

# Exhibit F

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# CARMEL RIVER INN

## COTTAGE UNIT #17 REMODEL/ADDITION

Project / Owner:

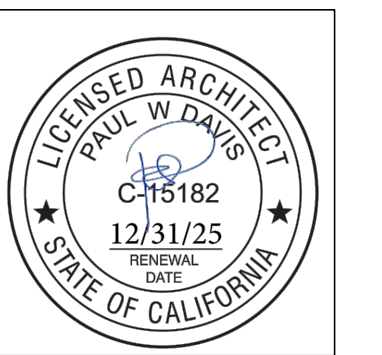
### CARMEL RIVER INN

U.S. HIGHWAY 1  
@ CARMEL RIVER BRIDGE  
P.O. BOX 221609  
CARMEL, CA 93922  
APN: 009-563-005

### COTTAGE REMODEL #17/43 revised

### THE PAUL DAVIS PARTNERSHIP ARCHITECTS & PLANNERS

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Drawn By: ML

Drawing Date: 07/15/2025

Project Number: 2502

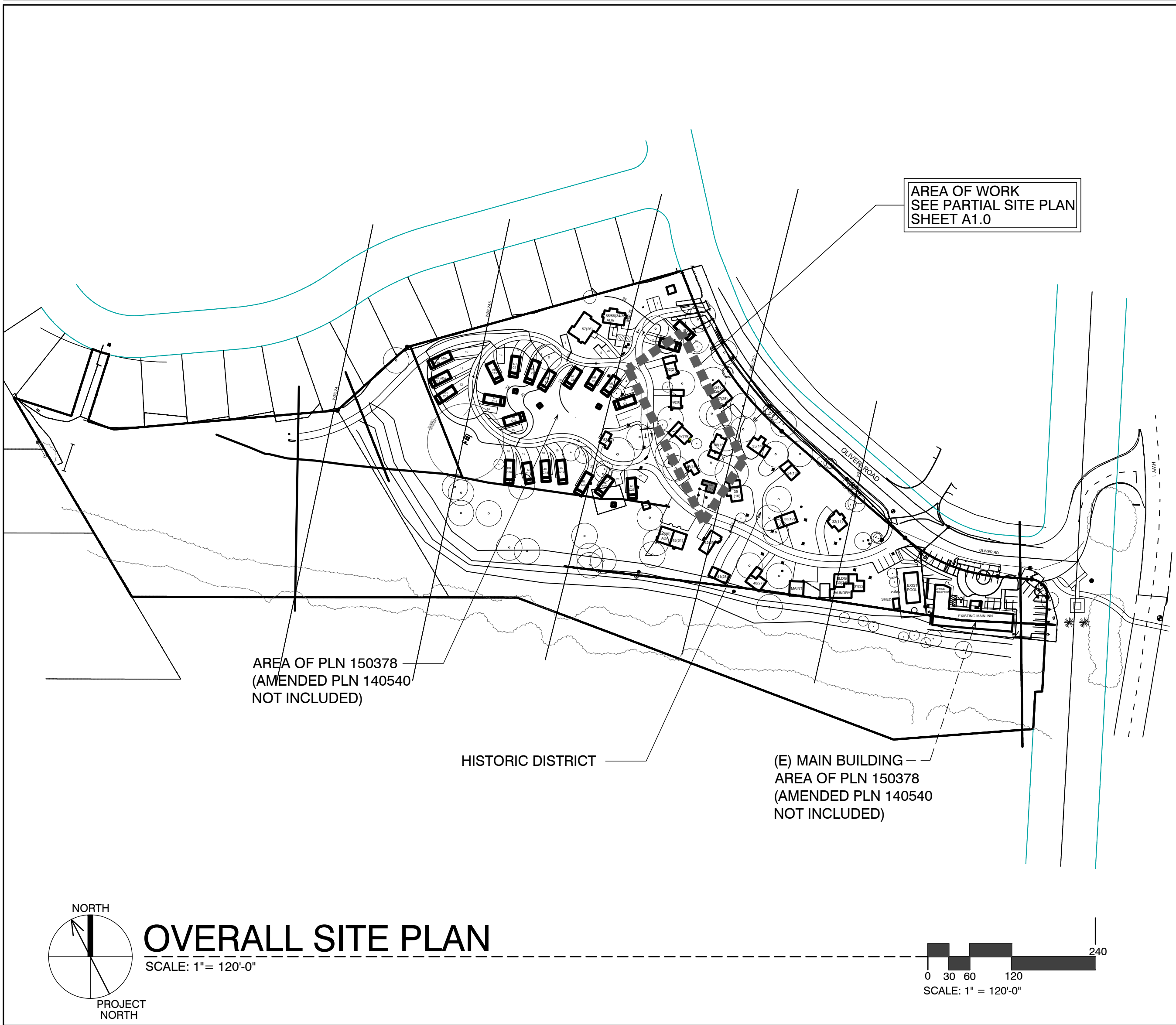
Revisions: 03/10/26 HRRB

Sheet Title:  
**COVER SHEET PROJECT INFO**

Sheet Number:

# A0.1

#### SITE PLAN



#### SHEET INDEX



#### SCOPE OF WORK

- REMODEL EXISTING / ORIGINAL COTTAGE 17
- ADD NEW INSULATION IN WALLS @ EXTERIOR
- ADDITIONS TO EXISTING COTTAGES. FOR MORE SPECIFIC SCOPE, SEE SHEET A2.1

#### SHEET INDEX

ARCHITECTURAL	
A0.1	TITLE SHEET, SYMBOLS, PROJECT INFO
A2.1	UNIT #17 - DEMO, FLOOR, RCP & ROOF PLAN
A3.1	ELEVATIONS & SECTION

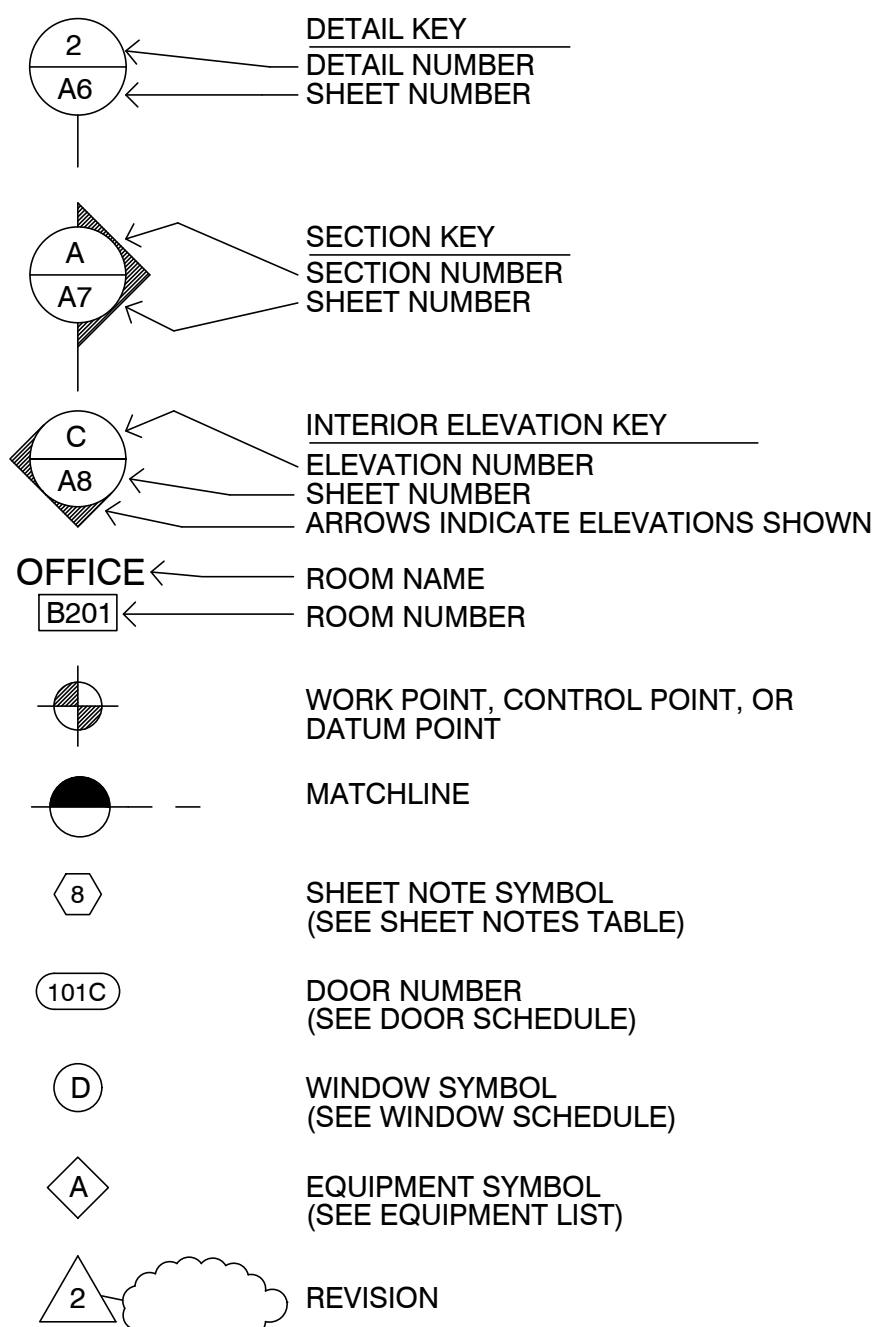
#### DEVELOPMENT ANALYSIS

A.P.N.	009-563-005
ZONING:	DEVELOPED AREA: VSC-D(CZ) UNDEVELOPED AREA: RC-D(CZ) NOTE: SEE MASTER SITE PLAN FOR ZONING CLARIFICATION
FLOOD PLAIN:	COTTAGES UNITS #17-#21 LIE BELOW THE 100 YEAR FLOOD PLAIN LINE (SEE PROJECT DESCRIPTION BELOW FOR LIMITS ON REMODEL)
GRADING CALCS:	NONE
TREE REMOVAL:	NONE
SEWER:	CARMEL AREA WASTE WATER DISTRICT
WATER:	(E) CAL-AM WATER SERVICE TO REMAIN

#### ABBREVIATIONS

A	AND	DBL	DOUBLE	H.B.	HOSE BIB	O	OVER	SIM.	SIMILAR
ANG	ANGLE	DEPT.	DEPARTMENT	HBD.	HARDBOARD	OBS.	OBSCURE	S.S.	STAINLESS STEEL
AT	AT	DET.	DETAIL	H.C.	HOLLOW CORE	O.C.	ON CENTER	S.M.	SHEET METAL
CL	CENTERLINE	D.F.	DOUGLAS FIR	HDR.	HEADER	O.D.	OUTSIDE DIAMETER	S.M.S.	SHEET METAL SCREW
PL	PLATE	D.H.	DOUBLE HUNG	HDWD.	HARDWOOD	O.F.	OFFICE	S.P.E.C.S.	SPECIFICATIONS
DIAG.	DIAGONAL	HWWR.	HARDWARE	H.M.	HOLLOW METAL	O.H.W.S.	OVALHEAD WOOD SCREW	SQ.	SQUARE
PERPENDICULAR	PERPENDICULAR	DIA.	DIAMETER	H.M.	HOLLOW METAL	HORIZ.	HORIZONTAL	STL.	STEEL
PARALLEL	PARALLEL	DIMEN.	DIMENSION	HORIZ.	HORIZONTAL	OPNG.	OPENING	STD.	STANDARD
POUND OR NUMBER	POUND OR NUMBER	DISP.	DISPENSER	HOT	HEIGHT	OPP.	OPPOSITE	STAG.	STAGGERED
EXISTING	EXISTING	DN	DOWN	HTG.	HEATING	O.S.B.	ORIENTED STRAND BOARD	STOR.	STORAGE
A.B.	ANCHOR BOLT	DRWG.	DRAWING	H.W.	HOT WATER	P.A.F.	POWDER ACTUATED FASTENER	STRUC.	STRUCTURAL
A.B.S.	ACRYLONITRILE BUTADIENE STYRENE	D.S.	DOWNSPOUT	H.V.A.C.	HEATING, VENTILATING, AND AIR CONDITIONING	P.A.T. BD	PARTICLE BOARD	SUSP.	SUSPENDED
A.C.	ASPHALTIC CONCRETE	E	EAST	I.C.B.O.	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS	P.F.	PERFORATED	SYMETR.	SYMMETRICAL
AC	AIR CONDITIONING	EA	EACH	ID.	INSIDE DIAMETER	P.L.	PROPERTY LINE	SYS.	SYSTEM
ACOUST.	ACOUSTICAL	ELEV.	ELEVATION, ELEVATOR	INCL.	INCLUDED, INCLUDING	P.L.	PLASTER	T.	TREAD (S)
ADJ.	ADJUSTABLE, ADJACENT	ELEC.	ELECTRIC (AL)	INSUL.	INSULATION	PL LAM.	PLASTIC LAMINATE	T.B.	TOWEL BAR
AGGR.	AGGREGATE	EMER.	EMERGENCY	INT.	INTERIOR	PLAS.	PLASTER	T.C.	TOP OF CURB
ALUM.	ALUMINUM	ENCL.	ENCLOSURE	INV.	INVERT	PLY.	PLYWOOD	TEL.	TELEPHONE
ANOD.	ANODIZED	EQUIP.	EQUIPMENT	JAN.	JANITOR	P.R.	PAIR	TEMP.	TEMPERED
A.P.A.	AMERICAN PLYWOOD ASSOCIATION	EXH.	EXHAUST	J.H.	JOIST HANGER	P.S.F.	POUNDS PER SQUARE FOOT	T.E.N.	TYPICAL EDGE MILING
APPROX.	APPROXIMATE	EXP.	EXPOSED EXPANSION	JT.	JOINT	P.S.I.	POUNDS PER SQUARE INCH	T.G.	TOP OF GRATE
ARCH.	ARCHITECT (URAL)	EXT.	EXTERIOR	KIT.	KITCHEN	P.T.	PRESSURE TREATED	T.H.	THICK (NESS)
BD.	BOARD	F.A.	FIRE ALARM	L.	LONG LENGTH	P.T.D.	PAPER TOWEL DISPENSER	THRESH.	THRESHOLD
BIT.	BITUMINOUS	FAST.	FASTEN, FASTENER	L.A.M.	LAMINATE, LAMINATED	P.V.C.	POLYVINYL CHLORIDE	T.O.	TOP OF
BLDG.	BUILDING	F.B.	FLAT BAR	LAV.	LAVATORY	R.	RISER (S)	T.P.	TOP OF PAVEMENT
BLK.	BLOCK	F.D.	FLOOR DRAIN	LAV.	LAVATORY	R.A.	RETURN AIR	T.P.H.	TOILET PAPER HOLDER
BLKG.	BLOCKING	FDN.	FOUNDATION	L.B.	LAG BOLT	RAD.	RADIUS	T.V.	TELEVISION
B.M.	BENCH MARK	F.E.	FIRE EXTINGUISHER	L.C.	LOCATE, LOCATION	R.D.	ROOF DRAIN	T.W.	TOP OF WALL
BM.	BEAM	FIBERGL.	FIBERGLASS	L.W.	LIGHT WEIGHT	LOC.	LOCATE, LOCATION	TYP.	TYPICAL
BOT.	BOTTOM	FIN.	FINISH (ED)	M.A.S.	MASONRY	REF.	REFRIGERATOR	U.B.C.	UNIFORM BUILDING CODE
BRG.	BEARING	F.H.M.S.	FLAT HEAD MACHINE SCREW	MAT.	MATERIAL (S)	REIN.	REINFORCED, REINFORCING	U.O.N.	UNDERWRITER'S LABORATORIES UNLESS OTHERWISE NOTED
BTRN.	BETWEEN	F.H.W.S.	FLAT HEAD WOOD SCREW	MAX.	MAXIMUM	REINQ.	REQUIRED	UR.	URINAL
B.W.	BOTH WAYS	FLASH.	FLASHING	M.B.	MACHINE BOLT	REMT.	REQUIREMENT	V.B.	VAPOR BARRIER
CAB.	CABINET	FLR.	FLOOR (ING)	M.C.	MEDICINE CABINET	RESL.	RESILIENT	VAR.	VARIABLE
C.B.	CATCH BASIN	FLDR.	FLOOR DRAIN	M.H.	MAN HOLE	R.H.W.S.	ROUND HEAD WOOD SCREW	V.G.	VERTICAL
CEM.	CEMENT	F.O.	FACE OF	M.I.	MASONRY IRON	RM.	ROOM	V.G.R.	VERTICAL GRAIN
CER.	CERAMIC	F.O.C.	FACE OF CONCRETE	M.C.	MACHINE CEMENT	R.O.W.	RIGHT OF WAY	V.T.	VINYL TILE
C.F.	CUBIC FOOT	F.F.	FACE OF FINISH	M.E.	MEMBRANE	R.S.	RESAWN	W.	WEST
C.I.	CAST IRON	F.O.S.	FACE OF STUDS	MEZZ.	MEZZANINE	RUB.	RUBBER	W.W.	WIRE, WIDTH
CLKG.	CALLKING	F.P.	FIRE RESISTANCE	MFR.	MANUFACTURE (ER)	RUBR.	RUBBER	W.	WITH
CLG.	CEILING	F.S.	FULL SIZE	MN.	MINIMUM	RWD.	REDWOOD	W.C.	WATER CLOSET
CL.	CLOSE	FT.	FOOT OR FEET	MIR.	MIRROR	R.W.L.	RAIN WATER LEADER	WD.	WOOD
CLGR.	CLEAR (ANCE)	FTG.	FOOTING	MISC.	MISCELLANEOUS	S.	SOUTH	W.D.	WINDOW
COL.	COLUMN	FURR.	FURRED (ING)	M.L.D.G.	MOULDING	S.B.	SOLID BLOCKING	W.H.	WATER HEATER
COMP.	COMPOSITION	GA.	GAUGE	M.L.W.	MALLEABLE IRON WASHER	S.C.	SOLID CORE	W.I.C.	WOODWORK INSTITUTE OF CALIFORNIA
CONC.	CONCRETE	GALV.	GALVANIZED	M.O.	MASONRY OPENING	SCHD.	SCHEDULE	W.P.	WATERPROOF
CONN.	CONNECT (ION)	G.B.	GRAB BAR	MTL.	METAL	S.D.	STORM DRAIN	W.R.	WATER RESISTANT
CONSTR.	CONSTRUCT (ION)	G.I.	GALVANIZED IRON	MULL.	MULLION	S.E.	SQUARE FEET (FOOT)	W.S.	WOOD SCREW
CONTR.	CORRUGATED	G.L.	GLASS, GLAZING	N.	NORTH	S.F.	SQUARE FEET (FOOT)	W.SCT.	WARRANTY
CSMT.	CASEMENT	GR.	GRADE, GRADING	N.A.T.	NATURAL	SH.	SHELF, SHELVING	WT.	WEIGHT
CSWK.	CASEWORK	G.W.B.	GYPSUM WALLBOARD	N.I.C.	NOT IN CONTRACT	SHWR.	SHOWER	W.W.M.	WELDED WIRE MESH
C.T.	CERAMIC TILE			NOM.	NOMINAL	SHT.	SHEET		
CTR.	COUNTER			N.T.S.	NOT TO SCALE	SHTG.	SHEATHING		
CTSK.	COUNTERSINK								
C.Y.	CUBIC YARD								

#### SYMBOLS



#### VICINITY MAP



#### PROJECT INFORMATION

<b>OCCUPANCY CLASSIFICATION:</b>	<b>OCCUPANCY LOADS:</b>
Occupancy Group and Div.	Building Area    Factor    Load
R1	UNIT #17    300    2
<b>OCCUPANCY SEPARATIONS:</b>	NONE
<b>TYPE OF USE:</b>	MOTEL
<b>TYPE OF CONSTRUCTION:</b>	V-B
<b>SPRINKLERS REQUIRED:</b>	YES, NFPA 13-D
<b>APPLICABLE CODES:</b>	2022 California Building Code (CBC) 2022 California Residential Code (CRC) 2022 California Electrical Code (CEC) 2022 California Mechanical Code (CMC) 2022 California Plumbing Code (CPC) 2022 California Fire Code (CFC) 2022 California Energy Code (CEC) Title 24

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Sheet Number:

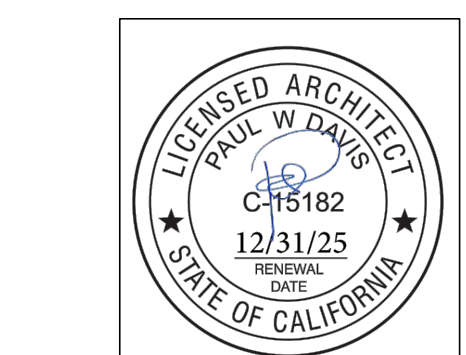
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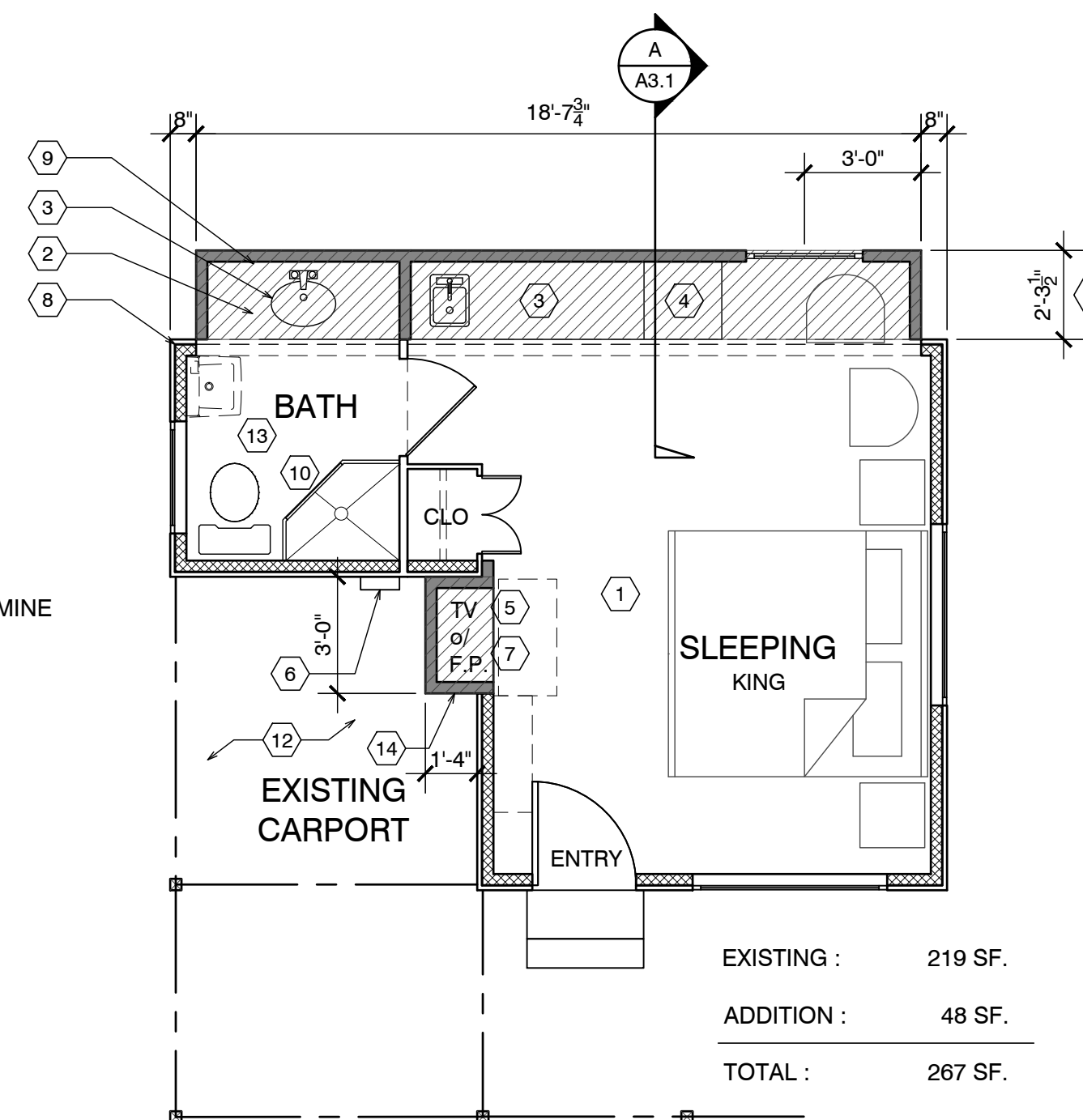
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Sheet Title:  
**UNIT #17 FLOOR PLAN**

Sheet Number:

### FLOOR NOTES

- (E) FLOOR AREA TO REMAIN
- NEW ADDITION SHOWN SHADED
- (N) SINK & COUNTER
- (N) UNDER-COUNTER REFRIGERATOR
- SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP. 25,000 BTU 100 CFM. HEATILATOR GC1990
- (N) WALL MOUNTED TANK-LESS WATER HEATER.
- FLAT PANEL TV MOUNTED ABOVE FIREPLACE
- ALL (E) EXTERIOR WALLS TO REMAIN, SHALL REMAIN AS SINGLE WALL CONSTRUCTION. ADD NEW 2x4 @ 16" O.C. WR13 INSULATION
- ALL NEW WALLS TO BE FULL 2X STUD CONSTRUCTION (SEE SECTION & DETAILS SHT. A3.1). ADD 3/8" P.S. ON INTERIOR OF EXTERIOR WALLS AS NOTED BELOW.
- (N) 3' x 3' SHOWER TEMPERED GLASS DOOR & ENCLOSURE
- NEW (FULL HIGHT. TILE) SHOWER SEE DETAIL 5/A4.1 (OWNER SHALL PROVIDE TILE SPEC)
- NOT USED
- ALL BATH & KITCHENETTE OUTLETS TO BE GFCI RATED
- NEW ADDITION UNDER EXISTING ROOF
- 2x6 P.T. FLOOR JOIST @ 16" O.C.



NOTE: ALL FRAMING SIZING & CONNECTION DETAILS SHALL COMPLY WITH CBC CHAPTER 23



### WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW FRAMED WALL
- EXISTING WALL TO BE REMOVED

### ADD/REMODEL AS REQUIRED BY EXISTING CONDITIONS

FLOOR SYSTEM: 2 X 4 FOOT MUDSILL WITH 5/8" X 10" AB @ 12" FROM ENDS AND 48" O.C. IN FIELD. w/ 3x3x3/8" SQ. WASHER. 2 X 6 DF PT FLOOR JOISTS @ 16" O.C. MAX. SPAN 7'-6" OVER 4 X 6 DF PT CENTER BEAM AT POSTS AND PIERS. FLOOR INSULATION R-19 WITH 3/4" ADVANTEC WATERPROOF PLYWOOD OVER JOISTS.

WALL FRAMING: 2 X 4 DF @ 16" O.C. WITH 4 X 4 HEADERS U.O.N. OVER OPENINGS. WALL FRAMING @ UNIT 14 TO BE PRESSURE TREATED DRILL 1" HOLES THRU BOT. PLATE & TOP PLATE @ EACH STUD SPACE ADD 5/8" ROUGH SAWN EXT. GRADE PLYWOOD w/ 10d @ 6" o.c. @ EDGE & 10d @ 12" o.c. @ FIELD. TYP. w/ HORIZ. METAL STRAPPING ACROSS OPENINGS AT LEAST 2 STUDS EA. SIDE BEYOND.

ROOF SYSTEM: 2 X 6 @ 16" O.C. WITH H-1 TIES 2 X 8 RIDGE AND 2 X 6 COLLAR TIES UP 32" FROM TOP PLATE. 5/8" OSB ROOF SHEATHING WITH H CLIPS WITH 1 X 8 X T&G AT OVERHANG AND CARPORT. CARPORT BEAMS 4 X 10 OVER 4 X 4 POST WITH POST CAP. W/ RAFTER TIES @ 4'-0" O.C. - SIM. TO HOUSE ROOF BRACE CORNERS WITH DIAGONAL MEMBER @ CORNER FASTENERS 2'-0" FROM CORNERS OF BOTH BEAMS

### ROOF NOTES

- (N) ROOF FRAMING TO MATCH (E) HISTORIC COTTAGES. 2x6 @ 24" w/ 5/8" PLYWOOD.
- (N) ROOF OVER ADDITION
- FRAME/FINISH GABLE ROOF TO MATCH ORIGINAL, TYP.
- BEAM
- OUTLINE OF ROOF, TYP.
- 4X4 POST ON PIERS w/ POST BASE AND CAP, TYP.
- NOT USED
- NOT USED
- NOT USED

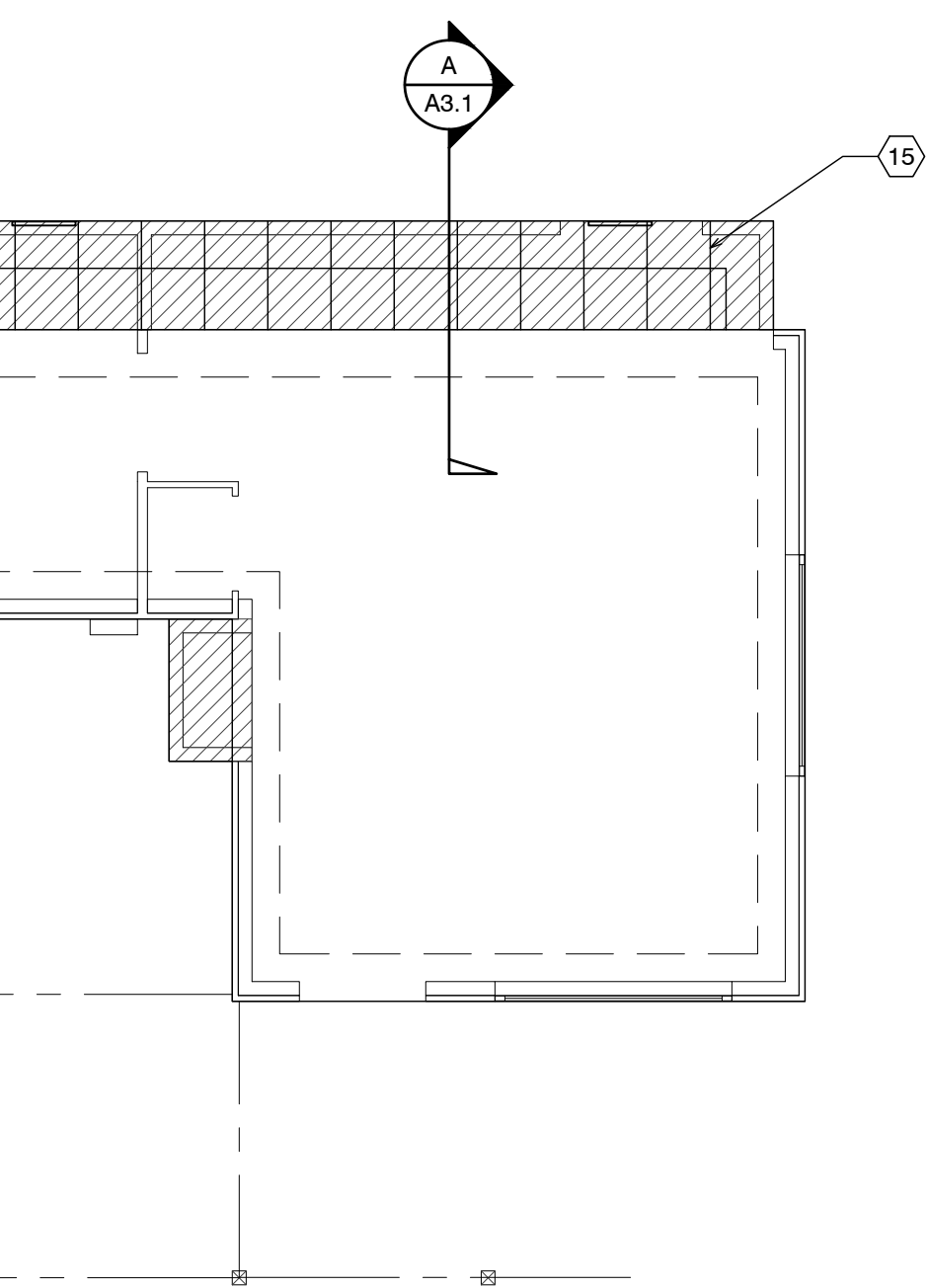
### ELECTRICAL LEGEND

- DUPLEX OUTLET
- HALF SWITCHED OUTLET
- DEDICATED CIRCUIT (20 amps)
- 220 VOLT OUTLET
- OUTLET w/ GROUND FAULT CIRCUIT INTERRUPTER
- OUTLET WITH WEATHERPROOF ENCLOSURE & GFI
- TELEPHONE JACK
- HIGH SPEED DATA LINE
- THERMOSTAT CONTROL
- TELEVISION CABLE
- GAS OUTLET
- KEY VALVE
- HOSE BIBB VALVE
- WALL MOUNTED GAS HEATER

- NOTES:
- NOT ALL THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS WORK.
  - ELECTRICIAN TO CONDUCT AN ON-SITE WALK THROUGH WITH OWNERS TO DETERMINE FINAL FIXTURE LOCATIONS.
  - PLUMBING PIPELINES UTILIZED AS AN ELECTRICAL GROUND ARE PROHIBITED.

### WET-FLOOD PROOFING AND UNDER FLOOR VENTING REQUIREMENTS

- Foundation Walls - Provide foundation vents around perimeter of 1 sq. in. net opening/ 1 SF of enclosed area. Note: The space below the floor is only 12" ±
- The floor framing will be pressure-treated wood. Future buildings (not including Building 13 & 16) will have all wood framing below 1 foot above flood line pressure-treated lumber with vent holes at top and bottom of stud spaces.
- The exterior siding and trim will be redwood, which is rot resistant.
- The inside wall finish will be paperless gypsum board mold and moisture resistant, which has a three-month in place exposure warranty.
- Mold resistant paint will be used exterior and interior.
- Flooring will be tile in bathrooms and carpet in living/sleeping area over pad - non glue-down.



FOUNDATION VENT CALCULATION:  
41 SF / 150 = .27 SF REQUIRED  
PROVIDE (2) 15.5"x4.5" VENTS @ .156 SF EA. = 3.12 SF

### DEMO NOTES

- WALLS, WINDOWS, DOORS, BATHROOM, WATER HEATER & CLOSET SHOWN PREVIOUSLY REMOVED.
- ROOF PREVIOUSLY REMOVED.
- REMOVE SUBFLOOR THAT IS WATER DAMAGED FROM PREVIOUS FIRE.

### FIRE SPRINKLER CALCS

(E) TOTAL LINEAL FOOTAGE = 68'-3 1/2"  
TOTAL LINEAL FOOTAGE DEMOLISHED, ADDED OR REPLACED = 18'-4 7/8"  
TOTAL DEMO = 26.5%

NOTE: FIRE SPRINKLERS NOT REQUIRED

### DEMOLITION LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED

### ELECTRICAL NOTE:

Arc-fault circuit-interrupter protection - All 120-volt 15 & 20 ampere or branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or area shall be protected by a listed arc-fault circuit interrupter combination-type. Guestrooms (210-18) & guest suites that are provided with permanent provisions for cooking shall have AFCI. [210-12 (B)]

### RCP NOTES

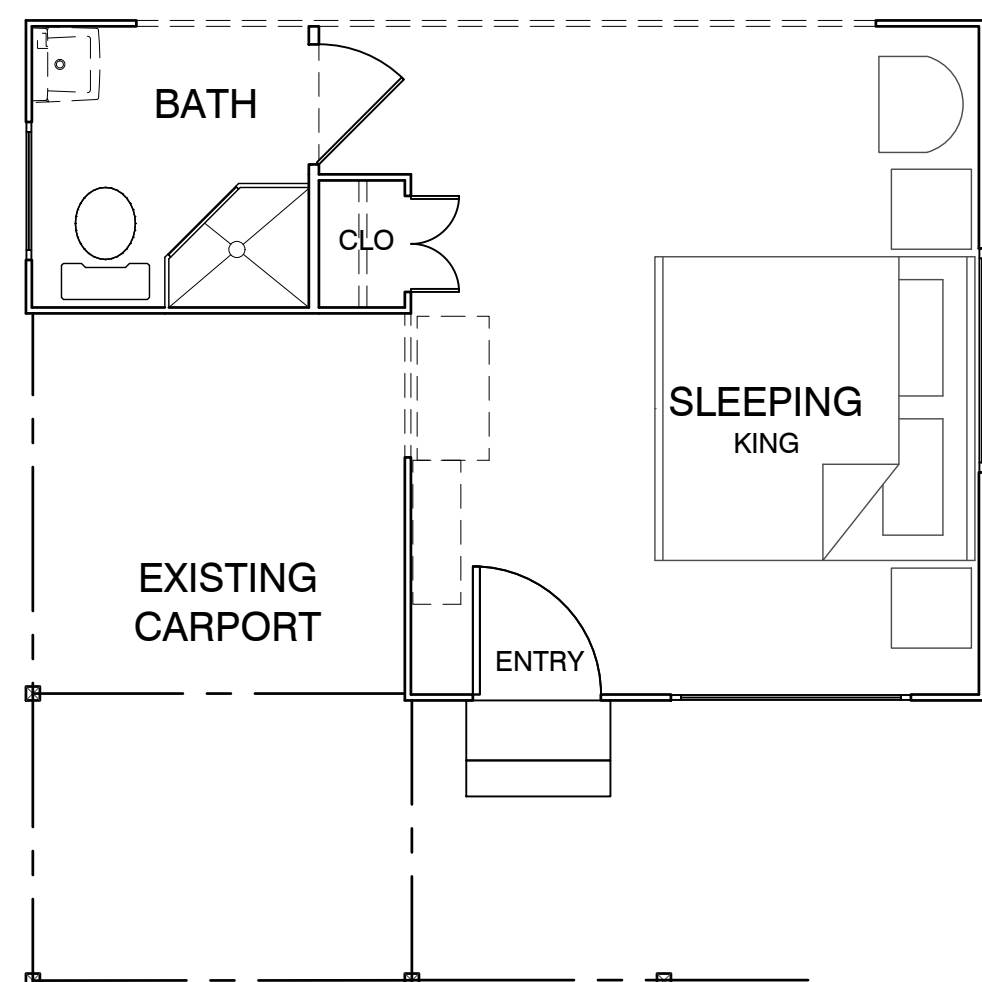
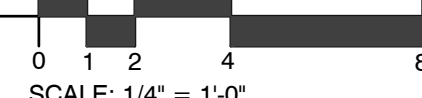
- (E) CEILING & LIGHTING TO REMAIN IN THIS ROOM
- REPLACE EXISTING 50 AMP PANEL WITH (N) 50 AMP PANEL
- ALL NEW CEILINGS TO HAVE 1/2" GYP. BD. W/ FINISH SPEC'D BY OWNER
- SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP. 25,000 BTU 100 CFM. HEATILATOR GC1990

### RCP LEGEND

- SINGLE POLE SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- DIMMER SWITCH
- RECESSED LIGHT FIXTURE
- RECESSED WALL WASHER
- SURFACE MOUNTED FIXTURE
- PENDANT FIXTURE
- EXHAUST FAN
- COMBINATION LIGHT & EXHAUST FAN FIXTURE
- WALL MOUNTED FIXTURE
- SMOKE DETECTOR- 110V- HARDWARE w/ BATTERY BACK-UP- TYP U.O.N.
- COVE OR INDIRECT LIGHT FIXTURE
- UNDERCABINET MOUNTED FIXTURE
- FLUORESCENT TUBE

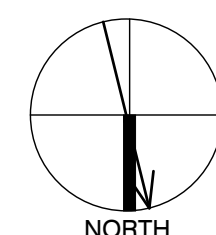
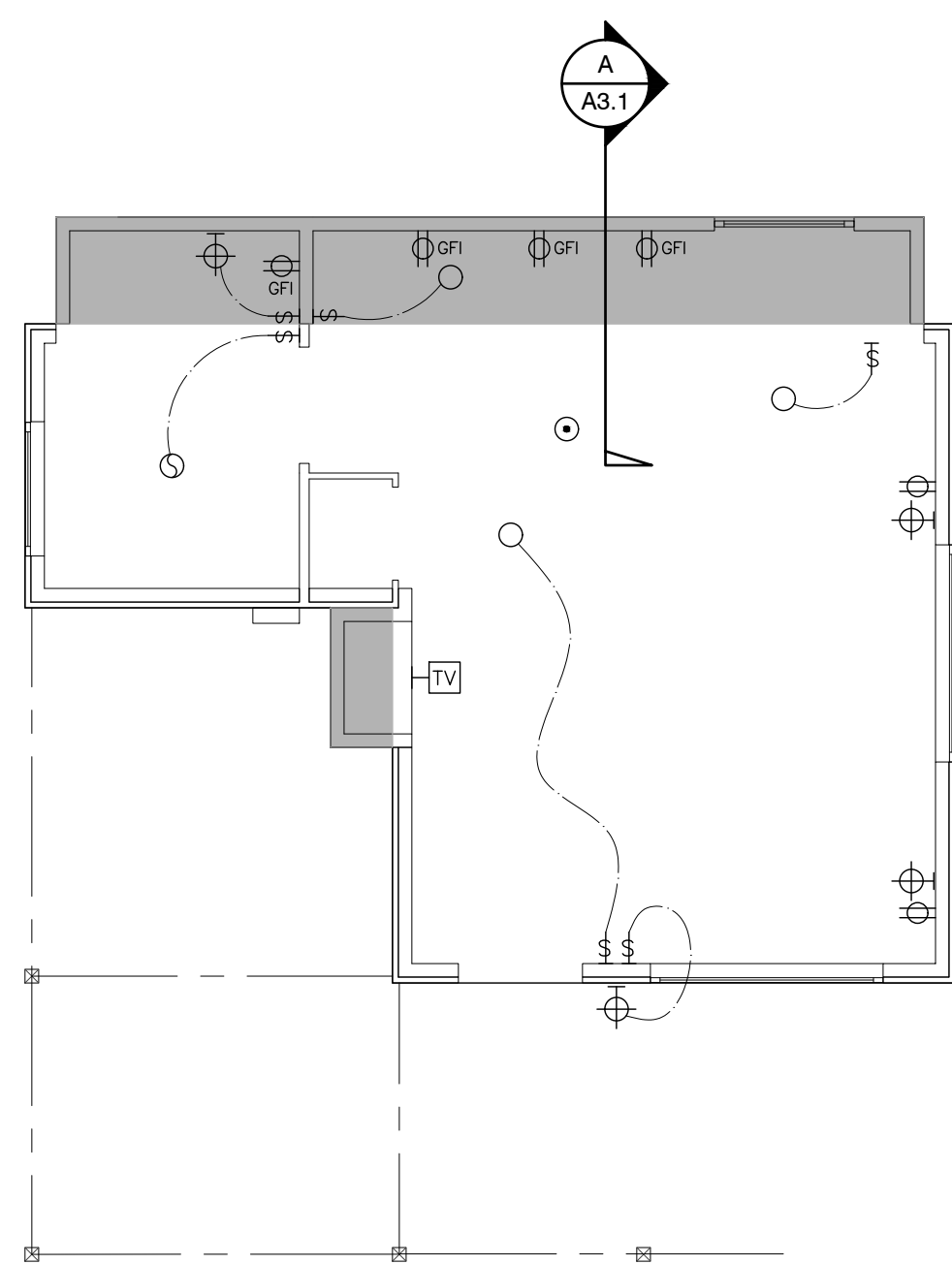
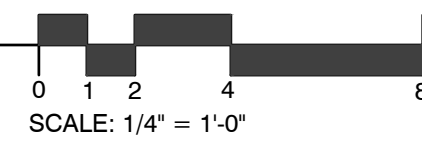
### DEMO PLAN UNIT 17

SCALE: 1/4" = 1'-0"



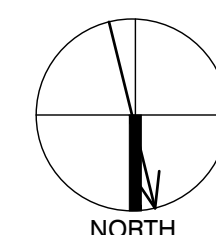
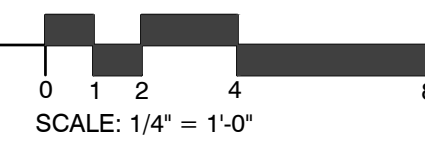
### ELECTRICAL PLAN UNIT 17

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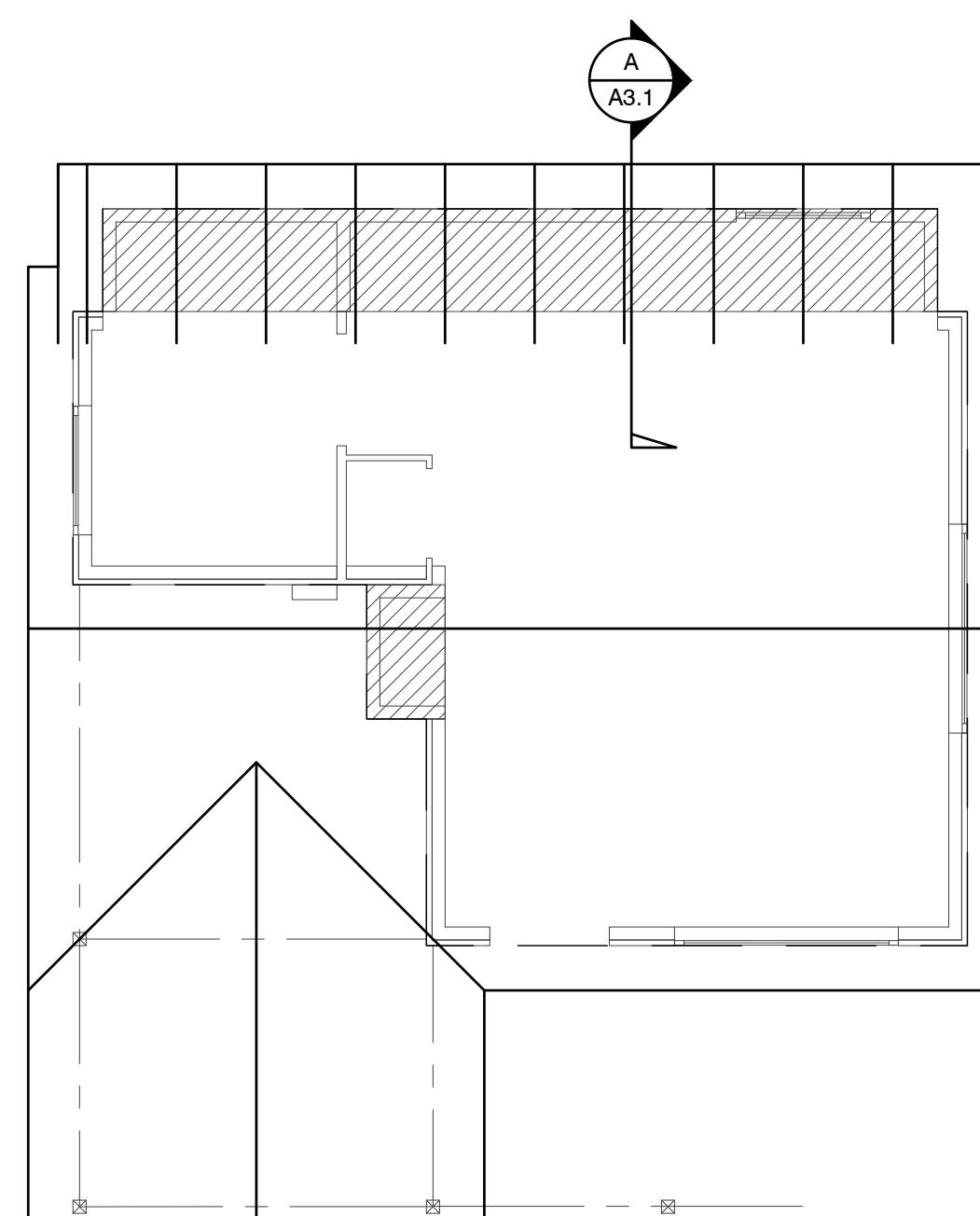
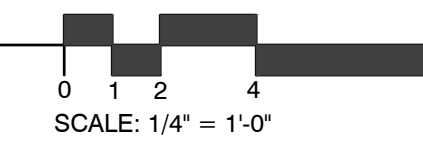
### FND. PLAN UNIT 17

SCALE: 1/4" = 1'-0"



### ROOF PLAN UNIT 17

SCALE: 1/4" = 1'-0"



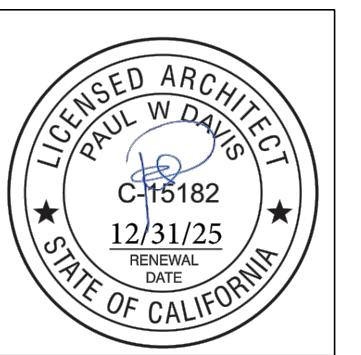
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Sheet Title:  
**UNIT #17  
ELEVATIONS**

Sheet Number:

1. The historic character of the property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
2. Changes to a historic property that have acquired historic significance in their own right will be retained and preserved.
3. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
4. Deteriorated features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
5. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
6. New additions and adjacent or related new construction will be undertaken in such a manner, that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

#### ELEVATION SHEET NOTES

1. NEW ASPHALT COMP ROOFING TO MATCH UNIT #15
2. PAINTED 1X6 REDWOOD FASCIA (WITH STRAIGHT EDGE THAT DOESNT MATCH (E))
3. PAINTED ROUGH SAWN 12" BOARD ON BOARD SIDING (THIS WILL DIFFERENTIATE THE NEW FROM THE OLD)
4. Not Used
5. NEW 2x4 WOOD WINDOW WITH SHUTTERS TO MATCH (E)
6. NOT USED
7. NOT USED
8. COPPER SCREENED FOUNDATION VENTS 1 SQ. IN. CLEAR OPENING PER 1 SQ. FT. OF FLOOR AREA = 340 SQ. IN. USE 6 - 6"x14" VENTS @ 75% OPEN = 378 SQ. IN.

#### SECTION SHEET NOTES

1. (E) FLOOR FRAMING TO REMAIN (EXCEPT WHERE REPAIRS ARE NEEDED, AS DETERMINED IN THE FIELD) - ALL NEW FLOOR FRAMING TO BE PRESS-TREATED
2. (E) FOUNDATION TO REMAIN, TYP. REPLACE WHERE DETERMINED
3. NEW WALLS- 1X12 BOARDS O/ONE LAYER #30 FELT, O/2X4 FRAMING @ 16" O.C., TYP. ALL WALL FRAMING TO BE DFPT. ADD 3/8" P.S. ON INSIDE OF EXTERIOR WALLS
4. R-13 BATT INSULATION @ ALL NEW WALLS, TYP. ADD 3/8" P.S. AT INTERIOR OF NEW WALLS
5. R-19 BATT INSULATION @ ALL NEW ROOF AREAS, TYP.
6. NEW 6x8 & BTR D.F. HEADER
7. EXTEND EXISTING OVERHANG @ FRONT DOOR OVER ADDITION W/ 2x6 6'-0" LONG WALL TO EXISTING W/ 10-16d
8. REUSE EXISTING WINDOW MATCH EXISTING TRIM
9. NEW 12"x12" CONC. FTG. W/ #4 REBAR TOP & BOT. TIE NEW TO EXISTING W/ 6" DOWEL @ TOP & BOT.



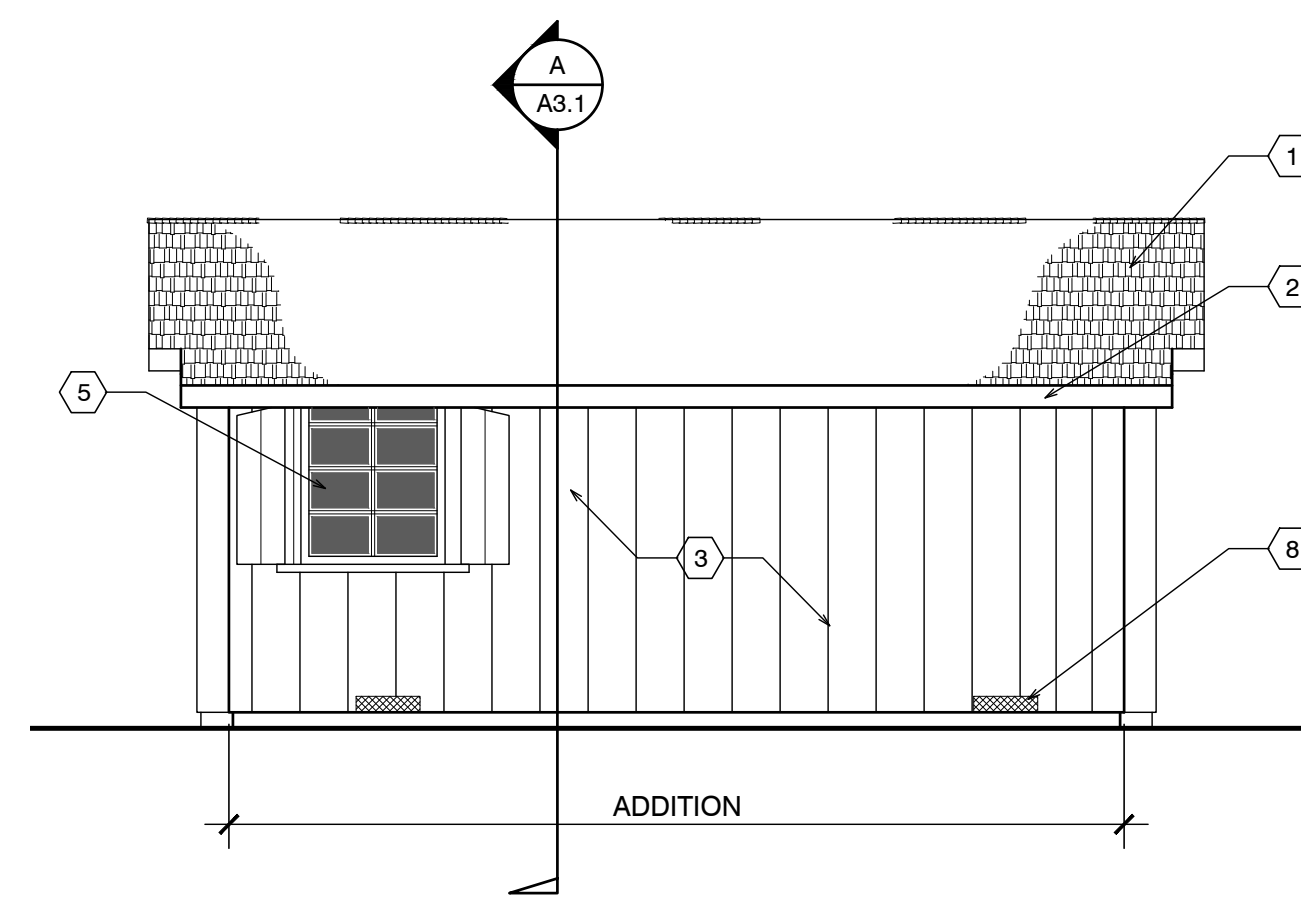
FRONT ELEVATION



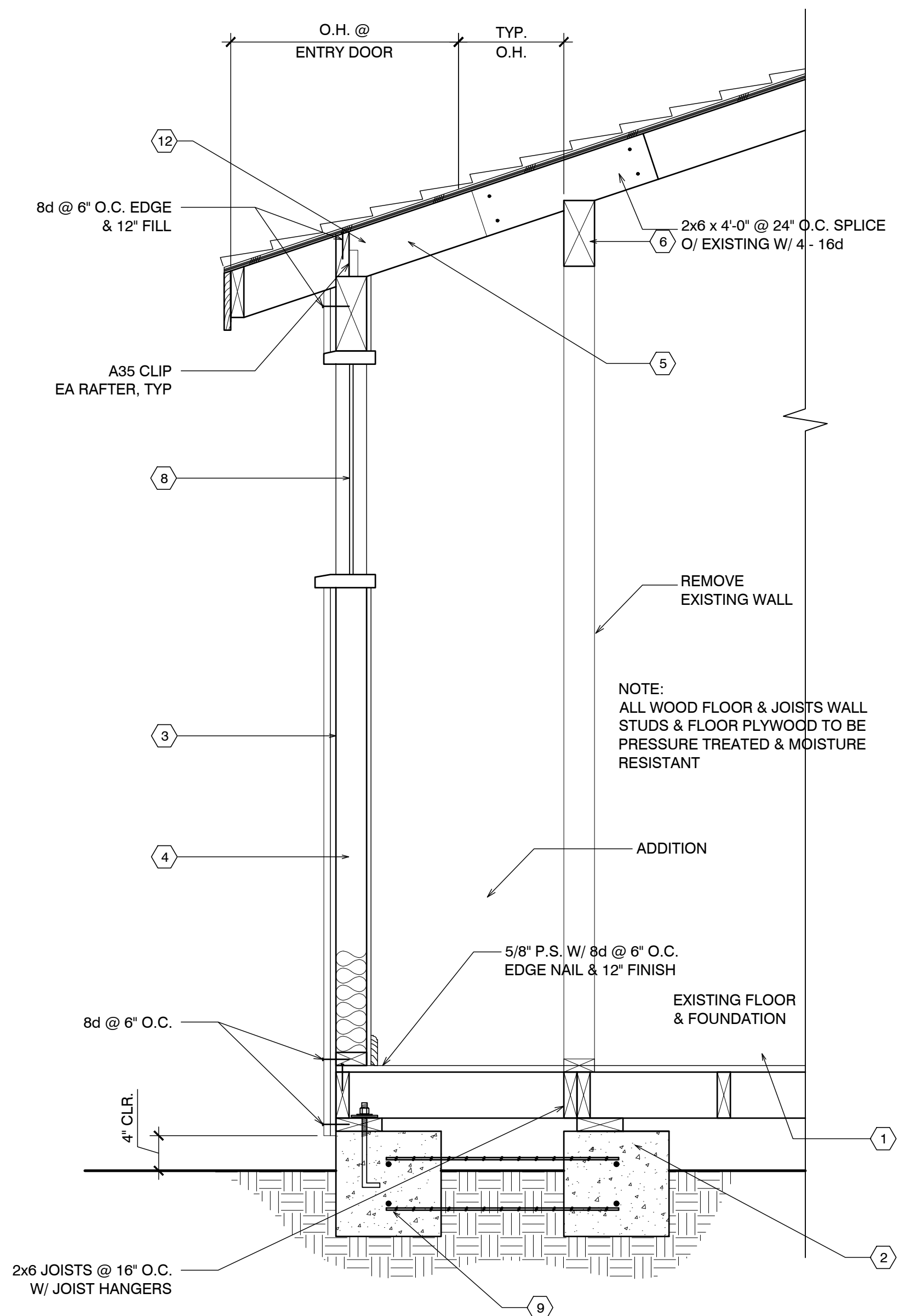
SIDE ELEVATION



SIDE ELEVATION



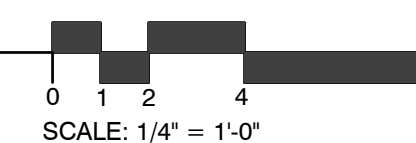
BACK ELEVATION



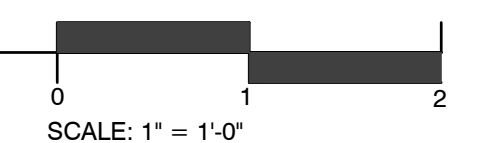
UNIT #17 SECTION

### EXTERIOR ELEVATIONS UNIT #17

SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



SCALE: 1" = 1'-0"

# CARMEL RIVER INN

## COTTAGE UNIT #18 REMODEL/ADDITION

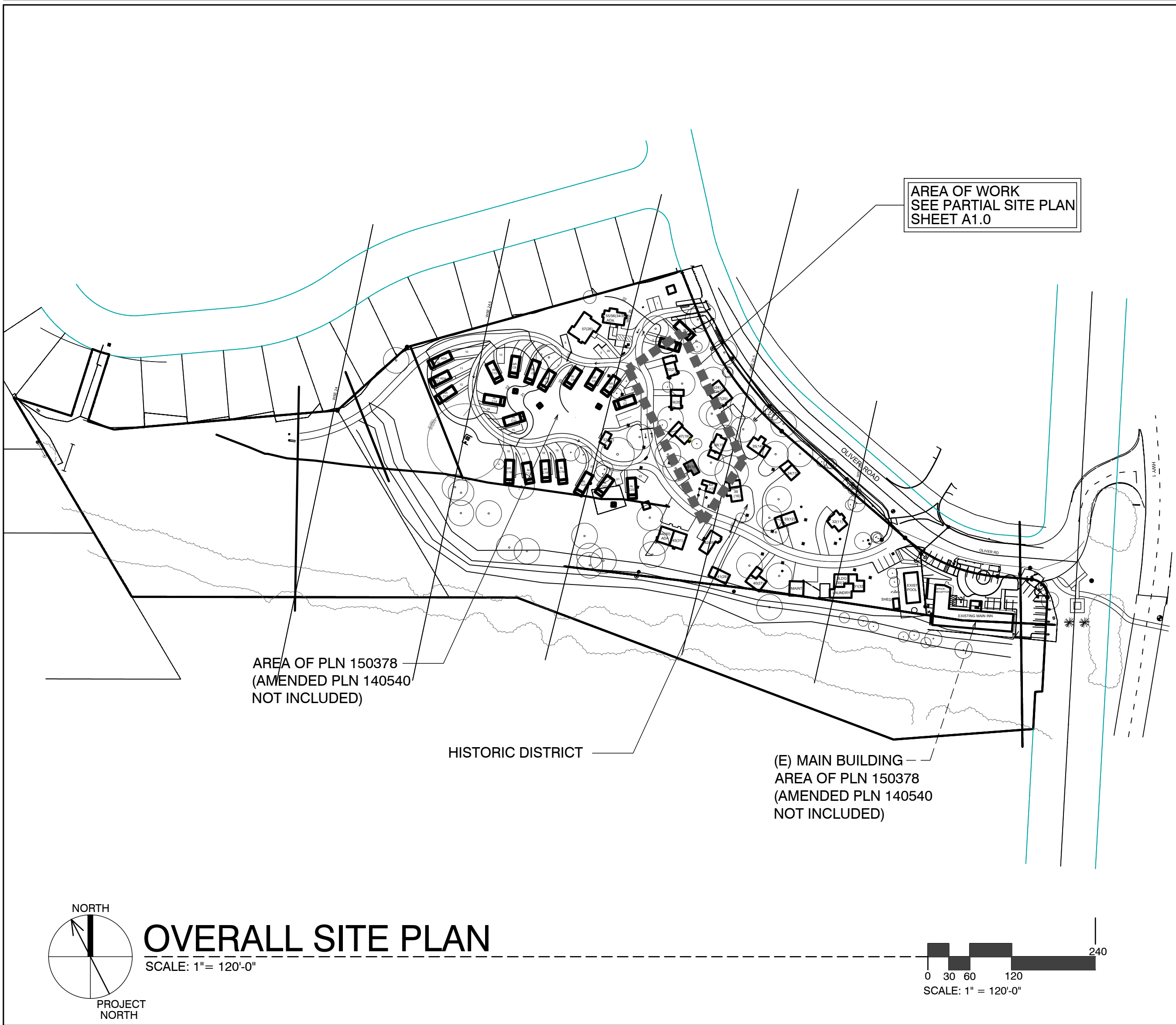
Project / Owner:

### CARMEL RIVER INN

U.S. HIGHWAY 1  
@ CARMEL RIVER BRIDGE  
P.O. BOX 221609  
CARMEL, CA 93922  
APN: 009-563-005

### COTTAGE REMODEL #18/46 revised

#### SITE PLAN



#### SHEET INDEX



#### SCOPE OF WORK

- REMODEL & ADDITION TO EXISTING / ORIGINAL COTTAGE 18
- ADD NEW INSULATION IN WALLS @ EXTERIOR
- ADDITION TO EXISTING COTTAGES. FOR MORE SPECIFIC SCOPE, SEE SHEETS A2.1, & A3.1

#### SHEET INDEX

ARCHITECTURAL	
A0.1	TITLE SHEET, SYMBOLS, PROJECT INFO
A2.1	COTTAGE #18 - DEMO, FLOOR, RCP, & ROOF PLAN
A3.1	ELEVATIONS & SECTION

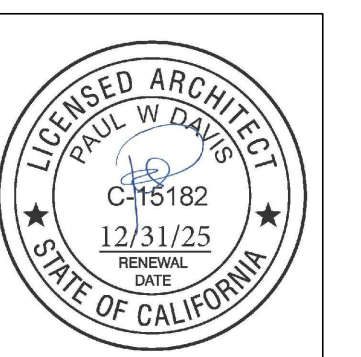
#### DEVELOPMENT ANALYSIS

A.P.N.	009-563-005
ZONING:	DEVELOPED AREA: VSC-D(CZ) UNDEVELOPED AREA: RC-D(CZ) NOTE: SEE MASTER SITE PLAN FOR ZONING CLARIFICATION
FLOOD PLAIN:	COTTAGES UNITS #17 - #21 LIE BELOW THE 100 YEAR FLOOD PLAIN LINE (SEE PROJECT DESCRIPTION BELOW FOR LIMITS ON REMODEL)
GRADING CALCS:	NONE
TREE REMOVAL:	NONE
SEWER:	CARMEL AREA WASTE WATER DISTRICT
WATER:	(E) CAL-AM WATER SERVICE TO REMAIN

### THE PAUL DAVIS PARTNERSHIP

ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP  
286 Eldorado Street  
Monterey, CA 93940  
(831) 373-2784 FAX (831) 373-7459  
EMAIL: info@pauldavispartnership.com



Drawn By: ML

Drawing Date: 07/15/2025

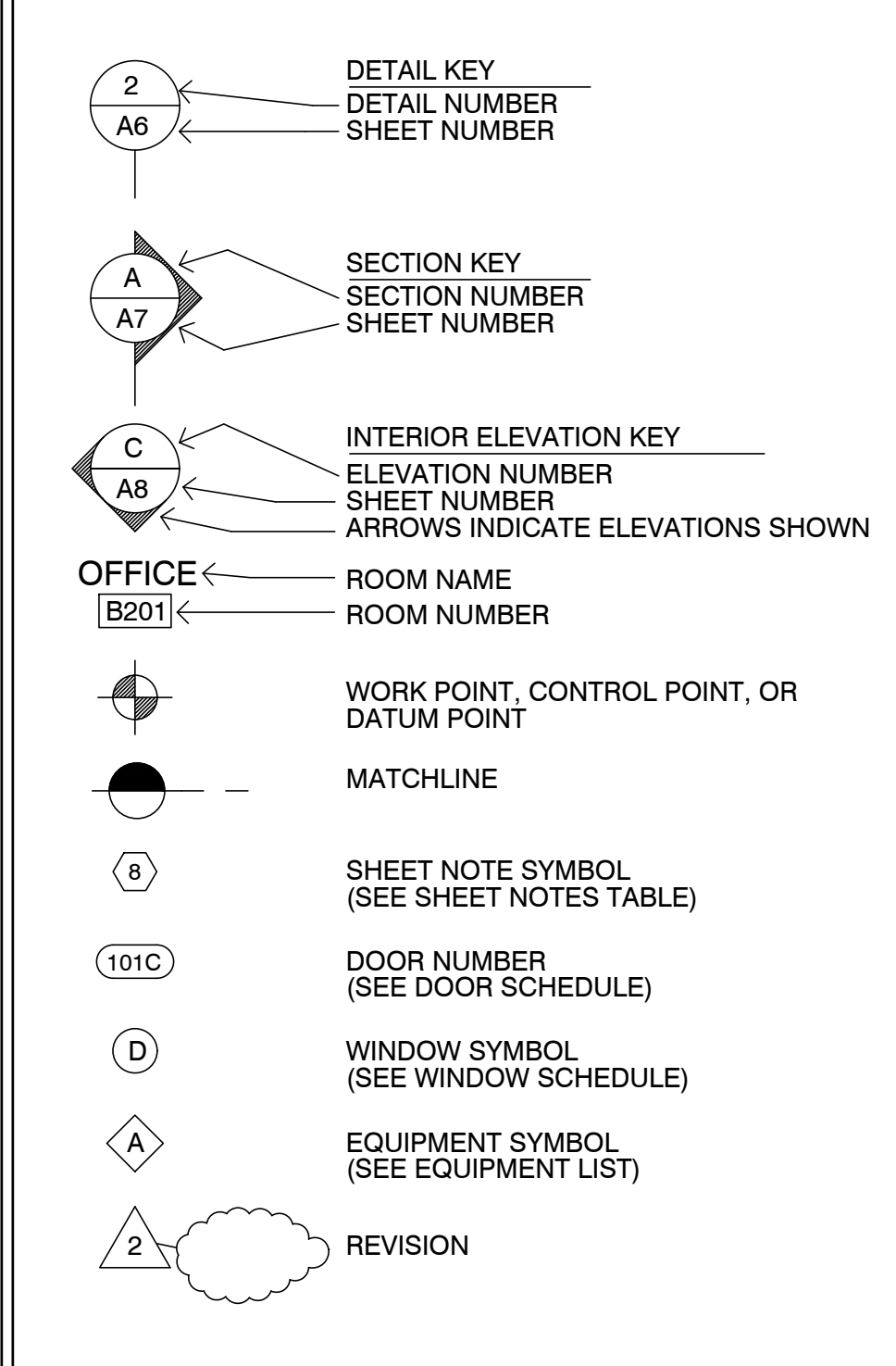
Project Number: 2502

Revisions: 1 03/10/26 HRRB

#### ABBREVIATIONS

A	AND	DBL	DOUBLE	H.B.	HOSE BIB	O	OVER	SIM.	SIMILAR
L	ANGLE	DEPT.	DEPARTMENT	HBD.	HARDBOARD	OBS.	OBSCURE	S.S.	STAINLESS STEEL
AT	AT	DET.	DETAIL	H.C.	HOLLOW CORE	O.C.	ON CENTER	S.M.	SHEET METAL
CL	CENTERLINE	D.F.	DOUGLAS FIR	HDR.	HEADER	O.D.	OUTSIDE DIAMETER	S.M.S.	SHEET METAL SCREW
Ø	DIAMETER OR ROUND	D.H.	DOUBLE HUNG	HDWD.	HARDWOOD	O.F.	OFFICE	S.P.E.C.S.	SPECIFICATIONS
Ø	DIAMETER OR ROUND	DAG.	DIAGONAL	HDWR.	HARDWARE	O.H.W.S.	OVALHEAD WOOD SCREW	SQ.	SQUARE
⊥	PERPENDICULAR	DIA.	DIAMETER	H.M.	HOLLOW METAL	O.H.W.S.	OVALHEAD WOOD SCREW	STL.	STEEL
	PARALLEL	DIMEN.	DIMENSION	HORIZ.	HORIZONTAL	OPNG.	OPENING	STD.	STANDARD
#	POUND OR NUMBER	DISP.	DISPENSER	HORZ.	HORIZONTAL	OPNG.	OPENING	STAG.	STAGGERED
(E)	EXISTING	DN.	DOWN	HOT	HEIGHT	OPP.	OPPOSITE	STOR.	STORAGE
A.B.	ANCHOR BOLT	DRWG.	DRAWING	HTG.	HEATING	O.S.B.	ORIENTED STRAND BOARD	STRUC.	STRUCTURAL
A.B.S.	ACRYLONITRILE BUTADIENE STYRENE	D.S.	DOWNSPOUT	H.W.	HOT WATER	P.F.	POWDER ACTUATED FASTENER	SUSP.	SUSPENDED
A.C.	ASPHALTIC CONCRETE	DWR.	DRAWER	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	P.F. PART. BD	PARTICLE BOARD	SYMETR.	SYMMETRICAL
ACOUS.	AIR CONDITIONING	E	EAST	I.C.B.O.	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS	P.F.	PERFORATED	SYS.	SYSTEM
ACOUS.	ACOUSTICAL	EA	EACH	I.D.	INSIDE DIAMETER	P.L.	PROPERTY LINE	T.	TREAD (S)
ADJ.	ADJUSTABLE, ADJACENT	ELEV.	ELEVATION, ELEVATOR	INCL.	INCLUDED, INCLUDING	P.L.	PLASTIC LAMINATE	T.B.	TOWEL BAR
AGGR.	AGGREGATE	ELEC.	ELECTRIC (AL)	INSUL.	INSULATION	PL. LAM.	PLASTER	T.C.	TOP OF CURB
ALUM.	ALUMINUM	EMER.	EMERGENCY	INT.	INTERIOR	PLAS.	PLASTER	TEL.	TELEPHONE
ANOD.	ANODIZED	ENCL.	ENCLOSURE	INV.	INVERT	PLY.	PLYWOOD	TEMP.	TEMPERED
A.P.A.	AMERICAN PLYWOOD ASSOCIATION	EQUIP.	EQUIPMENT	JAN.	JANITOR	P.F.	POUNDS PER SQUARE FOOT	T.E.N.	TYPICAL EDGE MILING
APPROX.	APPROXIMATE	EXH.	EXHAUST	J.H.	JOIST HANGER	P.S.I.	POUNDS PER SQUARE INCH	T.G.	TOP OF GRATE
ARCH.	ARCHITECT (URAL)	EXP.	EXPOSED EXPANSION	JT.	JOINT	P.T.	PRESSURE TREATED	T.H.	THICK (NESS)
BD.	BOARD	EXT.	EXTERIOR	JT.	JOINT	P.T.D.	PAPER TOWEL DISPENSER	THRESH.	THRESHOLD
BIT.	BITUMINOUS	F.A.	FIRE ALARM	KIT.	KITCHEN	P.V.C.	POLYVINYL CHLORIDE	T.O.	TOP OF
BLDG.	BUILDING	FAST.	FASTEN, FASTENER	L.	LONG LENGTH	R.	RISER (S)	T.P.	TOP OF PAVEMENT
BLK.	BLOCK	F.B.	FLAT BAR	L.A.M.	LAMINATE, LAMINATED	R.A.	RETURN AIR	T.P.H.	TOILET PAPER HOLDER
BLKG.	BLOCKING	F.D.	FLOOR DRAIN	LAV.	LAVATORY	RAD.	RADIUS	T.V.	TELEVISION
B.M.	BENCH MARK	FDN.	FOUNDATION	L.B.	LAG BOLT	R.D.	ROOF DRAIN	T.W.	TOP OF WALL
BM.	BENCH MARK	F.E.	FIRE EXTINGUISHER	L.C.	LOCATE, LOCATION	R.O.	ROUGH OPENING	TYP.	TYPICAL
BOT.	BOTTOM	FIBERGL.	FIBERGLASS	L.W.	LAG WEIGHT	REF.	REFRIGERATOR	U.B.C.	UNIFORM BUILDING CODE
BRS.	BEARING	FIN.	FINISH (ED)	M.A.S.	MASONRY	REIN.	REINFORCED, REINFORCING	U.L.	UNDERWRITER'S LABORATORIES
BTRN.	BETWEEN	F.H.M.S.	FLAT HEAD MACHINE SCREW	MAT.	MATERIAL (S)	REIN.	REINFORCED, REINFORCING	U.O.N.	UNLESS OTHERWISE NOTED
B.W.	BOTH WAYS	F.H.W.S.	FLAT HEAD WOOD SCREW	MAX.	MAXIMUM	REMT.	REQUIREMENT	UR.	URINAL
CAB.	CABINET	FLR.	FLOOR (ING)	M.B.	MACHINE BOLT	RESL.	RESILIENT	V.B.	VAPOR BARRIER
C.B.	CATCH BASIN	FLUR.	FLOOR (ING)	M.C.	MACHINE CEMENT	R.H.W.S.	ROUND HEAD WOOD SCREW	VAR.	VARIABLE
CEM.	CEMENT	F.O.	FACE OF	M.H.	MAN HOLE	R.M.	ROOM	V.G.	VERTICAL
CER.	CERAMIC	F.O.C.	FACE OF CONCRETE	M.E.	MACHINE ELECTRIC	R.O.	ROUGH OPENING	V.G.R.	VERTICAL GRAIN
C.F.	CUBIC FOOT	F.F.	FACE OF FINISH	M.E.M.	MEMBRANE	R.O.W.	RIGHT OF WAY	V.T.	VINYL TILE
CHK.	CALLING	F.O.S.	FACE OF STUDS	MEZZ.	MEZZANINE	R.S.	RESAWN	W.	WEST
CL.	CLEARANCE	F.P.	FIREPLACE	MFR.	MANUFACTURE (ER)	RUB.	RUBBER	W.	WIDTH
CL.	CLOSE	F.S.	FULL SIZE	MN.	MINIMUM	R.W.	REDWOOD	W.C.	WATER CLOSET
CL.	CLOSE	FT.	FOOT OR FEET	MIR.	MIRROR	R.W.L.	RAIN WATER LEADER	WD.	WOOD
CL.	CLEAR (ANCE)	FTG.	FOOTING	MIS.	MISCELLANEOUS	S.	SOUTH	W.D.	WOODWORK INSTITUTE OF CALIFORNIA
COL.	COLUMN	FURR.	FURRED (ING)	M.L.D.G.	MOULDING	S.B.	SOLID BLOCKING	W.H.	WATER HEATER
COMP.	COMPOSITION	GA.	GAUGE	M.L.W.	MALLEABLE IRON WASHER	S.C.	SOLID CORE	W.P.	WATERPROOF
CONC.	CONCRETE	GALV.	GALVANIZED	M.O.	MASONRY OPENING	SCHD.	SCHEDULE	W.R.	WATER RESISTANT
CONN.	CONNECT (ION)	G.B.	GRAB BAR	MTL.	METAL	S.D.	STORM DRAIN	W.S.	WOOD SCREW
CONSTR.	CONSTRUCT (ION)	G.I.	GALVANIZED IRON	MULL.	MULLION	S.E.C.T.	SECTION	W.S.C.T.	WARRANTY
CONT.	CONTINUOUS	GL.	GLASS, GLAZING	N.	NORTH	S.F.	SQUARE FEET (FOOT)	WT.	WEIGHT
CORR.	CORRUGATED	G.W.B.	GYPSUM WALLBOARD	N.A.T.	NATURAL	S.H.	SHELF, SHELVING	W.W.M.	WELDED WIRE MESH
CSMT.	CASEMENT	GA.	GAUGE	N.A.T.	NATURAL	S.H.	SHOWER		
CSWK.	CASEWORK	G.W.B.	GYPSUM WALLBOARD	N.A.T.	NATURAL	S.H.	SHOWER		
C.T.	CERAMIC TILE			N.A.T.	NATURAL	S.H.	SHOWER		
CTR.	COUNTER			N.A.T.	NATURAL	S.H.	SHOWER		
CTSK.	COUNTERSINK			N.A.T.	NATURAL	S.H.	SHOWER		
C.Y.	CUBIC YARD			N.A.T.	NATURAL	S.H.	SHOWER		

#### SYMBOLS



#### VICINITY MAP



#### PROJECT INFORMATION

OCCUPANCY CLASSIFICATION:		OCCUPANCY LOADS:		
Building	Occupancy Group and Div.	Building Area	Factor	Load
UNIT #18	R1	UNIT #18	300	2'

OCCUPANCY SEPARATIONS: NONE

TYPE OF USE: MOTEL

TYPE OF CONSTRUCTION: V-B

SPRINKLERS REQUIRED: YES, NFPA 13-D

APPLICABLE CODES:  
2022 California Building Code (CBC)  
2022 California Residential Code (CRC)  
2022 California Electrical Code (CEC)  
2022 California Mechanical Code (CMC)  
2022 California Plumbing Code (CPC)  
2022 California Fire Code (CFC)  
2022 California Fire Code (CFC)  
Title 24

#### PROJECT DIRECTORY

<b>PROJECT OWNER</b> CARMEL INN VENTURES P.O. BOX 1796 CARMEL VALLEY, CA 93924 CONTACT: JOY BERRY / JAMES FLAGG PHONE: (949) 500-7069	<b>PROJECT ARCHITECT</b> THE PAUL DAVIS PARTNERSHIP 286 ELDORADO STREET MONTEREY, CA. 93940 PHONE: (831) 373-2784 FAX: (831) 373-7459 info@pauldavispartnership.com CONTACT: PAUL E. DAVIS
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### COVER SHEET PROJECT INFO

Sheet Number:

A0.1

# CARMEL RIVER INN

U.S. HIGHWAY 1  
@ CARMEL RIVER BRIDGE  
P.O. BOX 221609  
CARMEL, CA 93922  
APN: 009-563-005

# COTTAGE REMODEL #18/46 revised

## THE PAUL DAVIS PARTNERSHIP ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP  
286 Eldorado Street  
Monterey, CA 93940  
(831) 373-2784 FAX (831) 373-7459  
EMAIL: info@pauldavispartnership.com



Drawn By: ML  
Drawing Date: 07/15/2025  
Project Number: 2502  
Revisions: 1 03/10/26 HRRB

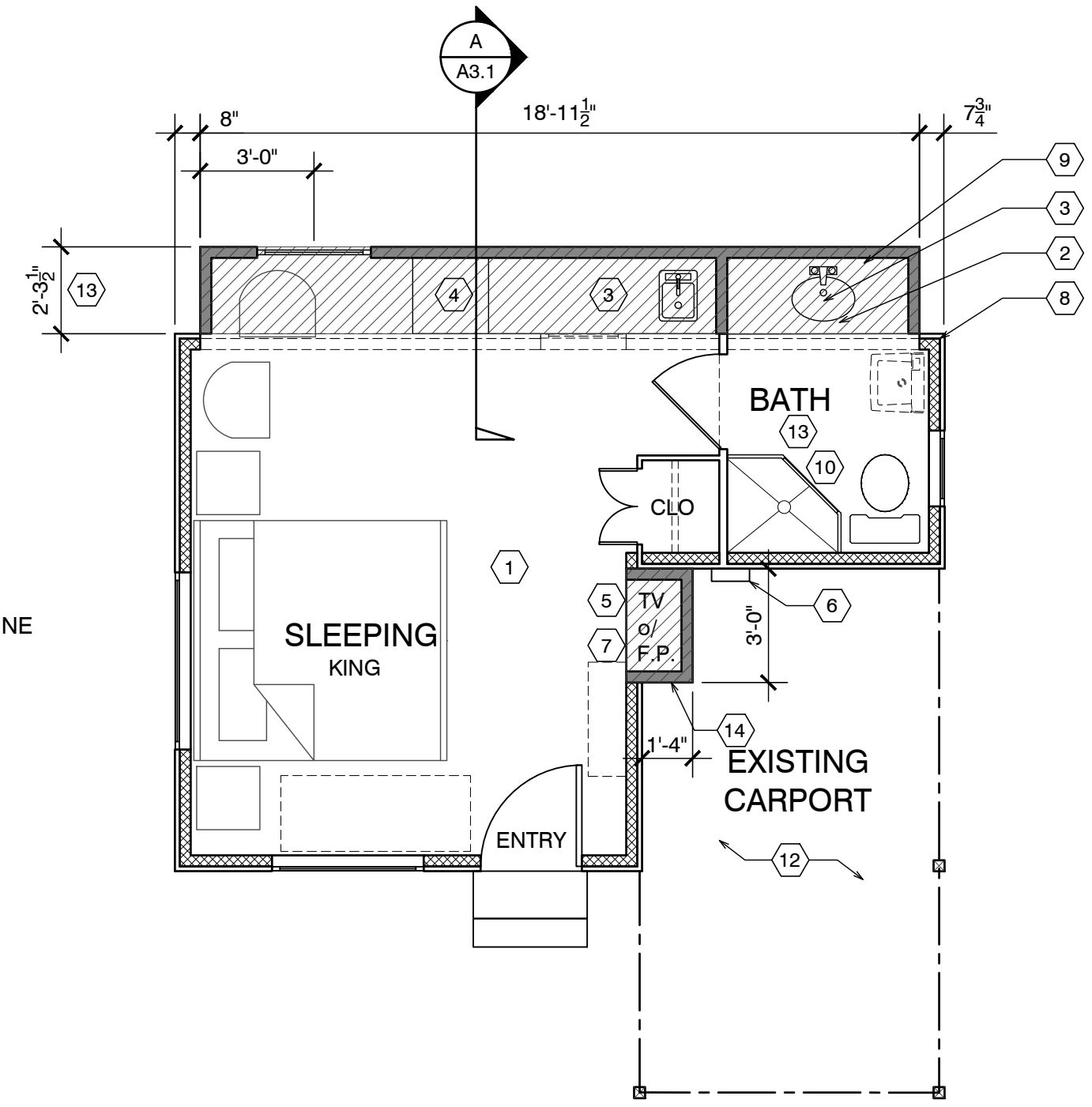
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Sheet Title:  
**UNIT #18 FLOOR PLAN**

Sheet Number:

### FLOOR NOTES

- (E) FLOOR AREA TO REMAIN
- NEW ADDITION SHOWN SHADED
- (N) SINK & COUNTER
- (N) UNDER-COUNTER REFRIGERATOR
- SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP. 25,000 BTU 100 CFM. HEATILATOR GC1990
- (N) WALL MOUNTED TANK-LESS WATER HEATER.
- FLAT PANEL TV MOUNTED ABOVE FIREPLACE
- ALL (E) EXTERIOR WALLS TO REMAIN, SHALL REMAIN AS SINGLE WALL CONSTRUCTION. ADD NEW 2x4 @ 16" O.C. WR13 INSULATION
- ALL NEW WALLS TO BE FULL 2X STUD CONSTRUCTION (SEE SECTION & DETAILS SHT. A3.1). ADD 3/8" P.S. ON INTERIOR OF EXTERIOR WALLS AS NOTED BELOW.
- (N) 3' x 3' SHOWER TEMPERED GLASS DOOR & ENCLOSURE
- NEW (FULL HGT. TILE) SHOWER SEE DETAIL 5/A4.1 (OWNER SHALL PROVIDE TILE SPEC)
- NOT USED
- ALL BATH & KITCHENETTE OUTLETS TO BE GFCI RATED
- NEW ADDITION UNDER EXISTING ROOF
- 2x6 P.T. FLOOR JOIST @ 16" O.C.



EXISTING :	224 SF.
ADDITION :	48 SF.
TOTAL :	272 SF.

NOTE: ALL FRAMING SIZING & CONNECTION DETAILS SHALL COMPLY WITH CBC CHAPTER 23

### ADD/REMODEL AS REQUIRED BY EXISTING CONDITIONS

FLOOR SYSTEM: 2 X 4 FOOT MUDSILL WITH 5/8" X 10" AB @ 12" FROM ENDS AND 48" O.C. IN FIELD. w/ 3x3x3/8" SQ. WASHER. 2 X 6 DF PT FLOOR JOISTS @ 16" O.C. MAX. SPAN 7'-6" OVER 4 X 6 DF PT CENTER BEAM AT POSTS AND PIERS. FLOOR INSULATION R-19 WITH 3/4" ADVANTEC WATERPROOF PLYWOOD OVER JOISTS.

WALL FRAMING: 2 X 4 DF @ 16" O.C. WITH 4 X 4 HEADERS U.O.N. OVER OPENINGS. WALL FRAMING @ UNIT 14 TO BE PRESSURE TREATED DRILL 1" HOLES THRU BOT. PLATE & TOP PLATE @ EACH STUD SPACE ADD 5/8" ROUGH SAWN EXT. GRADE PLYWOOD w/ 10d @ 6" o.c. @ EDGE & 10d @ 12" o.c. @ FIELD. TYP. w/ HORIZ. METAL STRAPPING ACROSS OPENINGS AT LEAST 2 STUDS EA. SIDE BEYOND.  
ROOF SYSTEM: 2 X 6 @ 16" O.C. WITH H-1 TIES 2 X 8 RIDGE AND 2 X 6 COLLAR TIES UP 32" FROM TOP PLATE. 5/8" OSB ROOF SHEATHING WITH H CLIPS WITH 1 X 8 X T&G AT OVERHANG AND CARPORT. CARPORT BEAMS 4 X 10 OVER 4 X 4 POST WITH POST CAP. W/ RAFTER TIES @ 4'-0" O.C. - SIM. TO HOUSE ROOF BRACE CORNERS WITH DIAGONAL MEMBER @ CORNER FASTENERS 2'-0" FROM CORNERS OF BOTH BEAMS

### ROOF NOTES

- (N) ROOF FRAMING TO MATCH (E) HISTORIC COTTAGES. 2x6 @ 24" w/ 5/8" PLYWOOD.
- (N) ROOF OVER ADDITION
- FRAME/FINISH GABLE ROOF TO MATCH ORIGINAL, TYP.
- BEAM
- OUTLINE OF ROOF, TYP.
- 4X4 POST ON PIERS w/ POST BASE AND CAP, TYP.
- NOT USED
- NOT USED
- NOT USED

### ELECTRICAL LEGEND

- ⊕ DUPLEX OUTLET
- ⊕ HALF SWITCHED OUTLET
- ⊕ DEDICATED CIRCUIT (20 amps)
- ⊕ 220 VOLT OUTLET
- ⊕ GFI OUTLET w/ GROUND FAULT CIRCUIT INTERRUPTER
- ⊕ GFI OUTLET WITH WEATHERPROOF ENCLOSURE & GFI
- ⊕ TELEPHONE JACK
- ⊕ HIGH SPEED DATA LINE
- ⊕ THERMOSTAT CONTROL
- ⊕ TELEVISION CABLE
- ⊕ GAS OUTLET
- ⊕ KEY VALVE
- ⊕ HOSE BIBB VALVE
- ⊕ WALL MOUNTED GAS HEATER

- NOTES:
- NOT ALL THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS WORK.
  - ELECTRICIAN TO CONDUCT AN ON-SITE WALK THROUGH WITH OWNERS TO DETERMINE FINAL FIXTURE LOCATIONS.
  - PLUMBING PIPELINES UTILIZED AS AN ELECTRICAL GROUND ARE PROHIBITED.

### WET-FLOOD PROOFING AND UNDER FLOOR VENTING REQUIREMENTS

- Foundation Walls - Provide foundation vents around perimeter of 1 sq. in. net opening/ 1 SF of enclosed area. Note: The space below the floor is only 12" ±
- The floor framing will be pressure-treated wood. Future buildings (not including Building 13 & 16) will have all wood framing below 1 foot above floor line pressure-treated lumber with vent holes at top and bottom of stud spaces.
- The exterior siding and trim will be redwood, which is rot resistant.
- The inside wall finish will be paperless gypsum board mold and moisture resistant, which has a three-month in place exposure warranty.
- Mold resistant paint will be used exterior and interior.
- Flooring will be tile in bathrooms and carpet in living/sleeping area over pad - non glue-down.

### DEMO NOTES

- WALLS, WINDOWS, DOORS, BATHROOM, WATER HEATER & CLOSET SHOWN PREVIOUSLY REMOVED.
- ROOF PREVIOUSLY REMOVED.
- REMOVE SUBFLOOR THAT IS WATER DAMAGED FROM PREVIOUS FIRE.

### FIRE SPRINKLER CALCS

(E) TOTAL LINEAL FOOTAGE	= 68'-11"
TOTAL LINEAL FOOTAGE DEMOLISHED, ADDED OR REPLACED	= 18'-3 1/4"
TOTAL DEMO	= 26.7%

NOTE: FIRE SPRINKLERS NOT REQUIRED

### DEMOLITION LEGEND

- EXISTING WALLS TO REMAIN
- - - EXISTING WALLS TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- ≡ ≡ ≡ EXISTING WINDOW TO BE REMOVED

### ELECTRICAL NOTE:

Arc-fault circuit-interrupter protection - All 120-volt 15 & 20 ampere of branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or area shall be protected by a listed arc-fault circuit interrupter combination-type. Guestrooms (210-18) & guest suites that are provided with permanent provisions for cooking shall have AFCI. [210-12 (B)]

### WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW FRAMED WALL
- - - EXISTING WALL TO BE REMOVED

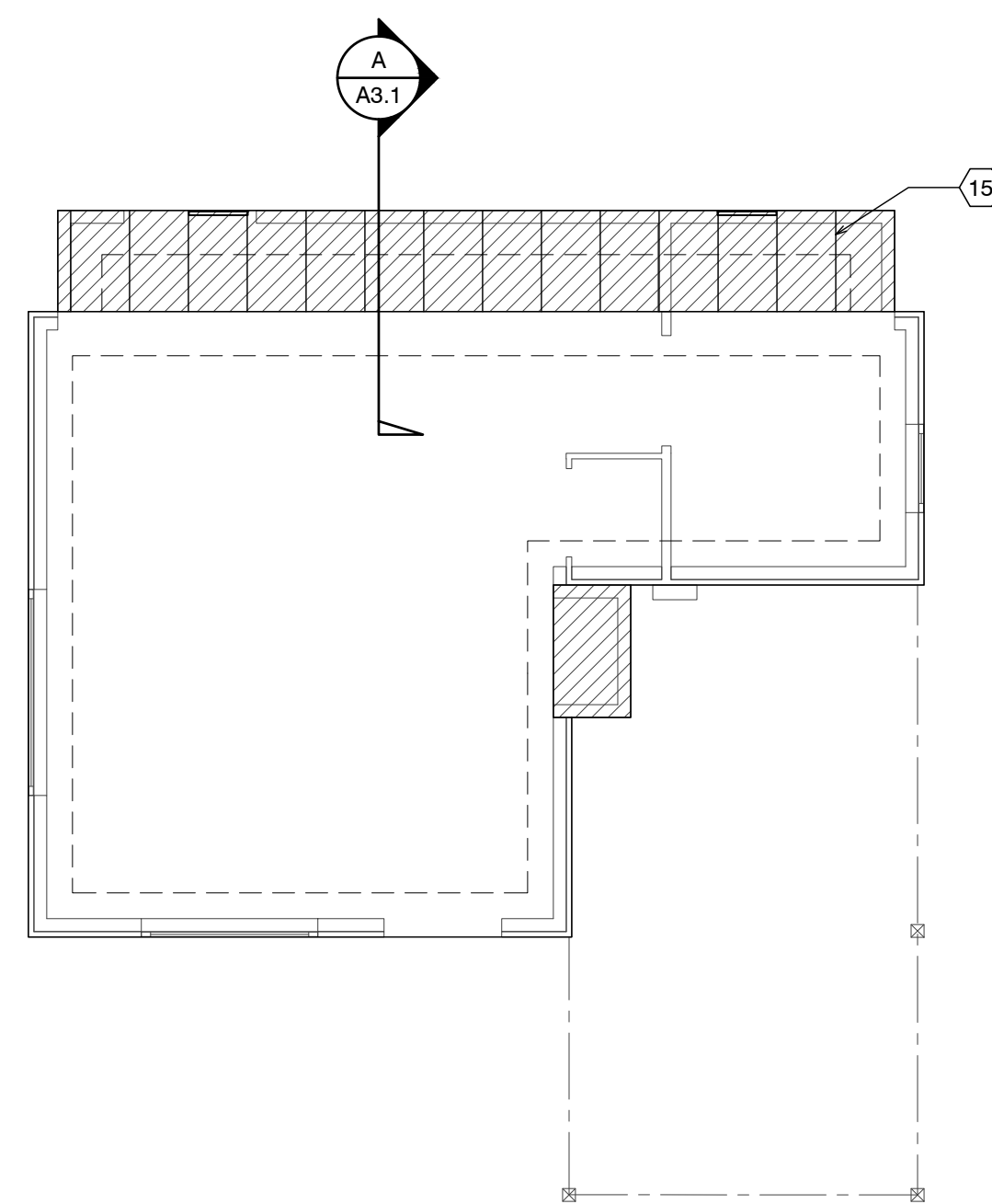


### RCP NOTES

- (E) CEILING & LIGHTING TO REMAIN IN THIS ROOM
- REPLACE EXISTING 50 AMP PANEL WITH (N) 50 AMP PANEL
- ALL NEW CEILINGS TO HAVE 1/2" GYP. BD. W/ FINISH SPEC'D BY OWNER
- SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP. 25,000 BTU 100 CFM. HEATILATOR GC1990

### RCP LEGEND

- ⊕ SINGLE POLE SWITCH
- ⊕ THREE WAY SWITCH
- ⊕ FOUR WAY SWITCH
- ⊕ DIMMER SWITCH
- ⊕ RECESSED LIGHT FIXTURE
- ⊕ RECESSED WALL WASHER
- ⊕ SURFACE MOUNTED FIXTURE
- ⊕ PENDANT FIXTURE
- ⊕ EXHAUST FAN
- ⊕ COMBINATION LIGHT & EXHAUST FAN FIXTURE
- ⊕ WALL MOUNTED FIXTURE
- ⊕ SMOKE DETECTOR- 110V- HARDWIRE w/ BATTERY BACK-UP- TYP U.O.N.
- COVE OR INDIRECT LIGHT FIXTURE
- UNDERCABINET MOUNTED FIXTURE
- FLUORESCENT TUBE

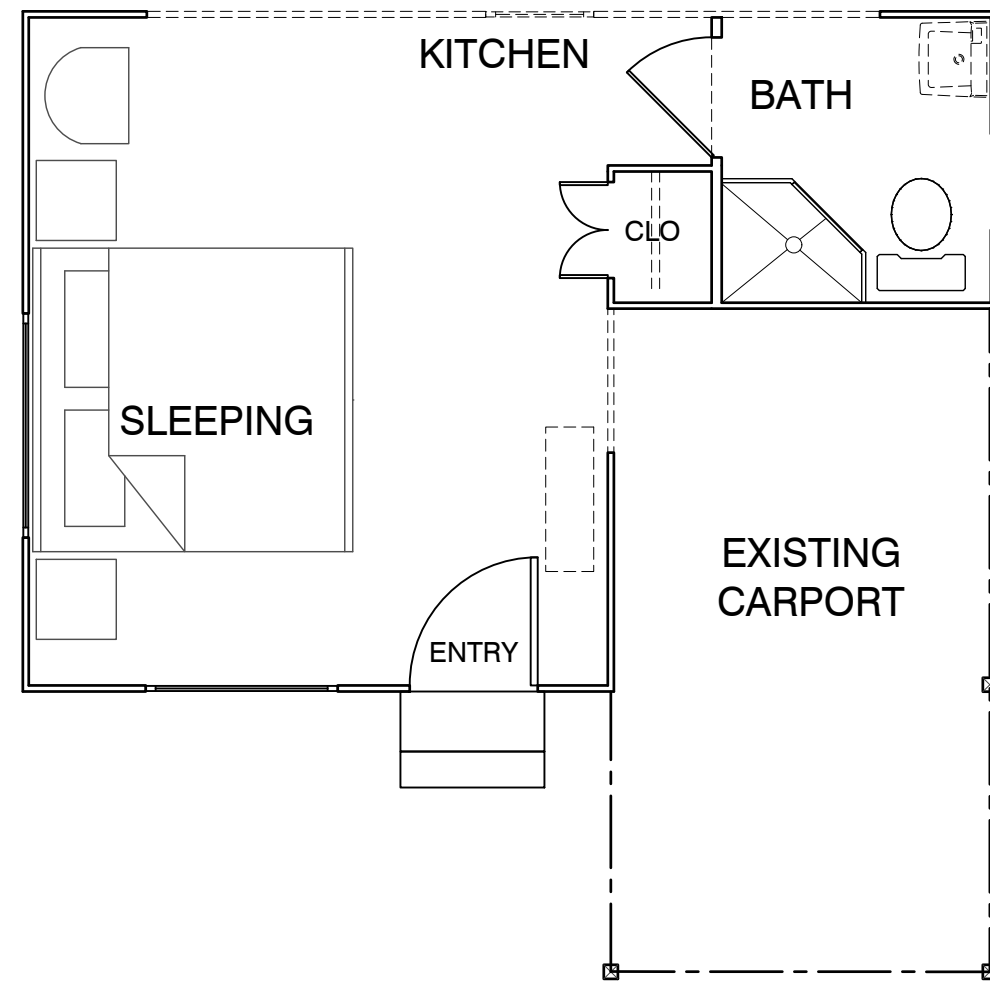
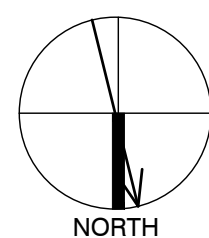


FOUNDATION VENT CALCULATION:  
41 SF / 150 = .27 SF REQUIRED  
PROVIDE (2) 15.5"x4.5" VENTS @ .156 SF EA. = 3.12 SF

### FND. PLAN UNIT 18

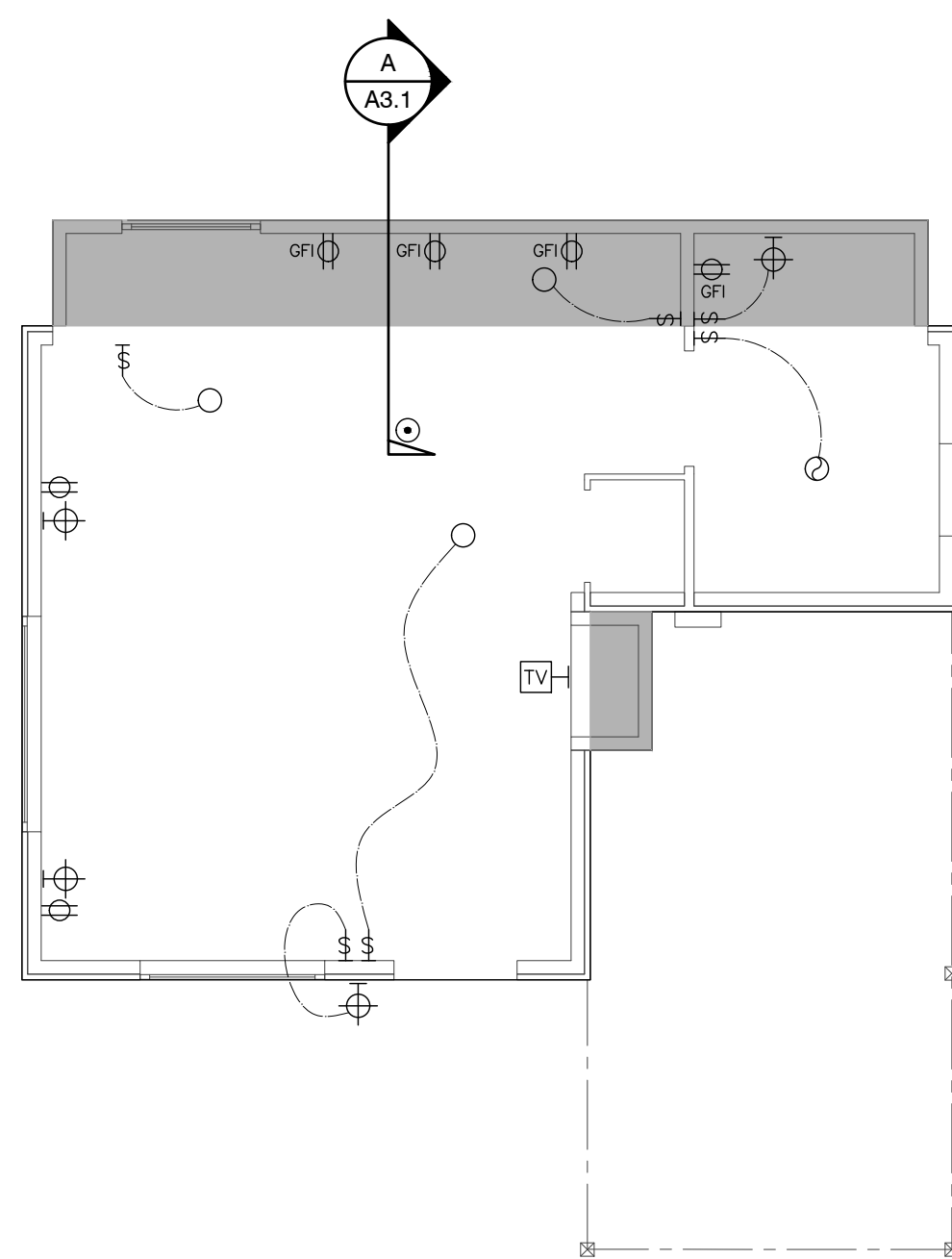
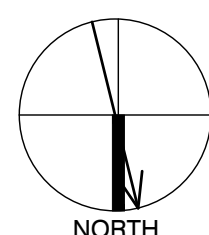
### DEMO PLAN UNIT 18

SCALE: 1/4" = 1'-0"



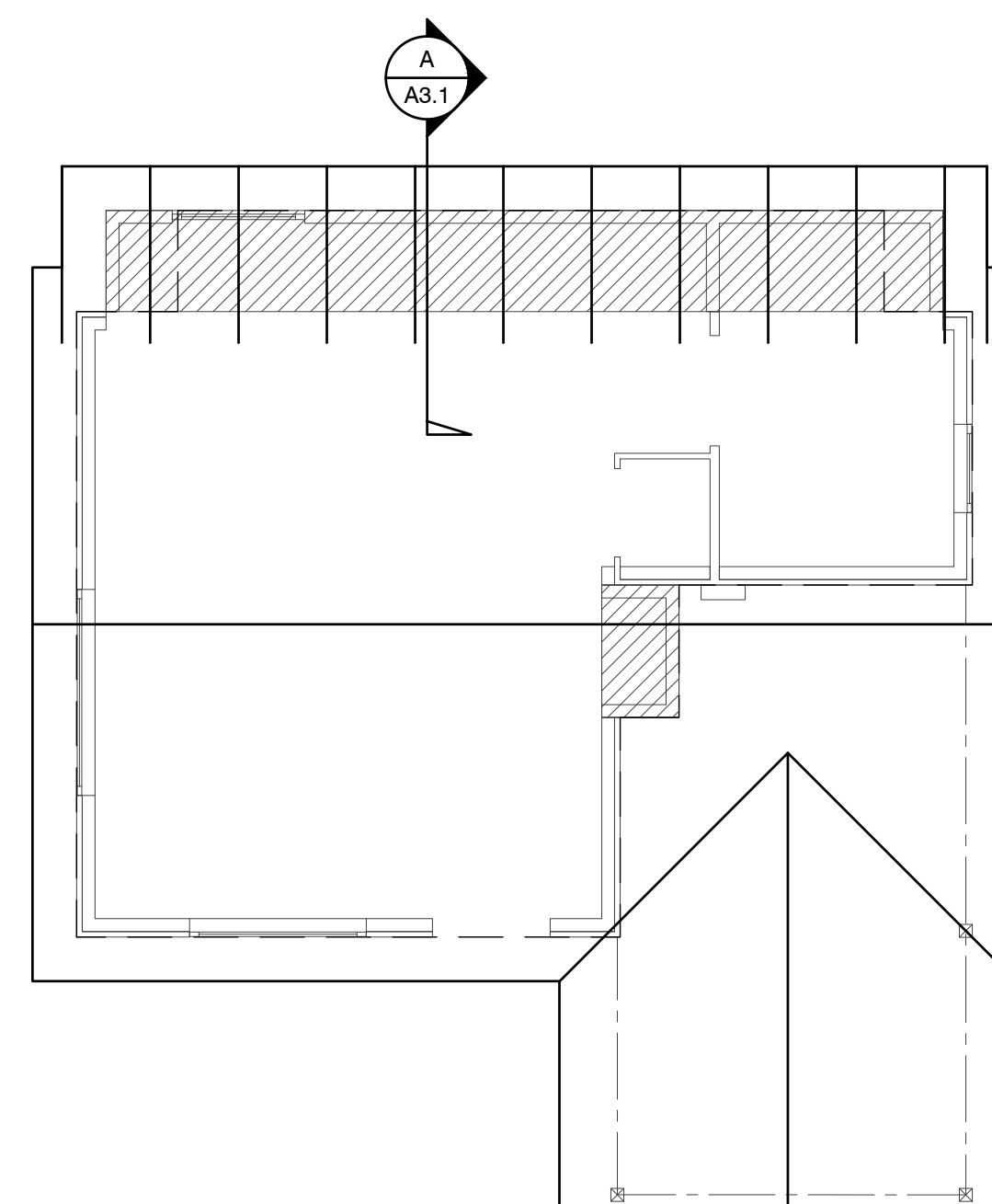
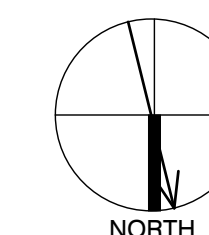
### ELECTRICAL PLAN UNIT 18

SCALE: 1/4" = 1'-0"



### ROOF PLAN UNIT 18

SCALE: 1/4" = 1'-0"



# CARMEL RIVER INN

U.S. HIGHWAY 1  
@ CARMEL RIVER BRIDGE  
P.O. BOX 221609  
CARMEL, CA 93922  
APN: 009-563-005

## COTTAGE REMODEL #18/46 revised

### THE PAUL DAVIS PARTNERSHIP ARCHITECTS & PLANNERS

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EMAIL: info@pauldavispartnership.com



Drawn By: ML  
Drawing Date: 07/15/2025  
Project Number: 2502

Revisions: 1 03/10/26 HRRB

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Sheet Title:  
**UNIT #18  
ELEVATIONS**

Sheet Number:

1

1. The historic character of the property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
2. Changes to a historic property that have acquired historic significance in their own right will be retained and preserved.
3. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
4. Deteriorated features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
5. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
6. New additions and adjacent or related new construction will be undertaken in such a manner, that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### SHEET NOTES

1. NEW ASPHALT COMP ROOFING TO MATCH UNIT #15
2. PAINTED 1X6 REDWOOD FASCIA (WITH STRAIGHT EDGE THAT DOESNT MATCH (E))
3. PAINTED ROUGH SAWN 12" BOARD ON BOARD SIDING (THIS WILL DIFFERENTIATE THE NEW FROM THE OLD)
4. Not Used
5. RE-USE EXISTING WOOD WINDOWS OR NEW WOOD WINDOWS WITH SHUTTERS TO MATCH(E)
6. NOT USED
7. NOT USED
8. COPPER SCREENED FOUNDATION VENTS 1 SQ. IN. CLEAR OPENING PER 1 SQ. FT. OF FLOOR AREA = 340 SQ. IN. USE 6 - 6"x14" VENTS @ 75% OPEN = 378 SQ. IN.
9. NEW 12"x12" CONC. FTG. W/ #4 REBAR TOP & BOT. TIE NEW TO EXISTING W/ 6" DOWEL @ TOP & BOT.



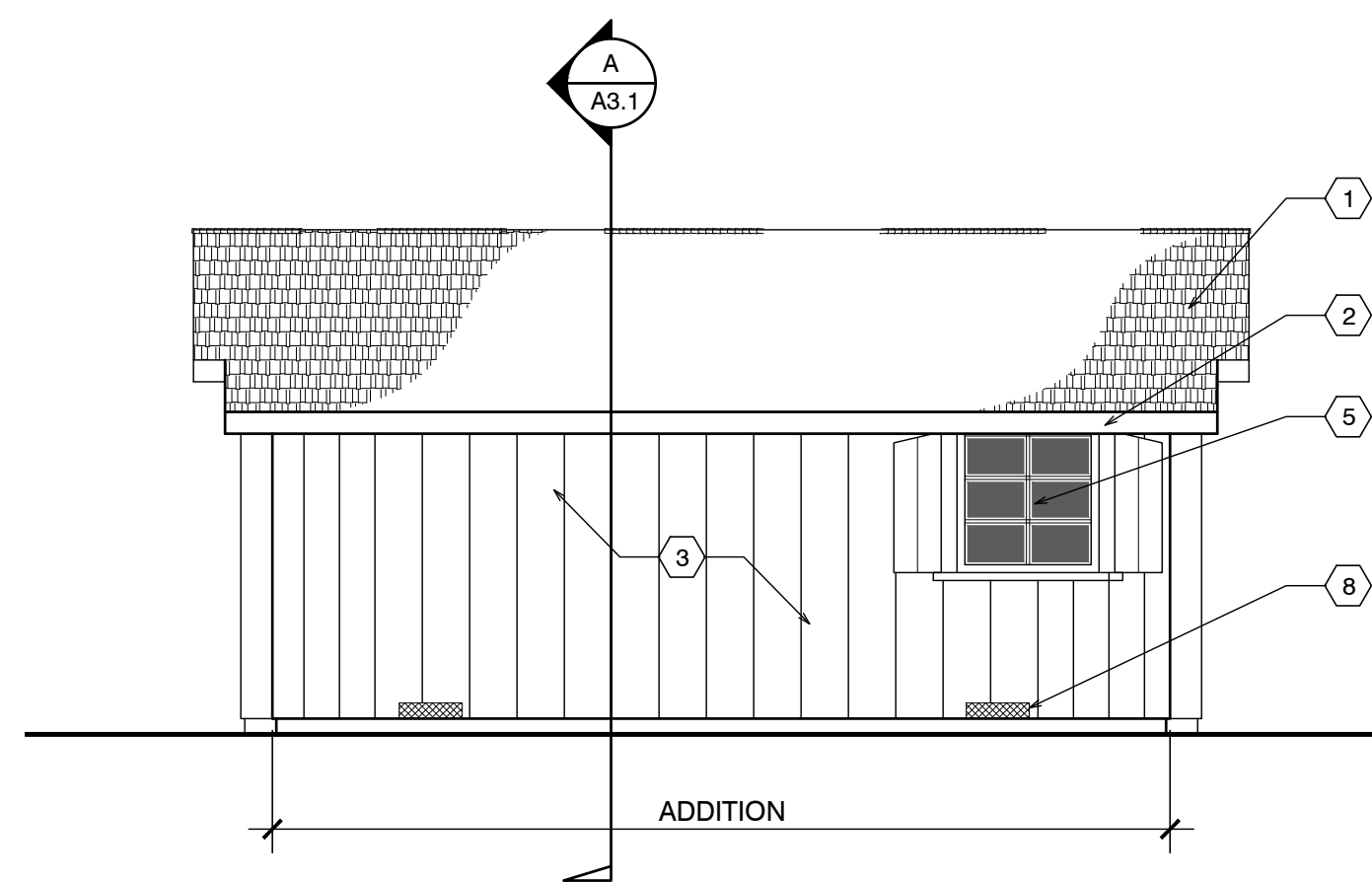
FRONT ELEVATION



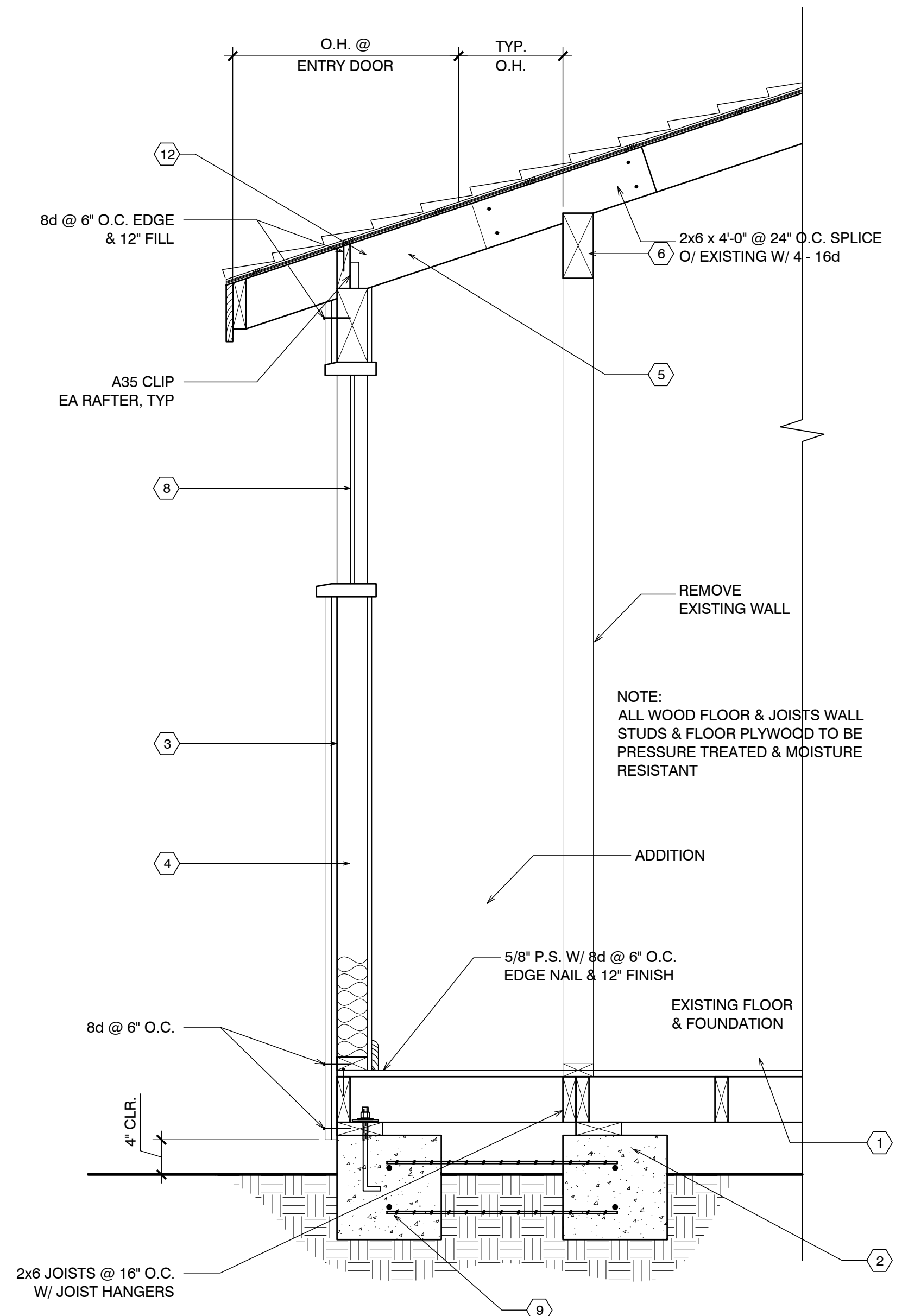
SIDE ELEVATION



SIDE ELEVATION



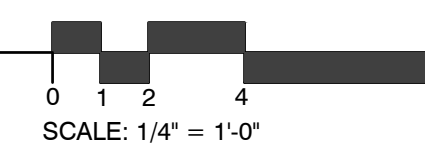
BACK ELEVATION



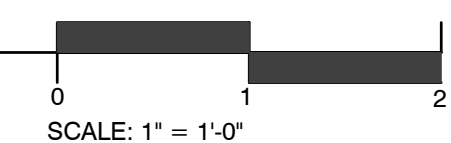
**UNIT #18 SECTION**

## EXTERIOR ELEVATIONS UNIT #18

SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



SCALE: 1" = 1'-0"



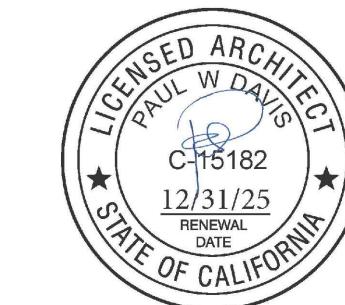
# CARMEL RIVER INN

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P.O. BOX 221609  
CARMEL, CA 93922  
APN: 009-563-03

# COTTAGE REMODEL #19/47 revised

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Drawn By: ML

Drawing Date: 07/15/2025

Project Number: 2502

Revisions: 1 03/10/26 HRRB

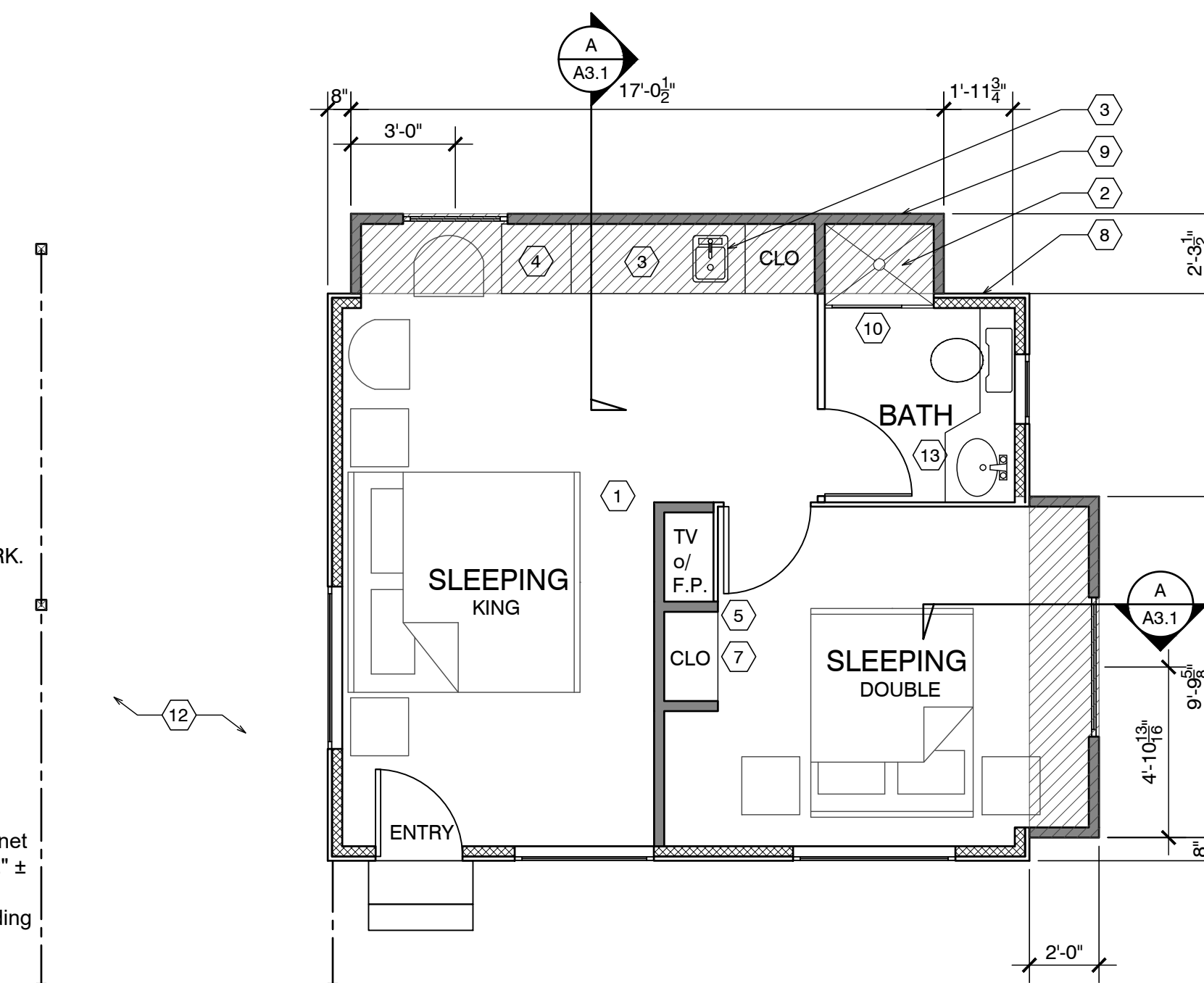
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Sheet Title:  
**UNIT #19 FLOOR PLAN**

Sheet Number:

### FLOOR NOTES

- (E) FLOOR AREA TO REMAIN
- NEW ADDITION SHOWN SHADED
- (N) SINK & COUNTER
- (N) UNDER-COUNTER REFRIGERATOR
- SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP. 25,000 BTU 100 CFM. HEATILATOR GC1990
- (N) WALL MOUNTED TANK-LESS WATER HEATER.
- FLAT PANEL TV MOUNTED ABOVE FIREPLACE
- ALL (E) EXTERIOR WALLS TO REMAIN, SHALL REMAIN AS SINGLE WALL CONSTRUCTION. ADD NEW 2x4 @ 16" O.C. W/R13 INSULATION
- ALL NEW WALLS TO BE FULL 2X STUD CONSTRUCTION (SEE SECTION & DETAILS SHT. A3.1). ADD 3/8" P.S. ON INTERIOR OF EXTERIOR WALLS AS NOTED BELOW.
- (N) 3' x 3' SHOWER TEMPERED GLASS DOOR & ENCLOSURE
- NEW (FULL HIGHT. TILE) SHOWER SEE DETAIL 5/A4.1 (OWNER SHALL PROVIDE TILE SPEC)
- NOT USED
- ALL BATH & KITCHENETTE OUTLETS TO BE GFCCI RATED
- NEW ADDITION UNDER EXISTING ROOF
- 2x6 P.T. FLOOR JOIST @ 16" O.C.



EXISTING : 329 SF.  
ADDITION : 59 SF.  
TOTAL : 388 SF.

NOTE: ALL FRAMING SIZING & CONNECTION DETAILS SHALL COMPLY WITH CBC CHAPTER 23

### ELECTRICAL LEGEND

- ⊕ DUPLEX OUTLET
- ⊕ HALF SWITCHED OUTLET
- ⊕ DEDICATED CIRCUIT (20 amps)
- ⊕ 220 VOLT OUTLET
- ⊕ GFI OUTLET w/ GROUND FAULT CIRCUIT INTERRUPTER
- ⊕ GFI OUTLET WITH WEATHERPROOF ENCLOSURE & GFI
- ⊕ TELEPHONE JACK
- ⊕ HIGH SPEED DATA LINE
- ⊕ THERMOSTAT CONTROL
- ⊕ TELEVISION CABLE
- ⊕ GAS OUTLET
- ⊕ KEY VALVE
- ⊕ HOSE BIBB VALVE
- ⊕ WALL MOUNTED GAS HEATER

- NOTES:
- NOT ALL THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS WORK.
  - ELECTRICIAN TO CONDUCT AN ON-SITE WALK THROUGH WITH OWNERS TO DETERMINE FINAL FIXTURE LOCATIONS.
  - PLUMBING PIPELINES UTILIZED AS AN ELECTRICAL GROUND ARE PROHIBITED.

### WET-FLOOD PROOFING AND UNDER FLOOR VENTING REQUIREMENTS

- Foundation Walls - Provide foundation vents around perimeter of 1 sq. in. net opening/ 1 SF of enclosed area. Note: The space below the floor is only 12" ±
- The floor framing will be pressure-treated wood. Future buildings (not including Building 13 & 16) will have all wood framing below 1 foot above floor line pressure-treated lumber with vent holes at top and bottom of stud spaces.
- The exterior siding and trim will be redwood, which is rot resistant.
- The inside wall finish will be paperless gypsum board mold and moisture resistant, which has a three-month in place exposure warranty.
- Mold resistant paint will be used exterior and interior.
- Flooring will be tile in bathrooms and carpet in living/sleeping area over pad - non glue-down.

### DEMO NOTES

- WALLS, WINDOWS, DOORS, BATHROOM, WATER HEATER & CLOSET SHOWN PREVIOUSLY REMOVED.
- ROOF PREVIOUSLY REMOVED.
- REMOVE SUBFLOOR THAT IS WATER DAMAGED FROM PREVIOUS FIRE.

### FIRE SPRINKLER CALCS

(E) TOTAL LINEAL FOOTAGE = 72'-11 1/4"  
TOTAL LINEAL FOOTAGE DEMOLISHED, ADDED OR REPLACED = 16'-5"  
TOTAL DEMO = 22.5%  
NOTE: FIRE SPRINKLERS NOT REQUIRED

### DEMOLITION LEGEND

- EXISTING WALLS TO REMAIN
- - - EXISTING WALLS TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- ≡≡≡ EXISTING WINDOW TO BE REMOVED

### ELECTRICAL NOTE:

Arc-fault circuit-interrupter protection - All 120-volt 15 & 20 ampere of branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or area shall be protected by a listed arc-fault circuit interrupter combination-type. Guestrooms (210-18) & guest suites that are provided with permanent provisions for cooking shall have AFCI. [210-12 (B)]

### RCP NOTES

- (E) CEILING & LIGHTING TO REMAIN IN THIS ROOM
- REPLACE EXISTING 50 AMP PANEL WITH (N) 50 AMP PANEL
- ALL NEW CEILINGS TO HAVE 1/2" GYP. BD. W/ FINISH SPECCD BY OWNER
- SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP. 25,000 BTU 100 CFM. HEATILATOR GC1990

### RCP LEGEND

- ⊕ SINGLE POLE SWITCH
- ⊕ THREE WAY SWITCH
- ⊕ FOUR WAY SWITCH
- ⊕ DIMMER SWITCH
- RECESSED LIGHT FIXTURE
- RECESSED WALL WASHER
- ⊕ SURFACE MOUNTED FIXTURE
- ⊕ PENDANT FIXTURE
- ⊕ EXHAUST FAN
- ⊕ COMBINATION LIGHT & EXHAUST FAN FIXTURE
- ⊕ WALL MOUNTED FIXTURE
- ⊕ SMOKE DETECTOR- 110V- HARDWIRE w/ BATTERY BACK-UP- TYP U.O.N.
- COVE OR INDIRECT LIGHT FIXTURE
- UNDERCABINET MOUNTED FIXTURE
- FLUORESCENT TUBE

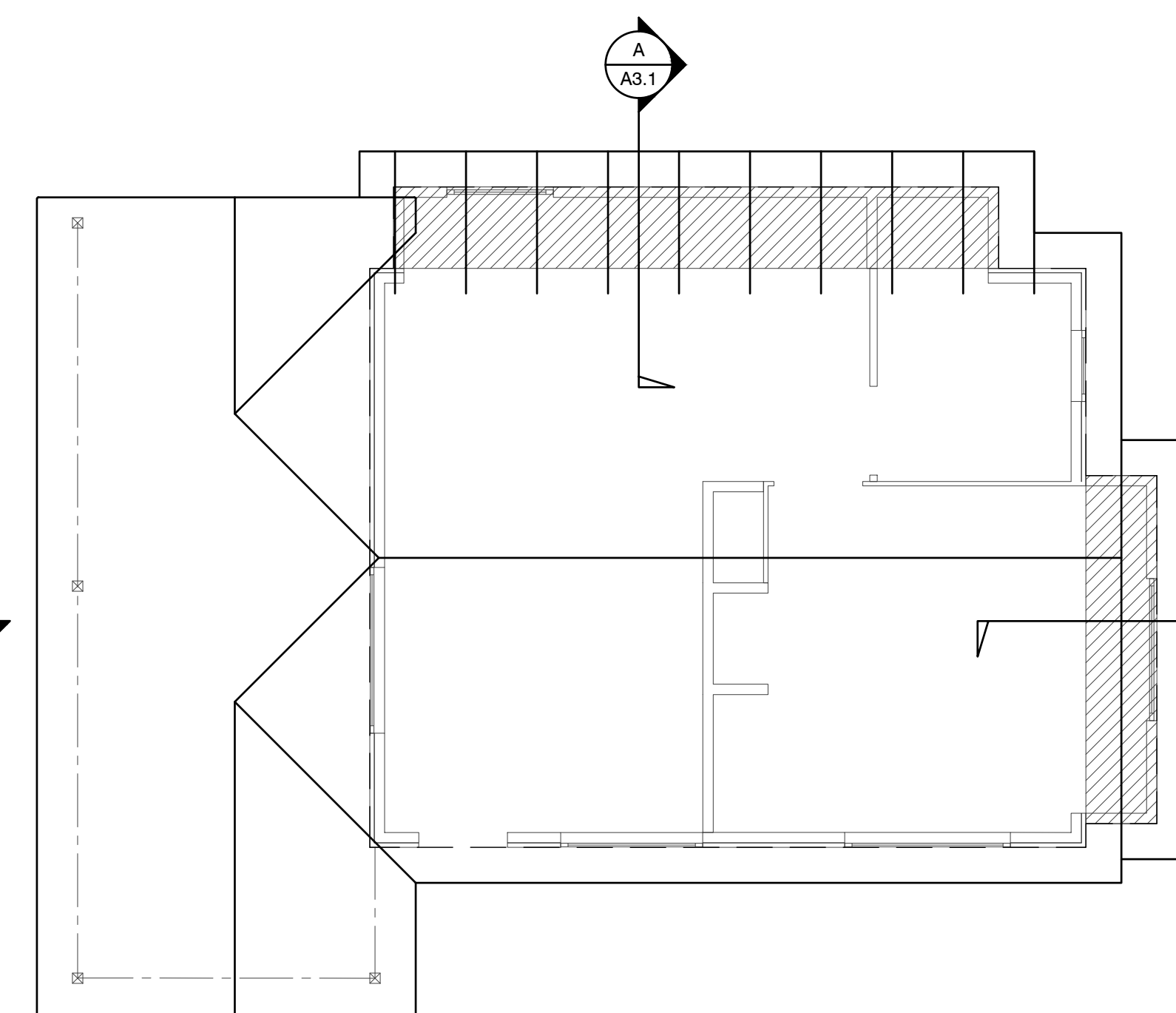
FOUNDATION VENT CALCULATION:  
57 SF / 150 = .38 SF REQUIRED  
PROVIDE (2) 15.5"x4.5" VENTS @ .156 SF EA. = 3.12 SF

### FLOOR PLAN UNIT 19

SCALE: 1/4" = 1'-0"

### WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW FRAMED WALL
- - - EXISTING WALL TO BE REMOVED



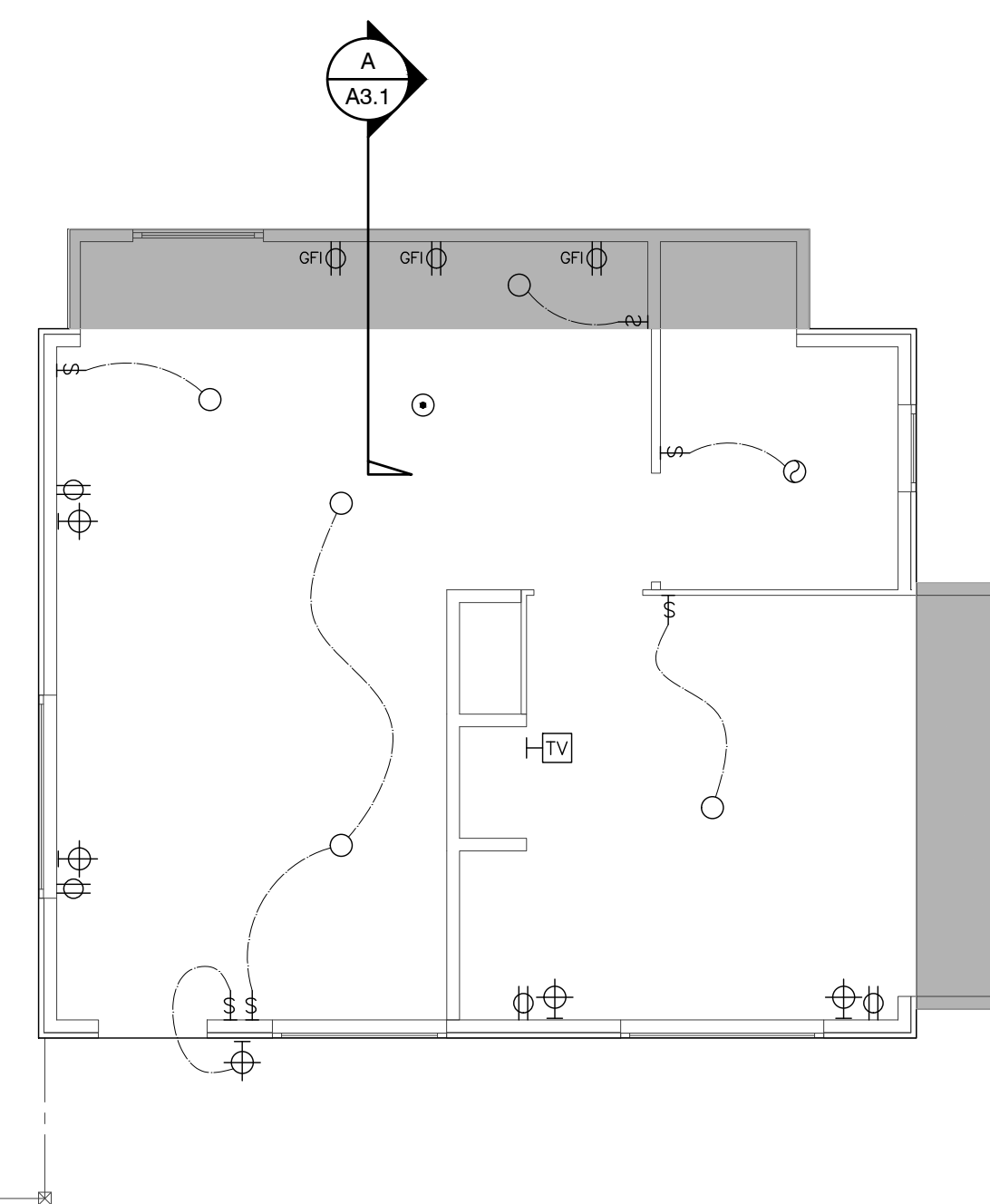
### ROOF NOTES

- (N) ROOF FRAMING TO MATCH (E) HISTORIC COTTAGES. 2x6 @ 24" w/ 5/8" PLYWOOD.
- (N) ROOF OVER ADDITION
- FRAME/FINISH GABLE ROOF TO MATCH ORIGINAL, TYP.
- BEAM
- OUTLINE OF ROOF, TYP.
- 4X4 POST ON PIERS w/ POST BASE AND CAP, TYP.
- NOT USED
- NOT USED
- NOT USED

### DEMO PLAN UNIT 19

SCALE: 1/4" = 1'-0"

NORTH



### ELECTRICAL PLAN UNIT 19

SCALE: 1/4" = 1'-0"

NORTH

### FND. PLAN UNIT 19

SCALE: 1/4" = 1'-0"

NORTH

### ROOF PLAN UNIT 19

SCALE: 1/4" = 1'-0"

NORTH

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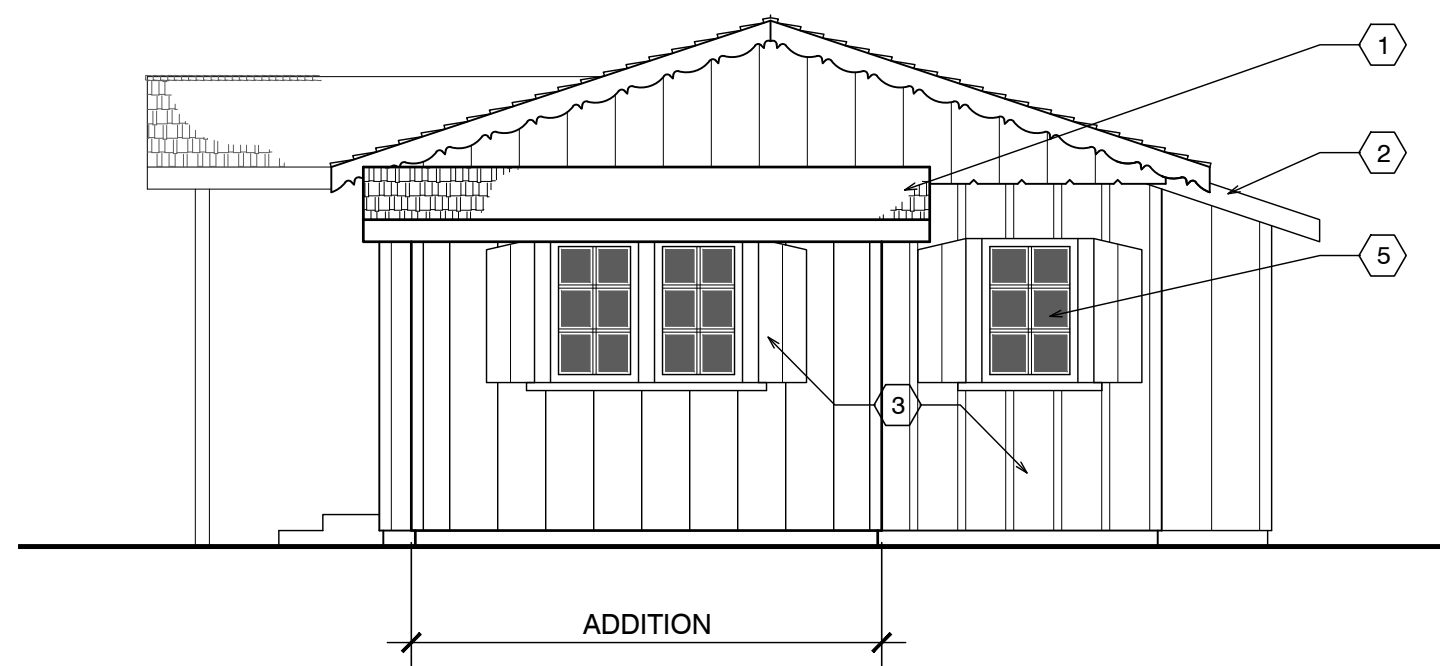
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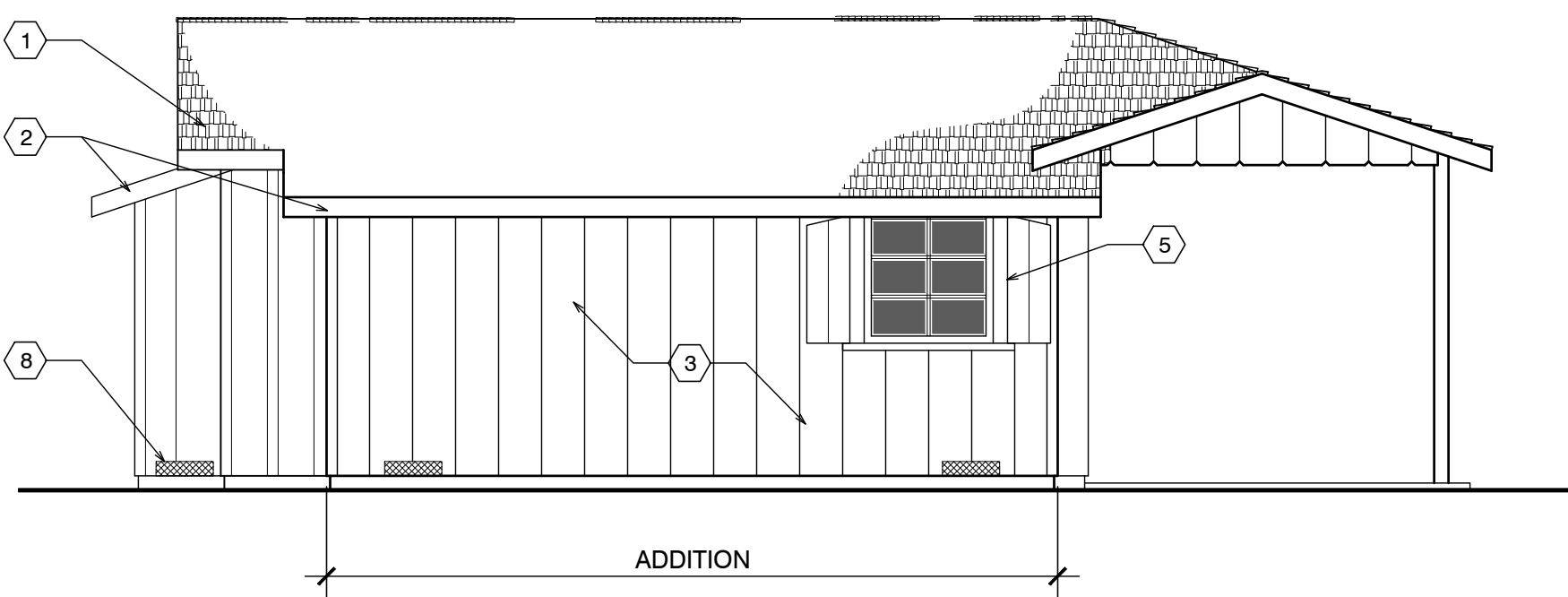
FRONT ELEVATION



SIDE ELEVATION



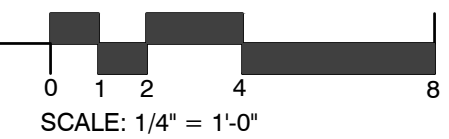
SIDE ELEVATION



BACK ELEVATION

EXTERIOR ELEVATIONS UNIT #19

SCALE: 1/4" = 1'-0"

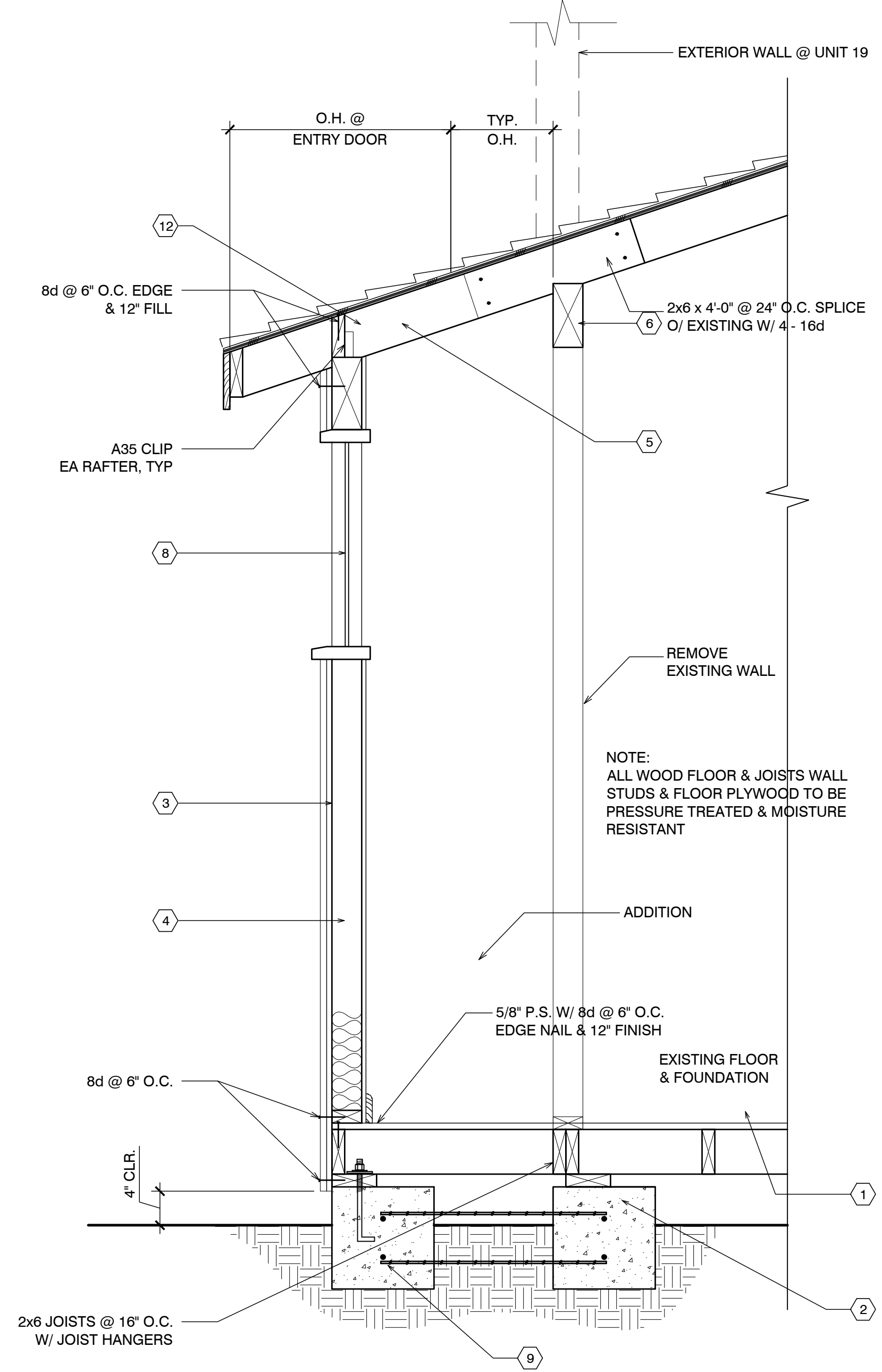


SCALE: 1/4" = 1'-0"

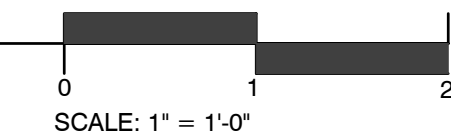
SHEET NOTES

1. NEW ASPHALT COMP ROOFING TO MATCH UNIT #15
2. PAINTED 1X6 REDWOOD FASCIA (WITH STRAIGHT EDGE THAT DOESN'T MATCH (E))
3. PAINTED ROUGH SAWN 12" BOARD ON BOARD SIDING (THIS WILL DIFFERENTIATE THE NEW FROM THE OLD)
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9. NEW 12"x12" CONC. FTG. W/ #4 REBAR TOP & BOT. TIE NEW TO EXISTING W/ 6" DOWEL @ TOP & BOT.

1



UNIT #19 SECTION



SCALE: 1" = 1'-0"

Project / Owner:

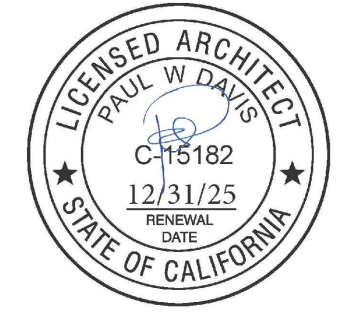
CARMEL RIVER INN

U.S. HIGHWAY 1  
@ CARMEL RIVER BRIDGE  
P.O. BOX 221609  
CARMEL, CA 93922  
APN: 009-563-03

COTTAGE REMODEL #19/47 revised

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Drawn By: ML  
Drawing Date: 07/15/2025  
Project Number: 2502

Revisions: 1 03/10/26 HRRB

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Sheet Title:  
UNIT #19 ELEVATIONS

Sheet Number:

# CARMEL RIVER INN

## COTTAGE UNIT #20 (now 49) REMODEL/ADDITION

Project / Owner:

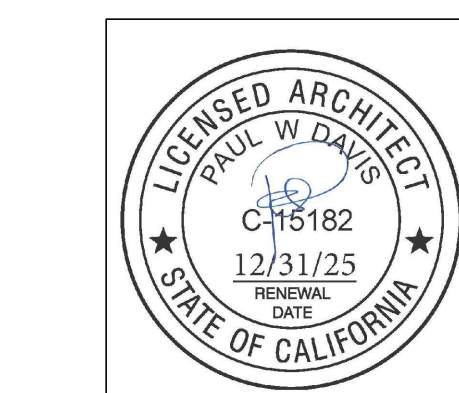
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### COTTAGE REMODEL #20/49 revised

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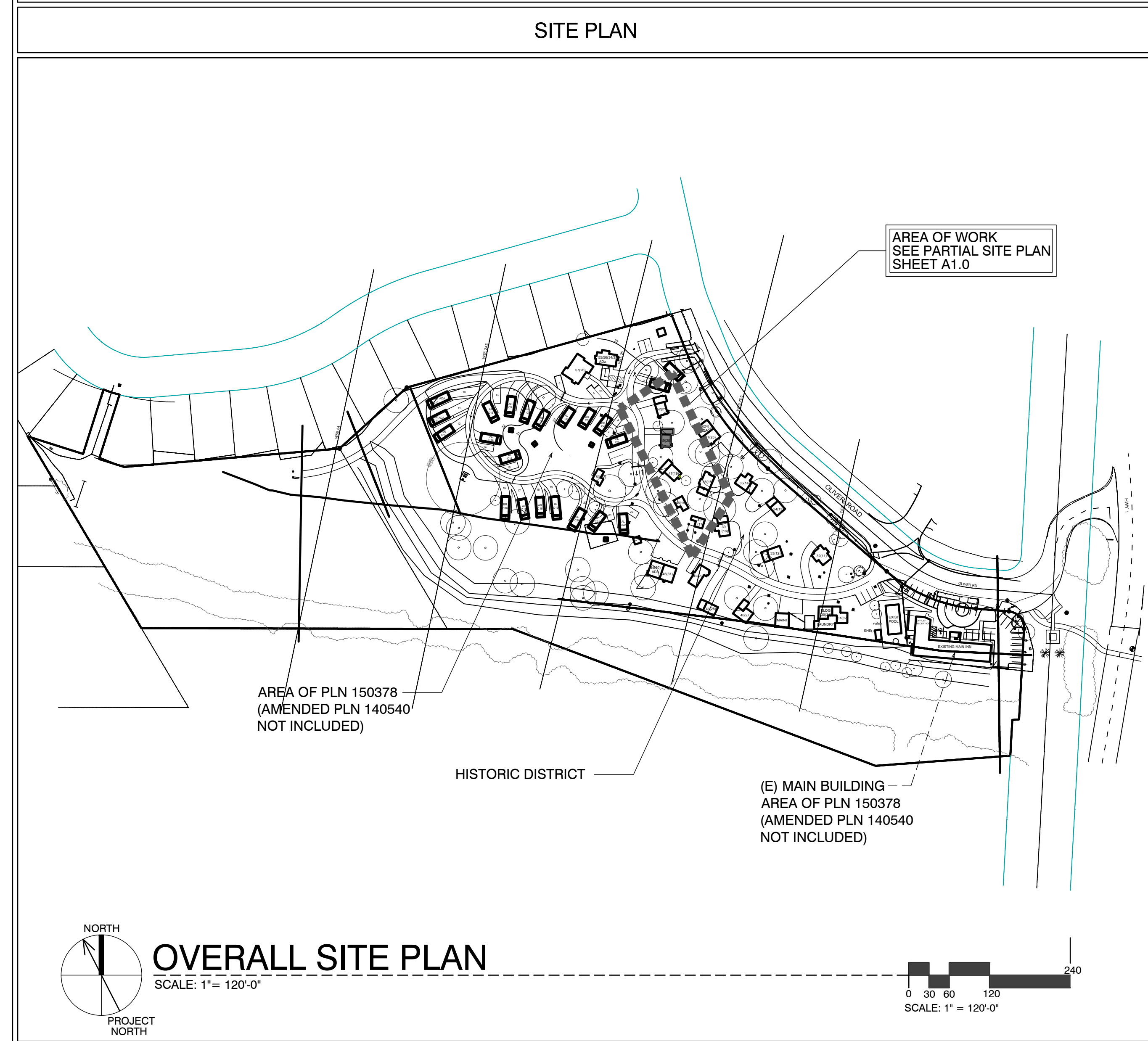
Drawn By: ML  
Drawing Date: 07/15/2025  
Project Number: 2502

Revisions: 1 08-29-2025  
2 03/10/26 HRRB

Sheet Title:  
**COVER SHEET PROJECT INFO**

Sheet Number:

# A0.1



SCOPE OF WORK	
•	REMODEL & ADDITION TO EXISTING / ORIGINAL COTTAGE 20
•	ADD NEW INSULATION IN WALLS @ EXTERIOR
•	ADDITIONS TO EXISTING COTTAGES. FOR MORE SPECIFIC SCOPE, SEE SHEETS A2.1, A3.1
SHEET INDEX	
ARCHITECTURAL	
A0.1	TITLE SHEET, SYMBOLS, PROJECT INFO
A2.1	UNIT #20 - DEMO, FLOOR, RCP & ROOF PLAN
A3.1	ELEVATIONS & SECTION
DEVELOPMENT ANALYSIS	
A.P.N.	009-563-005
ZONING:	DEVELOPED AREA: VSC-D(CZ) UNDEVELOPED AREA: RC-D(CZ) NOTE: SEE MASTER SITE PLAN FOR ZONING CLARIFICATION
FLOOD PLAIN:	COTTAGES UNITS #17 - #21 LIE BELOW THE 100 YEAR FLOOD PLAIN LINE (SEE PROJECT DESCRIPTION BELOW FOR LIMITS ON REMODEL)
GRADING CALCS:	NONE
TREE REMOVAL:	NONE
SEWER:	CARMEL AREA WASTE WATER DISTRICT
WATER:	(E) CAL-AM WATER SERVICE TO REMAIN

ABBREVIATIONS			
A	AND	DBL	DOUBLE
L	ANGLE	DEPT.	DEPARTMENT
AT	AT	DET.	DETAIL
CL	CENTERLINE	D.F.	DOUGLAS FIR
Ø	DIAMETER OR ROUND	D.H.	DOUBLE HUNG
⊘	PERPENDICULAR	DIA.	DIAMETER
∥	PARALLEL	DIMEN.	DIMENSION
#	POUND OR NUMBER	DISP.	DISPENSER
(E)	EXISTING	DN	DOWN
A.B.	ANCHOR BOLT	DRWG.	DRAWING
A.C.S.	ACRYLONITRILE BUTADIENE STYRENE	D.S.	DOWNSPOUT
A.C.	AIR CONDITIONING	DWR.	DRAWER
ACOUS.	ACOUSTICAL	E	EAST
ADJ.	ADJUSTABLE, ADJACENT	EA	EACH
AGGR.	AGGREGATE	ELEV.	ELEVATION, ELEVATOR
ALUM.	ALUMINUM	ELEC.	ELECTRIC (AL)
ANOD.	ANODIZED	EMER.	EMERGENCY
A.P.A.	AMERICAN PLYWOOD ASSOCIATION	ENCL.	ENCLOSURE
APPROX.	APPROXIMATE	EQUIP.	EQUIPMENT
ARCH.	ARCHITECT (URAL)	EXIST. (E)	EXISTING
BD.	BOARD	EXH.	EXHAUST
BIT.	BITUMINOUS	EXP.	EXPANDED EXPANSION
BLDG.	BUILDING	EXT.	EXTERIOR
BLK.	BLOCK	F.A.	FIRE ALARM
BLKG.	BLOCKING	FAST.	FASTEN, FASTENER
B.M.	BENCH MARK	F.B.	FLAT BAR
BM.	BEAM	F.D.	FLOOR DRAIN
BRG.	BOTTOM	FDN.	FOUNDATION
BRG.	BEARING	F.F.	FIRE EXTINGUISHER
BTRN.	BETWEEN	FIBERGL.	FIBERGLASS
B.W.	BOTH WAYS	FIN.	FINISH (ED)
CAB.	CABINET	F.H.M.S.	FLAT HEAD MACHINE SCREW
C.B.	CATCH BASIN	F.H.W.S.	FLAT HEAD WOOD SCREW
CEM.	CEMENT	FLASH.	FLASHING
CER.	CERAMIC	FLR.	FLOOR (ING)
C.F.	CUBIC FOOT	FLUR.	FLOOR (CENT)
CLKG.	CALLKING	F.O.	FACE OF
CL.	CLOSE	F.O.C.	FACE OF CONCRETE
CLG.	CLEAR (ANCE)	F.F.	FACE OF FINISH
COL.	COLUMN	F.O.M.	FACE OF MASONRY
COMP.	COMPOSITION	F.P.	FRIFRACE
CONC.	CONCRETE	F.S.	FULL SIZE
CONN.	CONNECT (ION)	FT.	FOOT OR FEET
CONSTR.	CONSTRUCT (ION)	FTG.	FOOTING
CONT.	CONTINUOUS	FURR.	FURRED (ING)
CORR.	CORRUGATED	GA.	GAUGE
CSMT.	CASEMENT	GALV.	GALVANIZED
CSWK.	CASEWORK	G.B.	GRAB BAR
C.T.	CERAMIC TILE	G.I.	GALVANIZED IRON
CTR.	COUNTER	GL.	GLASS, GLAZING
CTSK.	COUNTERSINK	GR.	GRADE, GRADING
C.Y.	CUBIC YARD	G.W.B.	GYPSUM WALLBOARD
H.B.	HOSE BIB	H.C.	HOLLOW CORE
HBD.	HARDBOARD	HDR.	HEADER
H.C.	HOLLOW CORE	HDWD.	HARDWOOD
HDR.	HEADER	HDWR.	HARDWARE
HDWD.	HARDWOOD	H.M.	HOLLOW METAL
HDWR.	HARDWARE	HORIZ.	HORIZONTAL
H.M.	HOLLOW METAL	HGT.	HEIGHT
HORIZ.	HORIZONTAL	HTG.	HEATING
HGT.	HEIGHT	H.W.	HOT WATER
HTG.	HEATING	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
H.W.	HOT WATER	I.C.B.O.	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	ID.	INSIDE DIAMETER
P.A.F.	POWDER ACTUATED FASTENER	INCL.	INCLUDED, INCLUDING
PART. BD.	PARTICLE BOARD	INSUL.	INSULATION
P.G.	PAINT GRADE	INT.	INTERIOR
PERF.	PERFORATED	INV.	INVERT
P.L.F.	POUNDS PER LINEAL FOOT	JAN.	JANITOR
P.L.	PROPERTY LINE	J.H.	JOIST HANGER
P.L. LAM.	PLASTIC LAMINATE	JT.	JOINT
PLAS.	PLASTER	KIT.	KITCHEN
PLY.	PLYWOOD	L.	LONG LENGTH
P.P.	POUNDS PER SQUARE FOOT	L.A.M.	LAMINATE, LAMINATED
P.S.I.	POUNDS PER SQUARE INCH	LAV.	LAVATORY
P.T.	PRESSURE TREATED	L.B.	LAG BOLT
PART.	PARTITION	LOC.	LOCATE, LOCATION
P.T.D.	PAPER TOWEL DISPENSER	LOC.	LOCATE, LOCATION
P.V.C.	POLYVINYL CHLORIDE	LOC.	LOCATE, LOCATION
R.	RISER (S)	LOC.	LOCATE, LOCATION
R.A.	RETURN AIR	LOC.	LOCATE, LOCATION
RAD.	RADIUS	LOC.	LOCATE, LOCATION
R.D.	ROOF DRAIN	LOC.	LOCATE, LOCATION
R.H.M.S.	ROUND HEAD METAL SCREW	LOC.	LOCATE, LOCATION
R.H.W.S.	ROUND HEAD WOOD SCREW	LOC.	LOCATE, LOCATION
RM.	ROOM	LOC.	LOCATE, LOCATION
RUB.	RUBBER	LOC.	LOCATE, LOCATION
RUB.	RUBBER	LOC.	LOCATE, LOCATION
R.W.D.	REDWOOD	LOC.	LOCATE, LOCATION
R.W.L.	RAIN WATER LEADER	LOC.	LOCATE, LOCATION
S.	SOUTH	LOC.	LOCATE, LOCATION
S.B.	SOLID BLOCKING	LOC.	LOCATE, LOCATION
S.C.	SOLID CORE	LOC.	LOCATE, LOCATION
SCHED.	SCHEDULE	LOC.	LOCATE, LOCATION
S.D.	STORM DRAIN	LOC.	LOCATE, LOCATION
SECT.	SECTION	LOC.	LOCATE, LOCATION
SERV.	SERVICE	LOC.	LOCATE, LOCATION
S.F.	SQUARE FEET (FOOT)	LOC.	LOCATE, LOCATION
S.G.	STAIN GRADE	LOC.	LOCATE, LOCATION
SH.	SHELF, SHELVING	LOC.	LOCATE, LOCATION
SHWR.	SHOWER	LOC.	LOCATE, LOCATION
SHT.	SHEET	LOC.	LOCATE, LOCATION
SHTG.	SHEATHING	LOC.	LOCATE, LOCATION
SIM.	SIMILAR	LOC.	LOCATE, LOCATION
S.S.	STAINLESS STEEL	LOC.	LOCATE, LOCATION
S.M.	SHEET METAL	LOC.	LOCATE, LOCATION
S.M.S.	SHEET METAL SCREW	LOC.	LOCATE, LOCATION
SPECS.	SPECIFICATIONS	LOC.	LOCATE, LOCATION
SQ.	SQUARE	LOC.	LOCATE, LOCATION
STL.	STEEL	LOC.	LOCATE, LOCATION
STD.	STANDARD	LOC.	LOCATE, LOCATION
STAG.	STAGGERED	LOC.	LOCATE, LOCATION
STOR.	STORAGE	LOC.	LOCATE, LOCATION
STRUCT.	STRUCTURAL	LOC.	LOCATE, LOCATION
SUSP.	SUSPENDED	LOC.	LOCATE, LOCATION
SYMETRICAL	SYMETRICAL	LOC.	LOCATE, LOCATION
SYM.	SYSTEM	LOC.	LOCATE, LOCATION
T.	TREAD (S)	LOC.	LOCATE, LOCATION
T.B.	TOWEL BAR	LOC.	LOCATE, LOCATION
T.C.	TOP OF CURB	LOC.	LOCATE, LOCATION
TEL.	TELEPHONE	LOC.	LOCATE, LOCATION
TEMP.	TEMPERED	LOC.	LOCATE, LOCATION
T.E.N.	TYPICAL EDGE MILING	LOC.	LOCATE, LOCATION
T.G.	TONGUE AND GROOVE	LOC.	LOCATE, LOCATION
T.G.R.	TOP OF GRATE	LOC.	LOCATE, LOCATION
T.H.	THICK (NESS)	LOC.	LOCATE, LOCATION
THRESH.	THRESHOLD	LOC.	LOCATE, LOCATION
T.O.	TOP OF	LOC.	LOCATE, LOCATION
T.P.	TOP OF PAVEMENT	LOC.	LOCATE, LOCATION
T.P.H.	TOILET PAPER HOLDER	LOC.	LOCATE, LOCATION
T.V.	TELEVISION	LOC.	LOCATE, LOCATION
T.W.	TOP OF WALL	LOC.	LOCATE, LOCATION
TYP.	TYPICAL	LOC.	LOCATE, LOCATION
U.B.C.	UNIFORM BUILDING CODE	LOC.	LOCATE, LOCATION
U.O.N.	UNDERWRITER'S LABORATORIES UNLESS OTHERWISE NOTED	LOC.	LOCATE, LOCATION
UR.	URINAL	LOC.	LOCATE, LOCATION
V.B.	VAPOR BARRIER	LOC.	LOCATE, LOCATION
VAR.	VARIABLE	LOC.	LOCATE, LOCATION
VERT.	VERTICAL	LOC.	LOCATE, LOCATION
V.G.	VERTICAL GRAIN	LOC.	LOCATE, LOCATION
V.T.	VINYL TILE	LOC.	LOCATE, LOCATION
W.	WEST	LOC.	LOCATE, LOCATION
W.W.	WOODWORK INSTITUTE OF CALIFORNIA	LOC.	LOCATE, LOCATION
W.D.	WOOD	LOC.	LOCATE, LOCATION
W.C.	WATER CLOSET	LOC.	LOCATE, LOCATION
W.	WITH	LOC.	LOCATE, LOCATION
W.W.	WATER HEATER	LOC.	LOCATE, LOCATION
W.P.	WATERPROOF	LOC.	LOCATE, LOCATION
W.R.	WATER RESISTANT	LOC.	LOCATE, LOCATION
W.S.	WOOD SCREW	LOC.	LOCATE, LOCATION
W.SCT.	WARRANTY	LOC.	LOCATE, LOCATION
WT.	WEIGHT	LOC.	LOCATE, LOCATION
W.W.M.	WELDED WIRE MESH	LOC.	LOCATE, LOCATION

SYMBOLS	
	DETAIL KEY DETAIL NUMBER SHEET NUMBER
	SECTION KEY SECTION NUMBER SHEET NUMBER
	INTERIOR ELEVATION KEY ELEVATION NUMBER SHEET NUMBER ARROWS INDICATE ELEVATIONS SHOWN
	OFFICE ROOM NAME ROOM NUMBER
	WORK POINT, CONTROL POINT, OR DATUM POINT
	MATCHLINE
	SHEET NOTE SYMBOL (SEE SHEET NOTES TABLE)
	DOOR NUMBER (SEE DOOR SCHEDULE)
	WINDOW SYMBOL (SEE WINDOW SCHEDULE)
	EQUIPMENT SYMBOL (SEE EQUIPMENT LIST)
	REVISION



PROJECT INFORMATION				
<b>OCCUPANCY CLASSIFICATION:</b>		<b>OCCUPANCY LOADS:</b>		
Building	Occupancy Group and Div.	Building Area	Factor	Load
UNIT #20	R1	UNIT #20	300	2'
<b>OCCUPANCY SEPARATIONS:</b>		NONE		
<b>TYPE OF USE:</b>		MOTEL		
<b>TYPE OF CONSTRUCTION:</b>		V-B		
<b>SPRINKLERS REQUIRED:</b>		YES, NFPA 13-D		
<b>APPLICABLE CODES:</b>				
2022 California Building Code (CBC)				
2022 California Residential Code (CRC)				
2022 California Electrical Code (CEC)				
2022 California Mechanical Code (CMC)				
2022 California Plumbing Code (CPC)				
2022 California Fire Code (CFC)				
Title 24				
PROJECT DIRECTORY				
<b>PROJECT OWNER</b>		<b>PROJECT ARCHITECT</b>		
CARMEL INN VENTURES P.O. BOX 1796 CARMEL VALLEY, CA 93924 CONTACT: JOY BERRY / JAMES FLAGG PHONE: (949) 500-7069		THE PAUL DAVIS PARTNERSHIP 286 ELDORADO STREET MONTEREY, CA. 93940 PHONE: (831) 373-2784 FAX: (831) 373-7459 info@pauldavispartnership.com CONTACT: PAUL E. DAVIS		

# CARMEL RIVER INN

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APN: 009-563-005

# COTTAGE REMODEL #20/49 revised

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Drawn By: ML  
Drawing Date: 07/15/2025  
Project Number: 2502  
Revisions:  
1 08-29-2025  
2 03/10/26 HRRB

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Sheet Title:  
**UNIT #20 FLOOR PLAN**

Sheet Number:

### DEMO NOTES

- WALLS, WINDOWS, DOORS, BATHROOM, WATER HEATER & CLOSET SHOWN PREVIOUSLY REMOVED.
- ROOF PREVIOUSLY REMOVED.
- REMOVE SUBFLOOR THAT IS WATER DAMAGED FROM PREVIOUS FIRE.

### FIRE SPRINKLER CALCS

(E) TOTAL LINEAL FOOTAGE = 74'-8"  
TOTAL LINEAL FOOTAGE DEMOLISHED, ADDED OR REPLACED = 28'-1 1/2"  
TOTAL DEMO = 37.6%

NOTE: FIRE SPRINKLERS NOT REQUIRED

### DEMOLITION LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED

### ELECTRICAL LEGEND

- DUPLEX OUTLET
- HALF SWITCHED OUTLET
- DEDICATED CIRCUIT (20 amps)
- 220 VOLT OUTLET
- OUTLET w/ GROUND FAULT CIRCUIT INTERRUPTER
- OUTLET WITH WEATHERPROOF ENCLOSURE & GFI
- TELEPHONE JACK
- HIGH SPEED DATA LINE
- THERMOSTAT CONTROL
- TELEVISION CABLE
- GAS OUTLET
- KEY VALVE
- HOSE BIBB VALVE
- WALL MOUNTED GAS HEATER

- NOTES:
- NOT ALL THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS WORK.
  - ELECTRICIAN TO CONDUCT AN ON-SITE WALK THROUGH WITH OWNERS TO DETERMINE FINAL FIXTURE LOCATIONS.
  - PLUMBING PIPELINES UTILIZED AS AN ELECTRICAL GROUND ARE PROHIBITED.

### WET-FLOOD PROOFING AND UNDER FLOOR VENTING REQUIREMENTS

- Foundation Walls - Provide foundation vents around perimeter of 1 sq. in. net opening/ 1 SF of enclosed area. Note: The space below the floor is only 12" ±
- The floor framing will be pressure-treated wood. Future buildings (not including Building 13 & 16) will have all wood framing below 1 foot above flood line pressure-treated lumber with vent holes at top and bottom of stud spaces.
- The exterior siding and trim will be redwood, which is rot resistant.
- The inside wall finish will be paperless gypsum board mold and moisture resistant, which has a three-month in place exposure warranty.
- Mold resistant paint will be used exterior and interior.
- Flooring will be tile in bathrooms and carpet in living/sleeping area over pad - non glue-down.

### ELECTRICAL NOTE:

Arc-fault circuit-interrupter protection - All 120-volt 15 & 20 ampere or branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or area shall be protected by a listed arc-fault circuit interrupter combination-type. Guestrooms (210-18) & guest suites that are provided with permanent provisions for cooking shall have AFCI. [210-12 (B)]

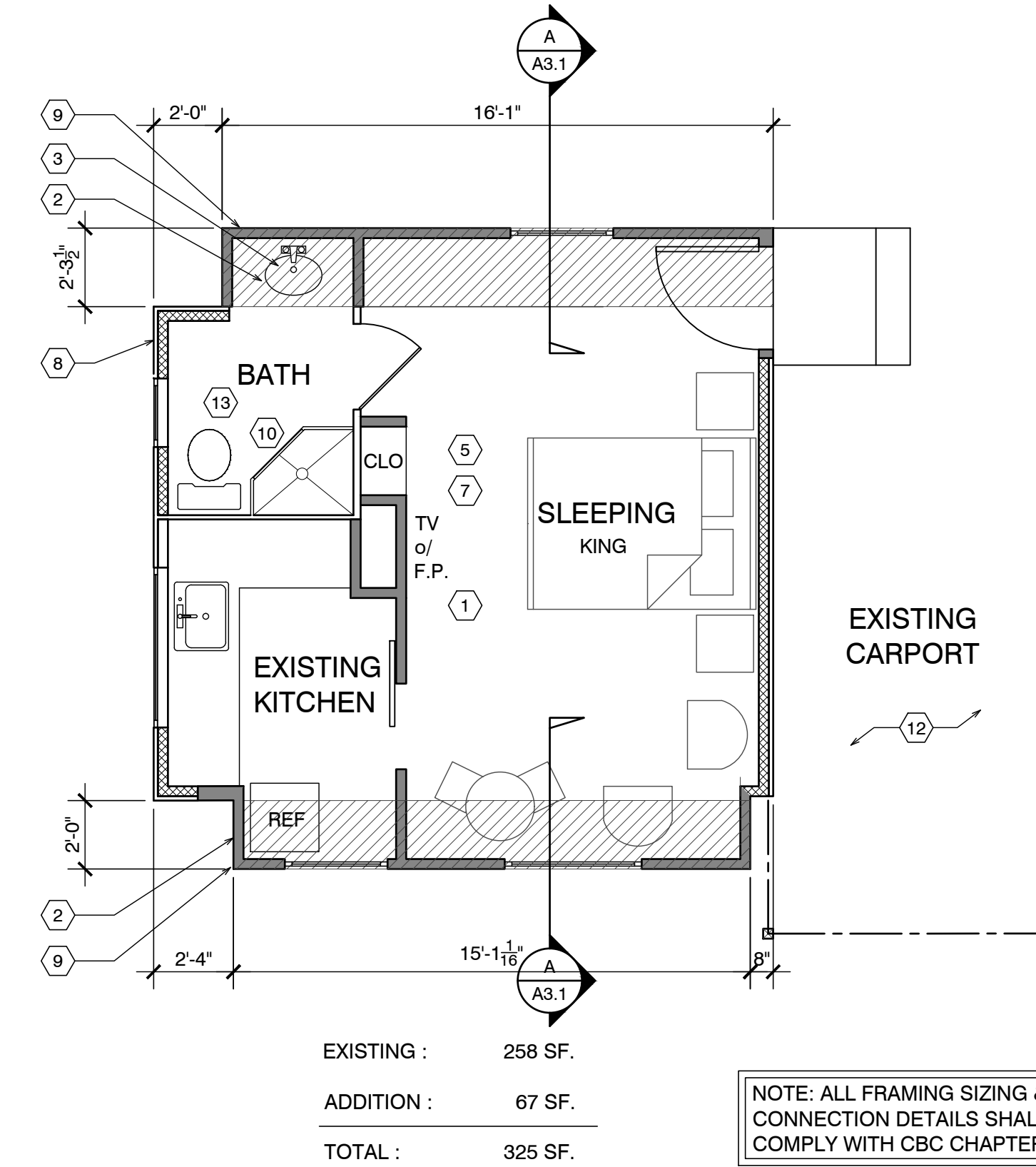
### RCP NOTES

- (E) CEILING & LIGHTING TO REMAIN IN THIS ROOM
- REPLACE EXISTING 50 AMP PANEL WITH (N) 50 AMP PANEL
- ALL NEW CEILINGS TO HAVE 1/2" GYP. BD. W/ FINISH SPEC'D BY OWNER
- SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP. 25,000 BTU 100 CFM. HEATILATOR GC1990

### RCP LEGEND

- SINGLE POLE SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- DIMMER SWITCH
- RECESSED LIGHT FIXTURE
- RECESSED WALL WASHER
- SURFACE MOUNTED FIXTURE
- PENDANT FIXTURE
- EXHAUST FAN
- COMBINATION LIGHT & EXHAUST FAN FIXTURE
- WALL MOUNTED FIXTURE
- SMOKE DETECTOR- 110V- HARDWIRE w/ BATTERY BACK-UP- TYP U.O.N.
- COVE OR INDIRECT LIGHT FIXTURE
- UNDERCABINET MOUNTED FIXTURE
- FLUORESCENT TUBE

FOUNDATION VENT CALCULATION:  
32 SF / 150 = .21 SF REQUIRED  
PROVIDE (2) 15.5"x4.5" VENTS @ .156 SF EA. = 3.12 SF



### FLOOR NOTES

- (E) FLOOR AREA TO REMAIN
- NEW ADDITION SHOWN SHADED
- (N) SINK & COUNTER
- (N) UNDER-COUNTER REFRIGERATOR
- SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP. 25,000 BTU 100 CFM. HEATILATOR GC1990
- (N) WALL MOUNTED TANK-LESS WATER HEATER.
- FLAT PANEL TV MOUNTED ABOVE FIREPLACE
- ALL (E) EXTERIOR WALLS TO REMAIN, SHALL REMAIN AS SINGLE WALL CONSTRUCTIO. ADD NEW 2x4 @ 16" O.C. W/R13 INSULATION
- ALL NEW WALLS TO BE FULL 2X STUD CONSTRUCTION (SEE SECTION & DETAILS SHT. A3.1). ADD 3/4" P.S. ON INTERIOR OF EXTERIOR WALLS AS NOTED BELOW.
- (N) 3' x 3' SHOWER TEMPERED GLASS DOOR & ENCLOSURE
- NEW (FULL HIGHT. TILE) SHOWER SEE DETAIL 5/A4.1 (OWNER SHALL PROVIDE TILE SPEC)
- NOT USED
- ALL BATH & KITCHENETTE OUTLETS TO BE GFIC RATED
- NEW ADDITION UNDER EXISTING ROOF
- 2x6 P.T. FLOOR JOIST @ 16" O.C.

### FLOOR PLAN UNIT 20



### WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW FRAMED WALL
- EXISTING WALL TO BE REMOVED

### ADD/REMODEL AS REQUIRED BY EXISTING CONDITIONS

FLOOR SYSTEM: 2 X 4 FOOT MUDSILL WITH 5/8" X 10" AB @ 12" FROM ENDS AND 48" O.C. IN FIELD. w/ 3x3x3/8" SQ. WASHER. 2 X 6 DF PT FLOOR JOISTS @ 16" O.C. MAX. SPAN 7'-6" OVER 4 X 6 DF PT CENTER BEAM AT POSTS AND PIERS. FLOOR INSULATION R-19 WITH 3/4" ADVANTEC WATERPROOF PLYWOOD OVER JOISTS.

WALL FRAMING: 2 X 4 DF @ 16" O.C. WITH 4 X 4 HEADERS U.O.N. OVER OPENINGS. WALL FRAMING @ UNIT 14 TO BE PRESSURE TREATED DRILL 1"Ø HOLES THRU BOT. PLATE & TOP PLATE @ EACH STUD SPACE ADD 5/8" ROUGH SAWN EXT. GRADE PLYWOOD w/ 10d @ 6" o.c. @ EDGE & 10d @ 12" o.c. @ FIELD, TYP. w/ HORIZ. METAL STRAPPING ACROSS OPENINGS AT LEAST 2 STUDS EA. SIDE BEYOND.  
ROOF SYSTEM: 2 X 6 @ 16" O.C. WITH H-1 TIES 2 X 8 RIDGE AND 2 X 6 COLLAR TIES UP 32" FROM TOP PLATE. 5/8" OSB ROOF SHEATHING WITH H CLIPS WITH 1 X 8 X T&G AT OVERHANG AND CARPORT. CARPORT BEAMS 4 X 10 OVER 4 X 4 POST WITH POST CAP. W/ RAFTER TIES @ 4'-0" O.C. - SIM. TO HOUSE ROOF BRACE CORNERS WITH DIAGONAL MEMBER @ CORNER FASTENERS 2'-0" FROM CORNERS OF BOTH BEAMS

### ROOF NOTES

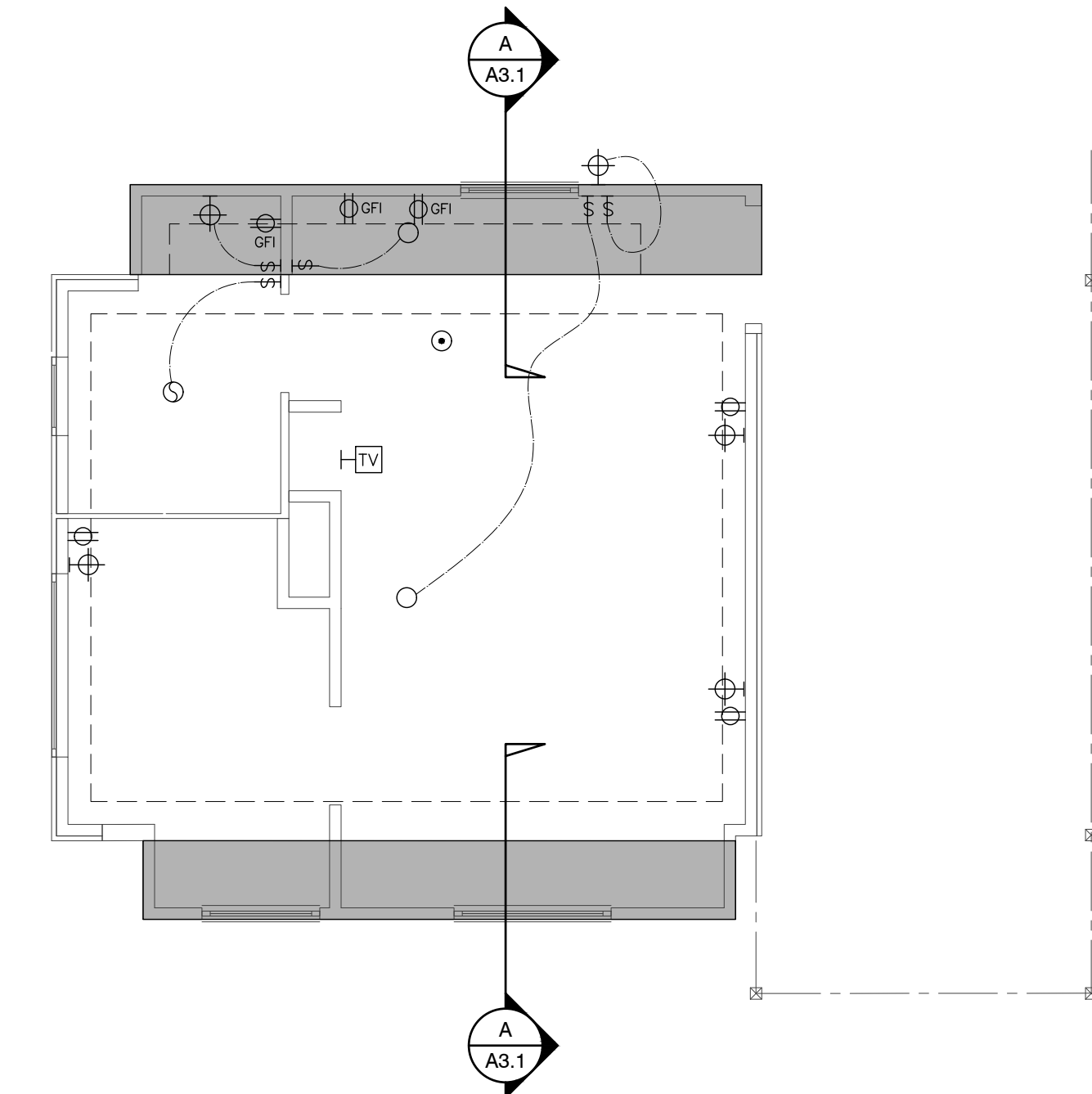
- (N) ROOF FRAMING TO MATCH (E) HISTORIC COTTAGES. 2x6 @ 24" w/ 5/8" PLYWOOD.
- (N) ROOF OVER ADDITION
- FRAME/FINISH GABLE ROOF TO MATCH ORIGINAL, TYP.
- BEAM
- OUTLINE OF ROOF, TYP.
- 4X4 POST ON PIERS w/ POST BASE AND CAP, TYP.
- NOT USED
- NOT USED
- NOT USED

### DEMO PLAN UNIT 20

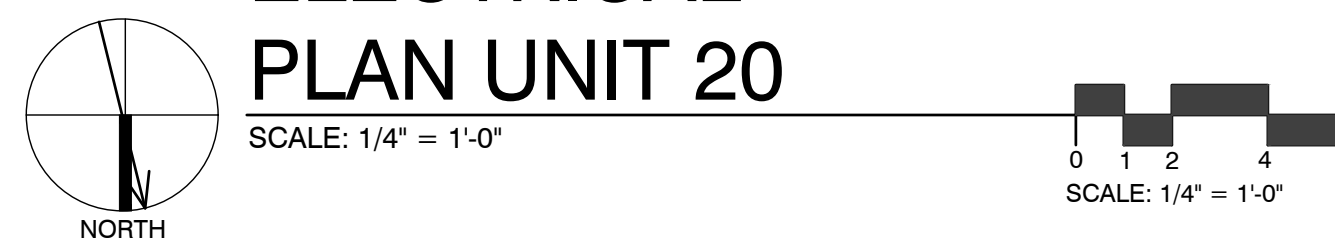


SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



### ELECTRICAL PLAN UNIT 20



SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

### FND. PLAN UNIT 20



SCALE: 1/4" = 1'-0"

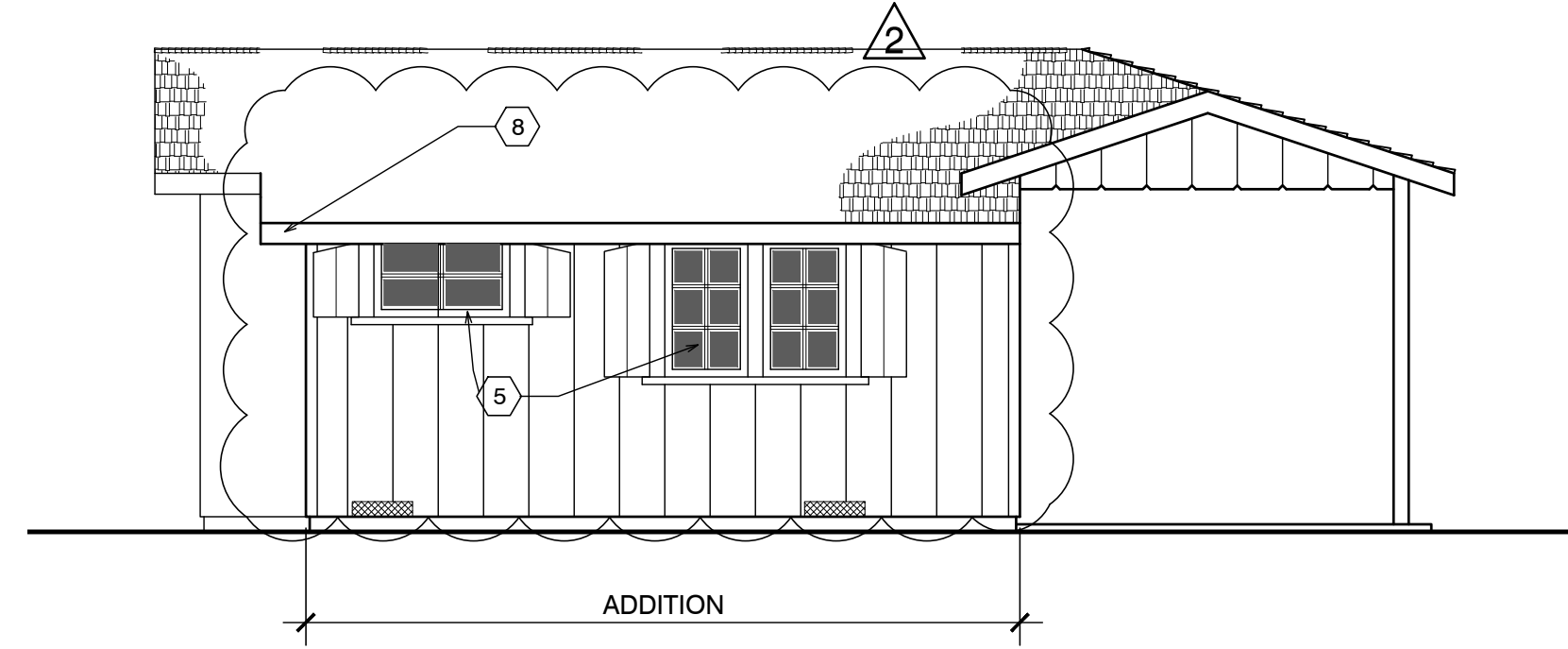
SCALE: 1/4" = 1'-0"

### ROOF PLAN UNIT 20



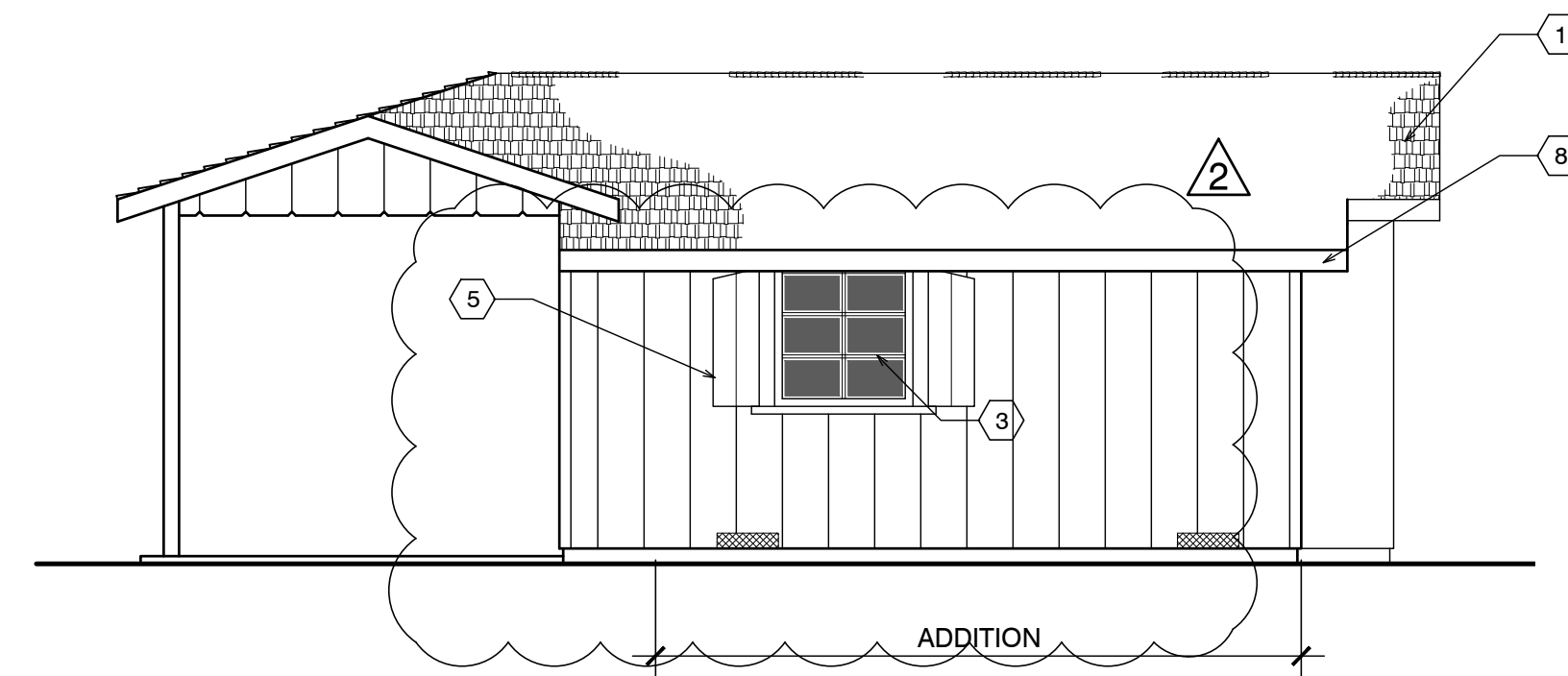
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



SIDE ELEVATION

1. The historic character of the property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
2. Changes to a historic property that have acquired historic significance in their own right will be retained and preserved.
3. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
4. Deteriorated features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
5. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
6. New additions and adjacent or related new construction will be undertaken in such a manner, that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



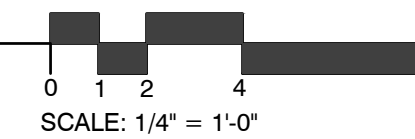
FRONT ELEVATION



SIDE ELEVATION

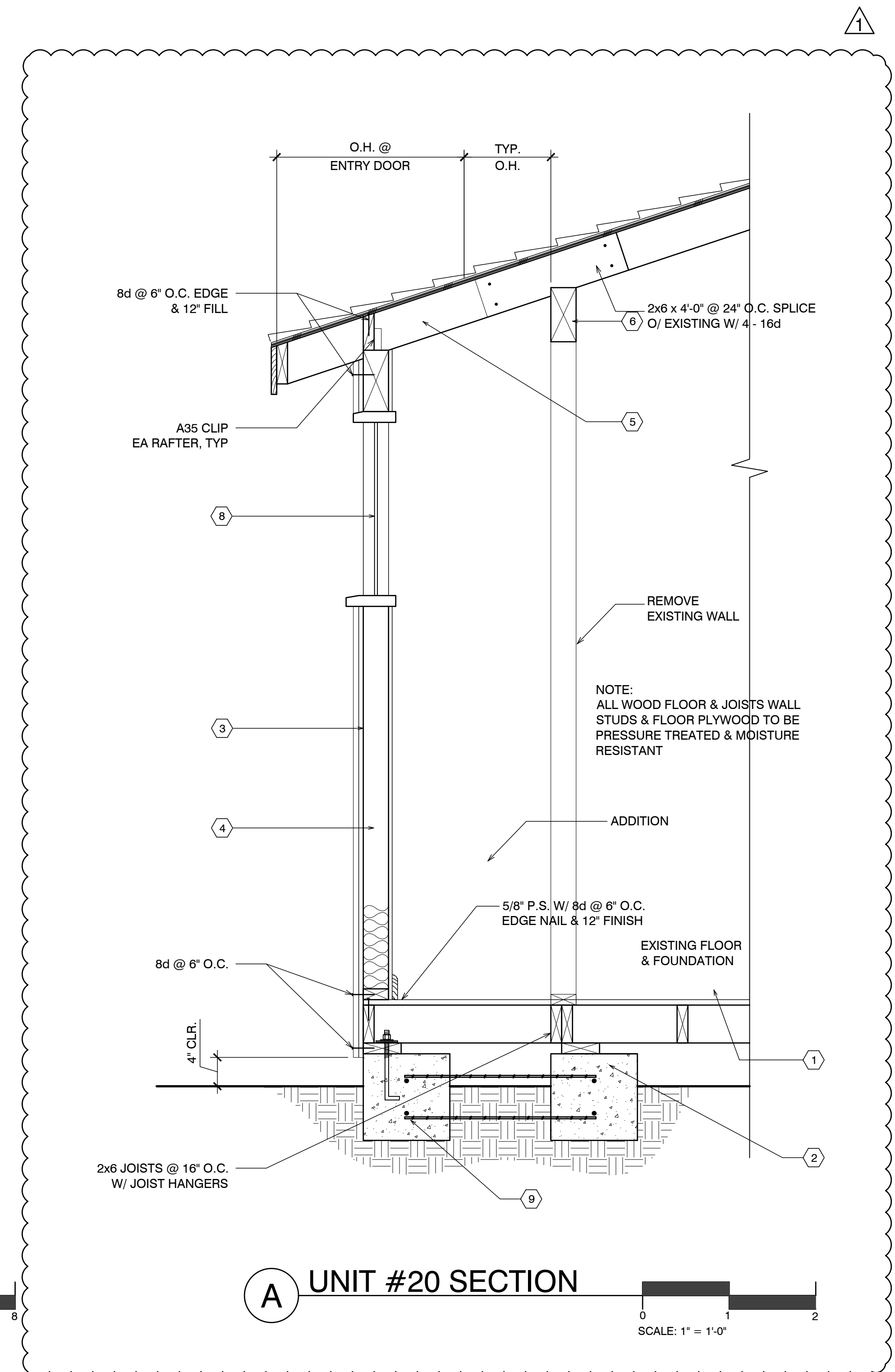
EXTERIOR ELEVATIONS UNIT #20

SCALE: 1/4" = 1'-0"

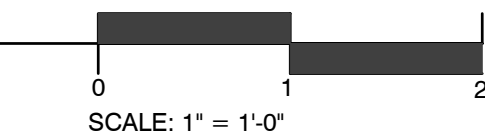


SHEET NOTES

1. (E) FLOOR FRAMING TO REMAIN (EXCEPT WHERE REPAIRS ARE NEEDED, AS DETERMINED IN THE FIELD) - ALL NEW FLOOR FRAMING TO BE PRESS-TREATED
2. (E) FOUNDATION TO REMAIN, TYP. REPLACE WHERE DETERMINED
3. NEW WALLS- 1X12 BOARDS O/ONE LAYER #30 FELT, O/2X4 FRAMING @ 16" O.C., TYP. ALL WALL FRAMING TO BE DFPT. ADD 3/8" P.S. ON INSIDE OF EXTERIOR WALLS
4. R-13 BATT INSULATION @ ALL NEW WALLS, TYP. ADD 3/8" P.S. AT INTERIOR OF NEW WALLS
5. REUSE EXISTING WINDOW & SHUTTERS MATCH EXISTING
6. NEW 6x8 & BTR D.F. HEADER
7. EXTEND EXISTING OVERHANG @ FRONT DOOR OVER ADDITION W/ 2x 6'-0" LONG WALL TO EXISTING W/ 10-16d
8. PAINTED REDWOOD 1/8" FASCIA WITH STRAIGHT EDGE THAT DOESNT MATCH (E)
9. NEW 12"x12" CONC. FTG. W/ #4 REBAR TOP & BOT. TIE NEW TO EXISTING W/ 6" DOWEL @ TOP & BOT.



UNIT #20 SECTION



Project / Owner:

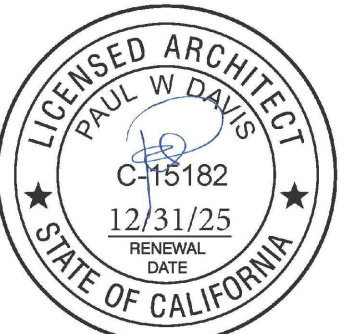
CARMEL RIVER INN

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APN: 009-563-005

COTTAGE REMODEL #20/49 revised

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Drawn By: ML  
Drawing Date: 07/15/2025  
Project Number: 2502

Revisions: 1 08-29-2025  
2 03/10/26 HRRB

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Sheet Title:  
UNIT #20 ELEVATIONS

Sheet Number:

# CARMEL RIVER INN

## COTTAGE UNIT #21 (now 52) REMODEL/ADDITION

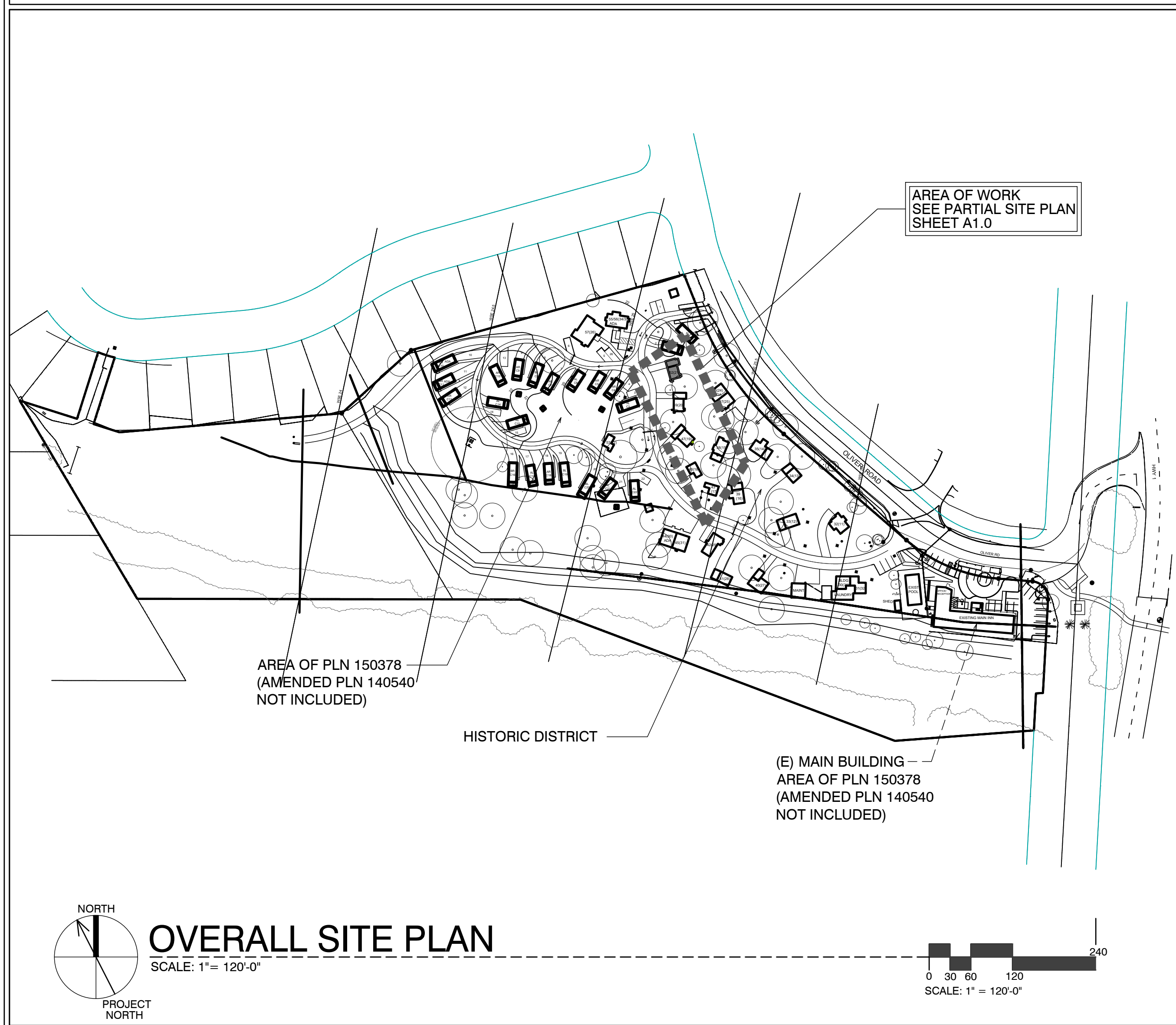
Project / Owner:

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### COTTAGE REMODEL #21/now #52

#### SITE PLAN



#### SHEET INDEX



#### SCOPE OF WORK

- REMODEL & ADDITION TO EXISTING / ORIGINAL COTTAGE 21
- ADD NEW INSULATION IN WALLS @ EXTERIOR
- ADDITIONS TO EXISTING COTTAGES. FOR MORE SPECIFIC SCOPE, SEE SHEETS A2.1 & A3.1

#### SHEET INDEX

ARCHITECTURAL	
A0.1	TITLE SHEET, SYMBOLS, PROJECT INFO
A2.1	UNIT #21 - DEMO, FLOOR, RCP & ROOF PLAN
A3.1	ELEVATIONS & SECTION

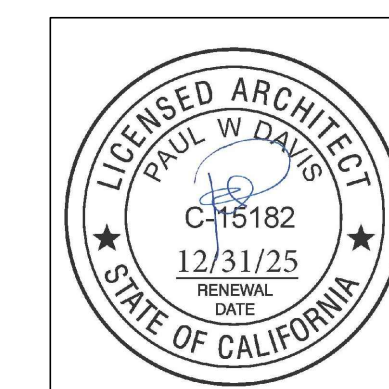
#### DEVELOPMENT ANALYSIS

A.P.N.	009-563-005
ZONING:	DEVELOPED AREA: VSC-D(CZ) UNDEVELOPED AREA: RC-D(CZ) NOTE: SEE MASTER SITE PLAN FOR ZONING CLARIFICATION
FLOOD PLAIN:	COTTAGES UNITS #17 - #21 LIE BELOW THE 100 YEAR FLOOD PLAIN LINE (SEE PROJECT DESCRIPTION BELOW FOR LIMITS ON REMODEL)
GRADING CALCS:	NONE
TREE REMOVAL:	NONE
SEWER:	CARMEL AREA WASTE WATER DISTRICT
WATER:	(E) CAL-AM WATER SERVICE TO REMAIN

### THE PAUL DAVIS PARTNERSHIP

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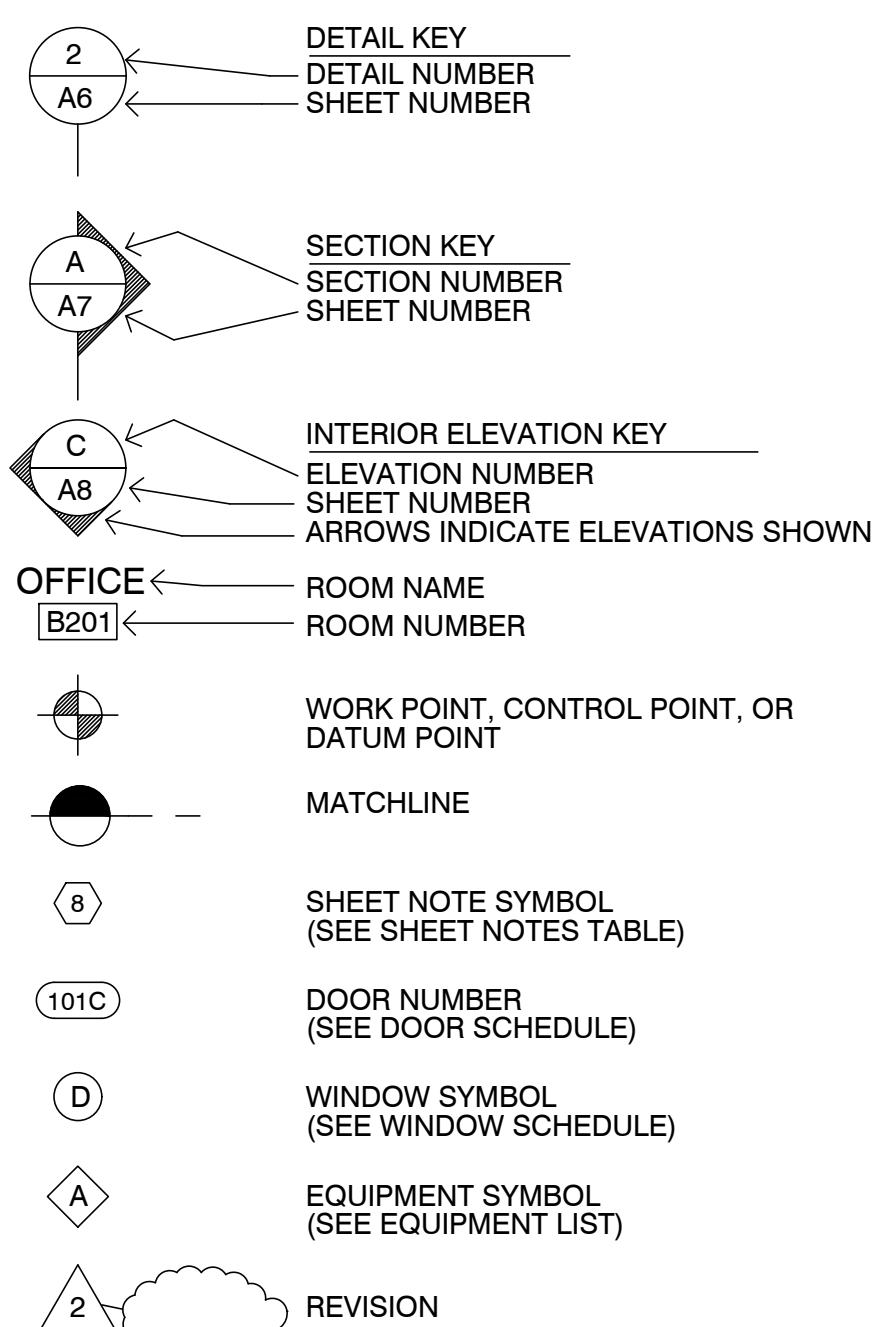


Drawn By: ML  
Drawing Date: 07/15/2025  
Project Number: 2502

#### ABBREVIATIONS

A	AND	DBL	DOUBLE	H.B.	HOSE BIB	O/	OVER	SIM.	SIMILAR
L	ANGLE	DEPT.	DEPARTMENT	HBD.	HARDBOARD	OBS.	OBSCURE	S.S.	STAINLESS STEEL
AT	AT	DET.	DETAIL	H.C.	HOLLOW CORE	O.C.	ON CENTER	S.M.	SHEET METAL
CL	CENTERLINE	D.F.	DOUGLAS FIR	HDR.	HEADER	O.D.	OUTSIDE DIAMETER	S.M.S.	SHEET METAL SCREW
Ø	DIAMETER OR ROUND	D.H.	DOUBLE HUNG	HDWD.	HARDWOOD	O.F.	OFFICE	SPCS.	SPECIFICATIONS
Ø	DIAMETER	DAG.	DIAGONAL	HDWR.	HARDWARE	O.H.M.S.	OVALHEAD MACHINE SCREW	SQ.	SQUARE
⊥	PERPENDICULAR	DIA.	DIAMETER	H.M.	HOLLOW METAL	O.H.W.S.	OVALHEAD WOOD SCREW	STL.	STEEL
	PARALLEL	DIMEN.	DIMENSION	HORIZ.	HORIZONTAL	OPNG.	OPENING	STD.	STANDARD
#	POUND OR NUMBER	DISP.	DISPENSER	HOT	HEIGHT	OPP.	OPPOSITE	STAG.	STAGGERED
(E)	EXISTING	DN	DOWN	HTG.	HEATING	O.S.B.	ORIENTED STRAND BOARD	STOR.	STORAGE
A.B.	ANCHOR BOLT	DRWG.	DRAWING	H.W.	HOT WATER	P.A.F.	POWDER ACTUATED FASTENER	STRUC.	STRUCTURAL
A.C.	ACRYLONITRILE BUTADIENE STYRENE	D.S.	DOWNSPOUT	H.V.A.C.	HEATING, VENTILATING, AND AIR CONDITIONING	P.A.T. BD	PARTICLE BOARD	SUSP.	SUSPENDED
A.C.	ASPHALTIC CONCRETE	DWR.	DRAWER	I.C.B.O.	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS	P.F.	PERFORATED	SYMETR.	SYMMETRICAL
ACUS.	AIR CONDITIONING	E	EAST	I.D.	INSIDE DIAMETER	P.L.F.	POUNDS PER LINEAL FOOT	SYM.	SYSTEM
ADJ.	ADJUSTABLE, ADJACENT	EA	EACH	INCL.	INCLUDED, INCLUDING	P.L.	PROPERTY LINE	T.	TREAD (S)
AGGR.	AGGREGATE	ELEV.	ELEVATION, ELEVATOR	INSUL.	INSULATION	P.L. LAM.	PLASTIC LAMINATE	T.B.	TOWEL BAR
ALUM.	ALUMINUM	ELEC.	ELECTRIC (AL)	INT.	INTERIOR	PLAS.	PLASTER	T.C.	TOP OF CURB
ANOD.	ANODIZED	EMER.	EMERGENCY	INV.	INVERT	PLY.	PLYWOOD	TEL.	TELEPHONE
A.P.A.	AMERICAN PLYWOOD ASSOCIATION	ENCL.	ENCLOSURE	JAN.	JANITOR	P.R.	PAIR	TEMP.	TEMPERED
APPROX.	APPROXIMATE	EQUIP.	EQUIPMENT	J.H.	JOIST HANGER	P.S.F.	POUNDS PER SQUARE FOOT	T.E.N.	TYPICAL EDGE MILING
ARCH.	ARCHITECT (URAL)	EXH.	EXHAUST	JT.	JOINT	P.S.I.	POUNDS PER SQUARE INCH	T.G.	TOP OF GRATE
BD.	BOARD	EXP.	EXPOSED EXPANSION	KIT.	KITCHEN	P.T.	PRESSURE TREATED	T.H.	THICK (NESS)
BIT.	BITUMINOUS	EXT.	EXTERIOR	L.	LONG LENGTH	P.T.D.	PAPER TOWEL DISPENSER	THRESH.	THRESHOLD
BLDG.	BUILDING	F.A.	FIRE ALARM	L.A.M.	LAMINATE, LAMINATED	P.V.C.	POLYVINYL CHLORIDE	T.O.	TOP OF
BLK.	BLOCK	FAST.	FASTEN, FASTENER	LAV.	LAVATORY	R.	RISER (S)	T.P.	TOP OF PAVEMENT
BLKG.	BLOCKING	F.B.	FLAT BAR	LAV.	LAVATORY	R.A.	RETURN AIR	T.P.H.	TOILET PAPER HOLDER
B.M.	BENCH MARK	F.D.	FLOOR DRAIN	LAV.	LAVATORY	R.D.	ROUND HEAD METAL SCREW	T.V.	TELEVISION
BM.	BENCH MARK	FDN.	FOUNDATION	L.B.	LAG BOLT	R.H.W.S.	ROUND HEAD WOOD SCREW	T.W.	TOP OF WALL
BRG.	BEARING	F.F.	FIRE EXTINGUISHER	L.C.	LOCATE, LOCATION	RM.	ROOM	TYP.	TYPICAL
BTRN.	BETWEEN	FIBERGL.	FIBERGLASS	L.W.	LAG WEIGHT	REQD.	REQUIRED	U.B.C.	UNIFORM BUILDING CODE
B.W.	BOTH WAYS	FIN.	FINISH (ED)	M.A.S.	MASONRY	REF.	REFRIGERATOR	U.O.N.	UNDERWRITER'S LABORATORIES UNLESS OTHERWISE NOTED
BTS.	BOTTOM	F.H.M.S.	FLAT HEAD MACHINE SCREW	MAT.	MATERIAL (S)	REIN.	REINFORCED, REINFORCING	UR.	URINAL
BTWN.	BETWEEN	F.H.W.S.	FLAT HEAD WOOD SCREW	MAX.	MAXIMUM	REIN.	REINFORCED	V.B.	VAPOR BARRIER
B.W.	BOTH WAYS	FLASH.	FLASHING	M.B.	MACHINE BOLT	REQD.	REQUIRED	VAR.	VARIABLE
CAB.	CABINET	FLR.	FLOOR (ING)	M.C.	MEDICINE CABINET	REMT.	REQUIREMENT	V.G.	VERTICAL
C.B.	CATCH BASIN	FLDR.	FLOOR DR	M.H.	MAN HOLE	RESL.	RESILIENT	V.GT.	VERTICAL GRAN
CEM.	CEMENT	F.O.	FACE OF	M.I.W.	MALLEABLE IRON WASHER	R.S.	RESAWN	VR.	VERTICAL
CER.	CERAMIC	F.O.C.	FACE OF CONCRETE	M.O.	MASONRY OPENING	RUB.	RUBBER	W.	WIDTH
C.F.	CUBIC FOOT	F.F.	FACE OF FINISH	M.T.	METAL	R.W.	REDWOOD	W/	WITH
C.I.	CAST IRON	F.O.S.	FACE OF STUDS	MULL.	MULLION	R.W.L.	RAIN WATER LEADER	W.C.	WATER CLOSET
CLKG.	CALLKING	F.P.	FIREPLACE	N.	NORTH	S.	SOUTH	WD.	WOOD
CLG.	CEILING	F.S.	FULL SIZE	N.A.T.	NATURAL	S.C.	SOLID CORE	W.D.	WOODWORK INSTITUTE OF CALIFORNIA
CL.	CLOSE	F.T.	FOOT OR FEET	N.A.T.	NATURAL	S.D.	STORM DRAIN	W.H.	WINDOW
CLR.	CLEAR (ANCE)	FTG.	FOOTING	N.A.T.	NATURAL	S.E.	SQUARE FEET (QT.)	W.P.	WATERPROOF
COL.	COLUMN	FURR.	FURRED (ING)	N.A.T.	NATURAL	S.F.	SQUARE FEET (FOOT)	W.R.	WATER RESISTANT
COMP.	COMPOSITION	GA.	GAUGE	N.A.T.	NATURAL	S.G.	STAIN GRADE	W.S.	WOOD SCREW
CONC.	CONCRETE	GALV.	GALVANIZED	N.A.T.	NATURAL	S.H.	SHELF, SHELVING	W.SCT.	W/STAINCOT
CONN.	CONNECT (ION)	G.B.	GRAB BAR	N.A.T.	NATURAL	SHWR.	SHOWER	WT.	WEIGHT
CONSTR.	CONSTRUCT (ION)	G.I.	GALVANIZED IRON	N.A.T.	NATURAL	SHT.	SHEET	W.W.M.	WELDED WIRE MESH
CORR.	CORRUGATED	G.W.B.	GYPSSUM WALLBOARD	N.A.T.	NATURAL	SHTG.	SHEATHING		
CSMT.	CASEMENT			N.A.T.	NATURAL				
CSWK.	CASEWORK			N.A.T.	NATURAL				
C.T.	CERAMIC TILE			N.A.T.	NATURAL				
CTR.	COUNTER			N.A.T.	NATURAL				
CTSK.	COUNTERSINK			N.A.T.	NATURAL				
C.Y.	CUBIC YARD			N.A.T.	NATURAL				

#### SYMBOLS



#### VICINITY MAP



#### PROJECT INFORMATION

OCCUPANCY CLASSIFICATION:		OCCUPANCY LOADS:		
Building	Occupancy Group and Div.	Building Area	Factor	Load
UNIT #21	R1	UNIT #21	300	2'
OCCUPANCY SEPARATIONS:		NONE		
TYPE OF USE:		MOTEL		
TYPE OF CONSTRUCTION:		V-B		
SPRINKLERS REQUIRED:		YES, NFPA 13-D		
APPLICABLE CODES:				
2022 California Building Code (CBC)				
2022 California Residential Code (CRC)				
2022 California Electrical Code (CEC)				
2022 California Mechanical Code (CMC)				
2022 California Plumbing Code (CPC)				
2022 California Fire Code (CFC)				
Title 24				

#### PROJECT DIRECTORY

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info@pauldavispartnership.com  
CONTACT: PAUL E. DAVIS

Revisions:  
1/30/2026 PLAN CHECK RESPONSE  
3/10/26 HRRB

### COVER SHEET PROJECT INFO

Sheet Number:

A0.1

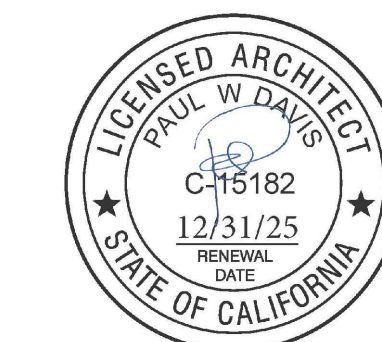
# CARMEL RIVER INN

U.S. HIGHWAY 1  
@ CARMEL RIVER BRIDGE  
P.O. BOX 221609  
CARMEL, CA 93922  
APN: 009-563-005

# COTTAGE REMODEL #21/now #52

## THE PAUL DAVIS PARTNERSHIP ARCHITECTS & PLANNERS

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Drawn By: ML  
Drawing Date: 07/15/2025  
Project Number: 2502

Revisions:  
1/30/2026 PLAN CHECK RESPONSE  
3/10/26 HRRB

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Sheet Title:  
**UNIT #21/52 FLOOR PLAN**

Sheet Number:

### FLOOR NOTES

- (E) FLOOR AREA TO REMAIN
- NEW ADDITION SHOWN SHADED
- (N) SINK & COUNTER
- (N) UNDER-COUNTER REFRIGERATOR
- SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP. 25,000 BTU 100 CFM. HEATILATOR GC1990 W/ SHUTOFF THERMOSTAT ON WALL ENCLOSURE TO MINIMAL.
- (E) WALL MOUNTED TANK-LESS WATER HEATER RE-BUILD ENCLOSURE TO MINIMAL.
- FLAT PANEL TV MOUNTED ABOVE FIREPLACE
- ALL (E) EXTERIOR WALLS TO REMAIN, SHALL REMAIN AS SINGLE WALL CONSTRUCTION. ADD NEW 2x4 @ 16" O.C. W/R13 INSULATION
- ALL NEW WALLS TO BE FULL 2X STUD CONSTRUCTION (SEE SECTION & DETAILS SHT. A3.1). ADD 3/8" P.S. ON INTERIOR OF EXTERIOR WALLS AS NOTED BELOW.
- (N) 3' x 3' SHOWER TEMPERED GLASS DOOR & ENCLOSURE
- NEW (FULL HGHT. TILE) SHOWER SEE DETAIL 5/A4.1 (OWNER SHALL PROVIDE TILE SPEC)
- NOT USED
- ALL BATH & KITCHENETTE OUTLETS TO BE GFCI RATED
- NEW ADDITION UNDER EXISTING ROOF
- 2x6 P.T. FLOOR JOIST @ 16" O.C.
- RE USE EXISTING 4x4 CASEMENT WOOD WINDOW. NOTE 4 ON ELEVATIONS.
- NEW 4x4 WOOD CASEMENT WINDOW MATCH EXISTING NOTE 5 ON ELEVATION.
- RE USE EXISTING 2x2 WOOD WINDOW, NOTE 6 ON ELEVATIONS.
- RE USE EXISTING 3"x6" FRONT DOOR.

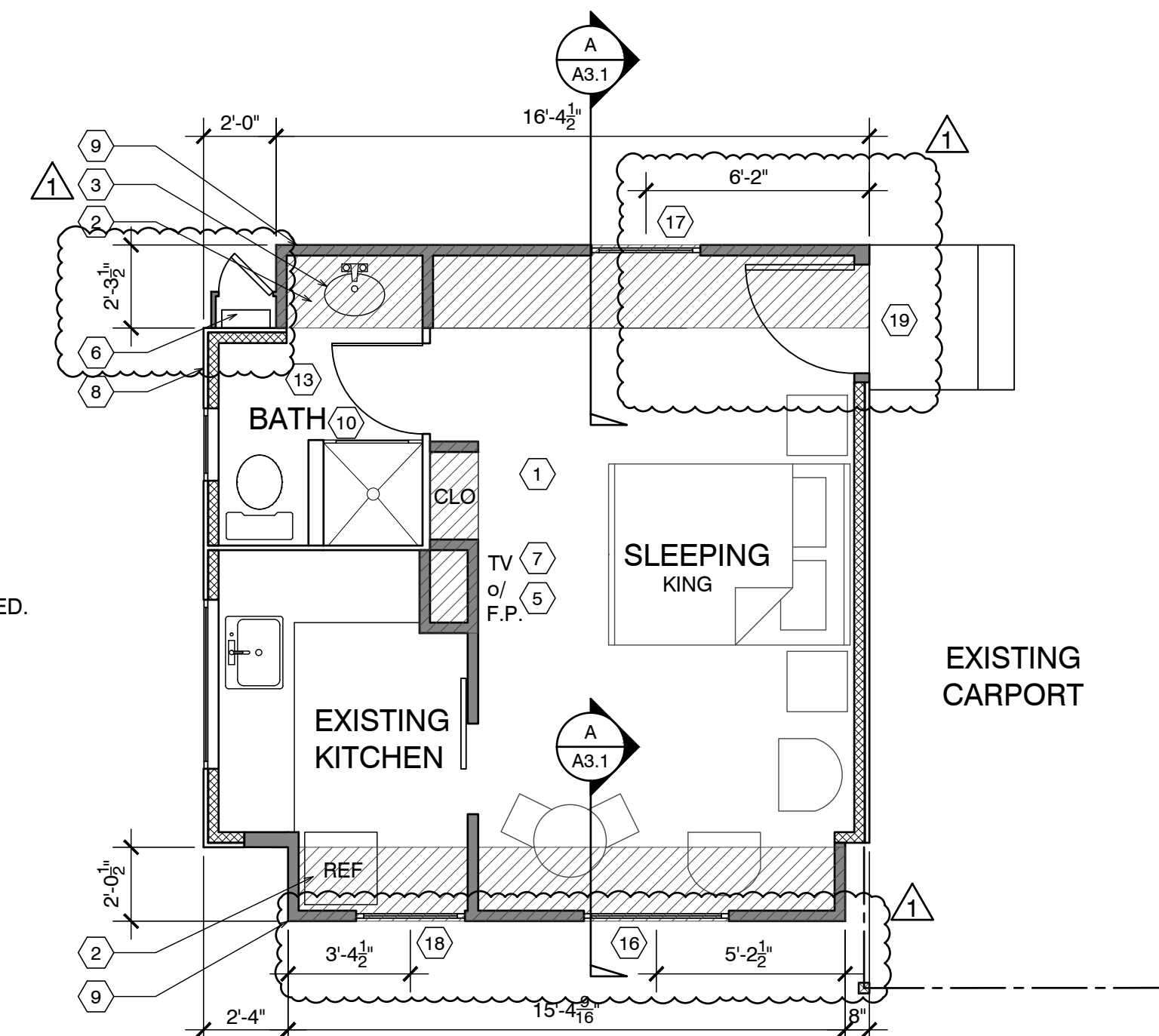
### ELECTRICAL LEGEND

- DUPLEX OUTLET
- HALF SWITCHED OUTLET
- DEDICATED CIRCUIT (20 amps)
- 220 VOLT OUTLET
- OUTLET w/ GROUND FAULT CIRCUIT INTERRUPTER
- OUTLET WITH WEATHERPROOF ENCLOSURE & GFI
- TELEPHONE JACK
- HIGH SPEED DATA LINE
- THERMOSTAT CONTROL
- TELEVISION CABLE
- GAS OUTLET
- KEY VALVE
- HOSE BIBB VALVE
- WALL MOUNTED GAS HEATER

- NOTES:
- NOT ALL THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS WORK.
  - ELECTRICIAN TO CONDUCT AN ON-SITE WALK THROUGH WITH OWNERS TO DETERMINE FINAL FIXTURE LOCATIONS.
  - PLUMBING PIPELINES UTILIZED AS AN ELECTRICAL GROUND ARE PROHIBITED.

### WET-FLOOD PROOFING AND UNDER FLOOR VENTING REQUIREMENTS

- Foundation Walls - Provide foundation vents around perimeter of 1 sq. in. net opening/ 1 SF of enclosed area. Note: The space below the floor is only 12" ±
- The floor framing will be pressure-treated wood. Future buildings (not including Building 13 & 16) will have all wood framing below 1 foot above flood line pressure-treated lumber with vent holes at top and bottom of stud spaces.
- The exterior siding and trim will be redwood, which is rot resistant.
- The inside wall finish will be paperless gypsum board mold and moisture resistant, which has a three-month in place exposure warranty.
- Mold resistant paint will be used exterior and interior.
- Flooring will be tile in bathrooms and carpet in living/sleeping area over pad - non glue-down.



EXISTING :	261 SF.
ADDITION :	71 SF.
TOTAL :	332 SF.

NOTE: ALL FRAMING SIZING & CONNECTION DETAILS SHALL COMPLY WITH CBC CHAPTER 23

### FIRE SPRINKLER CALCS

- (E) TOTAL LINEAL FOOTAGE = 75'-1 3/8"
- TOTAL LINEAL FOOTAGE DEMOLISHED, ADDED OR REPLACED = 32'
- TOTAL DEMO = 43%
- NOTE: FIRE SPRINKLERS NOT REQUIRED

### DEMOLITION LEGEND

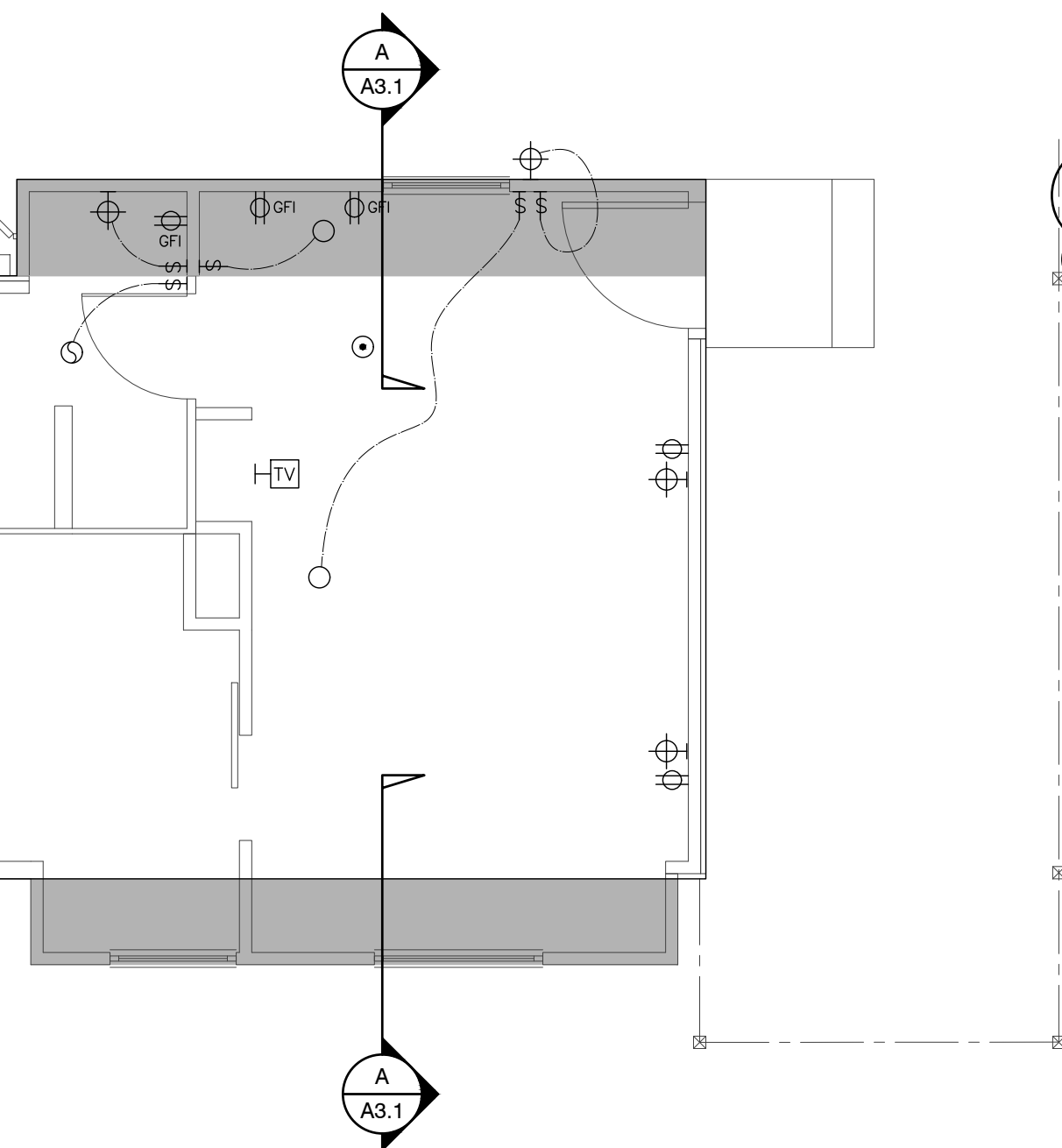
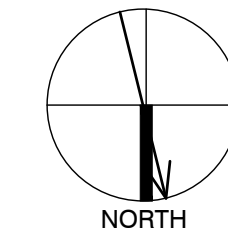
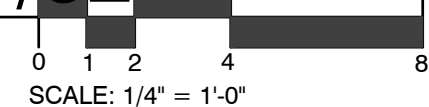
- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED

### ELECTRICAL NOTE:

Arc-fault circuit-interrupter protection - All 120-volt 15 & 20 ampere or branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or area shall be protected by a listed arc-fault circuit interrupter combination-type. Guestrooms (210-18) & guest suites that are provided with permanent provisions for cooking shall have AFCI. [210-12 (B)]

### DEMO PLAN UNIT 21/52

SCALE: 1/4" = 1'-0"

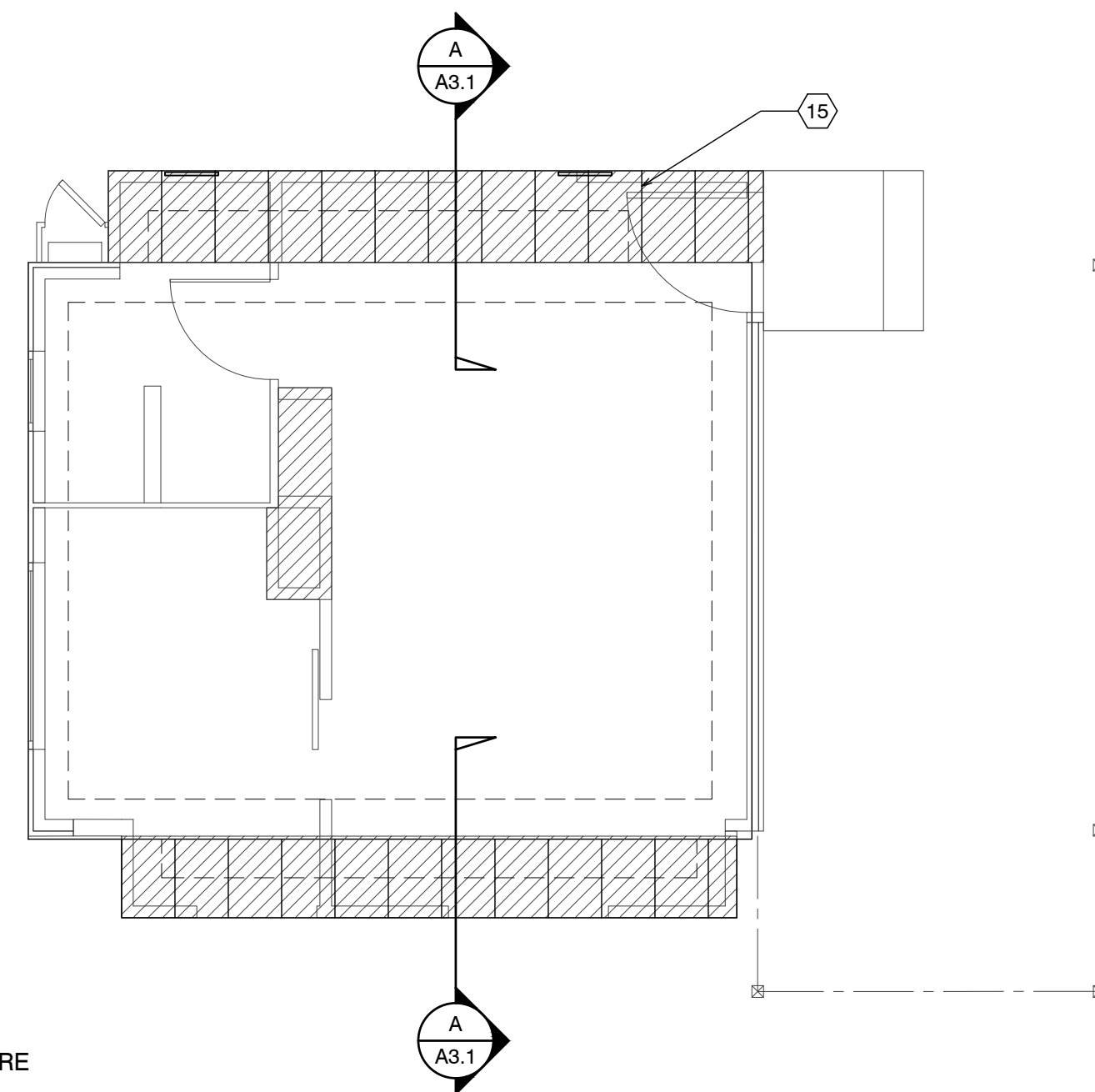


### RCP NOTES

- (E) CEILING & LIGHTING TO REMAIN IN THIS ROOM
- NEW MAIN PANEL LOCATED ON COTTAGE 19 (42) FOR SEVERAL COTTAGES. USE PERMIT #19CP00355 UTILITY UPGRADE WITH 30 AMP BREAKER
- ALL NEW CEILINGS TO HAVE 1/2" GYP. BD. W/ FINISH SPEC'D BY OWNER
- SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP. 25,000 BTU 100 CFM. HEATILATOR GC1990

### RCP LEGEND

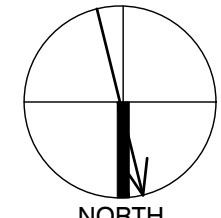
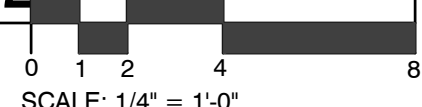
- SINGLE POLE SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- DIMMER SWITCH
- RECESSED LIGHT FIXTURE
- RECESSED WALL WASHER
- SURFACE MOUNTED FIXTURE
- PENDANT FIXTURE
- EXHAUST FAN
- COMBINATION LIGHT & EXHAUST FAN FIXTURE
- WALL MOUNTED FIXTURE
- SMOKE DETECTOR- 110V- HARDWIRE w/ BATTERY BACK-UP- TYP U.O.N.
- COVE OR INDIRECT LIGHT FIXTURE
- UNDERCABINET MOUNTED FIXTURE
- FLUORESCENT TUBE



FOUNDATION VENT CALCULATION:  
32 SF / 150 = .21 SF REQUIRED  
PROVIDE (2) 15.5"x4.5" VENTS @ .156 SF EA. = 3.12 SF

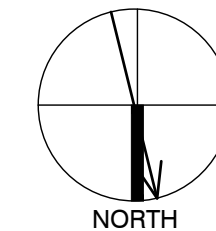
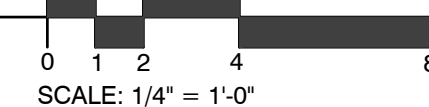
### FND. PLAN UNIT 21/52

SCALE: 1/4" = 1'-0"



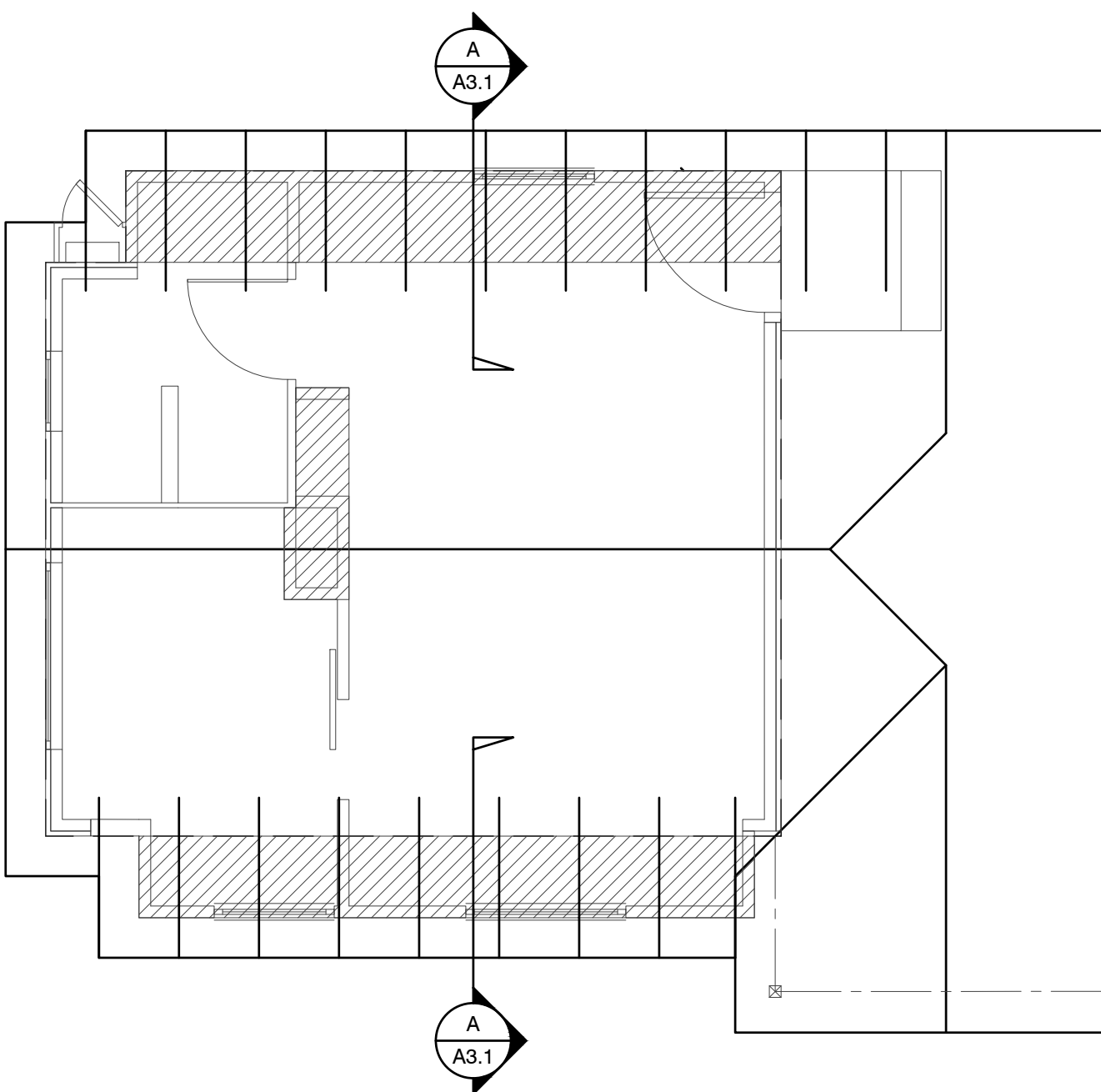
### FLOOR PLAN UNIT 21/52

SCALE: 1/4" = 1'-0"



### WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW FRAMED WALL
- EXISTING WALL TO BE REMOVED

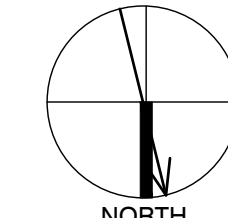
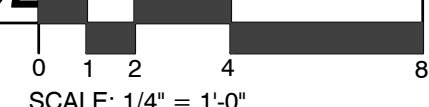


### ROOF NOTES

- (N) ROOF FRAMING TO MATCH (E) HISTORIC COTTAGES. 2x6 @ 24" w/ 5/8" PLYWOOD.
- (N) ROOF OVER ADDITION
- FRAME/FINISH GABLE ROOF TO MATCH ORIGINAL, TYP.
- BEAM
- OUTLINE OF ROOF, TYP.
- 4X4 POST ON PIERS w/ POST BASE AND CAP, TYP.
- NOT USED
- NOT USED
- NOT USED

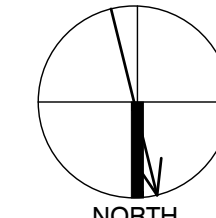
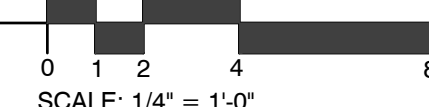
### RCP PLAN UNIT 21/52

SCALE: 1/4" = 1'-0"



### ROOF PLAN UNIT 21/52

SCALE: 1/4" = 1'-0"



# CARMEL RIVER INN

U.S. HIGHWAY 1  
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APN: 009-563-005

# COTTAGE REMODEL #21/now #52

## THE PAUL DAVIS PARTNERSHIP

ARCHITECTS & PLANNERS



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Drawn By: ML  
Drawing Date: 07/15/2025  
Project Number: 2502

Revisions:  
1/30/2026 PLAN CHECK RESPONSE  
3/10/26 HRRB

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Sheet Title:  
**UNIT #21/52 ELEVATIONS**

Sheet Number:

1. The historic character of the property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
2. Changes to a historic property that have acquired historic significance in their own right will be retained and preserved.
3. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
4. Deteriorated features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
5. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
6. New additions and adjacent or related new construction will be undertaken in such a manner, that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

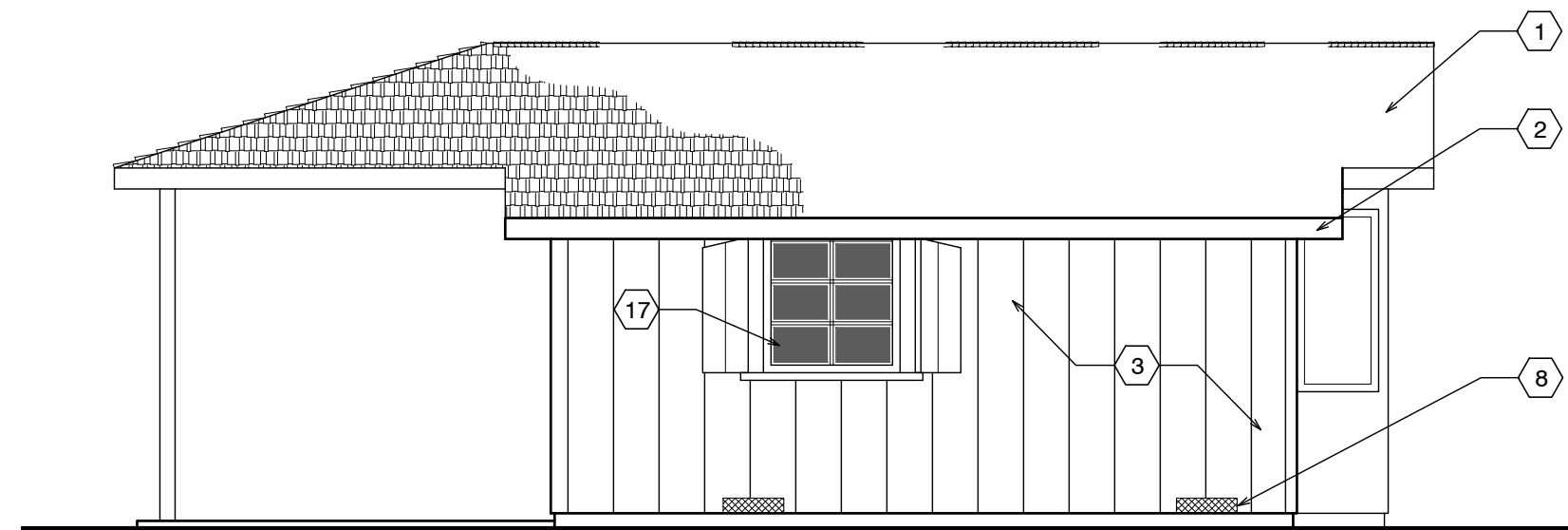
### SHEET NOTES

1. NEW ASPHALT COMP ROOFING TO MATCH UNIT #38
2. PAINTED 1X6 REDWOOD FASCIA (WITH STRAIGHT EDGE THAT DOESN'T MATCH (E))
3. PAINTED ROUGH SAWN 12" BOARD ON BOARD SIDING (THIS WILL DIFFERENTIATE THE NEW FROM THE OLD)
4. Not Used
5. NOT USED
6. NOT USED
7. NOT USED
8. COPPER SCREENED FOUNDATION VENTS  
1 SQ. IN. CLEAR OPENING PER 1 SQ. FT. OF FLOOR AREA = 340 SQ. IN. USE 6 - 6"x14" VENTS @ 75% OPEN = 378 SQ. IN.

- 9-15. NOT USED
16. RE USE EXISTING 4x4 CASEMENT WOOD WINDOW. NOTE 4 ON ELEVATIONS.
17. NEW 4x4 WOOD CASEMENT WINDOW WITH SHUTTERS TO MATCH EXISTING NOTE 5 ON ELEVATION.
18. RE USE EXISTING 2x2 WOOD WINDOW AND SHUTTERS. NOTE 6 ON ELEVATIONS.
19. RE USE EXISTING 3'x6" FRONT DOOR.

### CROSS - SECTION NOTES

1. (E) FLOOR FRAMING TO REMAIN (EXCEPT WHERE REPAIRS ARE NEEDED, AS DETERMINED IN THE FIELD) - ALL NEW FLOOR FRAMING TO BE PRESSURE-TREATED.
2. (E) FOUNDATION TO REMAIN, TYP. REPLACE WHERE DETERMINED
3. NEW WALLS- 1X2 BATTS, O/ONE LAYER #30 FELT, O/2X4 FRAMING @ 16" O.C., TYP. ALL WALL FRAMING TO BE DFPT. ADD 3/8" P.S. ON INSIDE OF EXTERIOR WALLS.
4. R-13 BATT INSULATION @ ALL NEW WALLS, TYP. ADD 3/8" P.S. AT INTERIOR OF NEW WALLS.
5. R-19 BATT INSULATION @ ALL NEW ROOF AREAS, TYP.
6. NEW 6x8 & BTR D.F. HEADER
7. EXTEND EXISTING OVERHEAD @ FRONT DOOR OVER ADDITION W/ 2x 6'-0" long wall to existing w/ 10-16d
8. REUSE EXISTING WINDOW, MATCH EXISTING TRIM
9. NEW 12"x12" CONC. FTG. W/ #4 REBAR TOP & BOT. TIE NEW TO EXISTING W/ 6" DOWEL @ TOP & BOT.



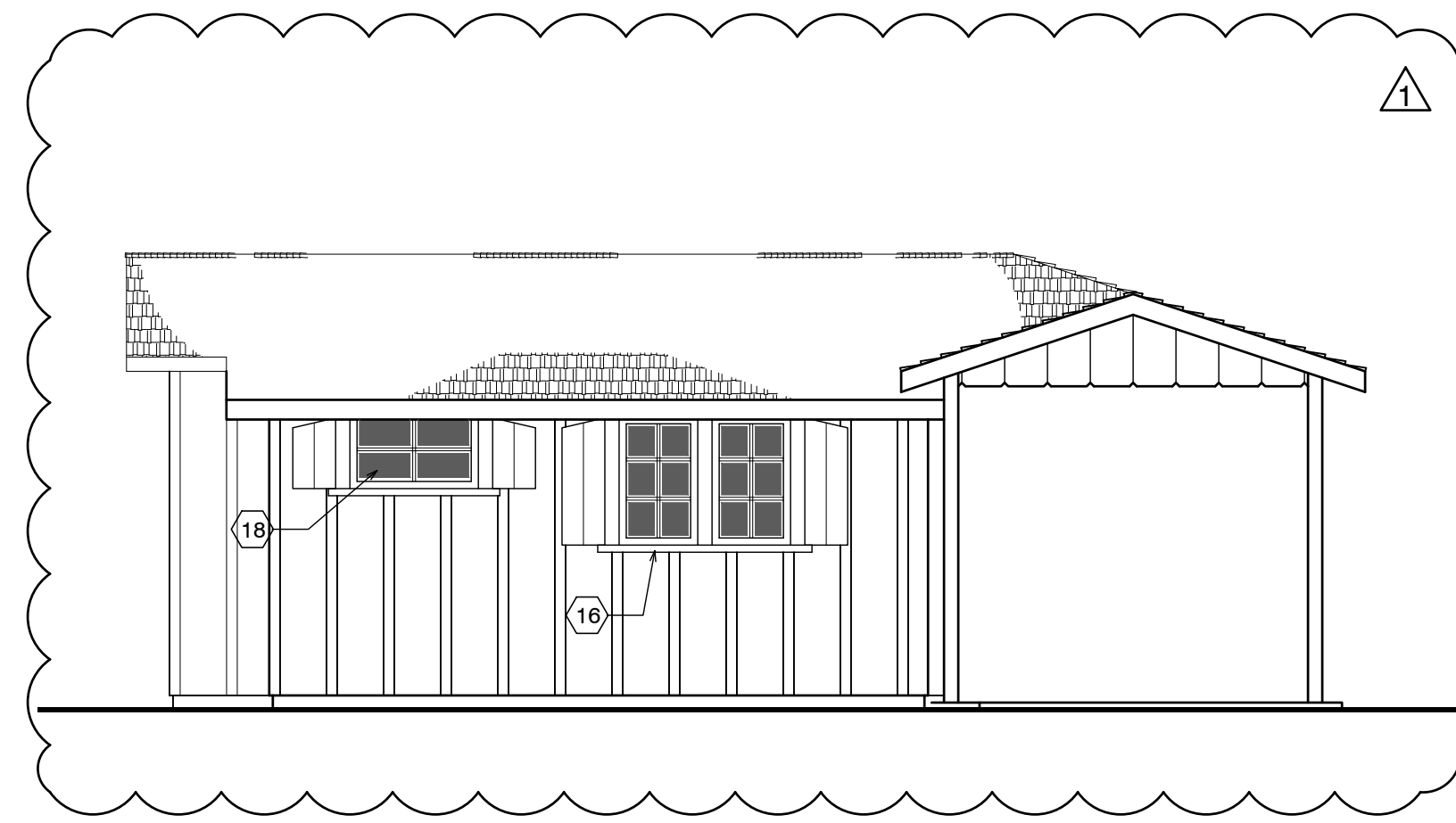
(N) FRONT ELEVATION



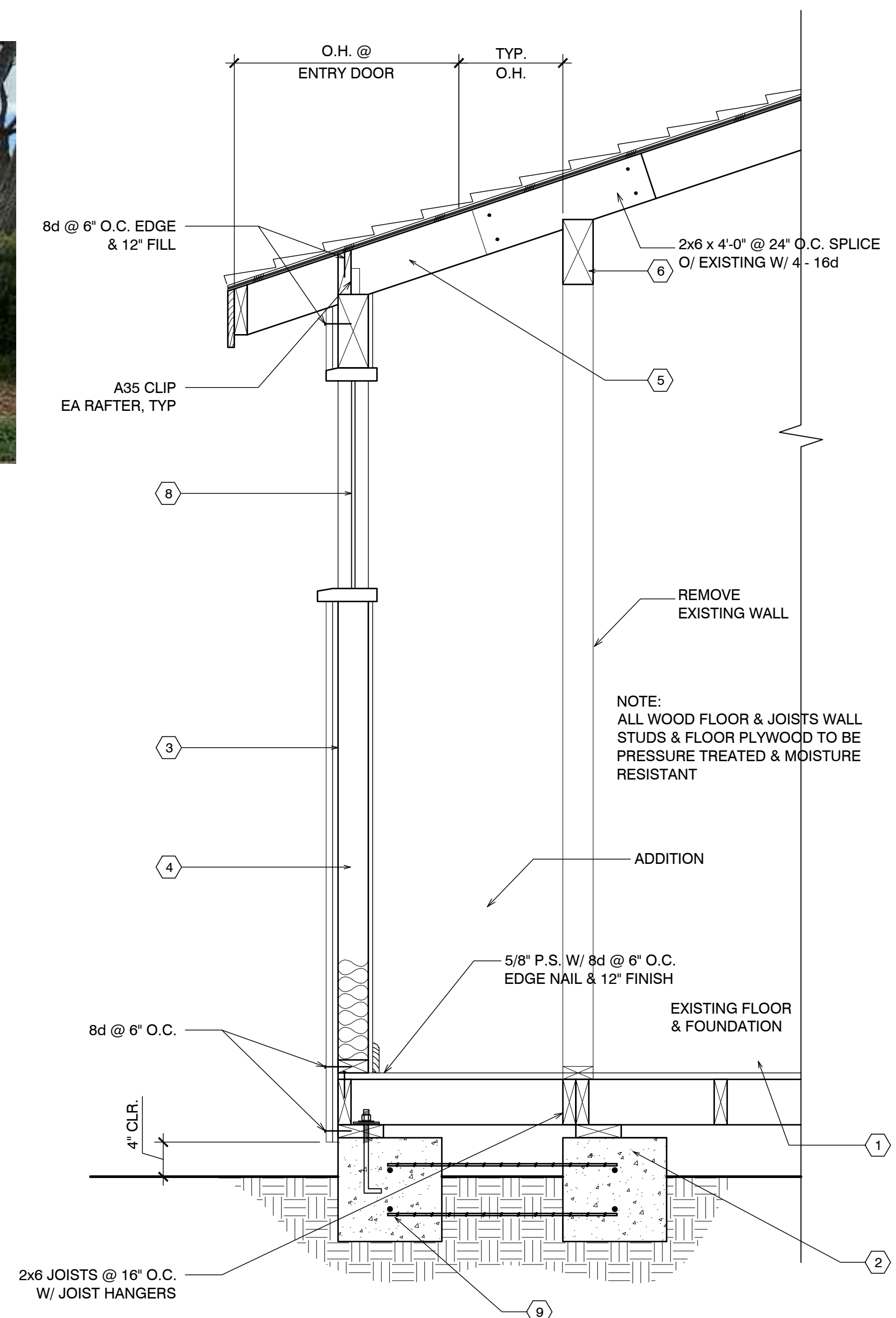
(E) FRONT ELEVATION



(E) SIDE ELEVATION



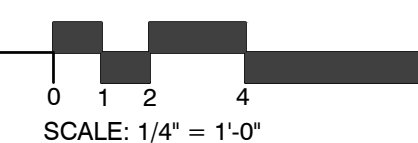
(N) BACK ELEVATION



(A) UNIT #21/52 SECTION

## EXTERIOR ELEVATIONS UNIT #21/52

SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



SCALE: 1" = 1'-0"

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