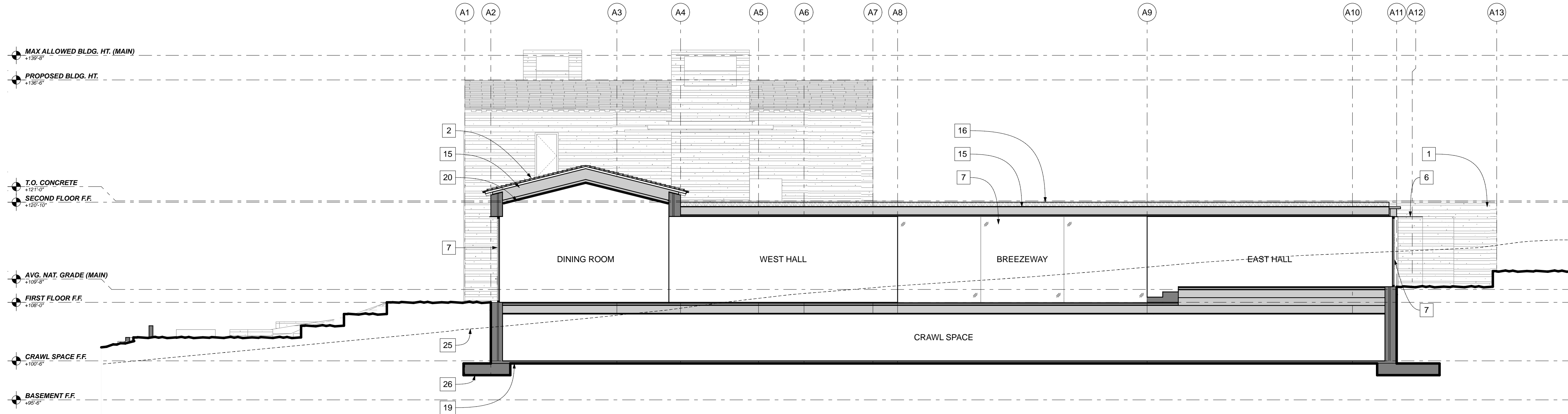
SHEET : AA4.0

NOTES - ELEVATION / SECTION:

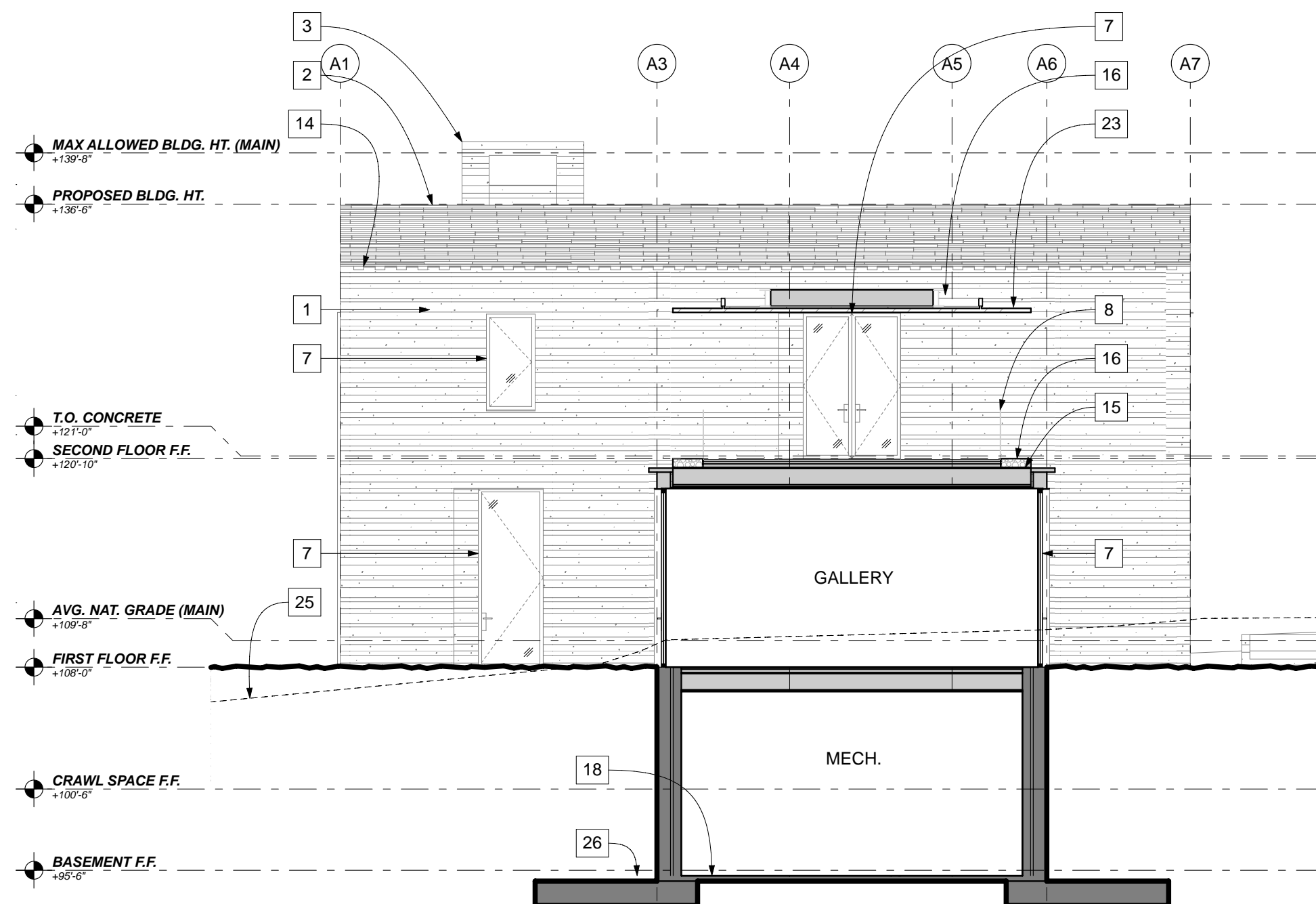
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- NOT USED
- NOT USED

KEYNOTES - ELEVATION / SECTION:

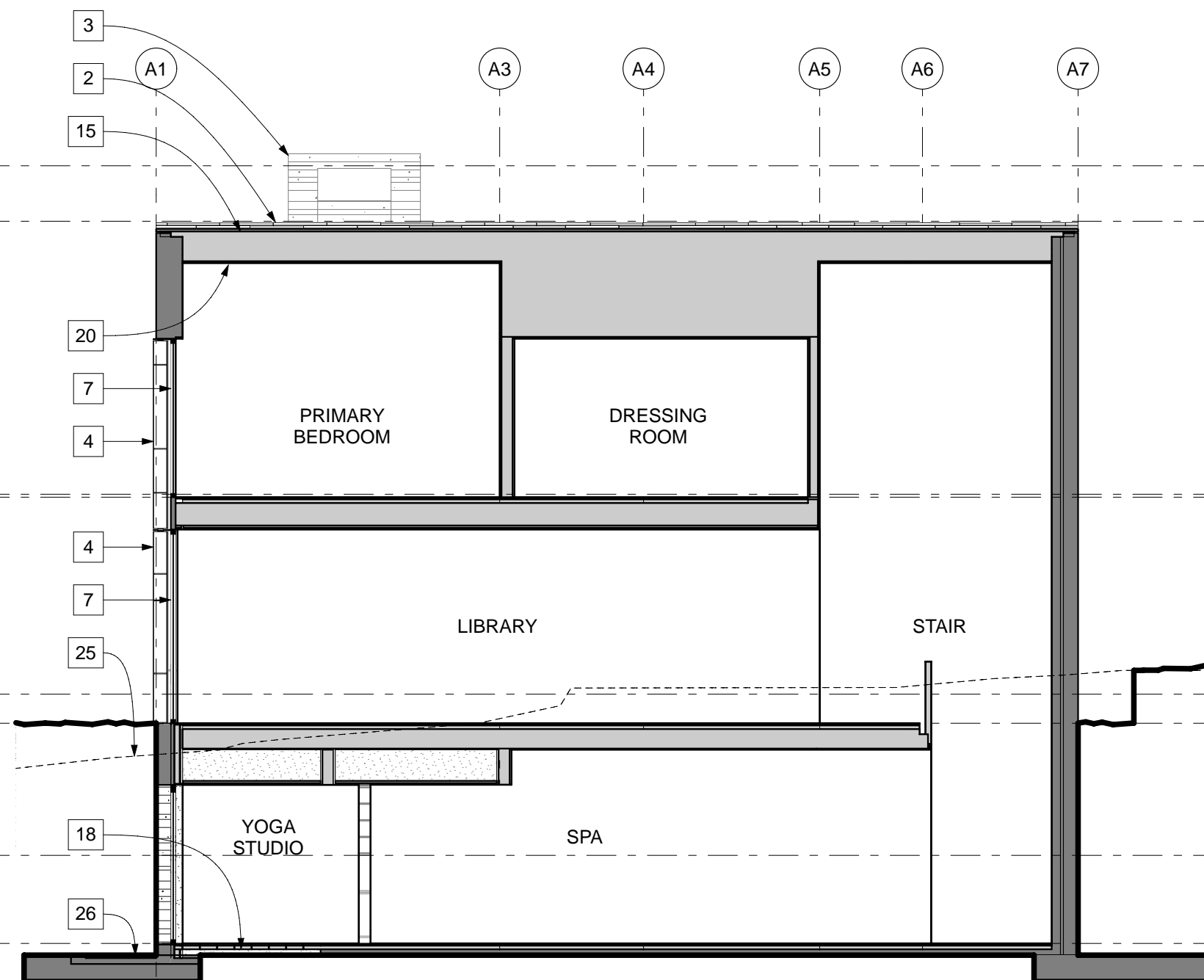
- 1 CONCRETE WALL
- 2 CLAY ROOF TILE
- 3 CONCRETE CHIMNEY W/ CUSTOM MTL. MESH SPARK ARRESTOR
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- 22 FIXED SKYLIGHT O/ CURB & FLASHING
- 23 WOOD & METAL. TRELLIS
- 24 SITE WALL
- 25 LINE OF EXISTING GRADE
- 26 CONCRETE FOOTING, S.S.D.
- 27 TRASH ENCLOSURE



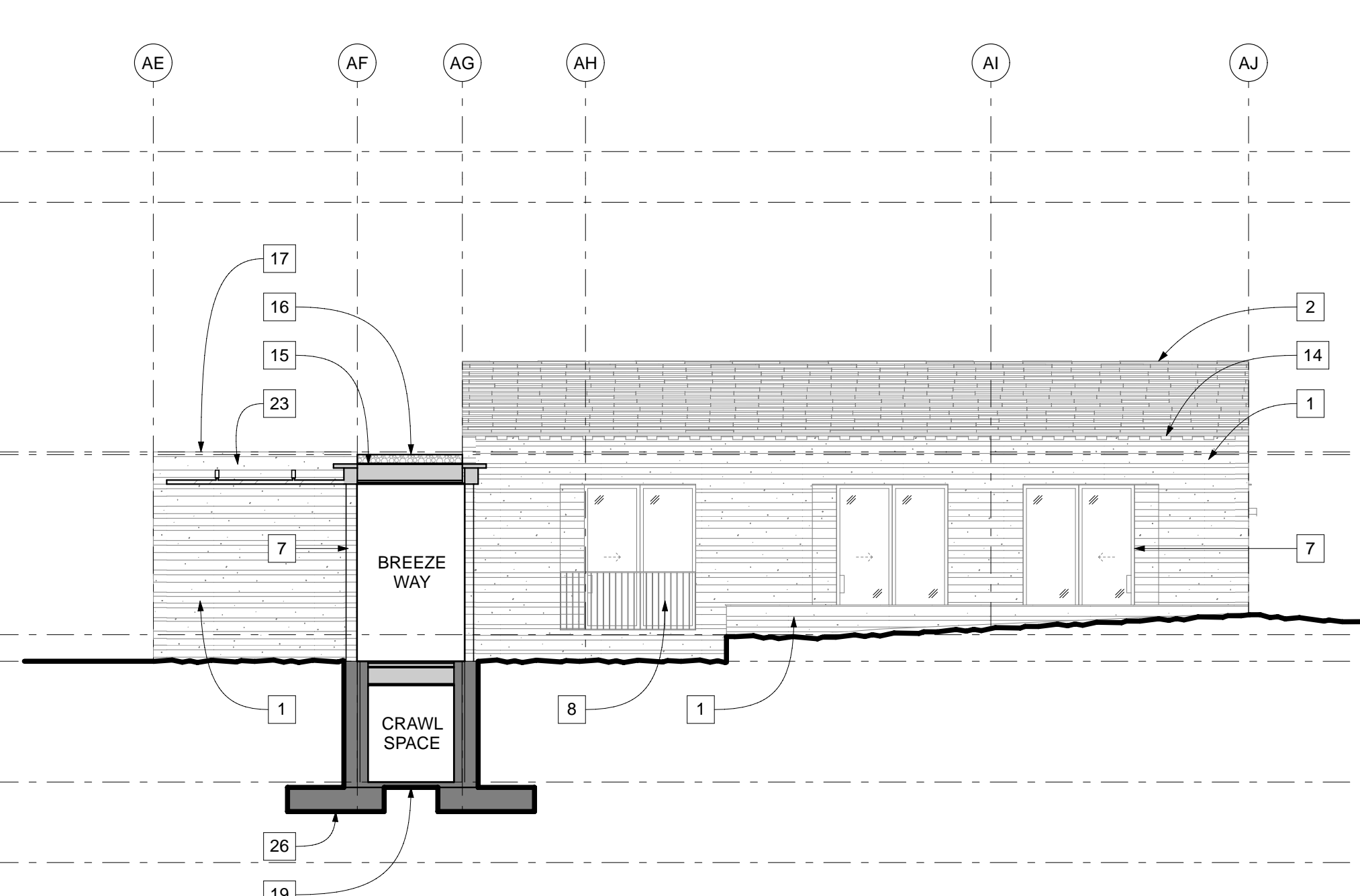
1 MAIN HOUSE - E/W SECTION (DINING/BREEZEWAY)
AA4.1 SCALE: 1/8" = 1'-0"



2 MAIN HOUSE - E/W SECTION (GALLERY)
AA4.1 SCALE: 1/8" = 1'-0"



3 MAIN HOUSE - E/W SECTION (THE ROOM)
AA4.1 SCALE: 1/8" = 1'-0"



4 MAIN HOUSE - N/S SECTION (HALLWAY)
AA4.1 SCALE: 1/8" = 1'-0"

ISSUED:
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PLANNING RE-SUBMITTAL 2024-01-09

MAIN HOUSE - SECTIONS

SCALE: AS NOTED

JOB NUMBER: 2022_07

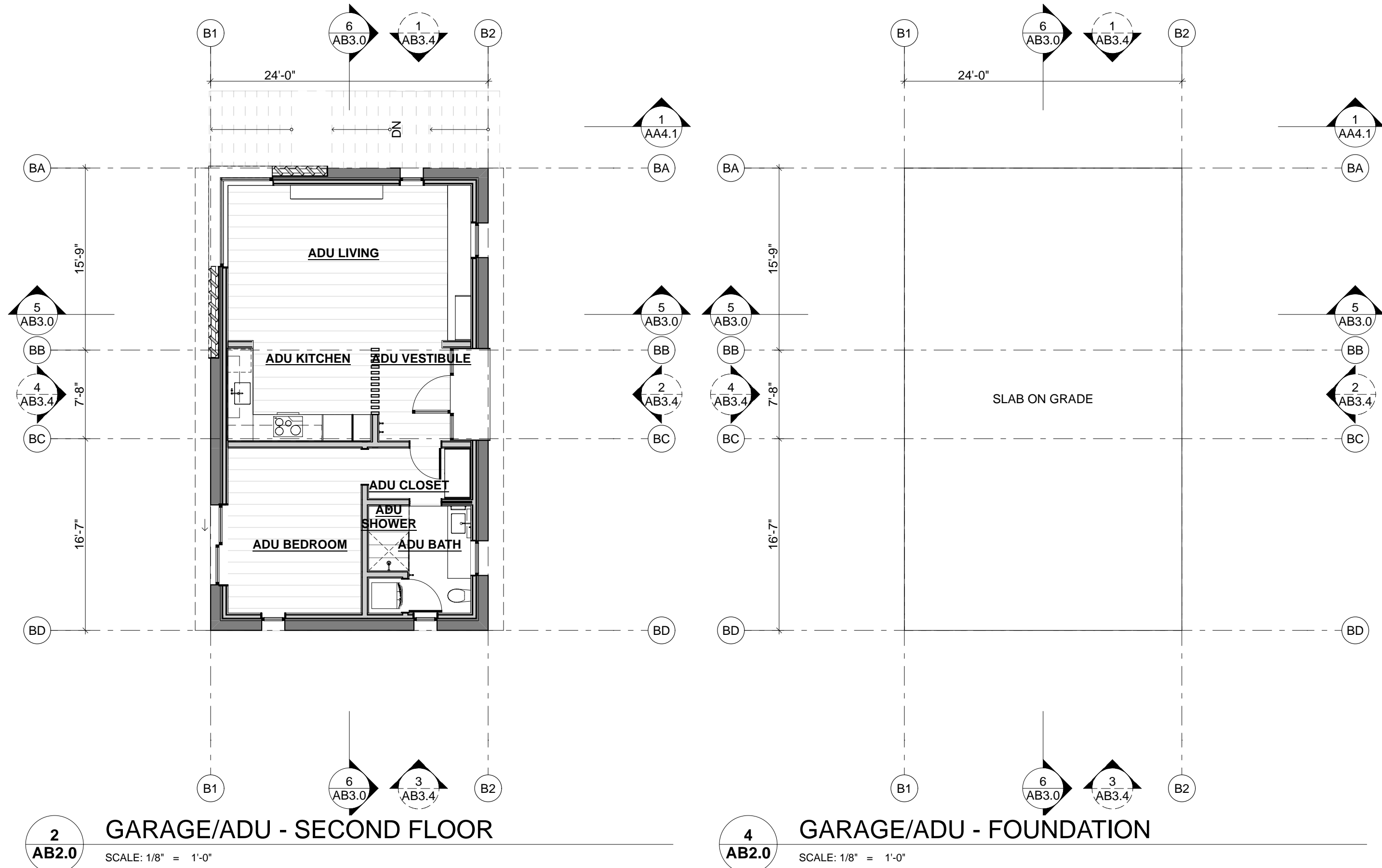
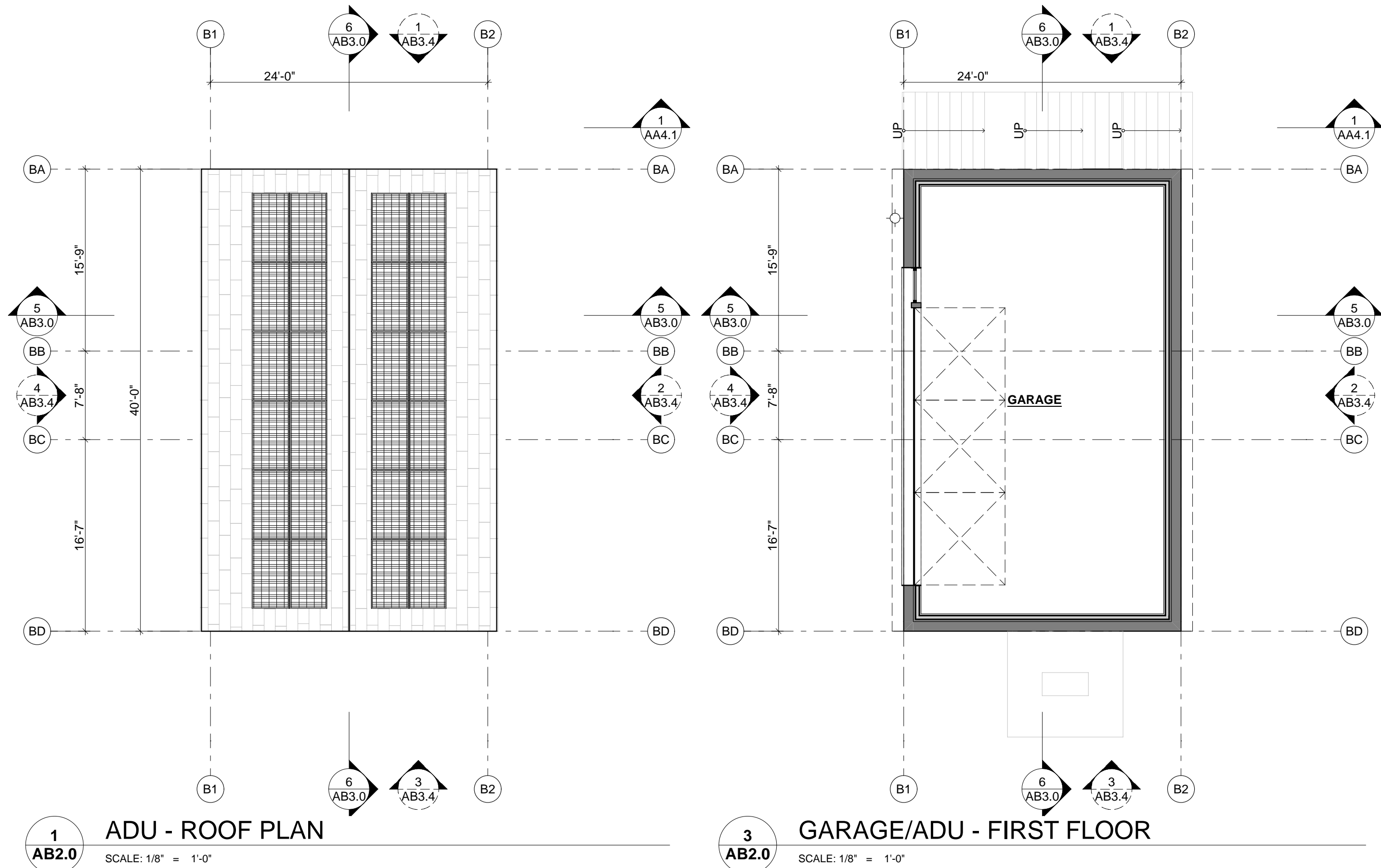
SHEET: AA4.1

GENERAL NOTES - LAYOUT PLAN

- ALL GRIDLINES ARE TO FACE OF CONCRETE, U.O.N.
- ALL DIMENSIONS TO FACE OF STUD OR FACE OF CONCRETE, U.O.N. SEE DIMENSION SYMBOLS ON COVER SHEET
- SEE SITE PLANS FOR ADDITIONAL HARDSCAPE INFORMATION
- NOT USED

LEGEND - LAYOUT PLAN:

- PROPOSED 2X WOOD FRAMED WALL
- PROPOSED CONCRETE WALL, S.S.D.



A P N : 0 0 8 - 3 8 1 - 0 0 2

HODGE PEBBLE BEACH

3406 17 MILE DRIVE,
PEBBLE BEACH CA, 93953

ISSUED:

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GARAGE/ADU - PLANS

SCALE : AS NOTED

JOB NUMBER : 2022_07

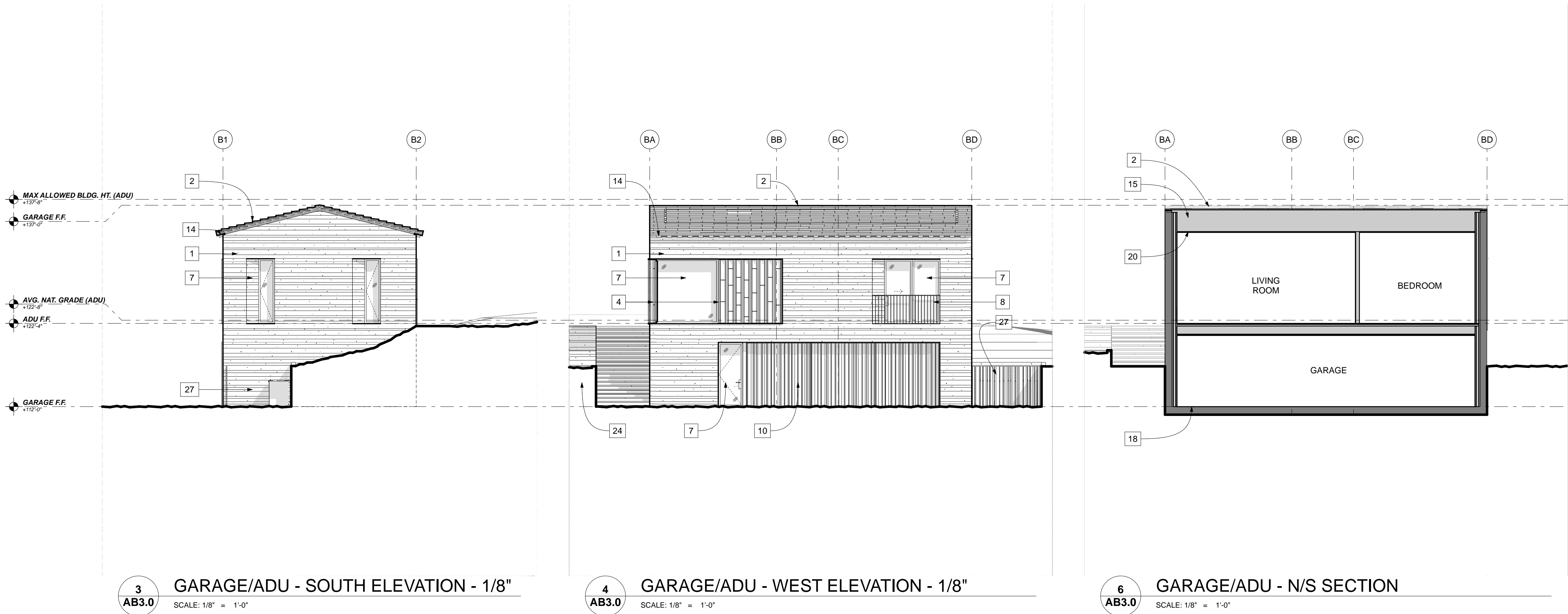
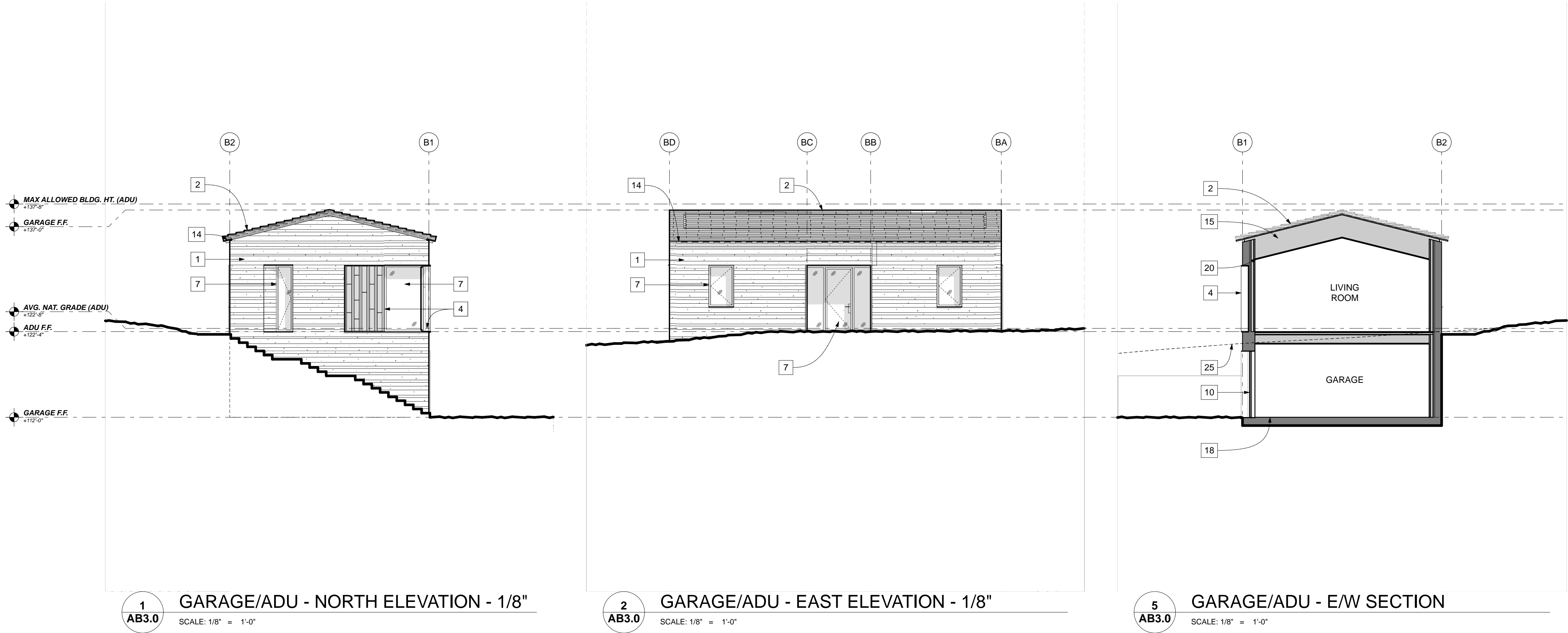
SHEET : AB2.0

NOTES - ELEVATION / SECTION:

- S.C.D. FOR DRAINAGE INFORMATION
-- NOT USED
-- NOT USED

KEYNOTES - ELEVATION / SECTION:

- 1 CONCRETE WALL
2 CLAY ROOF TILE
3 CONCRETE CHIMNEY W/ CUSTOM MTL. MESH SPARK ARRESTOR
4 OPERABLE WOOD LOUVERS SET IN SLIDING METAL FRAME
5 METAL FASCIA
6 METAL AWNING
7 METAL DOOR OR WINDOW SYSTEM
8 METAL GUARDRAIL @ 42" A.F.F.
9 GLASS GUARDRAIL @ 42" A.F.F.
10 OVERHEAD GARAGE DOOR
11 OUTDOOR WASH
12 EXT. WOOD WALL CLADDING
13 BUILT-IN BBQ
14 EXPOSED ROOF RAFTER
15 ROOF STRUCTURE
16 LOW SLOPE MEMBRANE ROOF
17 NOT USED
18 SLAB ON GRADE, S.S.D.
19 RAT SLAB, S.S.D.
20 INT. DROPPED CEILING ASSEMBLY
21 FIREPLACE W/ HEARTH
22 FIXED SKYLIGHT O/ CURB & FLASHING
23 WOOD & METAL. TRELLIS
24 SITE WALL
25 LINE OF EXISTING GRADE
26 CONCRETE FOOTING, S.S.D.
27 TRASH ENCLOSURE



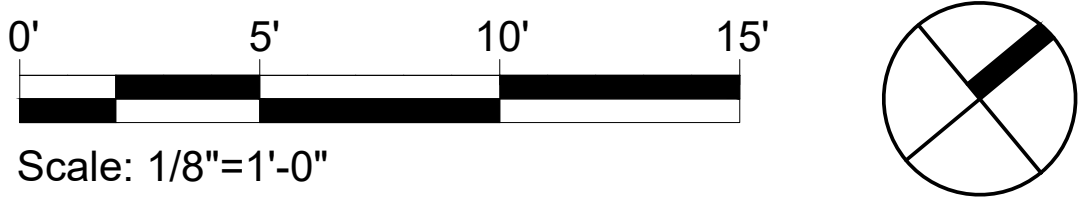
ISSUED:
PLANNING SUBMITTAL 2023-08-04
PLANNING RE-SUBMITTAL 2024-01-09

GARAGE/ADU -
ELEVATIONS/SECTIONS

SCALE : AS NOTED

JOB NUMBER : 2022_07

SHEET : AB3.0



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San Francisco, CA 94110-2002
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Consultant:

Stamp:

Project Name:
Pebble Beach Residence

3406 17 Mile Drive,
Pebble Beach, California

Sheet Title:
Fence Elevations

Submittal: Planning Application Date: 08-01-2023

Revision: Date:

scale: as noted

sheet: **L2.1**

EXISTING FENCING - VIEW A



RENDERED VIEWSHED FENCING - VIEW A



EXISTING FENCING - VIEW B



RENDERED VIEWSHED FENCING - VIEW B

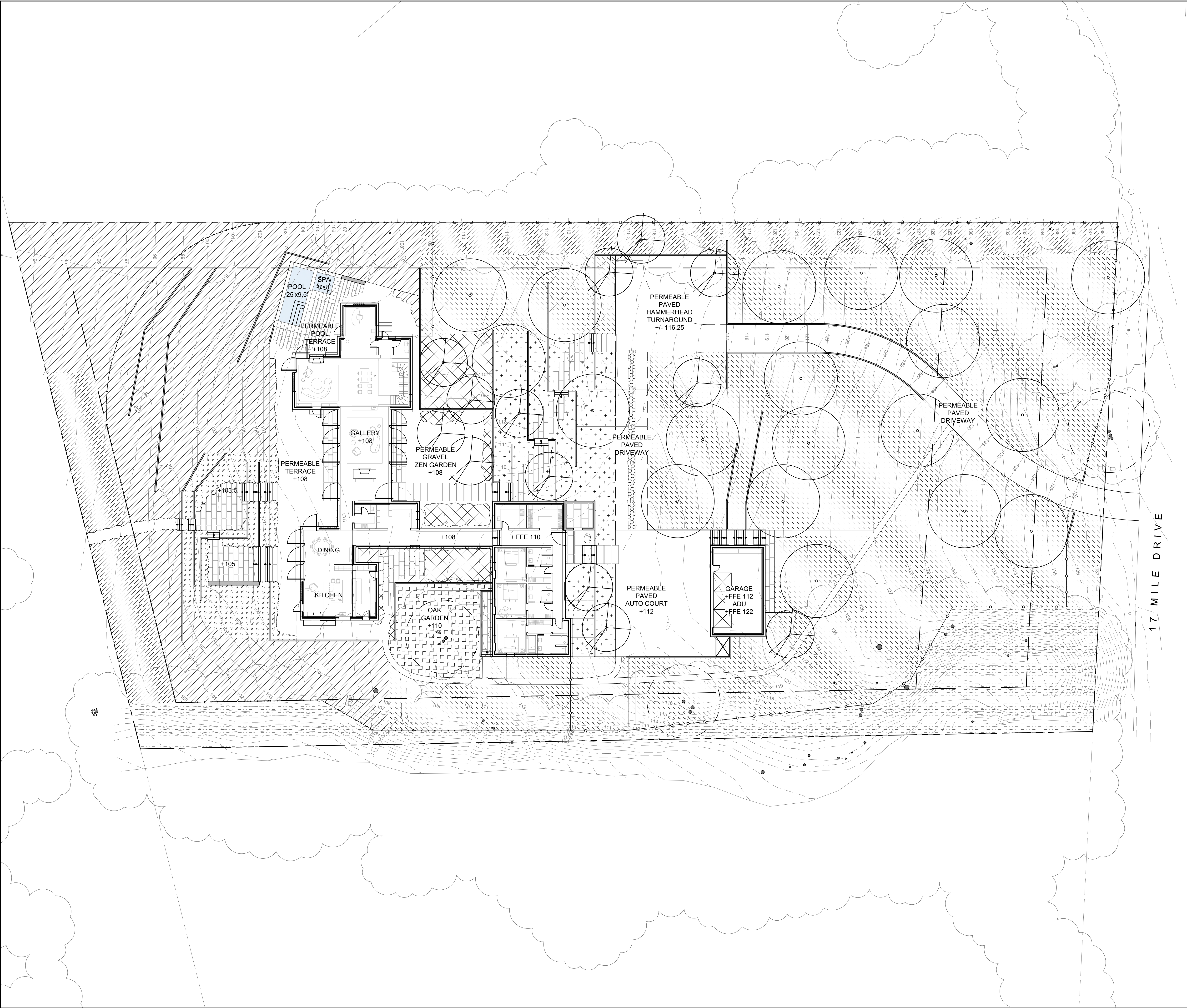


EXISTING FENCING - VIEW C



RENDERED VIEWSHED FENCING - VIEW C



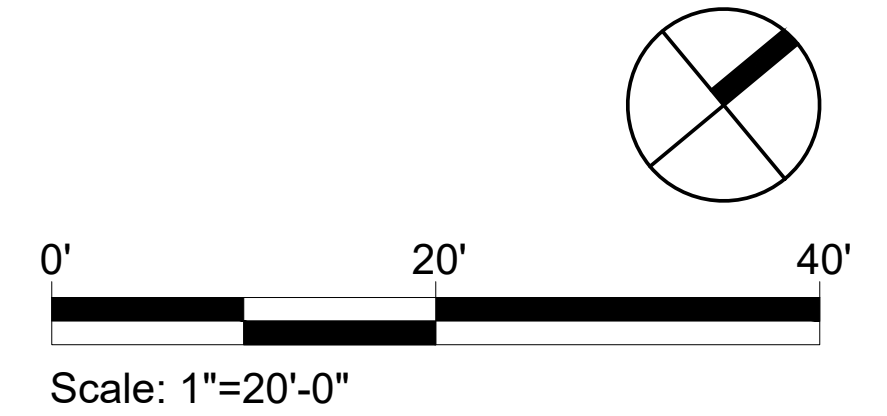


LEGEND

- PROPERTY LINE
- MEDITERRANEAN CLIMATE ORNAMENTAL GARDEN
- ORNAMENTAL GARDEN-OAK WOODLAND TRANSITION
- ORNAMENTAL GARDEN-COASTAL SCRUB TRANSITION
- NATIVE SCREENING SHRUBS
- NATIVE SEDGE GROUNDCOVER DRIVEWAY
- COAST LIVE OAK WOODLAND
- SPECIMEN COAST LIVE OAK GARDEN
- COASTAL SCRUB
- WEED CONTROL + RE-VEGETATION

- CRITICAL ROOT ZONE
- EXISTING TREE TO REMAIN AND PROTECT IN PLACE
- NEW TREES- QUERCUS AGRIFOLIA
- NEW TREES- CERCIS OCCIDENTALIS

PLANTING NOTES:
1. When applicable, native remnant plant species on site shall be salvaged and propagated by a contract-to-grow nursery for replanting grassland areas.
2. All seed collection areas shall be reviewed with biologist and landscape architect prior to collecting.
3. Documentation of seed source location shall be recorded and reviewed with biologist and landscape architect.



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Project Name:

**Pebble
Beach
Residence**

3406 17 Mile Drive,
Pebble Beach, California

Sheet Title:

Planting Plan

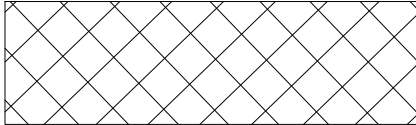
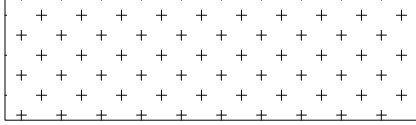
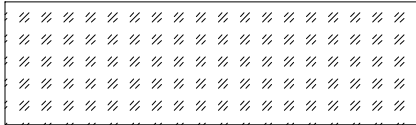
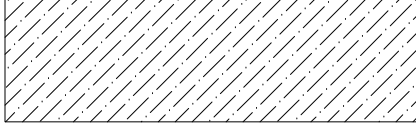
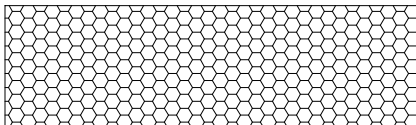
Submittal: Planning Application Date: 08-01-2023

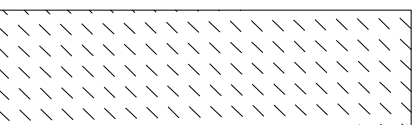
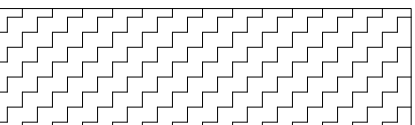
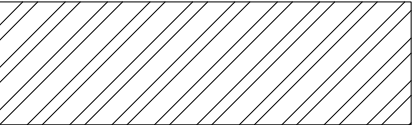
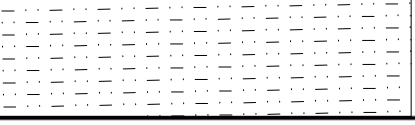
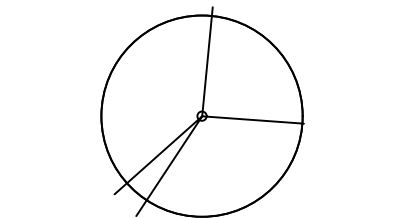
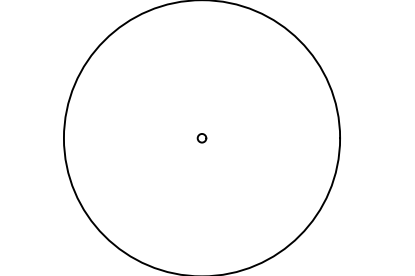
Revision: Date:

scale: as noted

sheet: **L3.1**

NOT FOR CONSTRUCTION

PLANT SCHEDULE				
MEDITERRANEAN CLIMATE ORNAMENTAL GARDEN	BOTANICAL NAME	COMMON NAME	SIZE	WUCOL
	<i>Deschampsia cespitosa</i>	Tufted Hairgrass	1gallon	Low
	<i>Epilobium canum</i>	California Fuchsia	1gallon	Low
	<i>Festuca rubra</i>	Creeping Red Fescue	1gallon	Low
	<i>Grevillea 'Kings Fire'</i>	Kings Fire Grevillea	1gallon	Low
	<i>Leucospemum 'Maui Magic'</i>	Maui Magic Pincushion	1gallon	Low
	<i>Lobostemon frutescens</i>	Cape Rain Daisy	1gallon	Unknown
	<i>Perovskia atriciplifolia</i>	Russian Sage	1gallon	Low
	<i>Phlomis purpurea</i>	Jerusalem Sage	1gallon	Low
	<i>Salvia clevelandii 'Winifred Gilman'</i>	Winifred Gilman Cleveland Sage	1gallon	Low
	<i>Salvia x 'Costa Rica Blue'</i>	Costa Rica Blue Sage	1gallon	Low
	<i>Salvia leucantha 'Velour White'</i>	Velour White Mexican Bush Sage	1gallon	Low
	<i>Salvia leucophylla 'Amethyst Bluff'</i>	Amethyst Bluff Purple Sage	1gallon	Low
	<i>Stipa lepida</i>	Foothill Needlegrass	1gallon	Very Low
	<i>Stipa pulchra</i>	Purple Needlegrass	1gallon	Very Low
	<i>Tagetes lemmonii</i>	Copper Canyon Daisy	1gallon	Low
ORNAMENTAL GARDEN-OAK WOODLAND TRANSITION	BOTANICAL NAME	COMMON NAME	SIZE	WUCOL
	<i>Deschampsia cespitosa</i>	Tufted Hairgrass	1gallon	Low
	<i>Festuca rubra</i>	Creeping Red Fescue	1gallon	Low
	<i>Lavandula stoechas 'Leucantha'</i>	Spanish Lavender	1gallon	Low
	<i>Phlomis 'Ed Bowles'</i>	Ed Bowles Phlomis	1gallon	Low
	<i>Galvezia speciosa</i>	Island Snapdragon	1gallon	Low
	<i>Salvia clevelandii 'Winifred Gilman'</i>	Winifred Gilman Cleveland Sage	1gallon	Low
	<i>Stipa lepida</i>	Foothill Needlegrass	1gallon	Very Low
	<i>Stipa pulchra</i>	Purple Needlegrass	1gallon	Very Low
ORNAMENTAL GARDEN-COASTAL SCRUB TRANSITION	BOTANICAL NAME	COMMON NAME	SIZE	WUCOL
	<i>Artemesia 'Powis Castle'</i>	Powis Castle Wormwood	1gallon	Low
	<i>Convolvulus cneorum</i>	Silver Bush Morning Glory	1gallon	Low
	<i>Erigeron glaucus</i>	Seaside Daisy	1gallon	Low
	<i>Euphorbia rigida</i>	Gopher Spurge	1gallon	Low
	<i>Galvezia speciosa</i>	Island Snapdragon	1gallon	Low
	<i>Lavandula stoechas 'Leucantha'</i>	Spanish Lavender	1gallon	Low
	<i>Phlomis 'Ed Bowles'</i>	Ed Bowles Phlomis	1gallon	Low
	<i>Salvia chamaedryoides</i>	Germander Sage	1gallon	Low
NATIVE SCREENING SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WUCOL
	<i>Quercus agrifolia</i>	Coast Live Oak	1gallon	Very Low
	<i>Ceanothus 'Concha'</i>	Concha California Lilac	1gallon	Low
	<i>Garrya elliptica</i>	Coast Silk Tassel	1gallon	Low
	<i>Heteromeles arbutifolia</i>	Toyon	1gallon	Low
	<i>Rhamnus californica</i>	California Coffeeberry	1gallon	Low
NATIVE SEDGE GROUNDCOVER DRIVEWAY	BOTANICAL NAME	COMMON NAME	SIZE	WUCOL
	<i>Carex praegracilis</i>	Clustered Field Sedge	1gallon	Moderate


PLANT SCHEDULE				
COAST LIVE OAK WOODLAND	BOTANICAL NAME	COMMON NAME	SIZE	WUCOL
	<i>Deschampsia cespitosa</i>	Tufted Hairgrass	1gallon	Low
	<i>Festuca rubra</i>	Creeping Red Fescue	1gallon	Low
	<i>Holodiscus discolor</i>	Cream Bush	1gallon	Low
	<i>Iris douglasiana</i>	Douglas Iris	1gallon	Low
	<i>Mimulus aurantiacus</i>	Sticky Monkeyflower	1gallon	Very Low
	<i>Muhlenbergia rigens</i>	Deergrass	1gallon	Low
	<i>Rhamnus cal. 'Eve Case'</i>	California Coffeeberry 'Eve Case'	1gallon	Low
	<i>Ribes sangiuneum var. glutinosum</i>	Pink-Flowering Currant	1gallon	Low
	<i>Ribes malvaceum</i>	Chaparral Currant	1gallon	Very Low
	<i>Salvia spathacea</i>	Hummingbird Sage	1gallon	Low
	<i>Sisyrinchium bellum</i>	Blue-eyed Grass	1gallon	Very Low
	<i>Stipa lepida</i>	Foothill Needlegrass	1gallon	Very Low
	<i>Stipa pulchra</i>	Purple Needlegrass	1gallon	Very Low
SPECIMEN COAST LIVE OAK GARDEN	BOTANICAL NAME	COMMON NAME	SIZE	WUCOL
	<i>Iris douglasiana</i>	Douglas Iris	1gallon	Low
	<i>Polypodium californicum</i>	California Polypody	1gallon	Very Low
	<i>Salvia spathacea</i>	Hummingbird Sage	1gallon	Low
	<i>Satureja douglasiana</i>	Yerba Buena	1gallon	Low
COASTAL SCRUB	BOTANICAL NAME	COMMON NAME	SIZE	WUCOL
	<i>Achillea millefolium</i>	Yarrow	1gallon	Low
	<i>Arctostaphylos pumila</i>	Sandmat Manzanita	1gallon	Low
	<i>Artemisia californica</i>	California Sagebrush	1gallon	Low
	<i>Artemisia pcynocephala</i>	Beach Sagebrush	1gallon	Low
	<i>Baccharis pilularis</i>	Coyote Brush	1gallon	Low
	<i>Ceanothus dentatus</i>	Sandscrub Ceanothus	1gallon	Low
	<i>Deschampsia cespitosa</i>	Tufted Hairgrass	1gallon	Low
	<i>Erigeron glaucus</i>	Seaside Daisy	1gallon	Low
	<i>Eriogonum parvifolium</i>	Seacliff Buckwheat	1gallon	Low
	<i>Eriophyllum staechadifolium</i>	Lizard Tail	1gallon	Low
	<i>Festuca rubra</i>	Creeping Red Fescue	1gallon	Low
	<i>Garrya elliptica</i>	California Christmas Berry	1gallon	Low
	<i>Grindelia stricta var. platyphylla</i>	Coastal Gum Plant	1 gallon	Low
	<i>Iris douglasiana</i>	Douglas Iris	1gallon	Low
	<i>Mimulus aurantiacus</i>	Sticky Monkeyflower	1gallon	Very Low
	<i>Salvia mellifera</i>	Black Sage	1gallon	Low
	<i>Scrophylaria californica</i>	California Bee Plant	1gallon	Low
	<i>Stipa lepida</i>	Foothill Needlegrass	1gallon	Very Low
	<i>Stipa pulchra</i>	Purple Needlegrass	1gallon	Very Low
WEED CONTROL+RE-VEGETATION	Creek Erosion Control Mix, species TBD			
				
TREES	BOTANICAL NAME	COMMON NAME	SIZE	WUCOL
	<i>Cercis occidentalis</i>	Western Redbud	1gallon	Very Low
	<i>Quercus agrifolia</i>	Coast Live Oak	1gallon	Very Low

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3295 Mission Street
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t: 415.920.2800

Consultant:

Stamp:



Project Name:

Pebble Beach Residence

3406 17 Mile Drive,
Pebble Beach, California

Sheet Title:

Planting Schedule and Notes

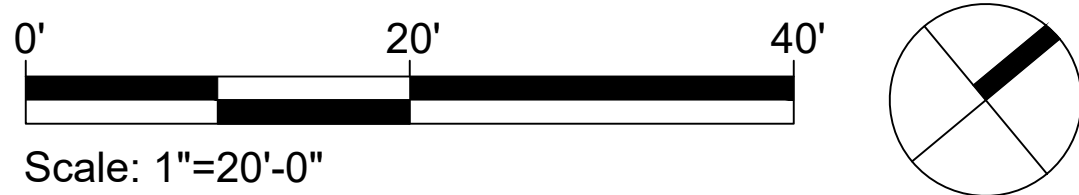
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Revision: Date:

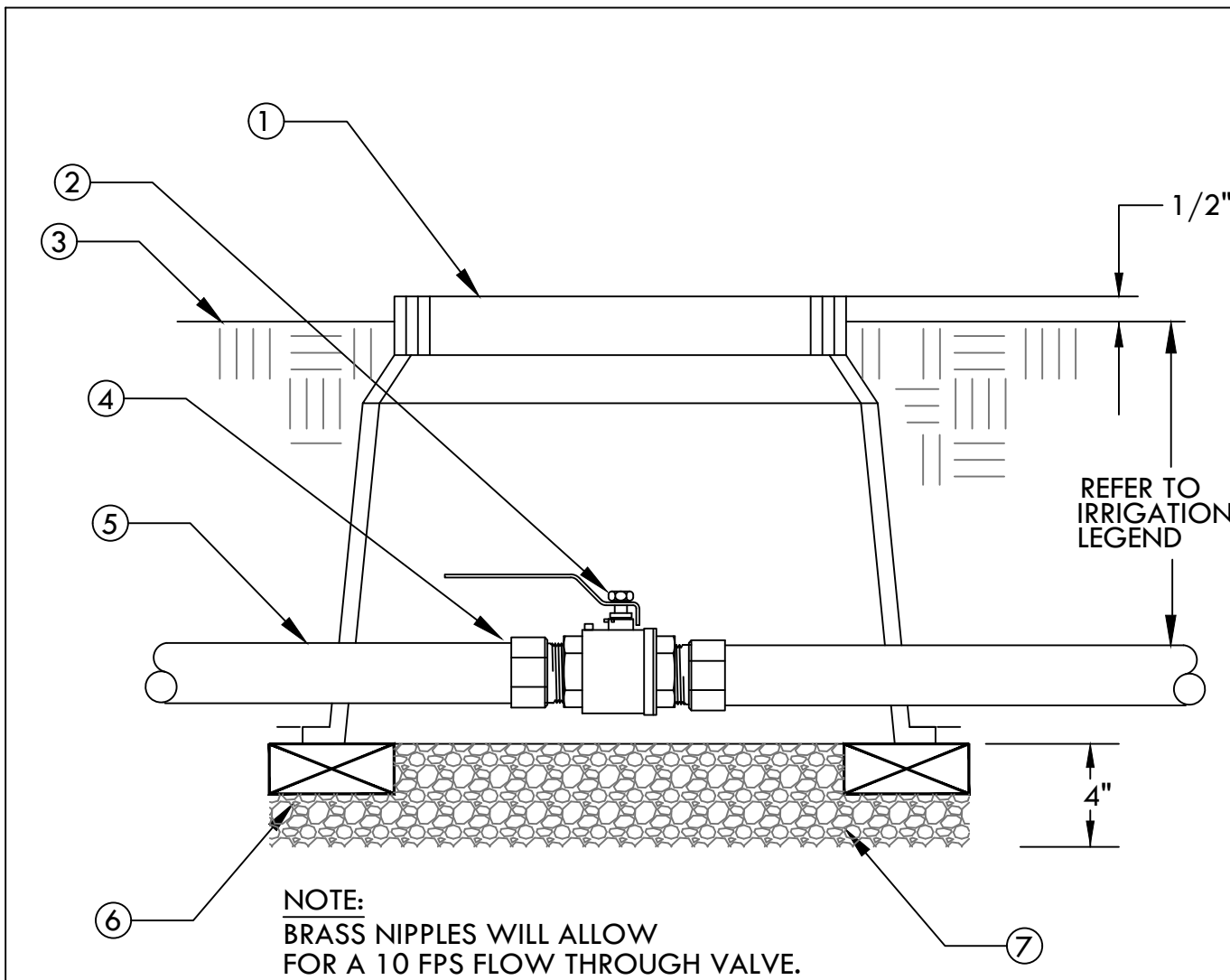
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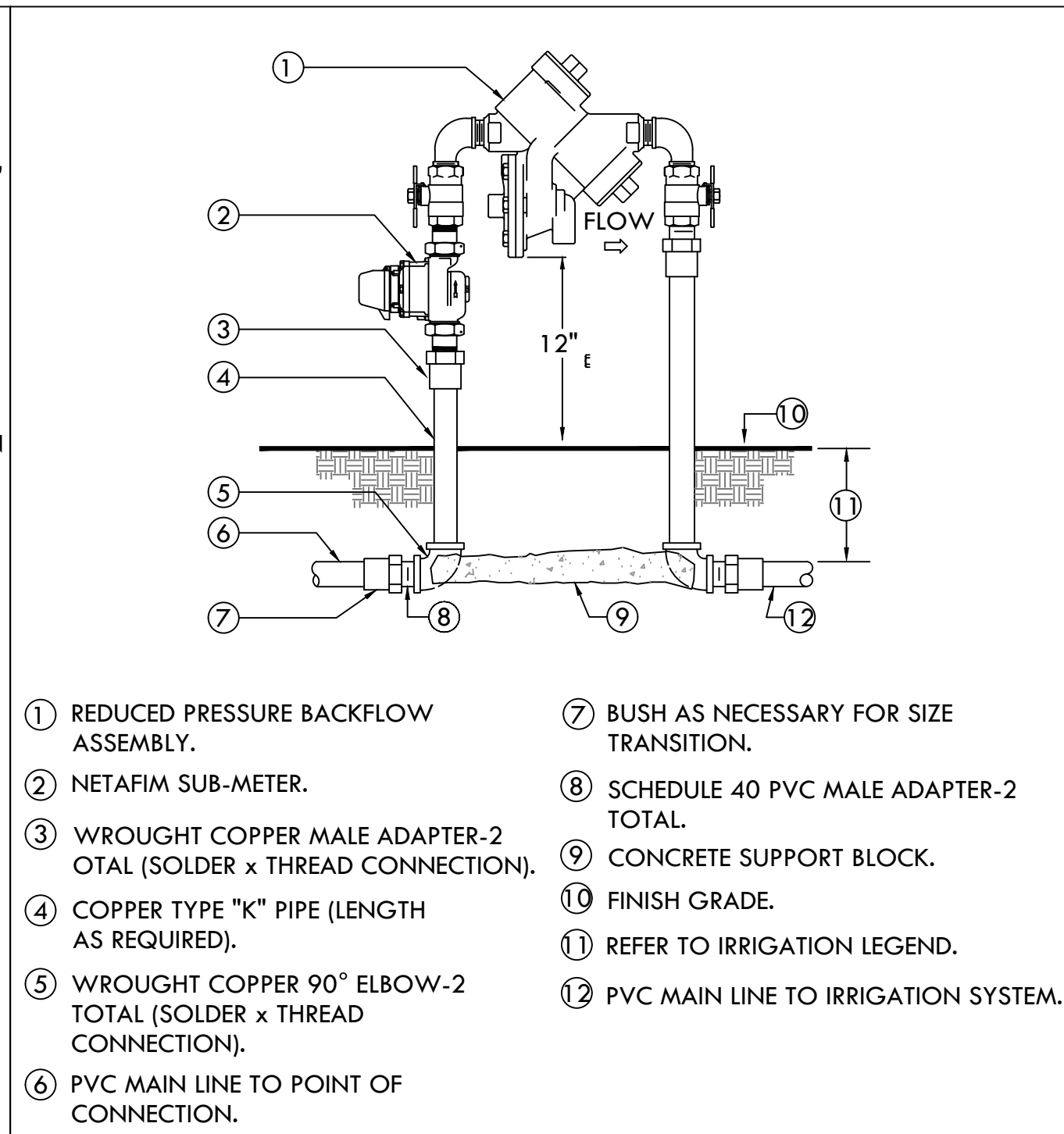
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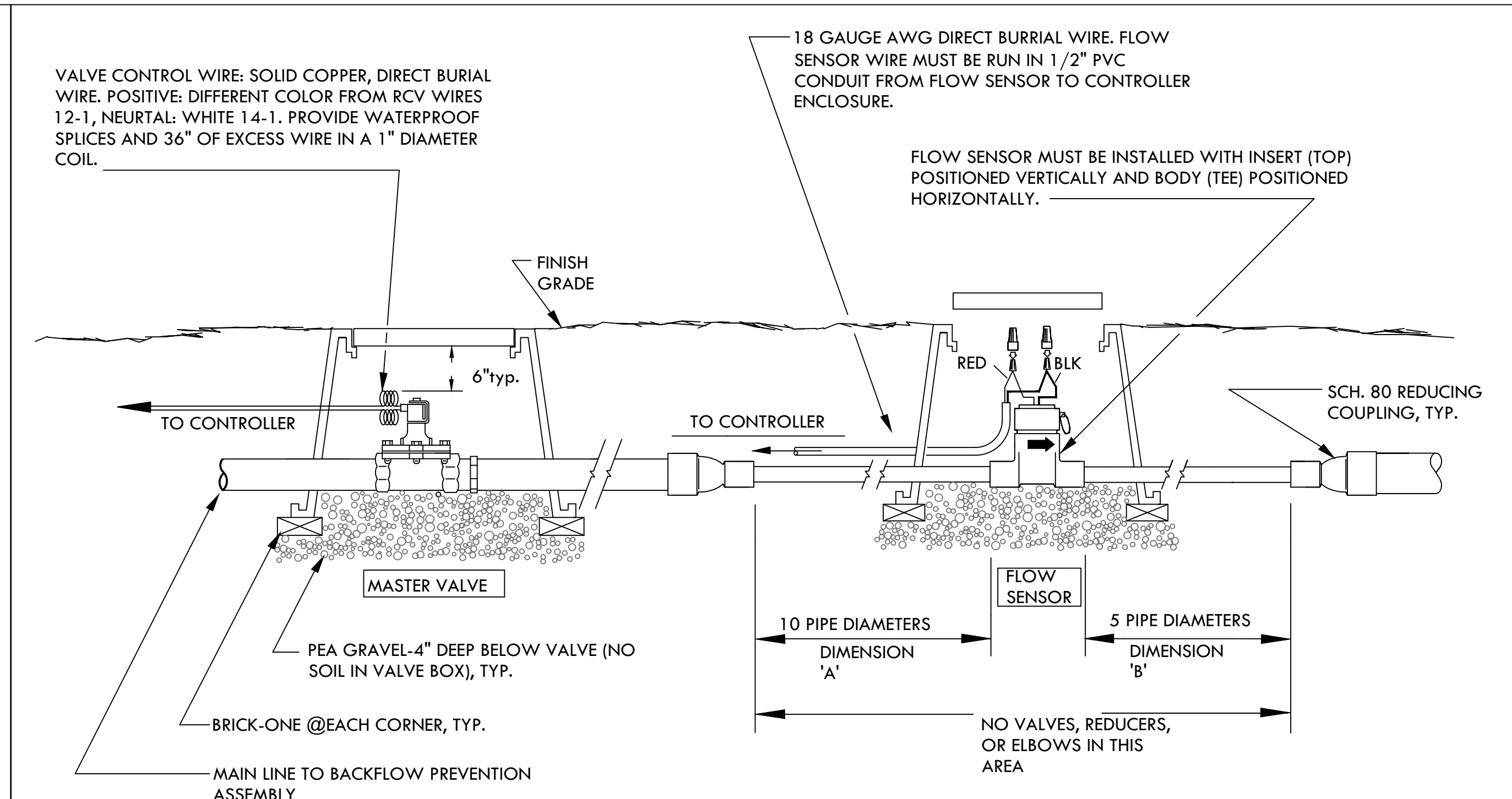


- 1 10" ROUND X 12" DEEP PLASTIC VALVE BOX
2 BRASS BALL VALVE
3 FINISH GRADE
4 MALE ADAPTER. REFER TO LEGEND FOR FITTING TYPE.
5 PVC MAIN LINE
6 COMMON BRICK, TWO TOTAL-180° APART
7 PEA GRAVEL (NO SOIL IN VALVE BOX)



- 1 REDUCED PRESSURE BACKFLOW ASSEMBLY.
2 NETAFIM SUB-METER.
3 WROUGHT COPPER MALE ADAPTER-2 OTAL (SOLDER x THREAD CONNECTION).
4 COPPER TYPE "K" PIPE (LENGTH AS REQUIRED).
5 WROUGHT COPPER 90° ELBOW-2 TOTAL (SOLDER x THREAD CONNECTION).
6 PVC MAIN LINE TO POINT OF CONNECTION.
7 BUSH AS NECESSARY FOR SIZE TRANSITION.
8 SCHEDULE 40 PVC MALE ADAPTER-2 TOTAL.
9 CONCRETE SUPPORT BLOCK.
10 FINISH GRADE.
11 REFER TO IRRIGATION LEGEND.
12 PVC MAIN LINE TO IRRIGATION SYSTEM.

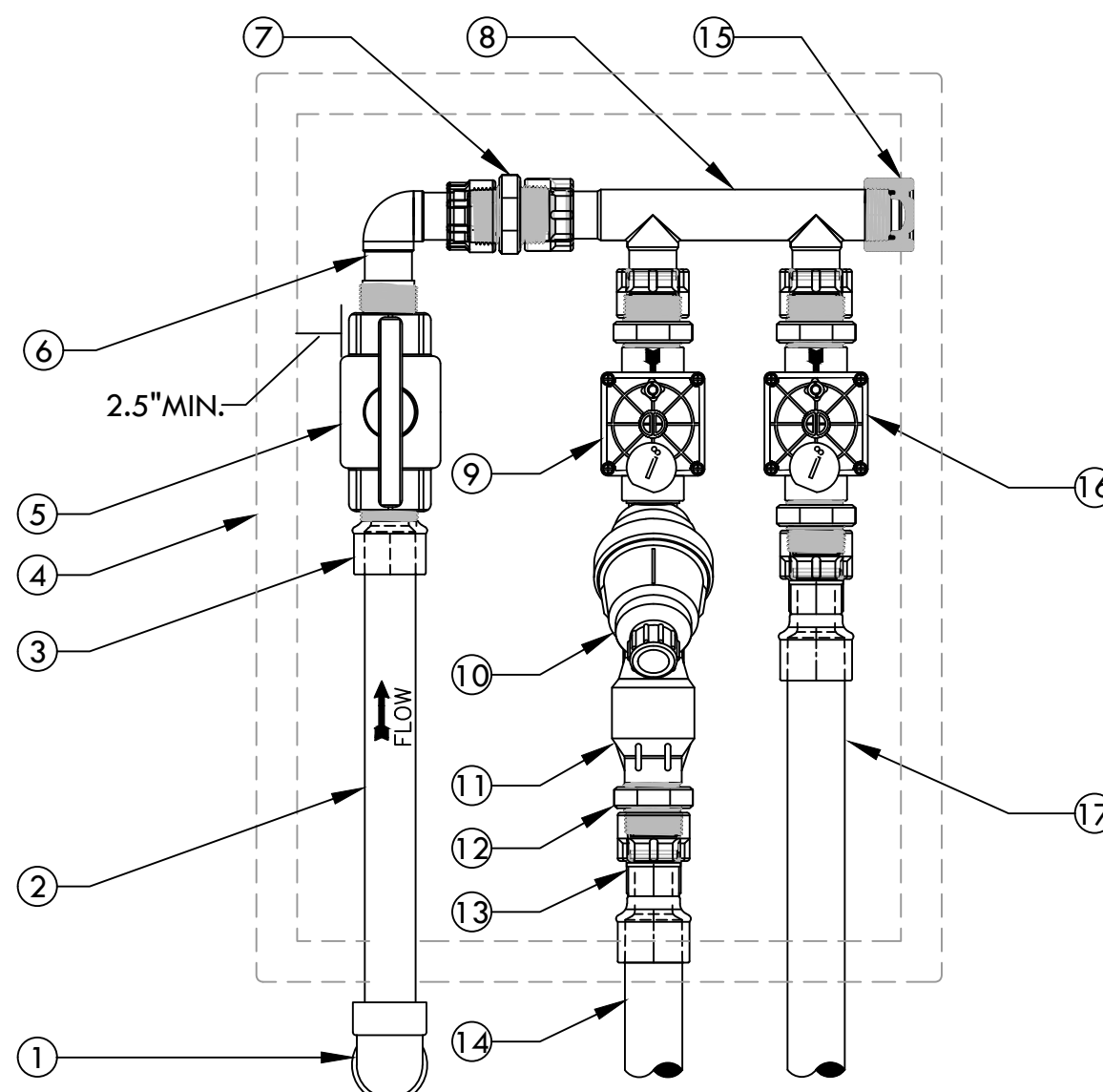
2 REDUCED PRESSURE BACKFLOW ASSEMBLY
SCALE: NONE



- 1 VALVE CONTROL WIRE: SOLID COPPER, DIRECT BURIAL WIRE. POSITIVE: DIFFERENT COLOR FROM RCV WIRES 12-1, NEURTAL: WHITE 14-1. PROVIDE WATERPROOF SPICES AND 36" OF EXCESS WIRE IN A 1" DIAMETER COIL.
2 18 GAUGE AWG DIRECT BURIAL WIRE. FLOW SENSOR WIRE MUST BE RUN IN 1/2" PVC CONDUIT FROM FLOW SENSOR TO CONTROLLER ENCLOSURE.
3 FLOW SENSOR MUST BE INSTALLED WITH INSERT (TOP) POSITIONED VERTICALLY AND BODY (TEE) POSITIONED HORIZONTALLY.
4 SCH. 80 REDUCING COUPLING, TYP.
5 10 PIPE DIAMETERS DIMENSION 'A'
6 5 PIPE DIAMETERS DIMENSION 'B'
7 NO VALVES, REDUCERS, OR ELBOWS IN THIS AREA
8 FINISH GRADE
9 6" typ.
10 TO CONTROLLER
11 MASTER VALVE
12 PEA GRAVEL-4" DEEP BELOW VALVE (NO SOIL IN VALVE BOX), TYP.
13 BRICK-ONE @EACH CORNER, TYP.
14 MAIN LINE TO BACKFLOW PREVENTION ASSEMBLY

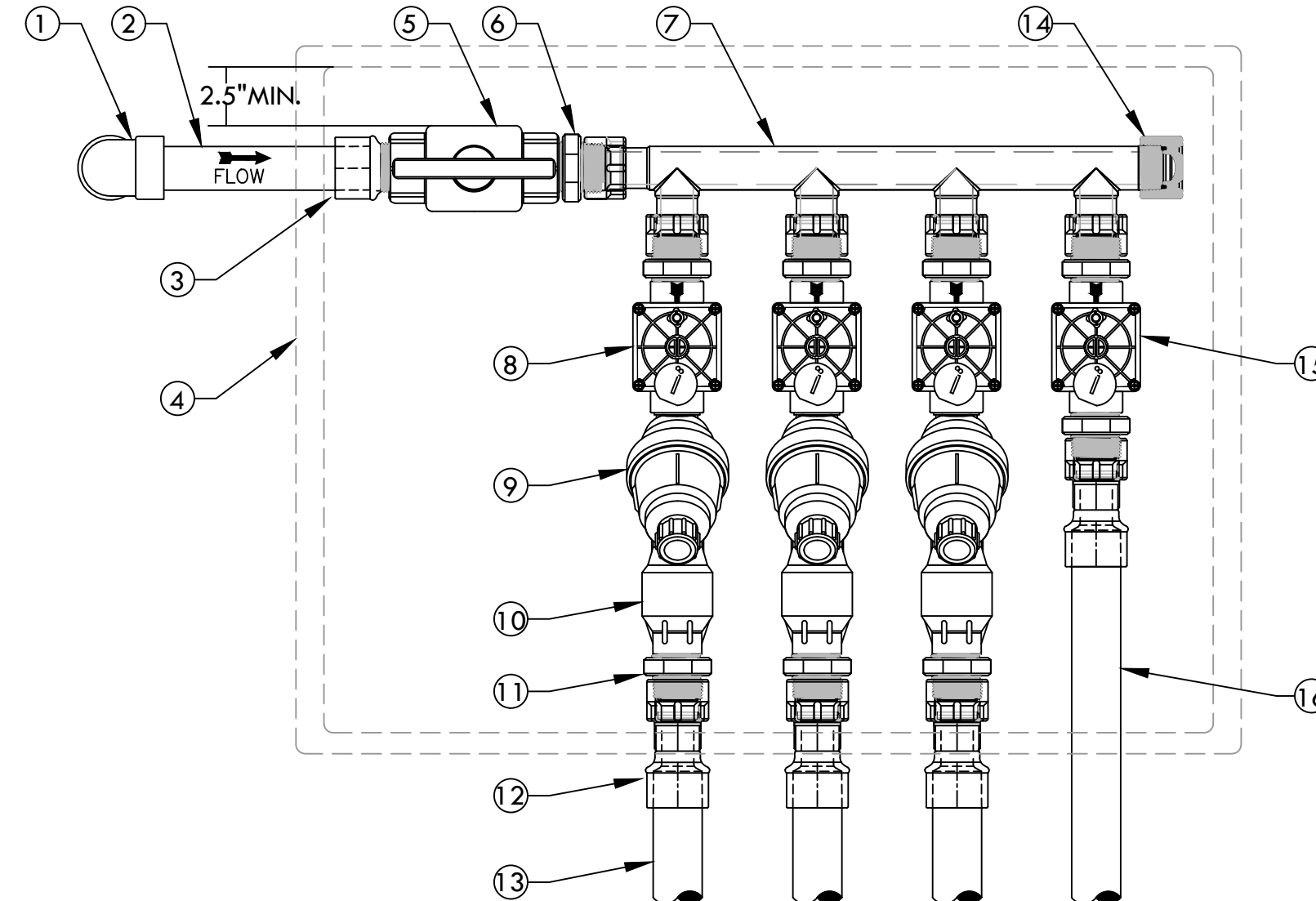
3 INSTALLATION DETAIL - MASTER VALVE/FLOW SENSOR
SCALE: NONE

- 1 SCH 40 PVC 90° ELBOW (SxS) FROM PVC MAIN LINE BELOW.
2 SCH 40 PVC PIPE. LENGTH AS REQUIRED.
3 SCH 80 PVC MALE ADAPTER.
4 CARSON 1220 RECTANGULAR PLASTIC VALVE BOX WITH LID. INSTALL PER REMOTE CONTROL VALVE DETAIL.
5 NDS 1"LO-TORQ BALL VALVE THREADED (PART #LT-1000-T)
6 DURA 1" MIPT x 1" SWIVEL 90° (PART #306-009)
7 DURA 1"x1" THREADED ADAPTER (PART #08303) 4 TOTAL.
8 DURA 1" MULTI-PORT MANIFOLD (PART #301-010-2)
9 DRIP REMOTE CONTROL VALVE. REFER TO LEGEND FOR MODEL.
10 FILTER. REFER TO LEGEND FOR MODEL.
11 40 PSI REGULATOR. REFER TO LEGEND FOR MODEL.
12 DURA 1" x 3/4" MALE ADAPTER (PART #08303-131). ONLY REQUIRED WITH 3/4" OUTLET REGULATORS. USE 1"x1" DURA THREAD ADAPTER ON 1" REGULATORS
13 DURA 1" SLIP X 1" SWIVEL (PART #329-011) 2 TOTAL.
14 SCHEDULE 40 PVC LATERAL TO DRIP IRRIGATION
15 DURA 1" CAP (PART #348-010)
16 BUBBLER OR SPRINKLER REMOTE CONTROL VALVE. REFER TO LEGEND FOR MODEL.
17 SCHEDULE 40 PVC LATERAL TO BUBBLER OR SPRAY IRRIGATION.



4 TWO REMOTE VALVE MANIFOLD DETAIL (1" VALVES ONLY)
SCALE: NONE

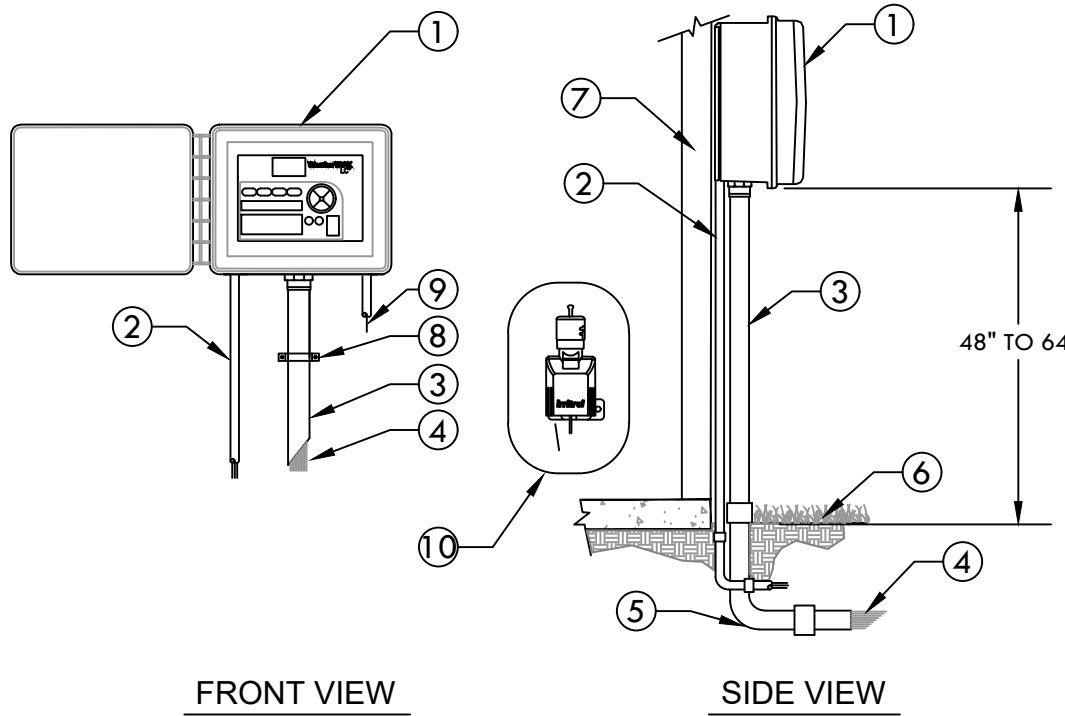
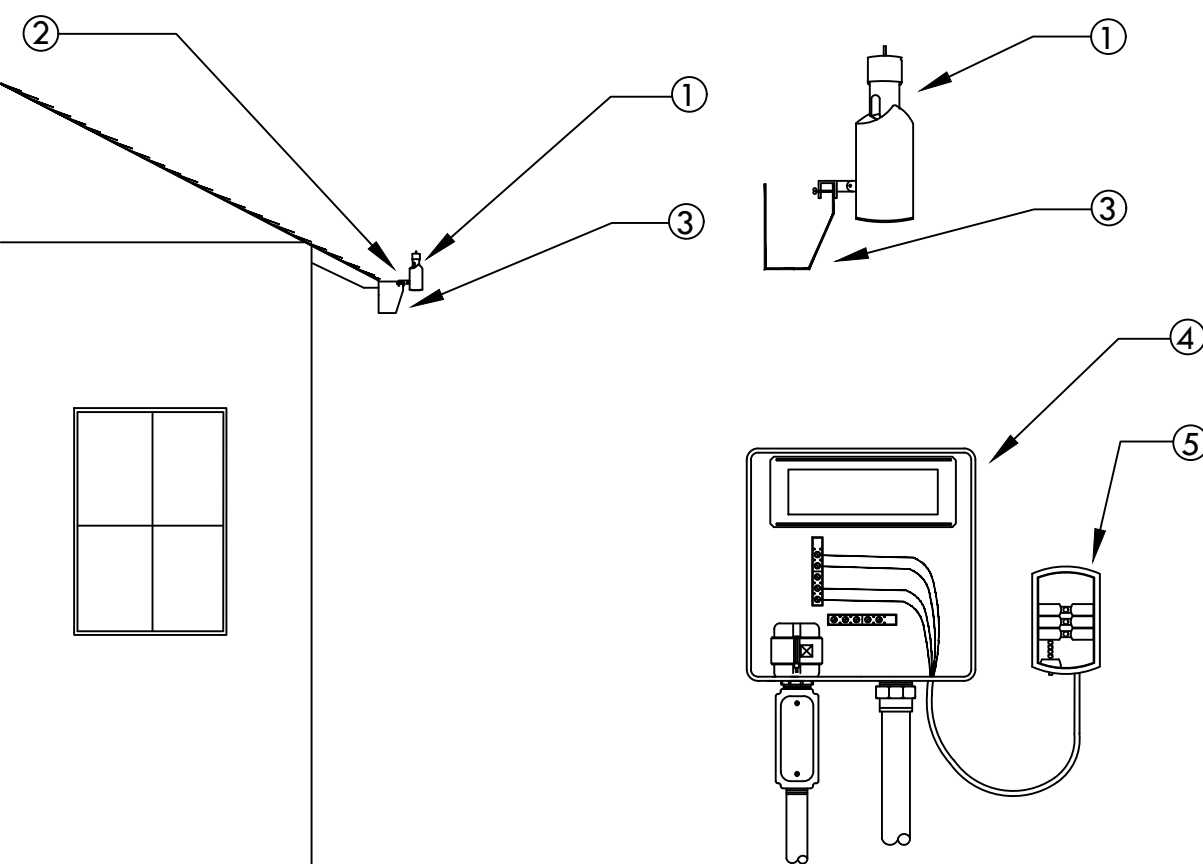
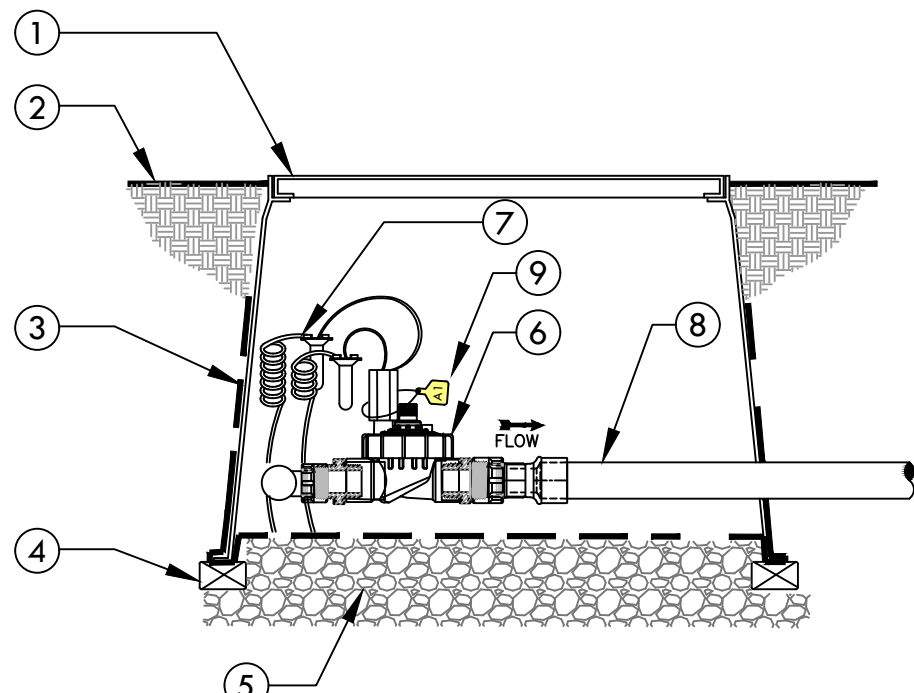
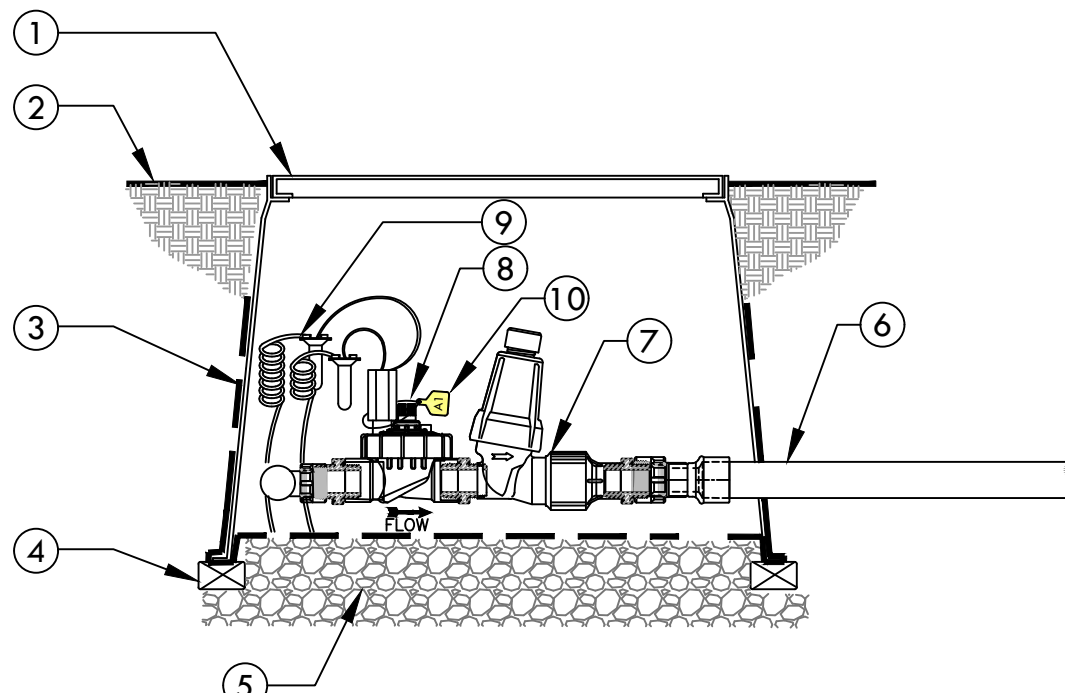
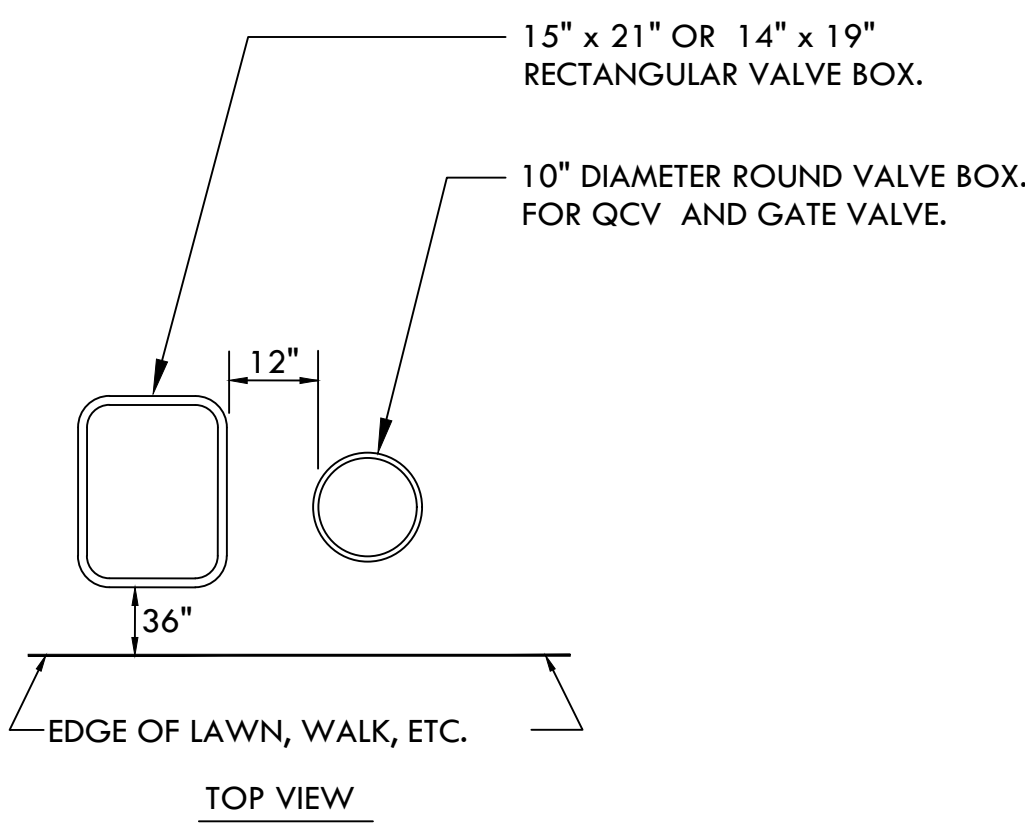
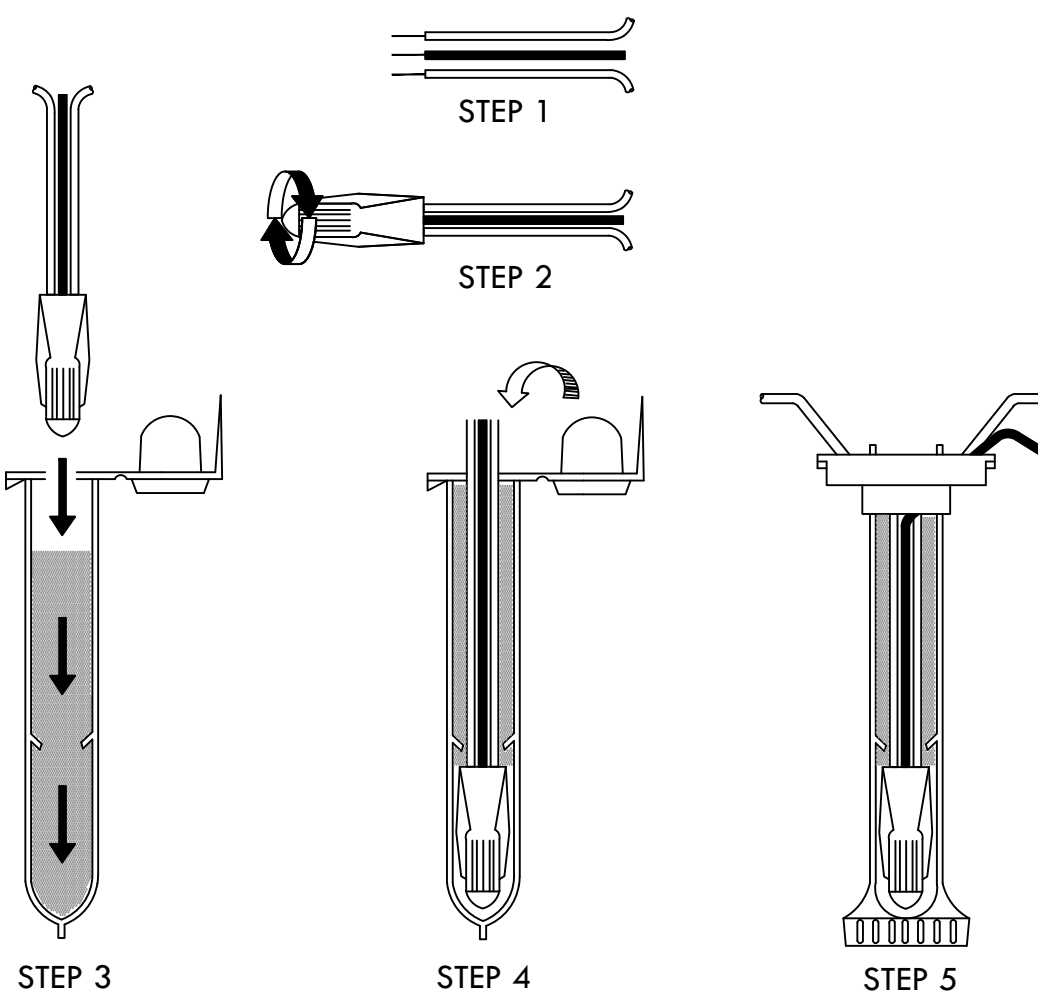
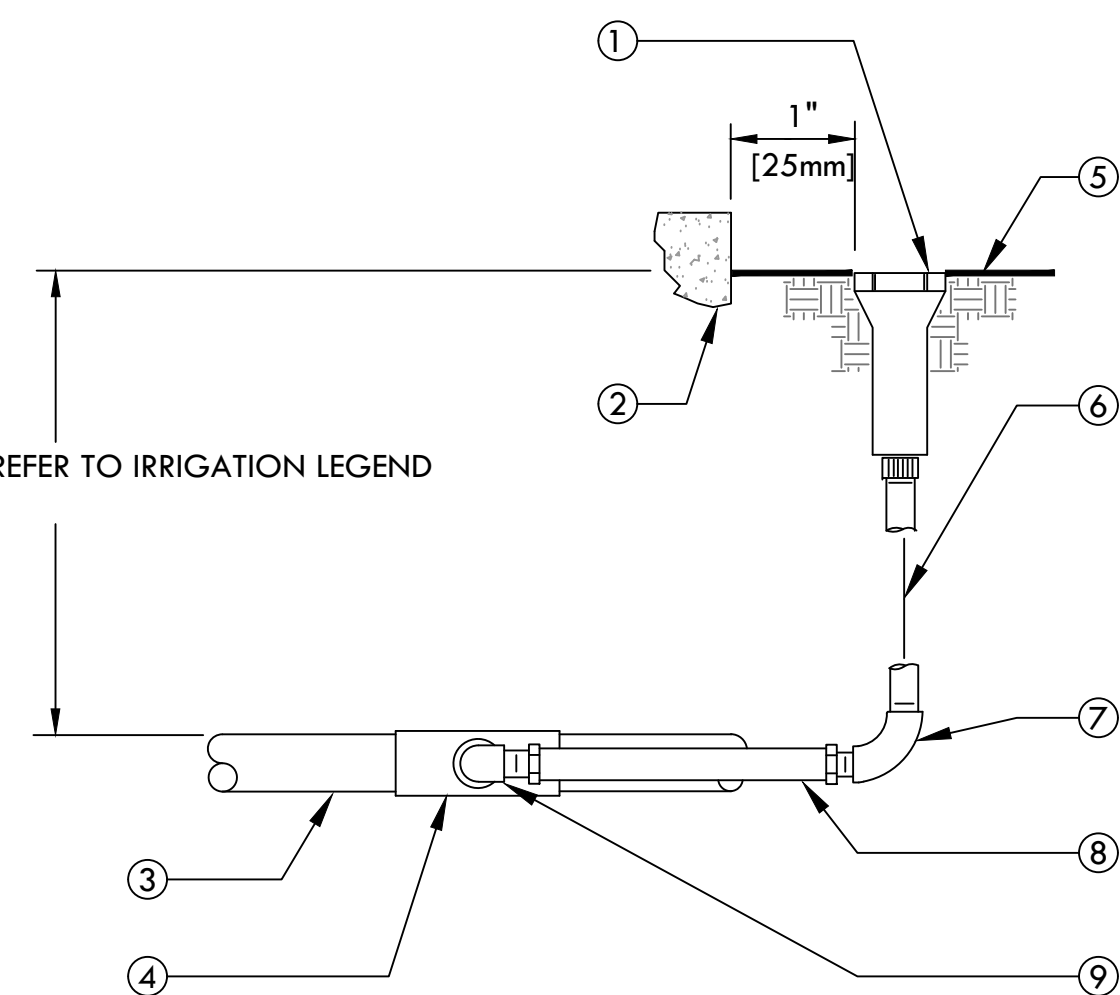
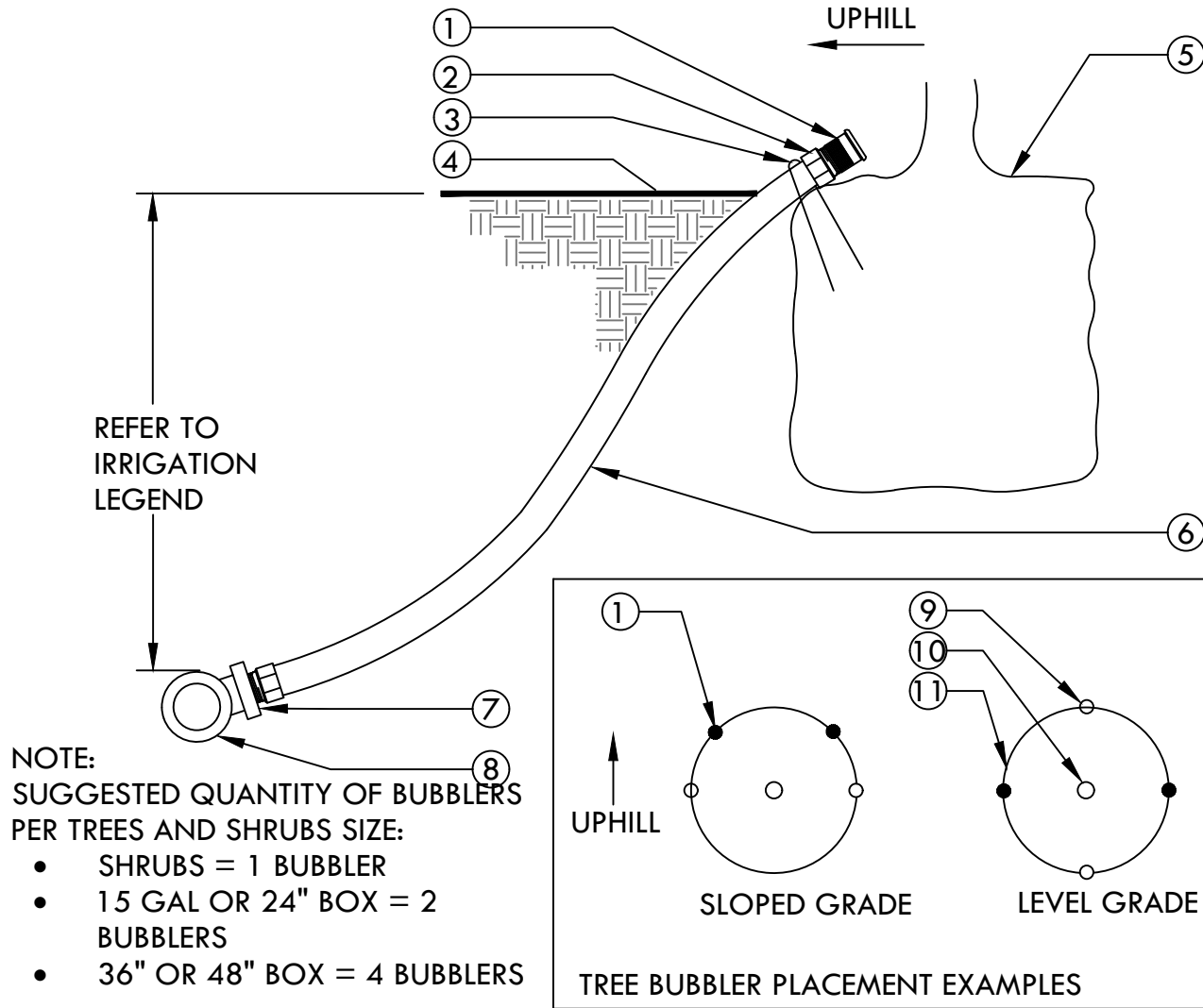
- 1 SCH 40 PVC 90° ELBOW (SxS) FROM PVC MAIN LINE BELOW.
2 SCH 40 PVC PIPE. LENGTH AS REQUIRED.
3 SCH 80 PVC MALE ADAPTER.
4 CARSON 1220 RECTANGULAR PLASTIC VALVE BOX WITH LID. INSTALL PER REMOTE CONTROL VALVE DETAIL.
5 NDS 1"LO-TORQ BALL VALVE THREADED (PART #LT-1000-T)
6 DURA 1"x1" THREADED ADAPTER (PART #08303) 6 TOTAL.
7 DURA 1" MULTI-PORT MANIFOLD (PART #301-010-4)
8 DRIP REMOTE CONTROL VALVE. REFER TO LEGEND FOR MODEL.
9 FILTER. REFER TO LEGEND FOR MODEL.
10 40 PSI REGULATOR. REFER TO LEGEND FOR MODEL.
11 DURA 1" x 3/4" MALE ADAPTER (PART #08303-131) 3 TOTAL. ONLY REQUIRED WITH 3/4" OUTLET REGULATORS. USE 1"x1" DURA THREAD ADAPTER ON 1" REGULATORS
12 DURA 1" SLIP X 1" SWIVEL (PART #329-011) 4 TOTAL.
13 SCHEDULE 40 PVC LATERAL TO DRIP IRRIGATION
14 DURA 1" CAP (PART #348-010)
15 BUBBLER OR SPRINKLER REMOTE CONTROL VALVE. REFER TO LEGEND FOR MODEL.
16 SCHEDULE 40 PVC LATERAL TO BUBBLER OR SPRAY IRRIGATION.



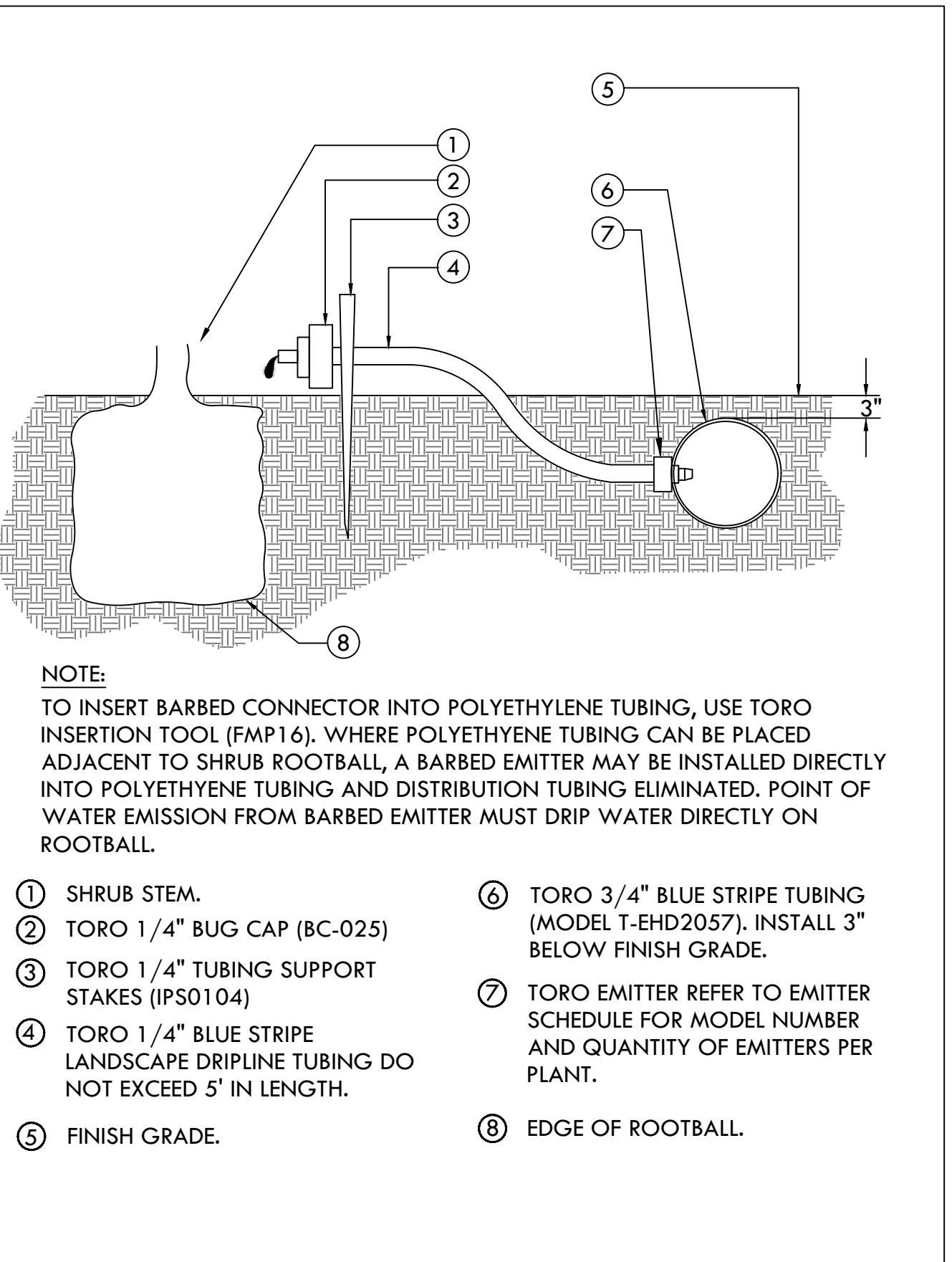
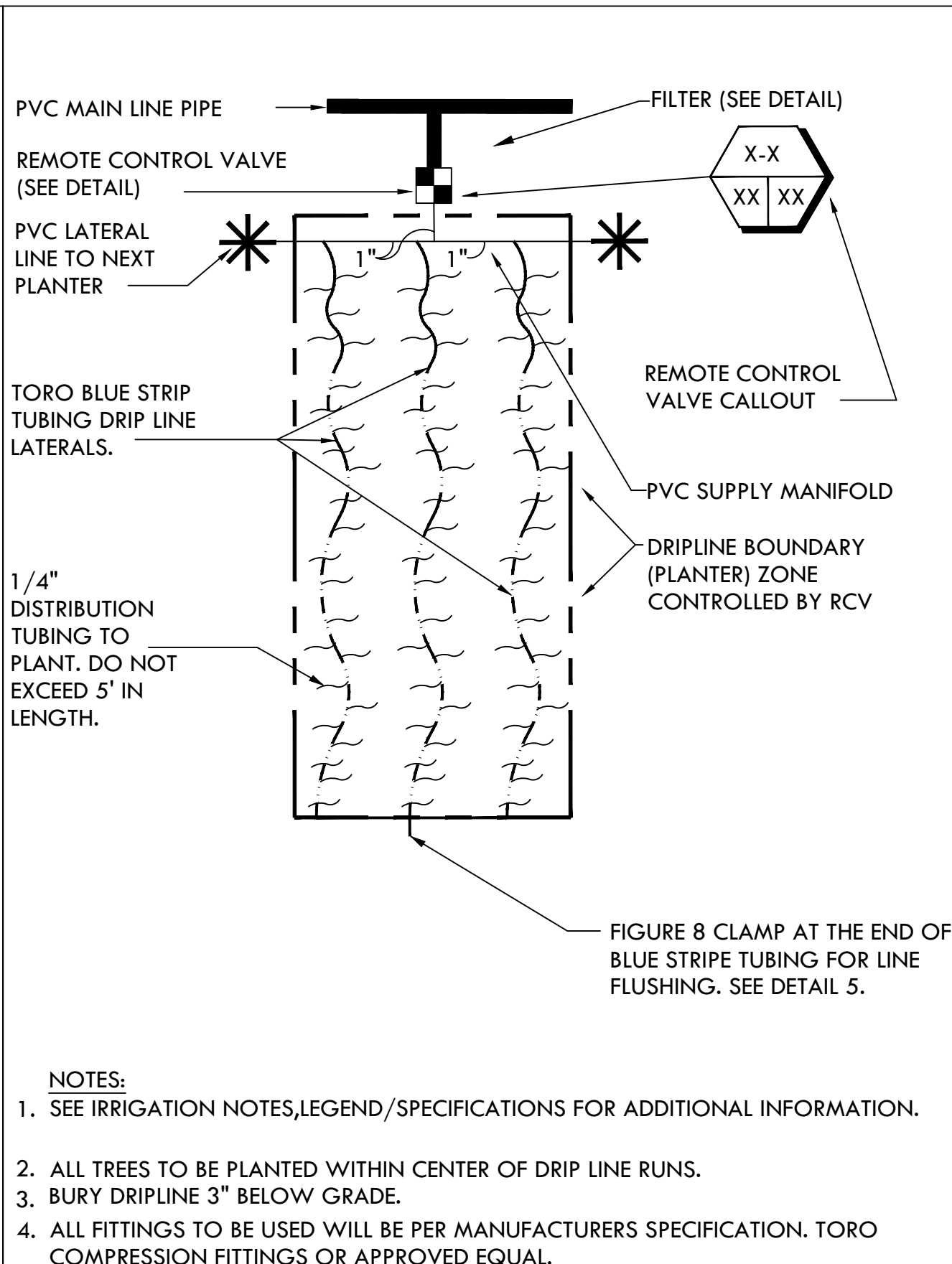
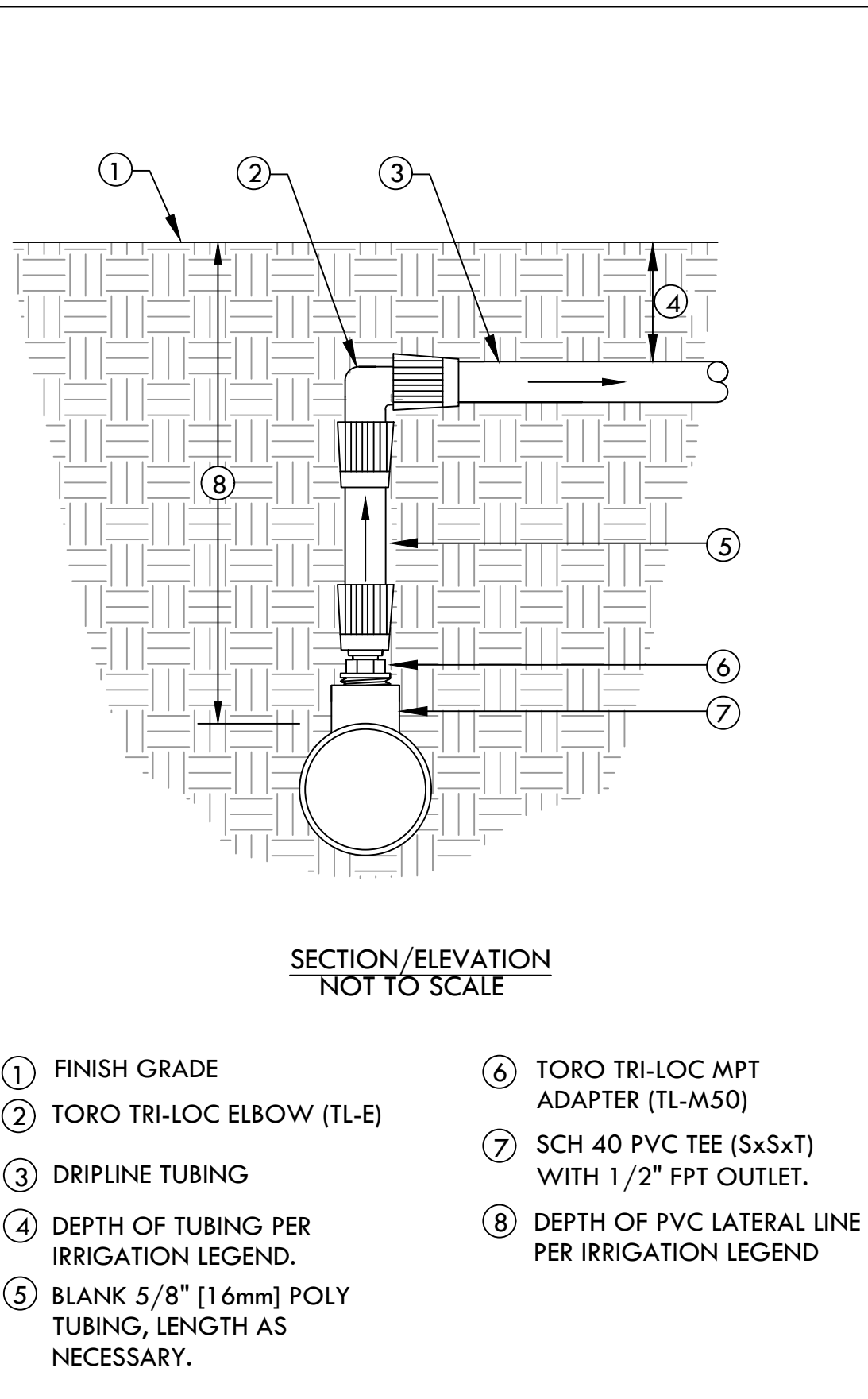
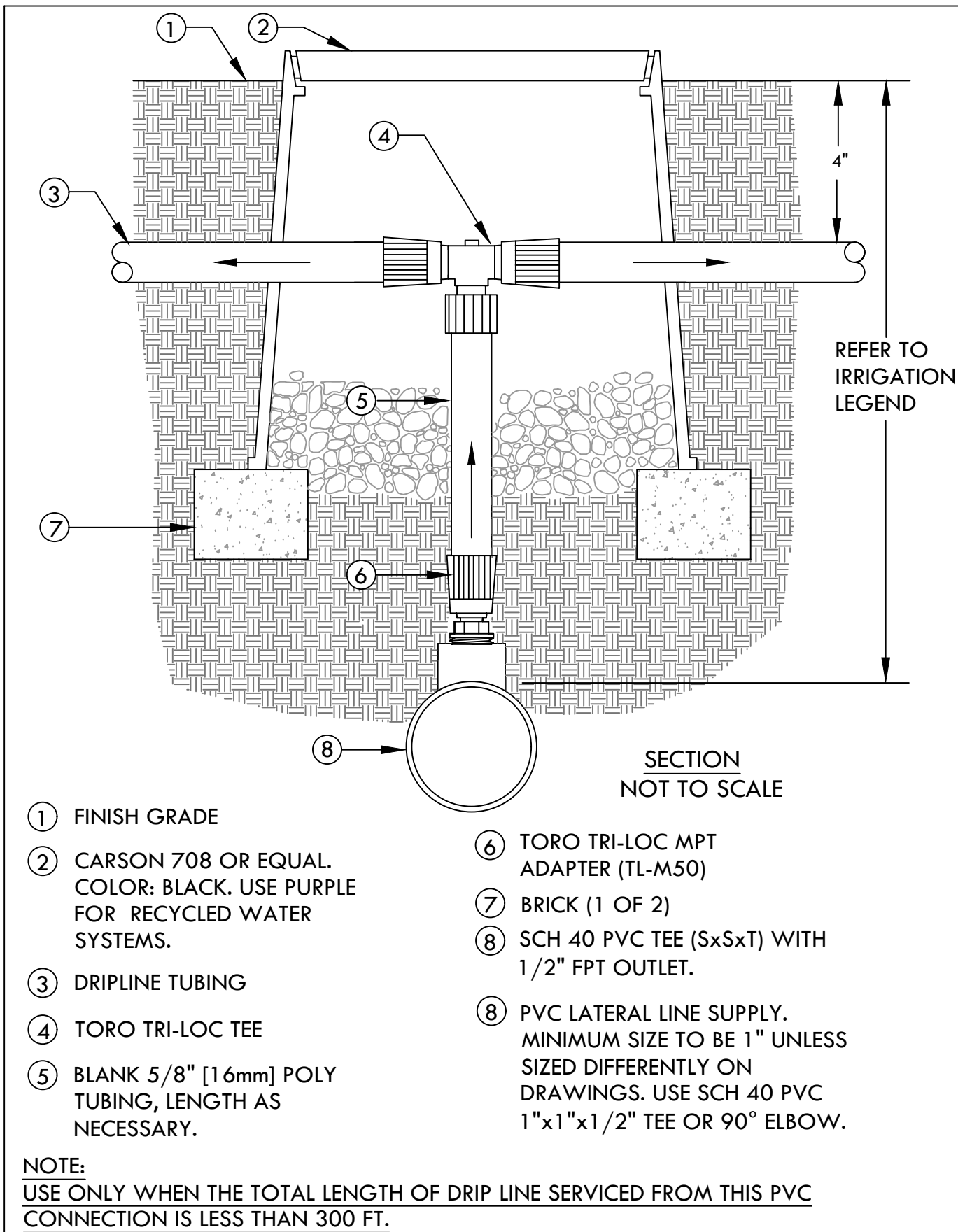
5 FOUR REMOTE VALVE MANIFOLD DETAIL (1" VALVES ONLY)
SCALE: NONE

4 TWO REMOTE VALVE MANIFOLD DETAIL (1" VALVES ONLY)
SCALE: NONE



<div><p>FRONT VIEW SIDE VIEW</p><p>NOTE: INSTALL ALL WIRING PER LOCAL CODE.</p><ol style="list-style-type: none">1 WEATHERTRAK LC+ CENTRAL AUTOMATIC IRRIGATION CONTROLLER SECURED TO WALL WITH APPROPRIATE FASTENERS.2 120 VOLT ELECTRICAL POWER WIRES WITH GROUND WITHIN CONDUIT FOR AUTOMATIC CONTROLLER. SIZE AND INSTALL PER CODE.3 1", 1-1/2" AND 2" PVC CONDUIT-SIZE AS REQUIRED.4 CONTROL WIRING TO ELECTRIC CONTROL VALVES.5 PVC ELECTRICAL SWEEP ELL-SAME SIZE AS CONTROL WIRE CONDUIT.6 FINISH GRADE.7 WALL8 SECURE CONDUIT TO WALL WITH 'C' OR 'U' CLAMP. SIZE AS REQUIRED.9 3/4" CONDUIT WITH #6 BARE COPPER WIRE TO GROUND ROD OR GROUND PLATE.10 RAIN SENSOR PER SPECS. (WIRELESS SHOWN)</div>		<div><p>NOTE: MAXIMUM LINE OF SIGHT FROM RAIN SENSOR TO RECEIVER IS 300 FT. DISTANCE IS LESS IF OBSTRUCTIONS EXIST. SENSOR MUST BE INSTALLED IN "CLEAR SPACE" WHERE IT IS EXPOSED TO UNOBSTRUCTED RAINFALL AND IS CLEAR OF IRRIGATION SPRAY.</p><ol style="list-style-type: none">1 WIRELESS RAIN SENSOR TRANSMITTER (GUTTER MOUNTED)2 MOUNT RAIN SENSOR ON GUTTER/EVE3 GUTTER4 CONTROLLER5 RAIN SENSOR RECEIVER</div>		<div><ol style="list-style-type: none">1 CARSON 1220 RECTANGULAR VALVE BOX FOR FOUR VALVES OR CARSON 1419 FOR TWO VALVES2 FINISH GRADE3 19 GAUGE 1/2" SQUARE WIRE MESH. WRAP UP THE SIDES OF THE BOX4 BRICK-1 EACH CORNER5 PEA GRAVEL OR 3/4" DRAIN ROCK- 4" DEEP BELOW VALVE (NO SOIL IN VALVE BOX)6 REMOTE CONTROL VALVE WITH FLOW CONTROL AND MANUAL BLEED. REFER TO TWO OR FOUR VALVE MANIFOLD DETAIL FOR INSTALLATION INSTRUCTIONS7 VALVE CONTROL WIRE- PROVIDE 3M-DBY SEAL PACKS AT ALL SPLICES AND 24" OF EXCESS UF WIRE IN A 1" DIAMETER COIL8 SCH 40 PVC LATERAL LINE TO BUBBLERS OR SPRAY9 VALVE I.D. TAG (WITH CONTROL AND STATION NUMBER).</div>		<div><ol style="list-style-type: none">1 CARSON 1220 RECTANGULAR VALVE BOX FOR FOUR VALVES OR CARSON 1419 FOR TWO VALVES2 FINISH GRADE3 19 GAUGE 1/2" SQUARE WIRE MESH. WRAP UP THE SIDES OF THE BOX4 BRICK-1 EACH CORNER5 PEA GRAVEL OR 3/4" DRAIN ROCK- 4" DEEP BELOW VALVE (NO SOIL IN VALVE BOX)6 SCH 40 PVC LATERAL LINE TO DRIPLINE OR DRIP.7 DRIP FILTER AND REGULATOR8 REMOTE CONTROL VALVE WITH FLOW CONTROL AND MANUAL BLEED. REFER TO TWO OR FOUR VALVE MANIFOLD DETAIL FOR INSTALLATION INSTRUCTIONS9 VALVE CONTROL WIRE- PROVIDE 3M-DBY SEAL PACKS AT ALL SPLICES AND 24" OF EXCESS UF WIRE IN A 1" DIAMETER COIL10 VALVE I.D. TAG (WITH CONTROL AND STATION NUMBER).</div>	
<div><div>3</div><div>CONTROLLER OUTDOOR WALL MOUNT - WeatherTRAK LC+ SCALE: NONE</div></div>		<div><div>2</div><div>WIRELESS RAIN SENSOR-GUTTER MOUNT SCALE: NONE</div></div>		<div><div>3</div><div>BUBBLER OR SPRAY REMOTE CONTROL VALVE IN TWO OR FOUR VALVE MANIFOLD SCALE: NONE</div></div>		<div><div>4</div><div>DRIP REMOTE CONTROL VALVE IN TWO OR FOUR VALVE MANIFOLD SCALE: NONE</div></div>	
<div><p>15" x 21" OR 14" x 19" RECTANGULAR VALVE BOX.</p><p>10" DIAMETER ROUND VALVE BOX. FOR QCV AND GATE VALVE.</p><p>12"</p><p>36"</p><p>EDGE OF LAWN, WALK, ETC.</p><p>TOP VIEW</p><p>INSTRUCTIONS:</p><ol style="list-style-type: none">1. CENTER VALVE BOX OVER REMOTE CONTROL VALVES TO FACILITATE SERVICING VALVE.2. SET BOXES 1" ABOVE FINISH GRADE OR MULCH COVER IN GROUND COVER/SHRUB AREA AND FLUSH WITH FINISH GRADE IN TURF AREA.3. SET RCV AND VALVE BOX ASSEMBLY IN GROUND COVER/SHRUB AREA WHERE POSSIBLE. INSTALL IN LAWN ONLY IF GROUND COVER DOES NOT EXIST ADJACENT TO LAWN.4. SET BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE OF LAWN, WALK, FENCE, CURB, ETC.5. AVOID HEAVILY COMPACTING SOIL AROUND VALVE BOXES TO PREVENT COLLAPSE AND DEFORMATION OF VALVE BOX SIDES.6. INSTALL EXTENSION BY VALVE BOX MANUFACTURER AS REQUIRED TO COMPLETELY ENCLOSE ASSEMBLY FOR EASY ACCESS.</div>		<div><p>STEP 1</p><p>STEP 2</p><p>STEP 3</p><p>STEP 4</p><p>STEP 5</p><p>NOTE: MAXIMUM # OF WIRES PER CONNECTOR:</p><ul style="list-style-type: none">• 3-#14 GAUGE• 2-#12 GAUGE<p>INSTRUCTIONS:</p><ol style="list-style-type: none">1. STRIP WIRES APPROXIMATELY 1/2" FROM ENDS TO EXPOSE WIRE.2. TWIST CONNECTOR AROUND WIRES CLOCKWISE UNTIL HAND TIGHT, DO NOT OVERTIGHTEN.3. INSERT WIRE ASSEMBLY TO BOTTOM OF GEL-FILLED TUBE. CHECK TO MAKE SURE CONNECTOR HAS BEEN PUSHED PAST LOCKING FINGERS AND IS SEATED AT THE BOTTOM OF THE TUBE.4. PLACE WIRES WHICH EXIT TUBE IN WIRE EXIT HOLES AND CLOSE CAP UNTIL IT SNAPS.5. INSPECT FINAL SPLICE ASSEMBLY THAT IT IS SECURED.</div>		<div><p>REFER TO IRRIGATION LEGEND</p><p>1"</p><p>[25mm]</p><ol style="list-style-type: none">1 POP-UP LAWN SPRAY SPRINKLER.2 WALL, WALK, CURB OR BUILDING.3 PVC LATERAL LINE.4 UPC APPROVED SCHEDULE 40 PVC TEE OR ELBOW.5 FINISH GRADE.6 1/2" [13mm] SCHEDULE 80 PVC THREADED NIPPLE (LENGTH AS REQUIRED - TYPICAL).7 1/2" [13mm] SCHEDULE 40 PVC THREADED 90° ELL.8 1/2" [13mm] FLEXIBLE IPS HOSE 6" [150mm] LONG WITH MALE ADAPTERS OR 1/2" x 6" [13mm x 150mm] FLEXIBLE SWING JOINT WITH A MINIMUM PRESSURE RATING OF 100 PSI [690kPa]9 1/2" [13mm] SCHEDULE 40 PVC STREET ELL.</div>		<div><p>UPHILL</p><p>REFER TO IRRIGATION LEGEND</p><p>NOTE: SUGGESTED QUANTITY OF BUBBLERS PER TREES AND SHRUBS SIZE:</p><ul style="list-style-type: none">• SHRUBS = 1 BUBBLER• 15 GAL OR 24" BOX = 2 BUBBLERS• 36" OR 48" BOX = 4 BUBBLERS<p>1"</p><p>UPHILL</p><p>SLOPED GRADE</p><p>LEVEL GRADE</p><p>TREE BUBBLER PLACEMENT EXAMPLES</p><ol style="list-style-type: none">1 BUBBLER (TO BE INSTALLED ON TOP OF ROOTBALL).2 1/2" SCH. 40 MALE ADAPTER (2 TOTAL).3 6" STAPLE.4 FINISH GRADE.5 TREE OR SHRUB ROOTBALL.6 1/2" IPS FLEXIBLE PVC. USE WELD-ON 795 SOLVENT CEMENT OR EQUAL WHEN BONDING PVC HOSE TO FITTINGS.7 PVC TEE (SST), ELBOW (ST) OR FEMALE ADAPTER.8 PVC LATERAL LINE.9 TREE STAKES.10 TREE OR SHRUB.11 EDGE OF ROOTBALL (TYPICAL).</div>	
<div><div>5</div><div>VALVE BOX INSTALLATION SCALE: NONE</div></div>		<div><div>6</div><div>WEATHERPROOF WIRE SPLICE ASSEMBLY SCALE: NONE</div></div>		<div><div>7</div><div>POP-UP SPRAY SPRINKLER - TURF SCALE: NONE</div></div>		<div><div>8</div><div>TREE AND SHRUB BUBBLER SCALE: NONE</div></div>	



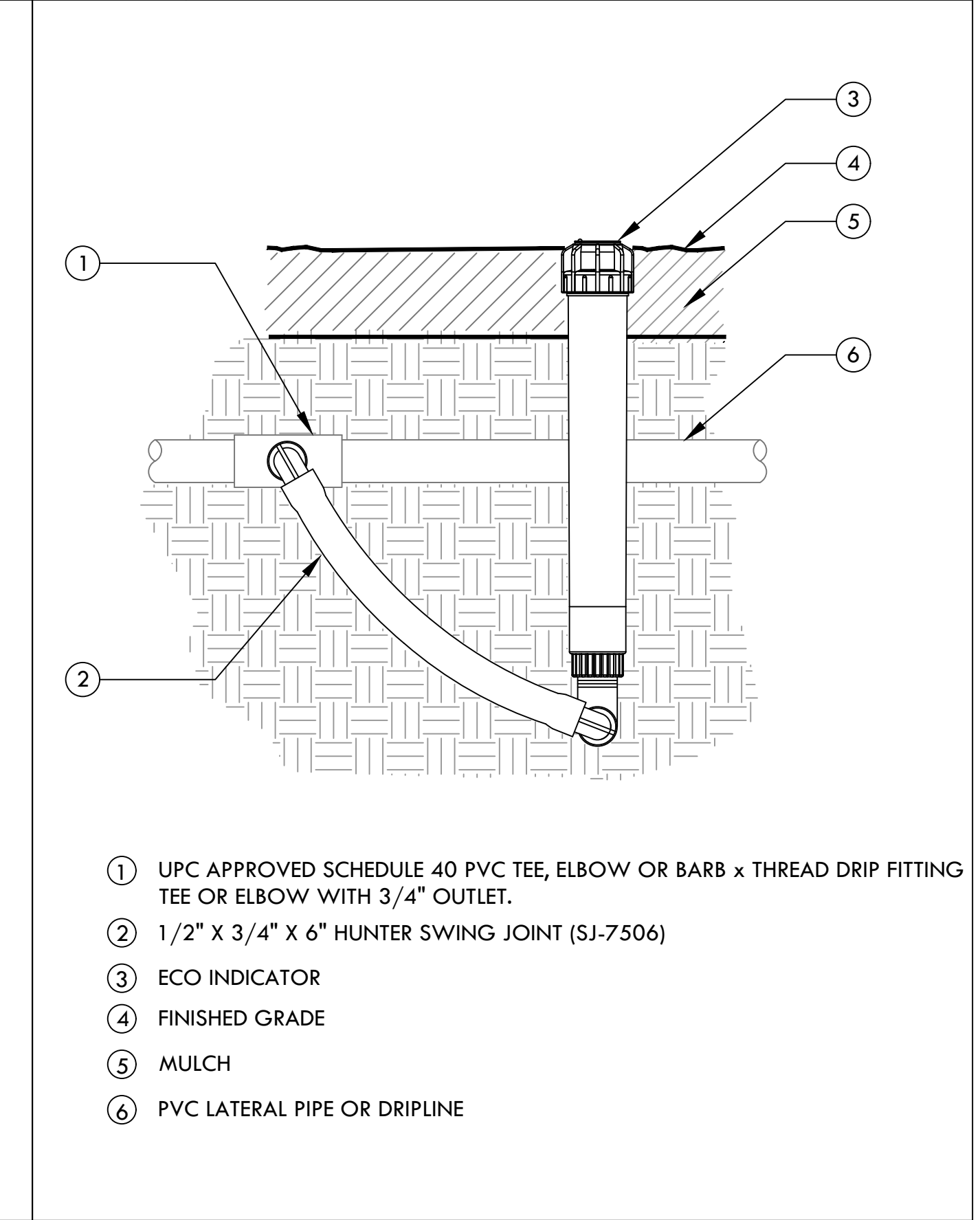
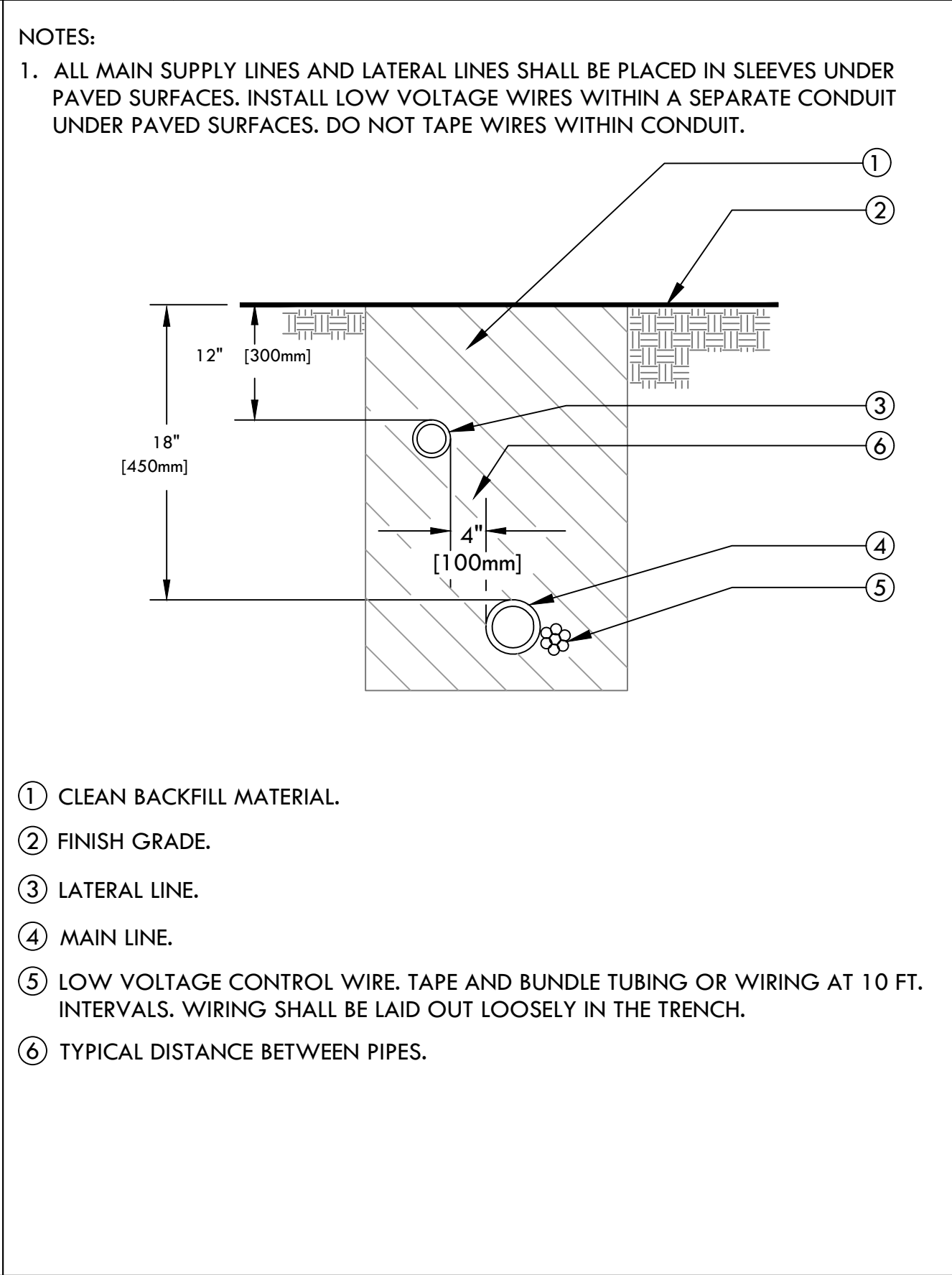
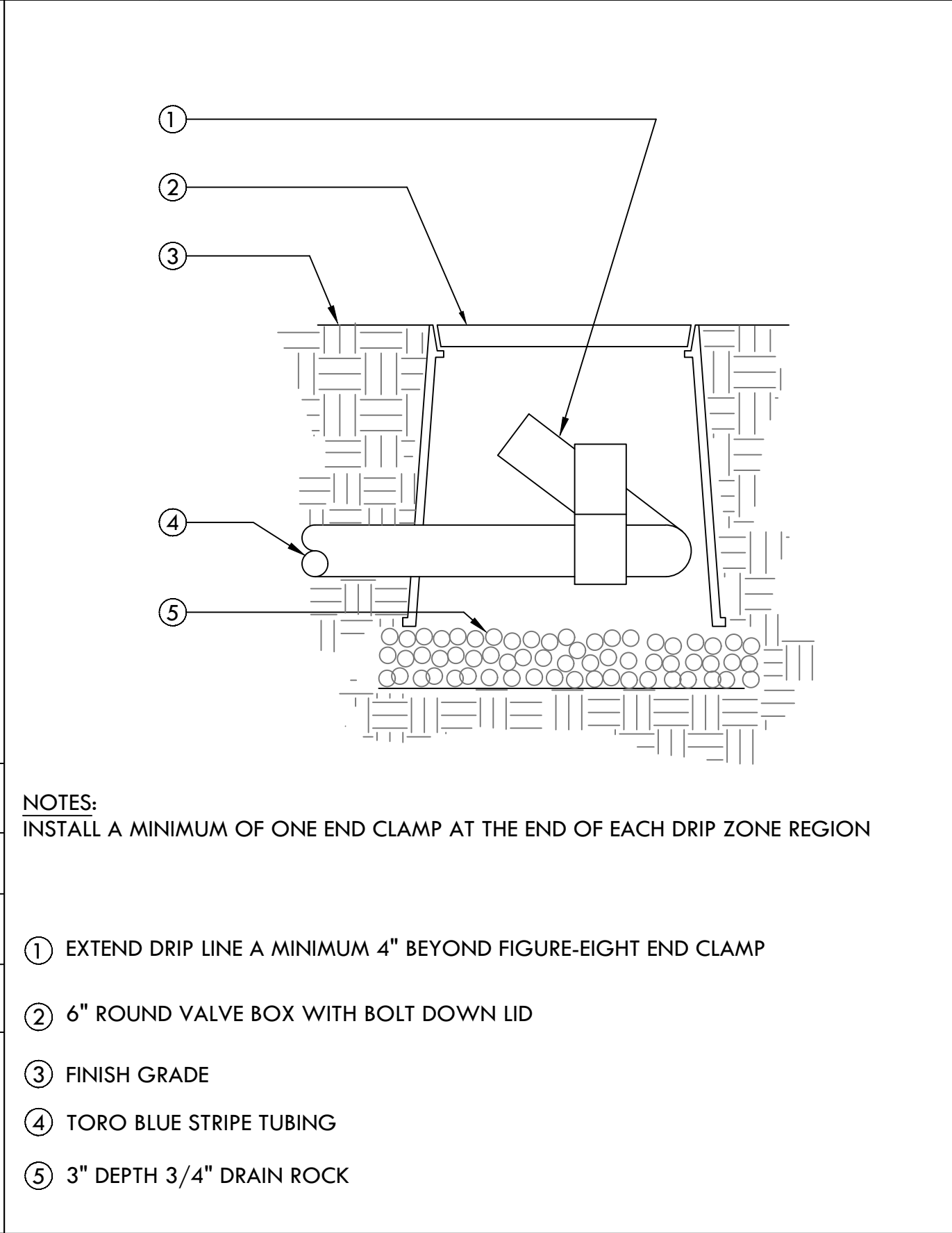
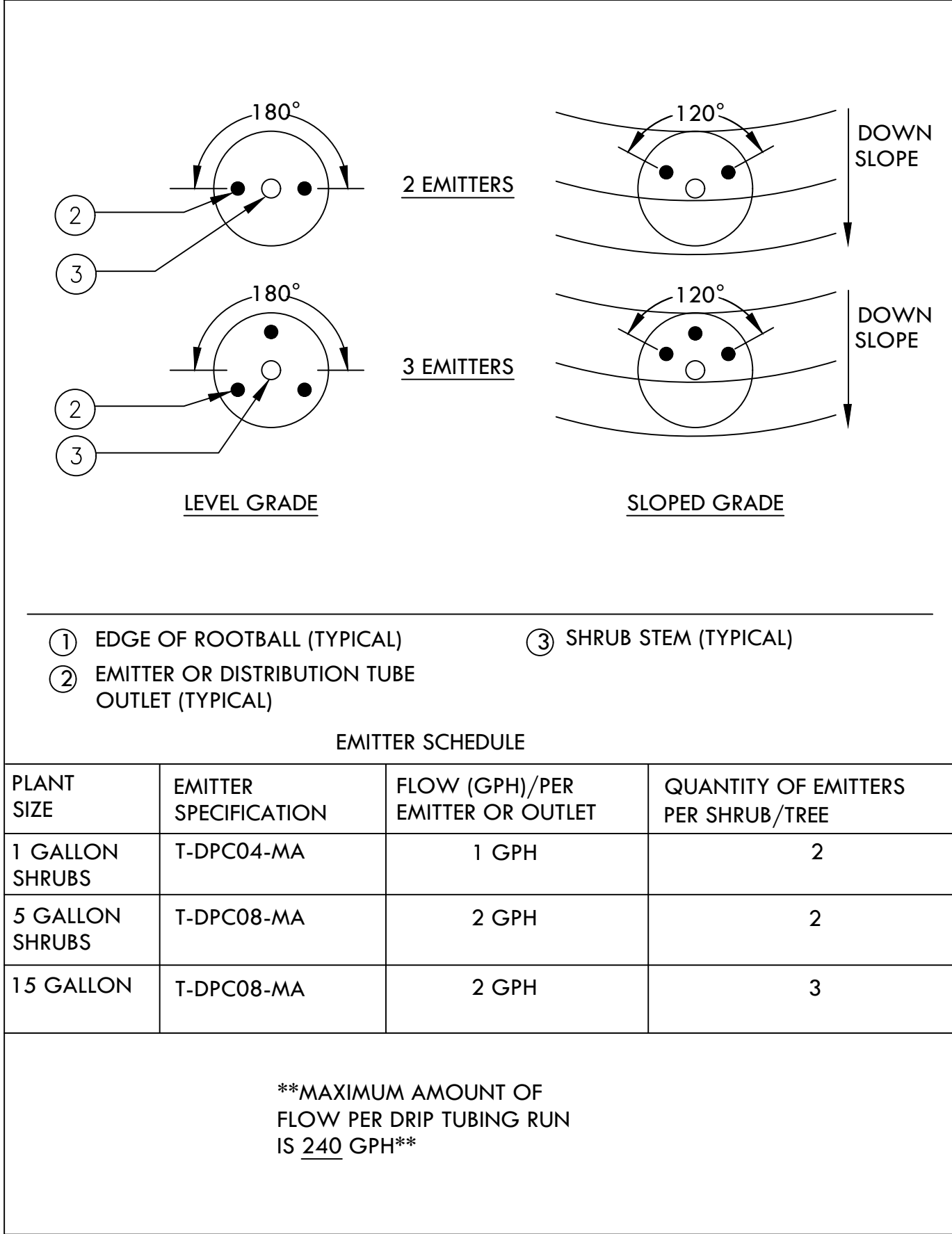


1 DRIPLINE TO PVC CONNECTION-SINGLE SOURCE DRIP AREAS ONLY
SCALE: NONE

2 DRIPLINE MANIFOLD TO ELBOW CONNECTION
SCALE: NONE

3 TORO BLUE STRIP TUBING DRIP ZONE SAMPLE LAYOUT
Scale: NONE
DET: 153

4 TORO EMITTER AND DRIP INSTALLATION WITHIN DRIPZONE
SCALE: NONE
DET:



5 TORO EMITTER PLACEMENT AND SCHEDULE
SCALE: NONE
DET: EMITTER-PL/SCH

6 TORO DRIP ZONE FIGURE EIGHT END CLAMP
SCALE: NONE
DET: ----

7 TRENCHING
SCALE: NONE

8 DRIPLINE OPERATION INDICATOR
SCALE: NONE

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Consultant:

Stamp:

Project Name:
Pebble Beach Residence

3406 17 Mile Drive,
Pebble Beach, California

Sheet Title:
IRRIGATION DETAILS

Submittal: Planning Application Date: 08-01-2023

Revision: Date:

scale: as noted

sheet: **L4.5**

IRRIGATION WATER USE CALCULATIONS

WATER USE ESTIMATION

WATER TYPE	POTABLE
SITE ETO=	35.9

HYDROZONE #	HYDROZONE NAME	PLANT WATER USE TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	AREA (SQ. FT) (HA)	ETAF X AREA (HA)	ETWU (GAL/YR)	ACRE FEET/ YEAR	HCF/ YEAR	PERCENTAGE OF LANDSCAPE
1	SHRUBS/GC	LOW	0.3	DRIP	0.81	0.37	21,014	7,783	173,233	0.53	231.60	27%
2	SHRUBS/GC	LOW	0.3	SPRAY	0.75	0.40	15,797	6,319	140,644	0.43	188.03	20%
3	TREES	LOW	0.3	BUBBLER	0.81	0.37	2,560	948	21,104	0.06	28.21	3%
4	GRASSES	MOD	0.5	SPRAY	0.75	0.67	4,064	2,709	60,304	0.19	80.62	5%
5	WOODLAND	LOW	0.3	SPRAY	0.75	0.40	34,807	13,923	309,894	0.95	414.30	44%
6	POOL/SPA	HIGH	0	-	-	1.00	301	301	6,700	0.02	8.96	0%
TOTALS							78,242	31,682	705,179	2.16	942.75	100%

HYDROZONE #	HYDROZONE NAME											
-				1								0%
				TOTALS		0						0%

MAWA	GALLONS/YR	957,831
	ACRE FEET/YR	2.94
	HCF/YR	1,280.52

MAWA FORMULA
MAXIMUM APPLIED WATER ALLOWANCE (MAWA) GALLONS PER YEAR
MAWA = (ETO)(0.62)/[(LA x 0.55) + (0.45 x SLA)]

ETWU FORMULA
ESTIMATED TOTAL WATER USE (ETWU) GALLONS PER YEAR
ETWU= ((ETO)/(.62))(ETAF x LA)

ETWU	GALLONS/YR	705,179
	ACRE FEET/YR	2.16
	HCF/YR	942.75

ETO = REFERENCE EVAPOTRANSPIRATION

0.45= ET ADJUSTMENT FACTOR

LA=LANDSCAPED AREA (SQUARE FEET)

0.62 = CONVERSION FACTOR (GALLONS/SQ.FT/YR)

SITE IRRIGATION EFFICIENCY	SITE PLANT FACTOR	MAWA COMPLIANT
76.8%	0.31	YES

ETAF Calculations

REGULAR LANDSCAPE AREAS

TOTAL ETAF x AREA 31,682

TOTAL AREA 78,242

AVG. ETAF 40.49%

IE = IRRIGATION EFFICIENCY (0.81)-BUBBLER/DRIP

IE = IRRIGATION EFFICIENCY (0.75)-ROTORS/SPRAY

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Stamp:



Project Name:

Pebble Beach Residence

3406 17 Mile Drive,
Pebble Beach, California

Sheet Title:

IRRIGATION WATER USE CALCULATIONS

Submittal: Planning Application Date: 08-01-2023

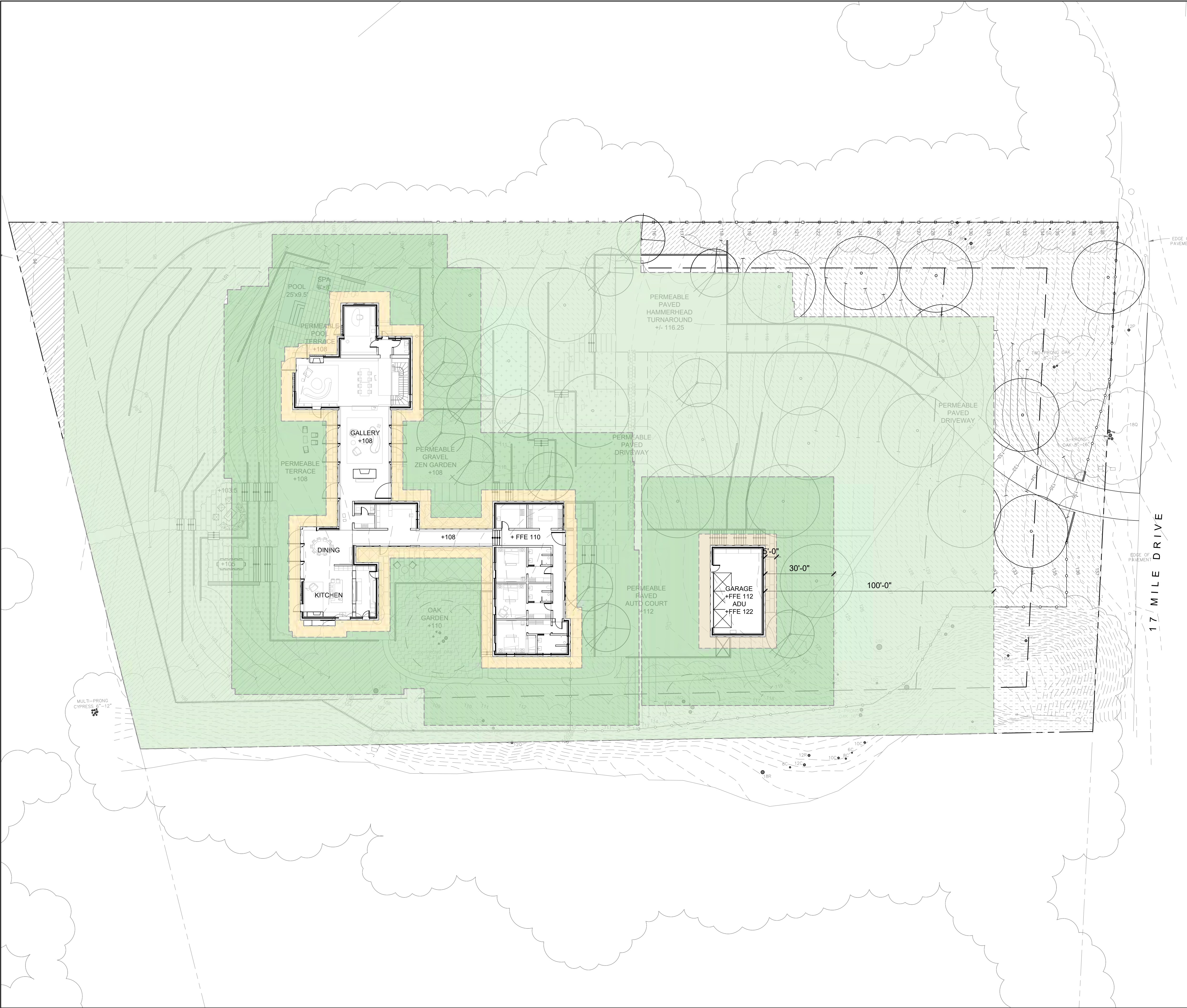
Revision: _____ Date: _____

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sheet:

L4.6

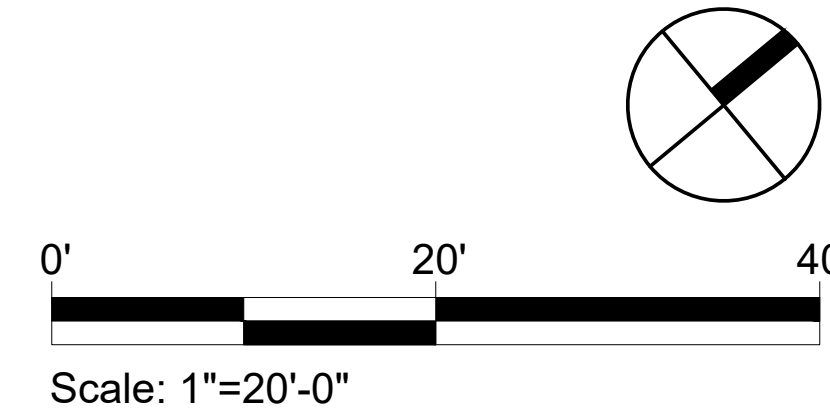
NOT FOR CONSTRUCTION



LEGEND

- PROPERTY LINE
- NON-COMBUSTIBLE ZONE (0-5')
- RESTORATION AND LANDSCAPE ZONE (5-30')
- FUEL REDUCTION ZONE (30-100')
- MEDITERRANEAN CLIMATE ORNAMENTAL GARDEN
- ORNAMENTAL GARDEN-OAK WOODLAND TRANSITION
- ORNAMENTAL GARDEN-COASTAL SCRUB TRANSITION
- NATIVE SCREENING SHRUBS
- NATIVE SEDGE GROUNDCOVER DRIVEWAY
- COAST LIVE OAK WOODLAND
- SPECIMEN COAST LIVE OAK GARDEN
- COASTAL SCRUB
- WEED CONTROL + RE-VEGETATION

- CRITICAL ROOT ZONE
- EXISTING TREE TO REMAIN AND PROTECT IN PLACE
- NEW TREES- QUERCUS AGRIFOLIA
- NEW TREES- CERCIS OCCIDENTALIS



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Consultant:

Stamp:

Project Name:
Pebble Beach Residence

3406 17 Mile Drive,
Pebble Beach, California

Sheet Title:
Fuel Management Plan

Submittal: Date:
Planning Application 08-01-2023

Revision: Date:

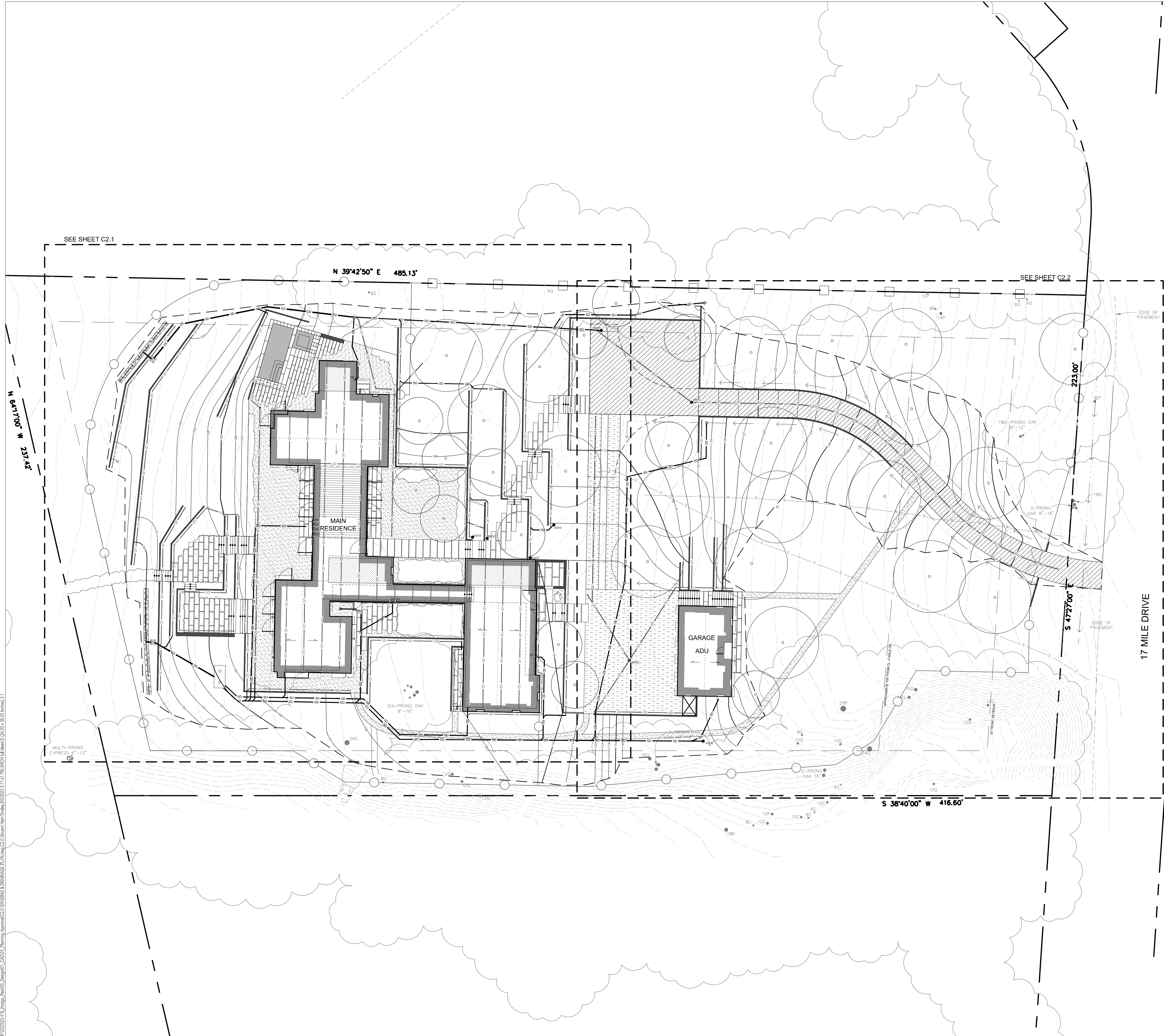
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sheet: **L5.1**

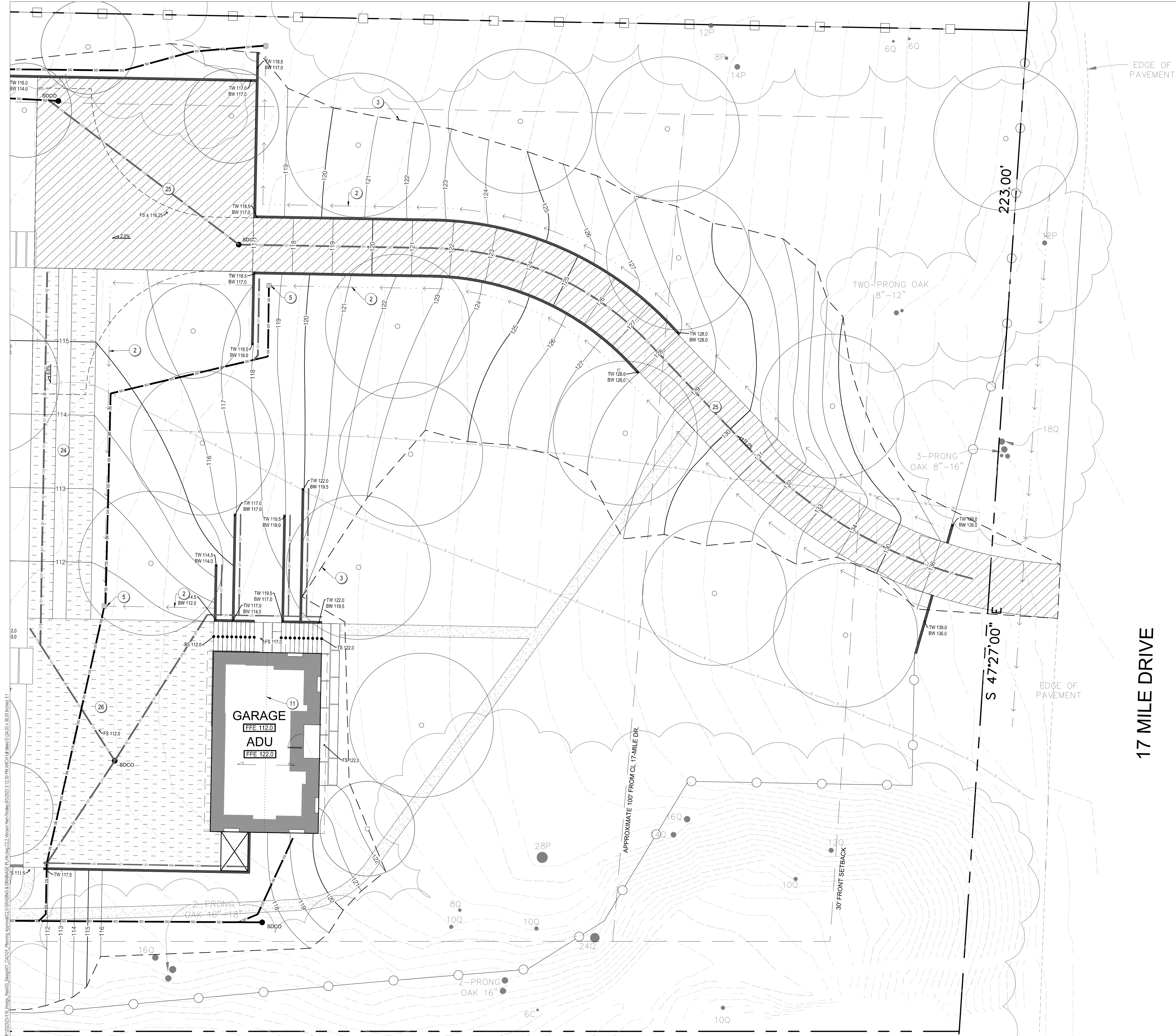
1. ALL GRADING SHALL COMPLY WITH APPLICABLE PERMITS, LOCAL ORDINANCES AND RECOMMENDATIONS OF THE GEOTECHNICAL REPORT REFERENCED UNDER GENERAL NOTES.
2. SEDIMENT AND EROSION CONTROL MEASURES, AS SPECIFIED IN THE ATTACHED EROSION CONTROL PLAN AND DETAILS SHALL BE INSTALLED PRIOR TO START OF GRADING ACTIVITIES.
3. WHEN GRADING ACTIVITIES COMMENCE MORE THAN 30 DAYS AFTER GRUBBING ACTIVITIES, THE AREA SHALL BE SEEDED WITH PLANT MATERIAL TO CONTROL EROSION. ROOT DEPTH OF SUCH PLANT MATERIAL NOT TO EXCEED 4 INCHES.
4. ALL COMPACTION TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE PRIOR TO SCHEDULING INSPECTIONS.
5. CUT AND/OR FILL SLOPES SHALL NOT EXCEED SLOPE RECOMMENDED BY GEOTECHNICAL ENGINEER. (TEMPORARY SLOPE [1V:1H]; PERMANENT SLOPE [1V:2H])
6. MAINTAIN MIN. 5% SLOPE AWAY FROM BUILDING IN SOFTSCAPE OR 2% AWAY FROM BUILDING IN HARDSCAPE UNLESS OTHERWISE SHOWN ON PLANS.
7. PROVIDE MIN. SOIL COMPACTION OF 90% RELATIVE COMPACTION FOR FILLS BENEATH PROPOSED FLATWORK; 95% RELATIVE COMPACTION FOR FILLS BENEATH VEHICULAR PAVEMENT; AND 85% IN SOFTSCAPE OR LANDSCAPE AREAS, UNLESS OTHERWISE NOTED.

	CUT ANALYSIS(S (CUBIC YARDS)	FILL ANALYSIS (CUBIC YARDS)
PROJECT (APN 008-381-002)	7500	1000
NET	6500 CU YDS (EXPORT)	

SHERWOOD DESIGN ENGINEERS IS NOT AN ENGINEERING CONTRACTOR, NOR SHOULD OUR RENDERING OF CUT AND FILL EARTHWORK VOLUMES BE CONSIDERED EQUIVALENT TO THE NATURE AND EXTENT OF SERVICE AN ENGINEERING CONTRACTOR WOULD PROVIDE. THIS ESTIMATE BASED ON OUR OWN ANALYSIS, WHICH IS AS ACCURATE AS THE AVAILABLE INFORMATION PROVIDED TO US IN REGARDS TO EXISTING TOPOGRAPHY AND CONCEPTUAL GRADING. THIS ANALYSIS WILL NOT REFLECT THE LOCALIZED SITE CONDITIONS NOT REPRESENTED ON THE TOPOGRAPHIC SURVEY, NOR DOES IT TAKE INTO EFFECT FACTORS SUCH AS SHRINKAGE, SWELL, LOSS DURING TRANSPORT AND SUBSIDENCE, UNLESS OTHERWISE STATED ON QUANTITIES TABLE ABOVE. THIS EARTHWORK VOLUME ANALYSIS SHOULD BE USED FOR PURPOSES OF ESTIMATING COSTS TO THE ORDER OF MAGNITUDE. ENGINEERS CANNOT GUARANTEE THE ACCURACY OF OUR EARTHWORK VOLUME DESIGN BEYOND USE AS A PLANNING TOOL.

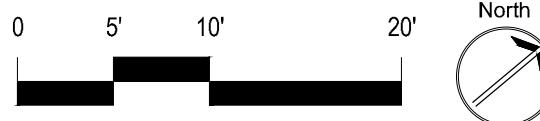


P:\2023\23-116_Hodges_Res\03_Design\01_CAD\01_Planning Approval\02.0 GRADING & DRAINAGE PLAN.dwg, C2.0.Vincent Hart-Tinsley, 8/3/2023 3:11:41 PM, ARCH Full Bleed D (24.00 x 36.00 Inches), 1:1



GRADING LEGEND	
	SPOT ELEVATION
	HARDSCAPE SLOPE
	SOFTSCAPE SLOPE
	FINISH FLOOR ELEVATION
	(P) MAJOR CONTOUR
	(P) MINOR CONTOUR
	(E) MAJOR CONTOUR
	(E) MINOR CONTOUR
	1 (E) FLOWLINE
	2 18" x 3" LANDSCAPE SWALE
	3 LIMIT OF WORK
	(P) GRADE BREAK

STORM DRAIN LEGEND	
	4 (P) AREA DRAIN
	5 (P) DRAIN INLET
	6 (P) TRENCH DRAIN
	(P) SD CLEAN OUT
	(P) DOWNSPOUT
	(P) STORM DRAIN PIPE
	(P) FOUNDATION/FRENCH DRAIN PIPE
	(P) PERIMETER DRAIN PIPE
	(P) UNDER DRAIN PIPE / BACK OF WALL DRAIN PER GEOTECHNICAL REPORT
	(P) ROCK INLET/OUTLET PROTECTION
	7 LEVEL SPREADER
	8 BUILDING OUTLINE
	9 BUILDING OVERHANG
	10 ROOF RIDGELINE ABOVE, SAP
	11 DECK, SAP
	12 PLANTED GREEN ROOF, SAP
	13 LOW SLOPE MEMBRANE ROOF, SAP
	14 WOOD & METAL TRELLIS, SAP
	15 METAL AWNING, SAP
	16 POOL
	17 SPA
	18 OUTDOOR WASH
	19 STONE PAVERS WITH GRAVEL/SAND/GRASS JOINTS
	20 GRAVEL
	21 PERMEABLE GRAVEL ZEN GARDEN
	22 OAK GARDEN
	23 TWO TRACKS OF COBBLE WITH 1/4" SAND-SWEPT JOINTS
	24 MIDDLE STRIP IS PLANTED TERRAPAVE, ORGANIC ROCK, OR SIMILAR
	25 SAND-SET COBBLE WITH 1/4" SAND-SWEPT JOINTS
	26 POOL COPING AND HOUSING, IMPERMEABLE
	27 RETAINING WALL, TYP
	28 (E) CONCRETE DRAIN STRUCTURE
	29 BASEMENT MANIFOLD, DRAIN W/ SUMP PER GEOTECH REPORT



PLANNING APPROVAL









SCALE: 1" = 10'		
Note: If this graphic scale does not equal 1", this sheet has been modified from its original size.		
NO.	DATE	REVISION

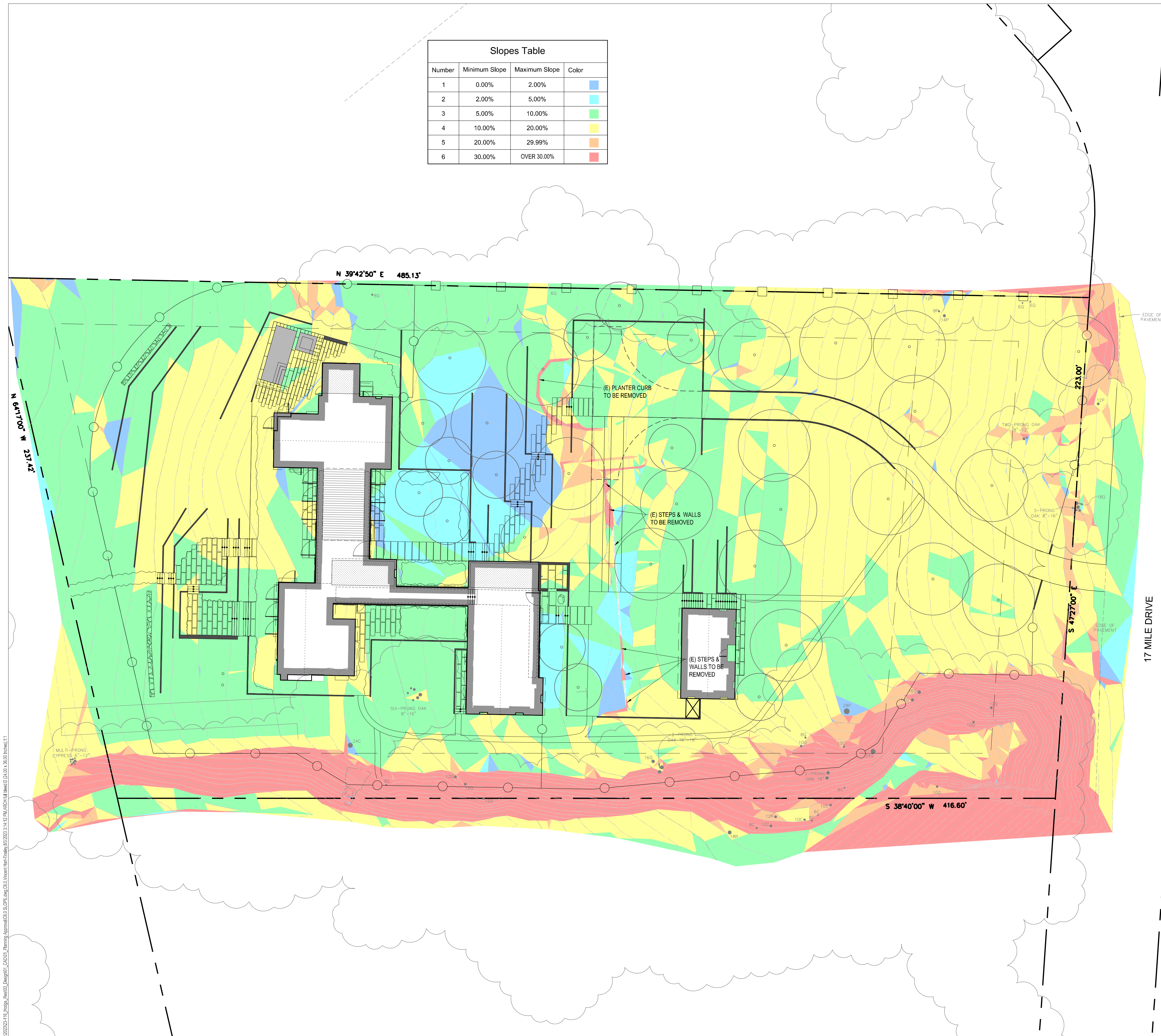
PROJECT NO. 23-116	
DATE	AUGUST 1, 2023
DRAWN	CKS/VHT
DESIGNED	VHT/DN
CHECKED	DN

HODGE RESIDENCE
HODGE RESIDENCE
3406 17 MILE DRIVE
PEBBLE BEACH CA

DRIVEWAY GRADING
& DRAINAGE PLAN



Number	Minimum Slope	Maximum Slope	Color
1	0.00%	2.00%	
2	2.00%	5.00%	
3	5.00%	10.00%	
4	10.00%	20.00%	
5	20.00%	29.99%	
6	30.00%	OVER 30.00%	



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