

Exhibit B

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DRAFT RESOLUTION

Before the County of Monterey Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

PIETRO FAMILY INVESTMENTS LP (PLN240045)

RESOLUTION NO. 25--

Resolution by the County of Monterey Zoning
Administrator:

- 1) Considering an Addendum together with a previously adopted Mitigated Negative Declaration (State Clearinghouse No. 2018091011,) pursuant to CEQA Guidelines section 15164; and
- 2) Approving a Combined Development Permit consisting of:
 - a. Coastal Administrative Permit and Design Approval to allow construction of a 2,707 square foot two-story single-family dwelling with attached garage, and associated site improvements; and
 - b. Coastal Development Permit to allow development within 750 feet of a known archaeological resource.

[PLN240045, Pietro Family Investments LP, 26307 Isabella Avenue, Carmel, Carmel Area Land Use Plan, Coastal Zone (APN: 009-463-012-000)]

The PIETRO FAMILY INVESTMENTS LP application (PLN240045) came on for public hearing before the County of Monterey Zoning Administrator on March 13, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** - The project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
The project and/or use, as conditioned and/or mitigated, is consistent with the policies of the Monterey County 1982 General Plan, Carmel Area Land Use Plan, and other County health, safety, and welfare ordinances related to land use development.
- EVIDENCE:**
- a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in the:
 - 1982 General Plan;

- Carmel Area Land Use Plan
- Monterey County Coastal Implementation Plan Part 4; and
- Monterey County Zoning Ordinance - Coastal (Title 20).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and/or regulations of the applicable Monterey County Code (MCC). The subject property is located within the Coastal Zone; therefore, the 2010 Monterey County General Plan does not apply.

- b) The project involves the construction of a 2,707 square foot two-story single-family dwelling with an attached garage, and associated site improvements. The project also involves development within an area of known archaeological resources. Associated grading consists of approximately 69 cubic yards of cut and 33 cubic yards of fill.
- c) Allowed Uses. The property is located at 26307 Isabella Avenue in Carmel (Carmel Point neighborhood), on the west side of Highway 1 (APN: 009-463-012-000), Carmel Area Land Use Plan. The 0.19-acre property is zoned Medium Density Residential, maximum of two units per acre; with a Design Control overlay, and subject to an 18-foot height restriction in the Coastal Zone [MDR/2-D(18) (CZ)], which allows main dwellings with the granting of a Coastal Administrative Permit. Therefore, as proposed, the project involves allowed land uses for this site. Development within 750 feet of known archaeological resources is also allowed subject to the granting of a Coastal Development Permit. The Design Control zoning overlay requires the granting of a Design Approval for the proposed development (see subsequent Evidence “f”).
- d) Lot Legality. The 0.19-acre lot (8,438-square feet) is described as the Southerly one-half of lot number 4, all of lot number 6, and the Northerly one-half of lot number 8, in Block B-6. It was created with map entitled “Map of Addition No. 7, Carmel-by-the-sea, Monterey County, California,” filed for record on May 4, 1910, in the office of the County Recorder of the County of Monterey in Volume 2 of Maps, “Cities and Towns,” on page 24. The County has previously recognized the legality of lots created by the subject 1910 final map. The County and property owners have also relied on the 1910 final map to direct development of lots within the subdivision, including utilities. The lots and streets, as identified on the final map, conform to the surrounding topography and the siting of lots and improvements on the final map indicate evidence of design. Therefore, the County recognizes the subject property as a legal lot of record.
- e) Site Coverage and Floor Area Ratio. Development standards for the MDR zoning district are identified in MCC Section 20.12.060. Allowable site coverage in the Medium Density Residential zoning designation is 35% or 2,954 square feet for the subject parcel. Plans show the proposed split-level structure to be 1,972 square feet, or 23.5%. The proposed FAR is shown to be 2,707 square feet, or 32.1%, which meets the allowable 3,792 square feet, or 45%, FAR in MDR/2. Therefore, the proposed project meets coverage and FAR allowances for its zoning designation.

- f) Height and Setbacks. Development standards for the MDR zoning district are identified in MCC Section 20.12.060. Required setbacks in this MDR district are 20 feet (front), 10 feet (rear), and 5 feet (sides). As proposed, the development would have a front setback of 20 feet and ½ inch, a rear setback of 10 feet, and side setbacks of 5 and 45 feet (south and north, respectively). The maximum allowed height in this MDR zoning district is 18 feet above average natural grade. The proposed dwelling would have a height of approximately 18 feet above average natural grade and would conform to the maximum allowed height limit. The County has applied a standard condition of approval (Condition No. 6 – Height Verification) to ensure conformance to the allowed height standard.
- g) Design and Neighborhood Character. The proposed project site and surrounding area are designated “D,” or Design Control Zoning District. Pursuant to the Monterey County Zoning Ordinance, Title 20, Chapter 20.44, the purpose of a Design Control Zoning District is to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The proposed residence has a split-level design with two separate levels that are staggered and separated from each other by a partial flight of stairs. This type of elevation has resulted in a “raised California Ranch house” style. Colors and materials proposed for the residence include: beige stucco, natural “Carmel” stone veneer, and horizontal wood walls, metal frame windows and doors, built up flat green roof with wood soffit and aluminum fascia. Per the Carmel Area LUP, structures shall be subordinate to and blended with the environment, using appropriate materials to that effect. In accordance with Carmel LUP Policy 2.2.3.6, the colors and materials proposed for the subject project will not disrupt the overall character of the neighborhood and will be subordinate to and blended into the developed and natural environment.
- h) Parking. Pursuant to Chapter 20.58 (Regulations for Parking) under County of Monterey Zoning Ordinance Title 20, all residential developments shall have at least 1 covered parking space; covered parking shall count toward the two (2) required parking spaces. The project proposes to add a one-car garage. Therefore, this project meets the parking requirements listed under Residential Use.
- i) Hazards. The subject property is located within 660 feet, or 1/8 mile, of a potentially active fault known as the Cypress Point Fault (CPF). Pursuant to Section 15.1.2 of the 1982 General Plan, faults classified as “potentially active” shall be treated the same as “active faults” until geotechnical information demonstrating that a fault is not “active” is accepted by the County. The CPF is described as a northwest striking slip fault extending from the City of Carmel-by-the-Sea to the Palo Corona Ranch on the south side of Carmel Valley. Due to the location of the site, a Geotechnical Report and Geologic Evaluation were required. The scope of the Geotechnical Report explored the surface and subsurface soil conditions and included geotechnical recommendations; the Geologic Evaluation defined the geologic conditions and identified potential geologic hazards associated with the project site. In geology,

an “active” fault classification is given to faults causing surface displacement in the last 11,000 years. Based on the geologist’s evaluation, the CPF would not be considered an active fault. The geologist determined that the Cypress Point Fault is located about 35 feet southwest from the subject parcel. Pursuant to Section 20.146.080 (Hazardous Area Development Standards) in the CIP, all structures shall be sited a minimum of 50 feet from an identified active fault or potentially active fault unless a geotechnical evaluation determines that the hazard is unlikely to lead to property damage or injury and the project is certified by a registered geologist/soils engineer [Section 20.146.080(f)]. According to the engineering geologist, given the very low level of hazard posed by the Cypress Point Fault, a reduced setback could be supported. It is the engineering geologist’s professional opinion that no geologic conditions or geologic hazards would preclude construction of the proposed residence as it is currently proposed and given its current adherence to the fault setback. Haro, Kasunich and Associates, Inc. have developed geotechnical recommendations for foundations, retaining walls, slabs-on-grade, subgrade preparation beneath flatwork, and site drainage. Pursuant to MCC section 16.08.110, all geotechnical recommendations will be incorporated into the final construction plans.

- j) Visual Resources. Policy 2.2 in the Carmel Area LUP, requires that existing visual access from scenic viewing corridors and from major public viewpoints, and future opportunities for visual access from the frontal ridges east of Highway 1, be permanently protected as an important component of shoreline access and public recreational use. A site visit was conducted on September 29, 2024, and it was determined that the construction of a single-family dwelling will not cause a significant impact to the visual resources of the Carmel area. Although the project proposes to add a residence reaching the allowed height, the development is being proposed in a built-up neighborhood where the first single-family dwelling is a principal use allowed. The subject property, located on the eastern side of Isabella Avenue, is not visible from Scenic Road (located over 300 feet north of Scenic Road) or Point Lobos. Furthermore, except for one introduced, not protected tree, no other trees are proposed for removal and existing vegetation on the parcel’s west (front) side will also remain.
- k) Archaeological & Tribal Cultural Resources. The subject project is within 750-feet of a known archaeological resource and has a high archaeological sensitivity. Specifically, the project is located in a recorded archaeological site known as CA-MNT-17. Significant archaeological resources have been found in the surrounding neighborhood. Carmel’s key policy on Archaeological Resources is such that when development is proposed for parcels where archaeological or other cultural sites are located, project design shall be required which avoids or substantially minimizes impacts to such cultural sites (Chapter 2.8, Section 2.8.2). Three archaeological reports (County of Monterey Library Nos. LIB170269, LIB170435, LIB190038, and) were prepared by three different archaeological experts for a previously approved project on the subject property

(PLN170611, Board of Supervisors Resolution No. 19-121), which ultimately was never constructed. A project specific archaeological report (County of Library No. LIB240268) was prepared for proposed project (PLN240045). The following discussion is based on the conclusion of these reports.

The first archaeological report prepared by Albion (County of Library No. LIB170269) for PLN170611 (inclusive of basement proposal) concluded there was no need for further testing, notwithstanding a finding of cultural materials during both the Phase 1 surface reconnaissance and the Extended Phase 1 sub-surface survey using shovel probes (SPs). The cultural material (lithic debitage, low-density fragmented marine shell, and one piece of bone) found in the SPs gave inconclusive information as to the presence of significant Cultural or Tribal Cultural Resources. No anthropogenic soils were observed, and no intact archaeological deposits were discovered in the SPs. Albion's subsurface investigations indicated that potentially significant cultural materials may be located within the Project Area. However, because the data was not conclusive (sparse accumulation of prehistoric flaked stone debitage and marine shell, and the lack of midden soils), Albion could not confirm whether the SP's cultural materials were associated with one of Carmel Point's main archaeological resources (CA-MNT-17). To ensure impacts to potentially significant archaeological resources are minimized or avoided, Albion recommended the preparation of a project-specific Archaeological Monitoring Plan, archaeological and tribal cultural monitoring, and a preconstruction cultural resources awareness and response training program for construction personnel. The second report prepared by Dr. Breschini (LIB170435) for PLN170611 (inclusive of basement proposal) did not identify surface evidence of potentially significant archaeological resources as the auger testing produced clean light brown sand. This report recommended onsite archaeological monitoring during construction. The third report prepared by Susan Morley (LIB190038) for PLN170611 (inclusive of basement proposal) included auger testing. The auger testing (reaching ten feet deep or bedrock) did not encounter any material to indicate cultural resources are present on the project parcel, except for one fragmented stone. This report recommended that the project's ground disturbance be monitored by both a qualified archaeologist and a tribal member. The fourth report prepared by Dana Supernowicz (Project Archaeologist) (County of Monterey Library No. LIB240268) for the proposed project (PLN240045, no basement proposed) detailed the findings of a pedestrian survey with random 8-16 inch deep shovel tests. Per this report, none of the shovel test units produced any evidence of midden, marine shells, fire-fractured rock, flakes, groundstone, or faunal material. Soils were consistent with native fine medium-dark aeolian sands and silt. In addition, no surface indications of precontact occupation were identified within the parcel. The Project Archaeologist determined that the probability of encountering below-grade cultural deposits is determined to be low, and thus did not recommend any specific protection measures.

Due to the findings of archaeological reports, the scope of the project, high archaeological sensitivity of the area, and compelling evidence found near the subject site, All recommendations contained in the four archaeological reports outlining measures for protecting inadvertently discovered resources (project-specific Archaeological Monitoring Plan, a pre-construction cultural resources awareness and response training program, and on-site archaeological and tribal monitoring) have been applied to this proposed project as conditions of approval. The Archaeological Monitoring Plan shall address: 1. Description of cultural resources present; 2) monitoring procedures; 3) the evaluation process; 4) Native American participation; and 5) treatment of human remains. Additionally, if Native American remains are uncovered during construction, and if they will stay buried onsite, Condition No. 15, requires that the Applicant/Owner record a Conservation Easement over the subject, except those portions developed with approved structures and landscaping. These protection and avoidance measures provide compliance with Carmel Area Land Use Plan Policy 2.8.3.3. Additionally, application of the archaeologist’s recommendation as conditions of approval is consistent with Carmel Coastal Implementation Plan section 20.146.090.D.2(a).

- l) Land Use Advisory Committee. The proposed design was reviewed by the Carmel Area Land Use Advisory Committee on January 21, 2025 and was given a recommendation of approval with changes. A motion to support the project was made with members voting: 7 ayes, and 0 no. The following modifications were cited in the minutes for supporting the project with changes: Move the storm drainage away from an oak tree on the Northeast corner to the Southeast corner; and modify the upper southern deck to allow for privacy plant screening.
- m) The project planner conducted a site inspection on September, 2024 to verify that the project on the subject parcel conforms to the plans listed above.
- n) The application, plans, and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN240045.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and the Cypress Fire Protection District. County staff reviewed the application materials and plans, as well as the County’s GIS database, to verify that the project conforms to the applicable plans, and that the subject property is suitable for the proposed development.
 - b) Staff identified potential impacts to Cultural, Tribal Cultural, and Geology/Soils resources. The following reports have been prepared:
 - “Phase I and II Archaeological Study,” (LIB240268) prepared by Historic Resource Associates, September 2024.

- “Geologic Evaluation,” (LIB180354), prepared by Craig S. Harwood, November 22, 2017, and June 17, 2024.
 - “Geotechnical Investigation,” (LIB180355) prepared by Haro, Kasunich and Associates, Inc., December 18, 2017, and August 28, 2024.
- c) The above-mentioned technical reports by third-party consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concur with their conclusions.
 - d) Staff conducted a site inspection on September 29, 2024, to verify that the site is suitable for this use.
 - e) The application, plans, and supporting materials submitted by the project applicant to the County of Monterey HCD-Planning for the proposed development found in Project File PLN240045.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use; or be detrimental or injurious to property and improvements in the neighborhood; or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and the Cypress Fire Protection District. Conditions have been recommended, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public and private facilities are available: Public water supply is from CAL-AM (additional water credits were obtained from the Malpasso Water Company) and wastewater collection/treatment is serviced by the Carmel Area Wastewater District.
 - c) Hazards. The subject property is located within 660 feet, or 1/8 mile, of a potentially active fault known as the Cypress Point Fault (CPF). Pursuant to Section 15.1.2 of the 1982 General Plan, faults classified as “potentially active” shall be treated the same as “active faults” until geotechnical information demonstrating that a fault is not “active” is accepted by the County. The CPF is described as a northwest striking slip fault extending from the City of Carmel-by-the-Sea to the Palo Corona Ranch on the south side of Carmel Valley. Due to the location of the site, a Geotechnical Report (LIB180355) and Geologic Evaluation (LIB180354) were required. Based on the geologist’s evaluation, the CPF would not be considered an active fault. The geologist determined that the Cypress Point Fault is located about 35 feet southwest from the subject parcel. Pursuant to Section 20.146.080 (Hazardous Area Development Standards) in the CIP, all structures shall be sited a minimum of 50 feet from an identified active fault or potentially active fault unless a geotechnical evaluation determines that the hazard is unlikely to lead to property damage or injury and the

project is certified by a registered geologist/soils engineer [Section 20.146.080(f)]. According to the geologist, given the very low level of hazard posed by the Cypress Point Fault, a reduced setback could be supported in this case. It is the engineering geologist's professional opinion that no geologic conditions or geologic hazards would preclude construction of the proposed residence as it is currently proposed and given its current adherence to the fault setback. LIB180355 makes geotechnical recommendations for foundations, retaining walls, slabs-on-grade, subgrade preparation beneath flatwork, and site drainage. Pursuant to MCC section 16.08.110, all geotechnical recommendations will be incorporated into the final construction plans.

- d) Staff conducted a site inspection on September 29, 2024, to verify that the site is suitable for this use.
- e) The application, plans, and related supporting materials submitted by the project applicant to the County of Monterey HCD-Planning for the proposed development found in Project File PLN240045.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.
- EVIDENCE:**
- a) County staff reviewed Monterey County HCD-Planning and HCD-Building Services records, and is not aware of any violations existing on the subject property.
 - b) Staff conducted a site inspection on September 29, 2024 to assess and confirm that no violations exist on the subject property.
 - c) The application, plans and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in project file PLN240045.
5. **FINDING:** **CEQA (Addendum)** – An Addendum to a previously certified Mitigated Negative Declaration (MND) (State Clearinghouse No. 2018091011) was prepared pursuant to Code of Regulations, Title 14, Section 15164 to reflect changes or additions in the project that do not cause substantial changes or new information that would require major revisions to the adopted MND.
- EVIDENCE:**
- a) An MND (SCH No. 2018091011) for PLN170611, Pietro Family Investments LP was prepared and adopted by the Board of Supervisors on April 23, 2019 (Board Resolution No. 19-121).
 - b) Pursuant to the California Environmental Quality Act (CEQA) Guidelines section 15162, when an EIR has been certified or a negative declaration has been adopted, no subsequent EIR shall be prepared for the project unless the agency determines that substantial changes are proposed, or substantial changes occur with respect to the circumstances under which the project is undertaken. In this case, no new information has been presented to warrant further environmental review. None of the conditions described in Section 15162 calling for preparation of a subsequent EIR have occurred, see subsequent Evidence "c" through "e". However, pursuant to CEQA Guidelines section 15164, an Addendum has been prepared to address and reflect the revised project

scope. The prepared Addendum is attached as Exhibit C of the March 13, 2025 staff report to the Zoning Administrator and reflects the County's independent judgement and analysis.

- c) Pursuant to Section 15162(a)(1) of the CEQA Guidelines, there are no substantial changes proposed in the project that would require major revisions to the MND. There are no new significant environmental effects nor a substantial increase in the severity of previously identified significant effects as the changes to the project are a reduction in site coverage by 982 square feet; 551 cubic yards less of cut excavation; and the omission of a 1,366 square foot basement. The remaining scope of work proposed under the previously adopted MND remains stable: construction of a single-family dwelling. Therefore, the proposed project will reduce the impacts analyzed under the previously adopted MND and will not result in new or more severe impacts, specifically on cultural and tribal cultural resources.
- d) Pursuant to Section 15162(a)(2) of the CEQA Guidelines, there are no substantial changes with respect to the circumstances under which the project is undertaken that would require major revisions to the prior MND. All recommendations of previously prepared technical reports remain valid and applicable to the proposed project. The archaeological, geological, and geotechnical reports submitted for the proposed project did not identify any new resources not already analyzed under the prior MND.
- e) Pursuant to Section 15162(a)(3) of the CEQA Guidelines, there is no new information of substantial importance that was not known at the time the MND was adopted. There have been no new significant environmental effects or substantial increases in the severity of previously identified effects of the project site. The prepared technical reports, submitted application materials, and information in the record do not present new information demonstrating that the proposed project will have one or more significant effects not discussed in the adopted MND. Construction of the single-family dwelling and attached garage will be in accordance with the technical reports on file which were produced for the previously approved project and updated for the currently proposed project. All previously approved mitigation measures remain adequate and appropriate to apply to PLN240045 (Condition Nos. 12-16).
- f) The Zoning Administrator has considered the Addendum together with the previously adopted MND for PLN170611 and finds that there is no substantial evidence that the project warrants subsequent environmental review. The materials upon which the County's decision is based are located in HCD-Planning, 1441 Schilling Place, 2nd Floor, Salinas, CA.
- h) No adverse environmental effects were identified during staff review of the development application during a site visit on September 29, 2024.
- i) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning can be found in Project File PLN240045.

6. **FINDING:** **PUBLIC ACCESS** - The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3

of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.146.130 of the Monterey County Coastal Implementation Plan (Part 4) can be demonstrated.
 - b) The subject property is not described as an area where the Local Coastal Program requires public access (Figure 3, Public Access, in the Carmel Area Land Use Plan).
 - c) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - d) As proposed, the project would not obstruct public views of the shoreline from surrounding roadways, nor obstruct public visual access to the shoreline from major public viewing corridors (Carmel Land Use Plan Policy 5.3.3.4.a).
 - e) The project planner conducted a site visit on September 29, 2024, to verify that the project, as proposed and conditioned/mitigated, would not impact public access. Based on this site inspection, the proposed project would not be visible from Highway 1 or any common public viewing area. The project will not result in adverse impacts to the public viewshed or scenic character in the project vicinity, and is consistent with the applicable visual resource and public access policies of the Carmel Area Land Use Plan. See also Finding No. 1, Evidence i above.
 - f) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in project file PLN240045.

7. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Monterey County Board of Supervisors and the California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Section 20.86.030 of the Monterey County Zoning Ordinance (Title 20), an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) California Coastal Commission. Pursuant to Section 20.86.080.A of the Monterey County Zoning Ordinance (Title 20), the project is subject to appeal by/to the California Coastal Commission because it involves development permitted in the underlying zone as a conditional use (i.e.; development within 750 feet of known archaeological resources).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Monterey County Zoning Administrator does hereby:

- 1) Consider an Addendum together with a previously adopted Mitigated Negative Declaration (SCH No. 2018091011), and finding that the preparation of a subsequent environmental document is not required, pursuant to Section 15162 of the CEQA Guidelines; and
- 2) Approving a Combined Development Permit consisting of:
 - a. Coastal Administrative Permit and Design Approval for the construction of a 2,707 square foot two-story single-family dwelling with attached garage; and
 - b. Coastal Development Permit to allow development within 750 feet of a known archaeological resource.

In general conformance with the attached plans and subject to attached conditions of approval, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 13th day of March, 2025.

Mike Novo, AICP
Monterey County Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a construction permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no construction permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted

or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services offices in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240045

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Combined Development Permit (PLN240045) allows the construction of a 2,707 square foot two-story single-family dwelling with an attached garage and associated site improvements. The property is located at 26307 Isabella Avenue, Carmel (Assessor's Parcel Number 009-463-012-000), Carmel Area Plan/Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Combined Development Permit (Resolution Number _____) was approved by the Zoning Administrator for Assessor's Parcel Number 009-463-012-000 on March 13, 2025. The permit was granted subject to 16 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place throughout grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

4. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

5. PD012(D) - LANDSCAPE PLAN AND MAINTENANCE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

6. PD041 – HEIGHT VERIFICATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (HCD - Planning and HCD - Building Services)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

7. PW0005 – DRIVEWAY IMPROVEMENTS

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Construct driveway connection to Isabella Ave. The design and construction is subject to the approval of the HCD -PWFP. Encroachment Permits are required for all work within the public right-of-way.

Compliance or Monitoring Action to be Performed: Owner/Applicant shall submit the design for review and approval of the HCD-PWFP, obtain an encroachment permit from the HCD -PWFP prior to issuance of building or grading permits, and construct and complete improvements prior to occupancy or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.

8. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

9. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project. (Public Works)

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.
2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

10. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

11. PD011(A) - TREE REMOVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

Compliance or Monitoring Action to be Performed:

12. PDSP001 - NON-STANDARD CONDITION: MM#1 CULTURAL RESOURCES (ARCHAEOLOGICAL MONITOR)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: In order to reduce potential impacts to archaeological resources that may be discovered during site disturbance, a qualified archaeological monitor shall be present onsite during soil disturbing activities. These activities include, but are not limited to: grading and foundation excavation. A qualified archaeological monitor is defined as a licensed professional archaeologist on the list of County-approved archaeological consultants. If at any time, potentially significant archaeological resources or intact features are discovered, the monitor shall temporarily halt work until the find can be evaluated by both the Tribal Monitor or other appropriate NAHC-recognized representative and the onsite qualified archaeological monitor. If the find is determined to be significant, work shall remain halted until mitigation measures have been formulated with concurrence of the County. In order to facilitate data recovery of smaller midden components, such as beads or lithic debitage, the excavated soil from the project site shall be screened during monitoring.

Compliance or Monitoring Action to be Performed: Mitigation Measure Monitoring Action No. 1a: Prior to the issuance of grading or building permits, the owner/applicant shall include a note on the plans encompassing the language within Mitigation Measure No. 1. The owner/applicant shall submit the plans to HCD-Planning for review and approval.

Mitigation Measure Monitoring Action No. 1b: Prior to the issuance of grading or building permits, the owner/applicant shall submit to HCD-Planning a copy of the contract between the owner/applicant and a qualified archaeological monitor. The contract shall include, but not be limited to: pre-construction meeting agenda, specific construction activities for which the monitor shall be present, any construction activities for which the archaeological monitor will not be present, how sampling of the excavated soil will occur, and any other logistical information such as when and how work on the site shall be halted. The contract shall be submitted to HCD-Planning for review and approval. Should HCD-Planning find the contract incomplete or unacceptable, the contract will be returned to the owner/applicant and a revised contract shall be re-submitted for review and approval.

Mitigation Measure Monitoring Action No. 1c:
Prior to the issuance of grading or building permits, the owner/applicant shall submit evidence that a qualified archaeologist conducted a cultural resource awareness and response training for construction personnel prior to the commencement of any construction activity. The training shall include a description of the kinds of cultural and tribal cultural resources that are found in the area, protocols to be used in the event of an unanticipated discovery, and the importance of cultural resources to the Native American community.

13. PDSP002 - NON-STANDARD CONDITION: MM#2 CULTURAL RESOURCES

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Due to the project site's location in CA-MNT-17, a recorded prehistoric site and because the project includes excavation for a foundation, there is a potential for human remains or cultural artifacts to be accidentally uncovered. If human remains are uncovered, all work shall be halted within 50 meters (164 feet) of the find on the parcel until it can be evaluated by a qualified professional Archaeologist (chosen from the County-approved list of consultants), and the Most Likely Descendant (MLD) as identified by The Native American Heritage Commission and the procedure set forth in CEQA Guidelines Section 15064.5(e) shall be followed in addition to the language contained in this condition.

In the event that archaeological materials other than human remains are uncovered, all excavation shall be halted within 50 meters (164 feet) of the find on the parcel and shall be immediately evaluated by a qualified archaeologist and a Tribal Monitor. A Tribal Monitor is defined as a monitor approved by the appropriate tribe traditionally and culturally affiliated with the vicinity of the subject parcel and that has consulted with the County and designated one lead contact person in accordance with AB 52 requirements, or other appropriately NAHC-recognized representative. If the find is determined to be historically (as determined by a qualified archaeologist) or culturally (as determined by a Tribal Monitor) significant, appropriate mitigation measures shall be implemented in accordance with the Compliance or Monitoring Actions to be Performed, contained in this Condition of Approval. All mechanical excavation undertaken with a backhoe shall be done with a flat blade bucket and rubber tires to minimize unnecessary impacts to any potential resources on site.

**Compliance or
Monitoring
Action to be
Performed:**

Mitigation Measure Monitoring Action No. 2a.: Notes on Plans

Prior to the issuance of grading or building permits, the owner/applicant shall include a note on the plans encompassing the language within Mitigation Measure No. 2, including the actions to be performed. The owner/applicant shall submit plans to HCD-Planning for review and approval.

Mitigation Measure Monitoring Action No. 2b.: Discovery of Human Remains

If human remains are discovered during construction activities, there shall be no further excavation or disturbance within 50 meters (164 feet) of the find on the parcel and the following shall occur:

- The Owner/Applicant/Contractor shall contact the Monterey County Coroner within 24 hours of the find to request that they determine that no investigation of the cause of death is required;
- The Owner/Applicant/Contractor shall contact Monterey County HCD-Planning within 24 hours of the find to alert them to the discovery;
- If the County Coroner determines the remains to be Native American:
 - o The Coroner shall contact the Native American Heritage Commission and HCD-Planning within 24 hours of the determination.
 - o The Native American Heritage Commission shall identify the person or persons it believes to be the MLD (from a tribal group such as, though not limited to, the Esselen, Salinan, Costonoans/Ohlone or Chumash, as appropriate tribal groups, as appropriate.
 - o The MLD may make a recommendations to the landowner or the person responsible for the excavation work, for means of treating or disposing of, with appropriate dignity, the human remains and any associated grave goods as provided in Public Resources Code Section 5097.98.

- If the remains are determined to be Native American, and the MLD, in concurrence with a qualified archaeologist, determines that:

- a. The remains are evidence of a larger burial of human remains, which would qualify as a “unique archaeological resource”, as defined in Public Resources Code Section 21083.2(g) that would be disturbed by further excavation; or
- b. There is no acceptable location on the parcel to re-bury the remains which would not be affected by excavation, then

The Owner/Applicant/Contractor will work with HCD-Planning to move/shrink/modify/redesign the portions of the project which will have further impact on those areas of the site containing remains. Modified plans shall be submitted to HCD-Planning. The redesign shall be in accordance with the process codified in State law Public Resources Code section 5097.98 with penalty for violation pursuant to Public Resources Code section 5097.994. No work shall re-commence on site within 50 meters of the find until the County has approved the revisions to the approved plans.

CONTINUED IN CONDITION NO. 11

14. (CONT) Mitigation Measure Monitoring Action No. 2c.: Discovery of Significant Cultural Artifacts

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: (CONTINUED FROM CONDITION NO. 13)

Compliance or Monitoring Action to be Performed: Mitigation Measure Monitoring Action No. 2c.: Discovery of Significant Cultural Artifacts

If significant tribal cultural artifacts (determined to be significant by the onsite Tribal Monitor – not including human remains which are handled in accordance with Public Resources Code section 5097.98 and penalty for violation pursuant to Public Resources Code section 5097.994) are discovered during construction activities, there shall be no further mechanical excavation (e.g.: backhoe, trencher, etc.) or ground disturbance within 50 meters (164 feet) of the find on the parcel and the following shall occur:

- The artifact, and any subsequent artifacts determined to be significant tribal cultural artifacts shall be surgically uncovered and extracted by a qualified archaeologist, and stored safely through the duration of excavation;
- Excavation will continue by hand (shovels) within a perimeter of two (2) meters surrounding the artifact for the subsequent one (1) meter of depth;
- If another significant tribal cultural artifact is found within the perimeter, the perimeter requirement for hand digging will be extended around the newly discovered artifact as well.
- If no additional significant tribal cultural artifacts are found in the original perimeter, or any of the subsequent perimeters, mechanical excavation may resume to completion unless another significant artifact is discovered in the process. If significant artifacts are discovered again after restarting mechanical excavation, hand digging will be required again as dictated by this condition.
- If human remains are found at any time during either hand digging or mechanical excavation, the Owner shall take the steps required by Mitigation Measure Monitoring Action No. 2b.

After completion of excavation activities, all recovered artifacts will be catalogued by both the Tribal Cultural Monitor and the qualified archaeological monitor. Once catalogued, the qualified archaeologist will take temporary possession of the artifacts for testing and reporting purposes. Upon completion of these testing and reporting activities, the qualified archaeologist will return all artifacts within one (1) year to a representative of the appropriate local tribe as recognized by the Native American Heritage Commission, or the Monterey County Historical Society, at the discretion of the property owner. A Final Technical Report shall be submitted to by the qualified archaeologist to HCD-Planning within one year of the discovery.

15. PDSP003 - NON-STANDARD CONDITION: MM#3 CONSERVATION EASEMENT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If Native American human remains are uncovered during construction, and will remain on site, a conservation and scenic easement shall be conveyed to the County over the entire parcel, excepting only those areas of the parcel where the residence and landscaping are authorized. An easement deed shall be submitted to, reviewed, and approved by, the Chief of HCD-Planning and accepted by the Board of Supervisors prior to final building permits.

(HCD-PLANNING)

Compliance or Monitoring Action to be Performed: Mitigation Measure Action 3a:
Within 24 hours of confirmation by the County Coroner that uncovered remains found onsite have been identified as Native American, the applicant/owner shall notify HCD-Planning that a Conservation and Scenic Easement is to be surveyed and submitted.

Prior to issuance of final building permits, the Owner/Applicant/Certified Professional shall submit the conservation and scenic easement deed and corresponding map, with the metes and bound description developed in consultation with a certified professional, to HCD-Planning for review and approval.

Mitigation Measure Action 3b:
Prior to the issuance of final building permits, the Owner/Applicant shall record the conservation and scenic easement deed and corresponding map and submit a copy of the recorded deed and map to HCD-Planning.

16. PDSP004-NON-STANDARD CONDITION: MM#4 PROTECTION OF TRIBAL CULTURAL RESOURCES AND SACRED PLACE!

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: In order to ensure that Tribal Cultural Resources incur less than significant impacts, a monitor approved by the appropriate tribe traditionally and culturally affiliated with the vicinity of the subject parcel and that has consulted with the County and designated one lead contact person in accordance with AB 52 requirements, or other appropriately NAHC-recognized representative, shall be onsite during project-related grading and excavation to identify findings with tribal cultural significance. This Tribal Monitor shall have the authority to temporarily halt work in order to examine any potentially significant cultural materials or features. If resources are discovered, the owner/applicant/contractor shall refer to and comply with Mitigation Measure #2. This mitigation is not intended to alleviate responsibility of the owner or its agents from contacting the County Coroner and complying with State law if human remains are discovered.

Compliance or Monitoring Action to be Performed: Mitigation Measure Action 4a:
Prior to issuance of a construction permit for grading and/or building, Applicant/Owner shall submit evidence to the satisfaction of the Chief of HCD-Planning that a monitor approved by the appropriate tribe traditionally and culturally affiliated with the vicinity of the subject parcel and that has consulted with the County and designated one lead contact person in accordance with AB 52 requirements, or other appropriately NAHC-recognized representative, has been retained to monitor the appropriate construction activities. This Tribal Monitor shall be retained for the duration of any project-related grading and excavation.

Mitigation Measure Action 4b:
Any artifacts found that are not associated with a finding of human remains shall be catalogued by both the Tribal Monitor and the Qualified Archaeological Monitor. Once catalogued, the Qualified Archaeological Monitor will take temporary possession of the artifacts for testing and reporting purposes. Upon completion of these testing and reporting activities, all artifacts, at the discretion of the property owner, shall be returned within one (1) year to a representative of the appropriate local tribe as recognized by the Native American Heritage Commission, or the Monterey County Historical Society. A Final Technical Report shall be submitted by the qualified archaeologist to HCD-Planning within one year of the discovery. Artifacts associated with a finding of human remains shall be reburied in accordance with State law and penalty for violation pursuant to PRC section 5097.994, and a conservation easement shall be required to be recorded over the parcel, as required in MM#3.

Mitigation Measure Action 4c:
Prior to final building inspection, the Tribal Monitor or other appropriately NAHC-recognized representative shall submit a letter to HCD-Planning confirming participation in the monitoring and provide a summary of archaeological and/or cultural finds or no finds, as applicable.

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ADAMSKI RESIDENCE

26307 Isabella Avenue Carmel, California

PROJECT DATA

PROJECT INFORMATION

SHEET INDEX

SETBACKS	REQUIRED	PROPOSED
MDR/2-D(18)(CZ)	20'-0"	20'-15"
FRONT (VALLEY VIEW)	5'-0"	5'-0"
SIDES (EAST)	5'-0"	45'-0"
SIDES (WEST)	10'-0"	10'-0"
REAR		
BUILDING HEIGHT:	18 FT. MAX.	18 FT.
EXISTING LOW GRADE:		52.2'
EXISTING HIGH GRADE:		56.8'
EXISTING AVERAGE GRADE:		54.5'
MAXIMUM BUILDING HEIGHT:		72.5'

LOT DATA:	
LOT SIZE:	0.1936 ACRE (8,427 S.F.)
ZONING:	MDR/2-D(18)(CZ)
BUILDING HEIGHT:	ALLOWABLE 18' MAX.
APN:	009-463-012-00
OCCUPANCY GROUP:	R3 FOR HOUSE - U FOR GARAGE

ALLOWED:	
FAR:	3,742.2 S.F. (45%)
BLDG. SITE COVERAGE:	2,944.5 S.F. (35%)

PROPOSED FLOOR AREA:	
1ST FLOOR ENTRY / BEDROOMS	1,545 S.F.
GARAGE / MECH.	269 S.F.
2ND FLOOR LIVING SPACE	843 S.F.
TOTAL FLOOR AREA	2,707 S.F. (32.1%)

PROPOSED BUILDING SITE COVERAGE:	1,972 S.F. (23.5%)
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SITE COVERAGE - IMPERVIOUS:	
BUILDING SITE COVERAGE:	1,972 S.F.
SITE WALLS	269 S.F.
PATIOS	637 S.F.
SUB TOTAL IMPERVIOUS	2,878 S.F.

SITE COVERAGE - PERVIOUS:	
DRIVEWAY	191 S.F.
STEPPING STONES / LANDINGS	222 S.F.
SUB TOTAL PERVIOUS	413 S.F.
TOTAL SITE COVERAGE	3,291 S.F.

OWNER: CHRISTOPHER ADAMSKI
12 RONNOGO ROAD
CARMEL VALLEY, CA 939240

PROJECT ADDRESS: 26307 ISABELLA AVE.
CARMEL, CA 93923

ARCHITECT: ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVENUE
MONTEREY, CA 93940
PH: 831-372-0410
CONTACT: CARLA HASHIMOTO

LAND SURVEYOR: LUCIDO SURVEYORS
245 FOAM STREET, SUITE 200
MONTEREY, CA 93940
PH: 831-620-5032

ARBORIST: ROB THOMPSON
THOMPSON WILDLAND MANAGEMENT (TWM)
57 VIA DEL REY
MONTEREY, CA 93940
PH: (831) 372-3746

CIVIL ENGINEER: C3 ENGINEERING, INC.
126 BONIFACIO PLACE, SUITE C
MONTEREY, CA 93940
PH: (831) 647-1192
CONTACT: JENNIFER RUDOLPH

LANDSCAPE ARCHITECT: SEVEN SPRINGS STUDIO
2548 EMPIRE GRADE
SANTA CRUZ, CA 95060
PH: (831) 466-4617
CONTACT: SIMON PHILLIPS

GEOTECHNICAL: HARO KASUNICH AND ASSOCIATES, INC.
116 EAST LAKE AVENUE
WATSONVILLE, CA 95076
PH: (831) 722-4175
CONTACT: JOHN KASUNICH

ARCHAEOLOGIST: HISTORIC RESOURCE ASSOCIATES
3142 BIRD ROCK ROAD
PEBBLE BEACH, CA 93953
CONTACT: DANA SUPERMOWICZ

PROJECT DESCRIPTION

CONSTRUCTION OF NEW, 2 STORY, 2,707 S.F. SINGLE FAMILY RESIDENCE WITH 4 BEDROOMS, 3 FULL BATHS, 1 HALF BATH, 1 CAR GARAGE, SECOND FLOOR VIEW DECK, PERIMETER FENCES UP TO 6 FEET, AND LOW PRIVACY WALLS ON ISABELLA AVENUE UP TO 4 FEET.

OWNERSHIP NOTES

OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:

- TITLE AND ALL "COPYRIGHT" PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY THE ARCHITECT, ERIC MILLER HEREINAFTER REFERRED TO AS "THE ARCHITECT" WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED RESTRICTIONS.
- THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE ARCHITECT HEREBY STATES THAT THEY ARE NOT INTENDED FOR NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IF THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE.
- THE ARCHITECT DISCLAIMS ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION, WHETHER OR NOT MODIFIED BY OTHERS FOR ANOTHER SITE.
- IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT, ERIC MILLER, HIS STAFF/ EMPLOYEES FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.

UTILITIES

- WATER: CALIFORNIA AMERICAN WATER COMPANY
- ELECTRICAL AND GAS: PACIFIC GAS & ELECTRIC
- SANITARY SEWER SYSTEM: CARMEL WASTEWATER

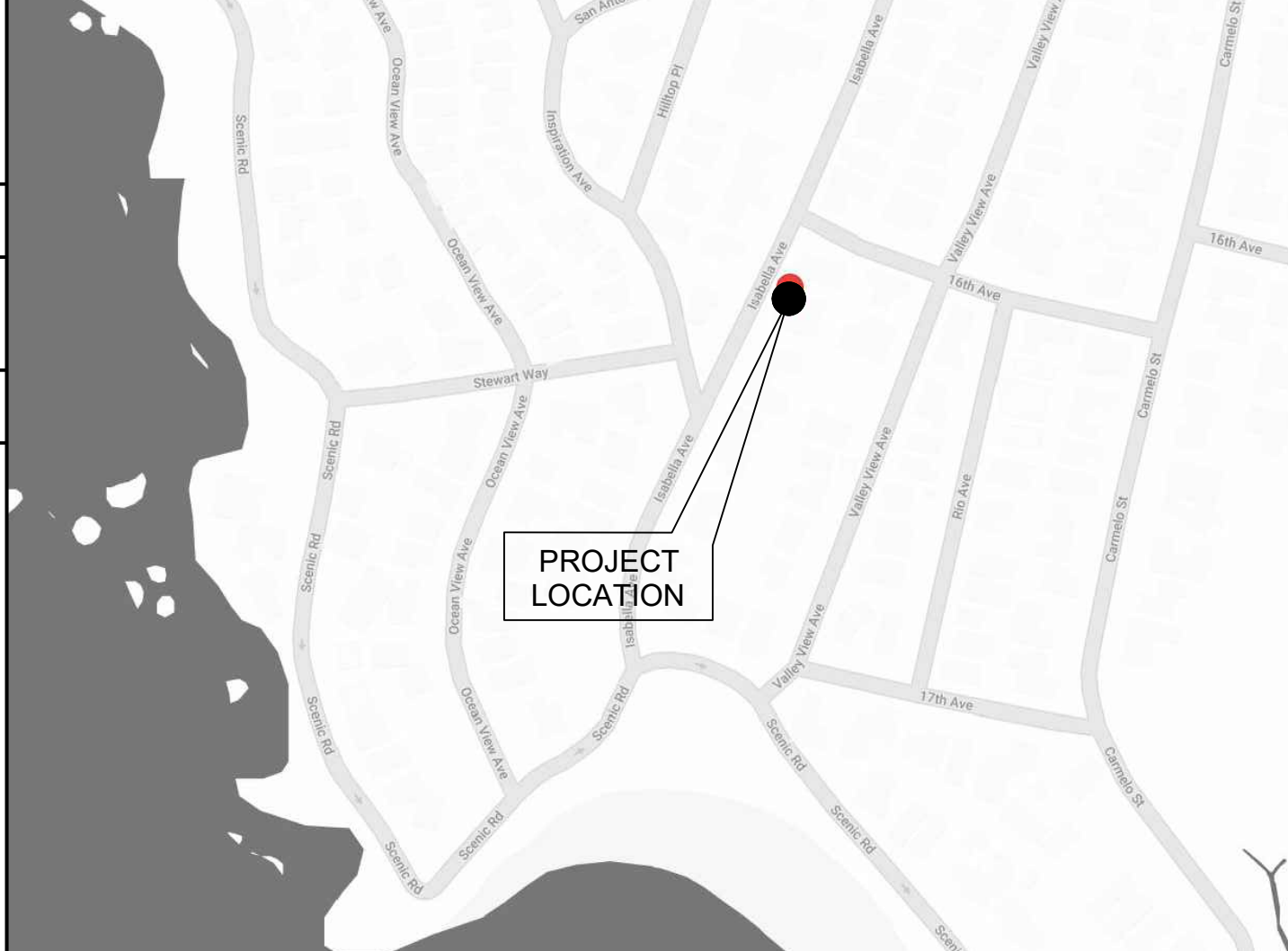
TREE REMOVAL

REMOVAL OF ONE 12" TREE.

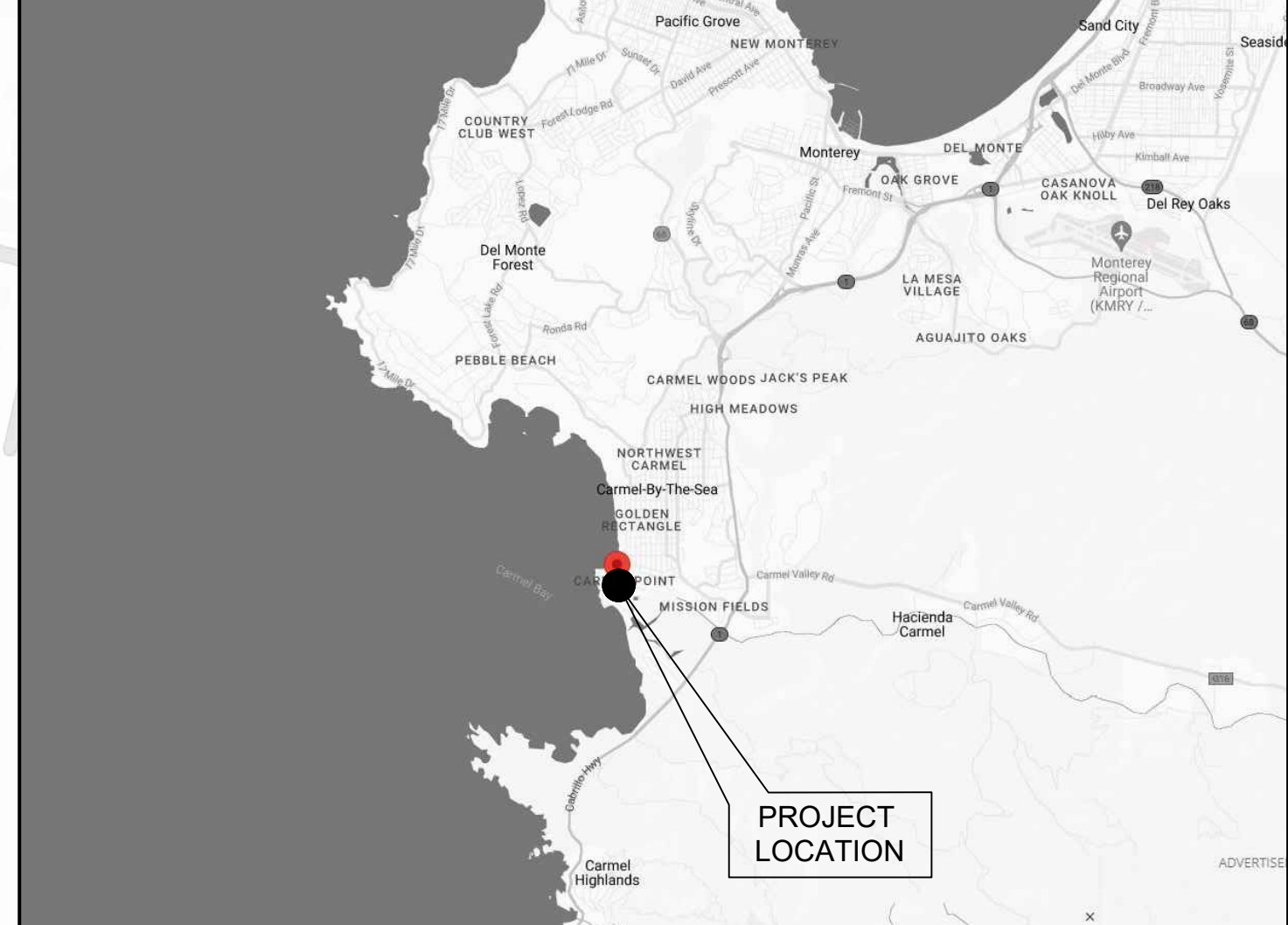
ARCHAEOLOGICAL NOTES

- STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA - PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED.
- ARCHAEOLOGICAL MITIGATION REQUIREMENTS ADOPTED BY MONTEREY COUNTY FOR ITS MITIGATED NEGATIVE DECLARATION AND FOR COUNTY CDPs FLN170611, FLN170612, AND FLN170613, ARE INCORPORATED AS CONDITIONS.
- ARCHAEOLOGICAL RESOURCES REPORT. ANY RECOMMENDATIONS OR OTHER MEASURES INCLUDED IN THE ARCHAEOLOGICAL REPORT CURRENTLY UNDERWAY WILL BE INCLUDED ON THE BUILDING PERMIT FOR NEW CONSTRUCTION.
- TRIBAL MONITOR. PRIOR TO GROUND DISTURBING ACTIVITIES RELATING TO NEW CONSTRUCTION, THE APPLICANT SHALL CONTRACT WITH THE LOCAL TRIBAL REPRESENTATIVE TO CONDUCT ON-SITE MONITORING FOR THE DURATION OF THE GROUND DISTURBING ACTIVITIES.

LOCATION MAP



VICINITY MAP



REVISION	No.

CONSULTANT:

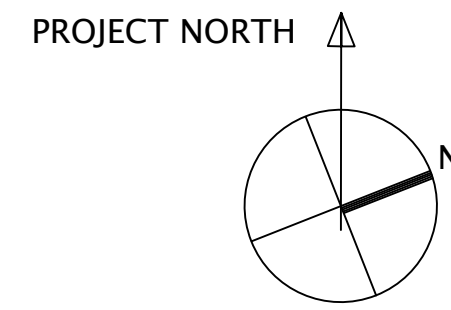
ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

ARCHITECT

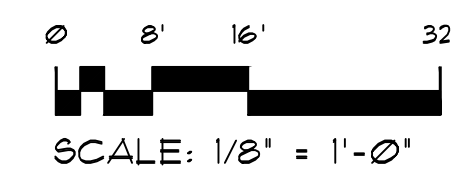
COVER SHEET
JOB NAME: Adamski Residence
26307 Isabella Avenue
Carmel, CA 93923
A.P.N. 009-463-012-000

DATE: 1/27/2025
SCALE: N/A
DRAWN: HRM
JOB NUMBER: 22.10

A0.1
SHEET OF



EXISTING SITE PLAN



REVISION	No.

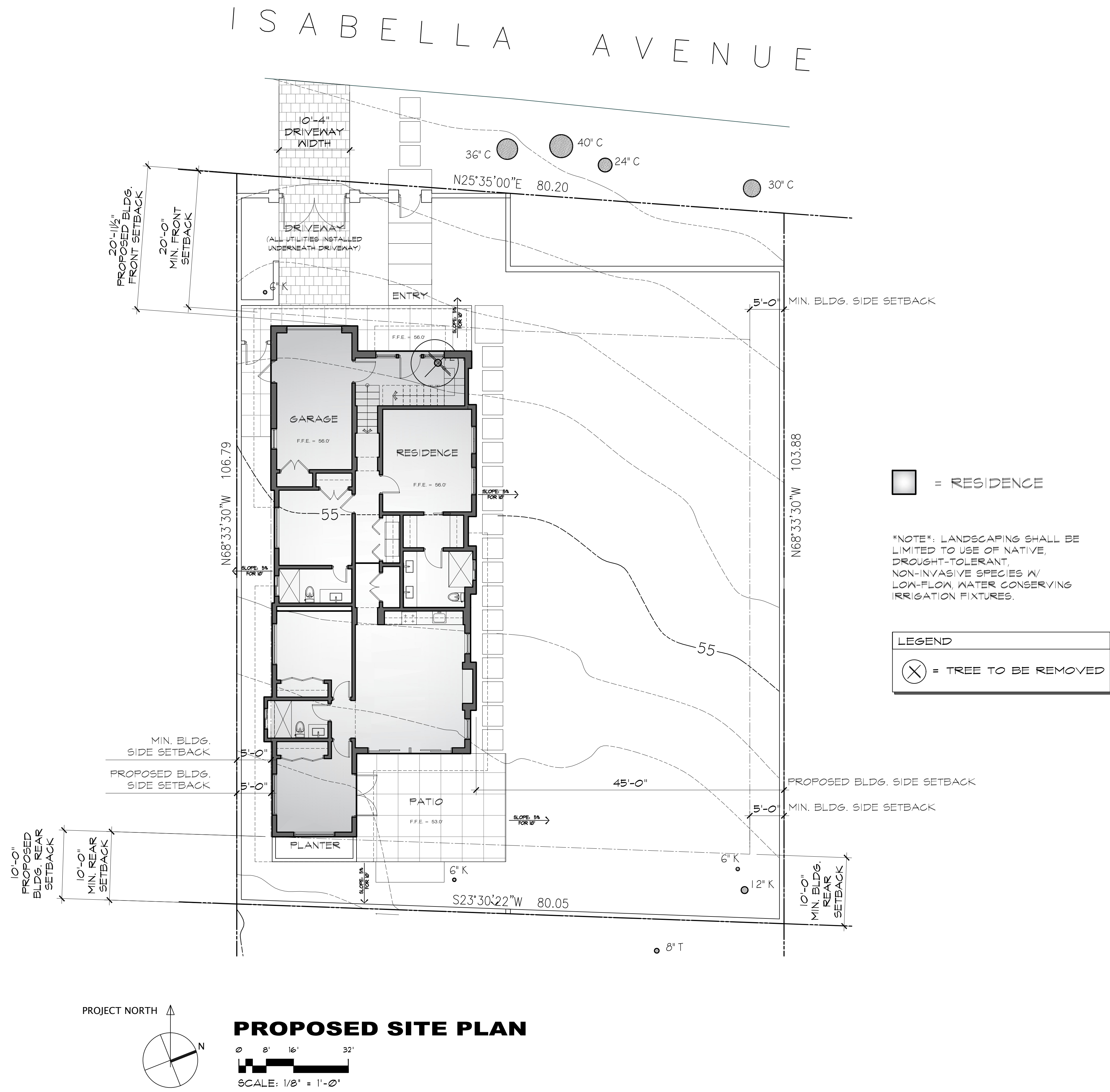
CONSULTANT:

ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7940 • WEB: www.ericmillerarchitects.com

EXISTING SITE PLAN
 JOB NAME: **Adamski Residence**
 26307 Isabella Avenue
 Carmel, CA 93923
 A.P.N. 009-463-012-000

DATE: 1/27/2025
 SCALE: 1/8" = 1'-0"
 DRAWN: HRM
 JOB NUMBER: 22.10

A-1.0
 SHEET OF



REVISION	No.

CONSULTANT:

ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7940 • WEB: www.ericmillerarchitects.com

PROPOSED SITE PLAN

JOB NAME: **Adamski Residence**
 2650T Isabella Avenue
 Carmel, CA 95023
 A.P.N. 004-463-012-000

DATE: 1/27/2025
 SCALE: 1/8" = 1'-0"
 DRAWN: HRM
 JOB NUMBER: 22.10

A-1.1
 SHEET OF

EXCAVATION CALCULATIONS:

GARAGE F.F.E. = 56.0'
 TOTAL = 0 S.F.

BEDROOM & FAMILY ROOM
 F.F.E. = 53.0'

0' - 5' = 204 S.F.
 5' - 1' = 181 S.F.
 1' - 1.5' = 241 S.F.
 1.5' - 2' = 221 S.F.
 2' - 2.5' = 222 S.F.
 2.5' - 2.9' = 109 S.F.

TOTAL = 1,177 S.F.

CUT LEGEND

= 0' - 6" OF CUT

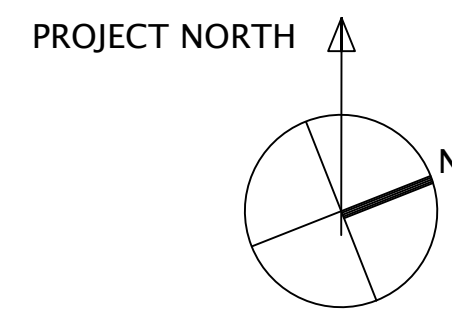
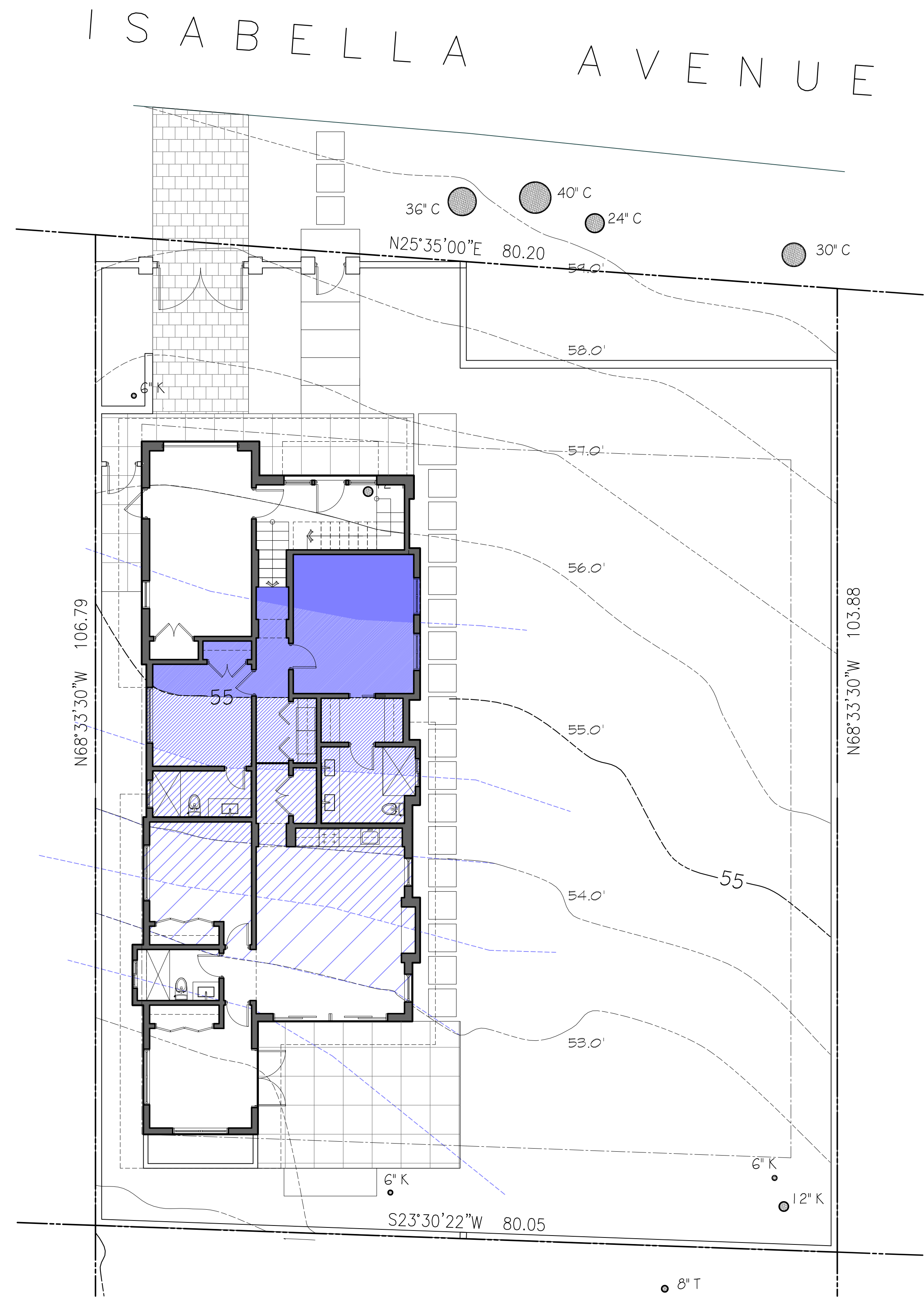
= 6" - 1' OF CUT

= 1' - 1.5' OF CUT

= 1.5' - 2' OF CUT

= 2' - 2.5' OF CUT

= 2.5' - 2.9' OF CUT



REVISION	No.

CONSULTANT:

ARCHITECT

ERIC MILLER ARCHITECTS, INC.

211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7940 • WEB: www.ericmillerarchitects.com

CUT DIAGRAM

JOB NAME: Adamski Residence
 2650T Isabella Avenue
 Carmel, CA 93923
 A.P.N. 004-463-012-000

DATE: 1/27/2025

SCALE: 1/8" = 1'-0"

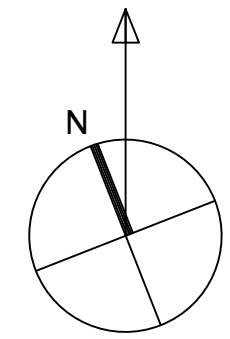
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JOB NUMBER: 22.10

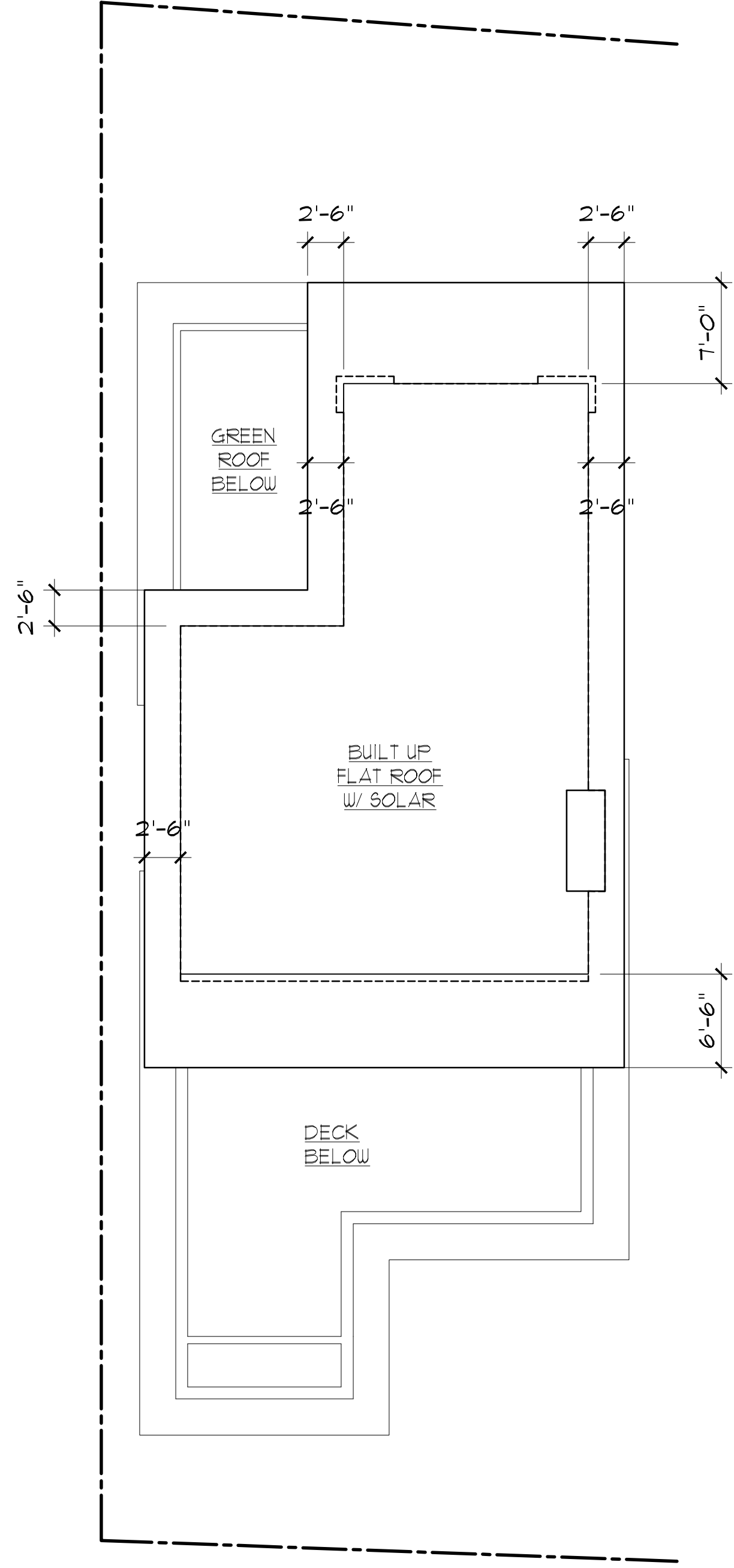
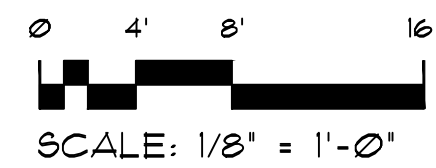
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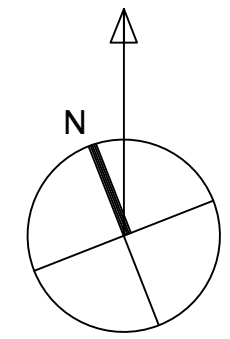
PROJECT NORTH



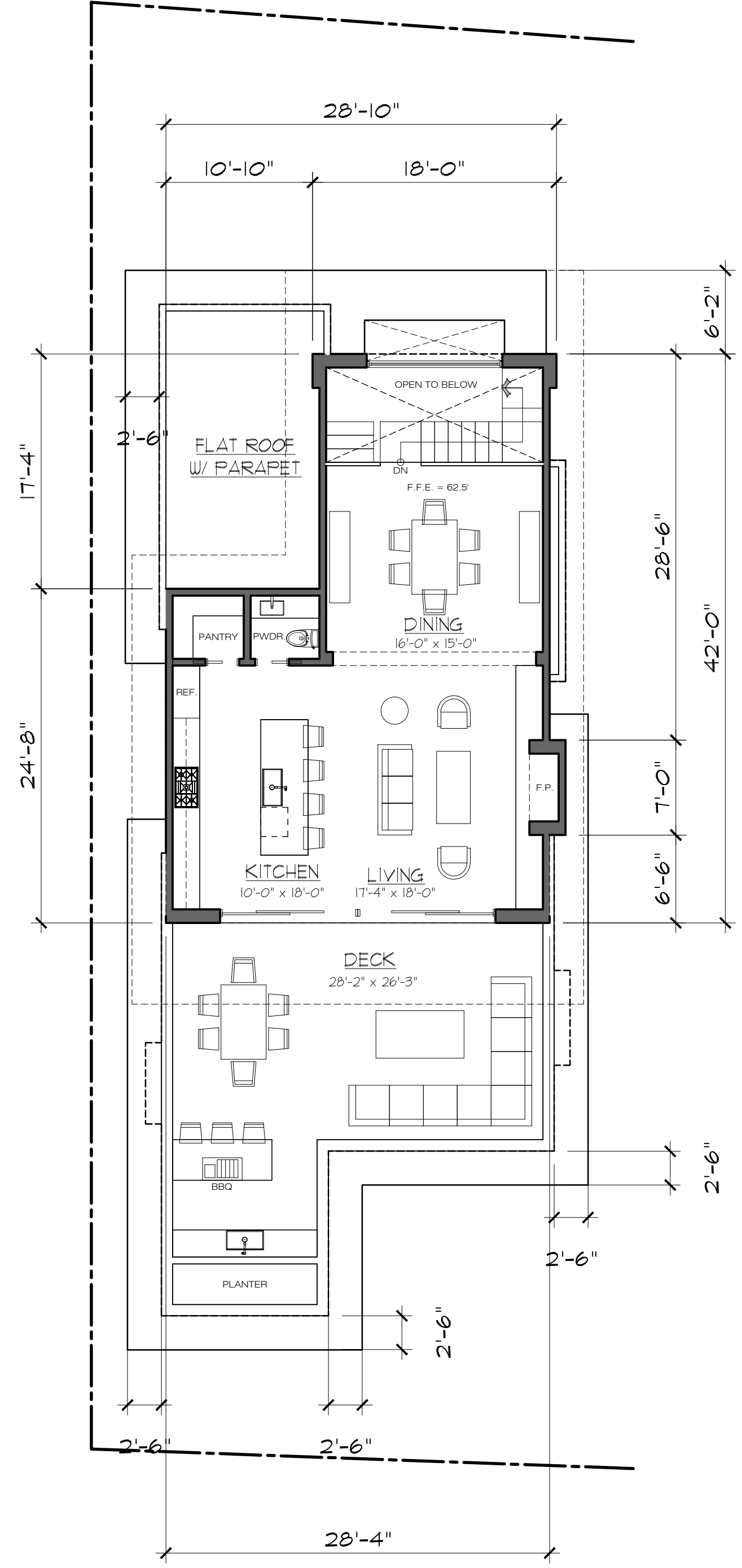
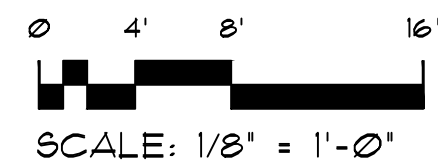
PROPOSED ROOF PLAN



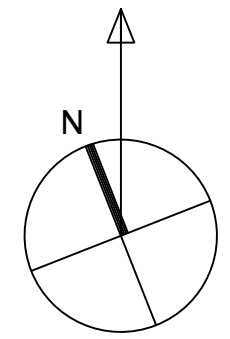
PROJECT NORTH



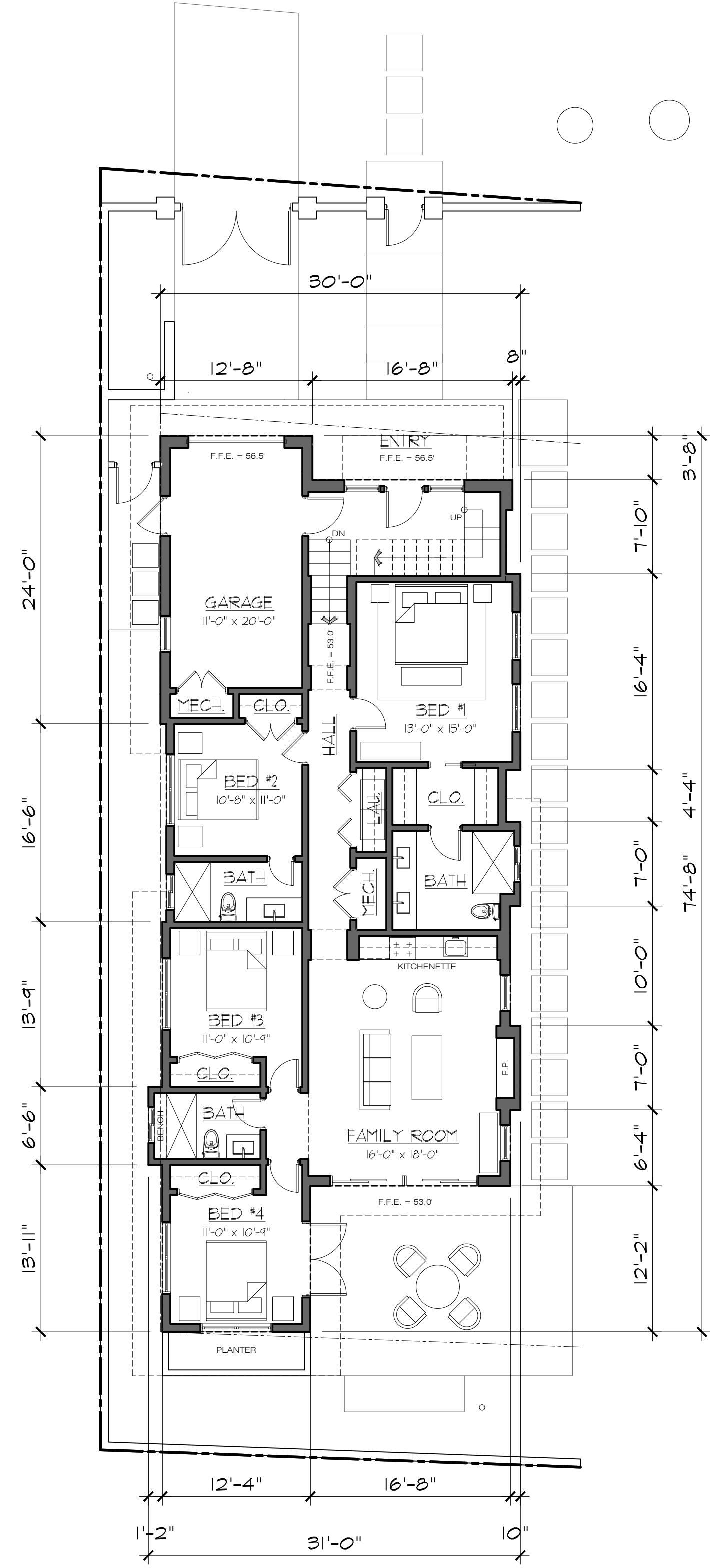
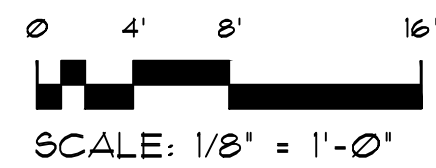
PROPOSED SECOND FLOOR PLAN



PROJECT NORTH



PROPOSED FIRST FLOOR PLAN



PLANS

JOB NAME: **Adamski Residence**
 2650T Isabella Avenue
 Carmel, CA 93923
 A.P.N. 004-463-012-000

DATE: 1/27/2025
 SCALE: 1/8" = 1'-0"
 DRAWN: HRM
 JOB NUMBER: 22.10

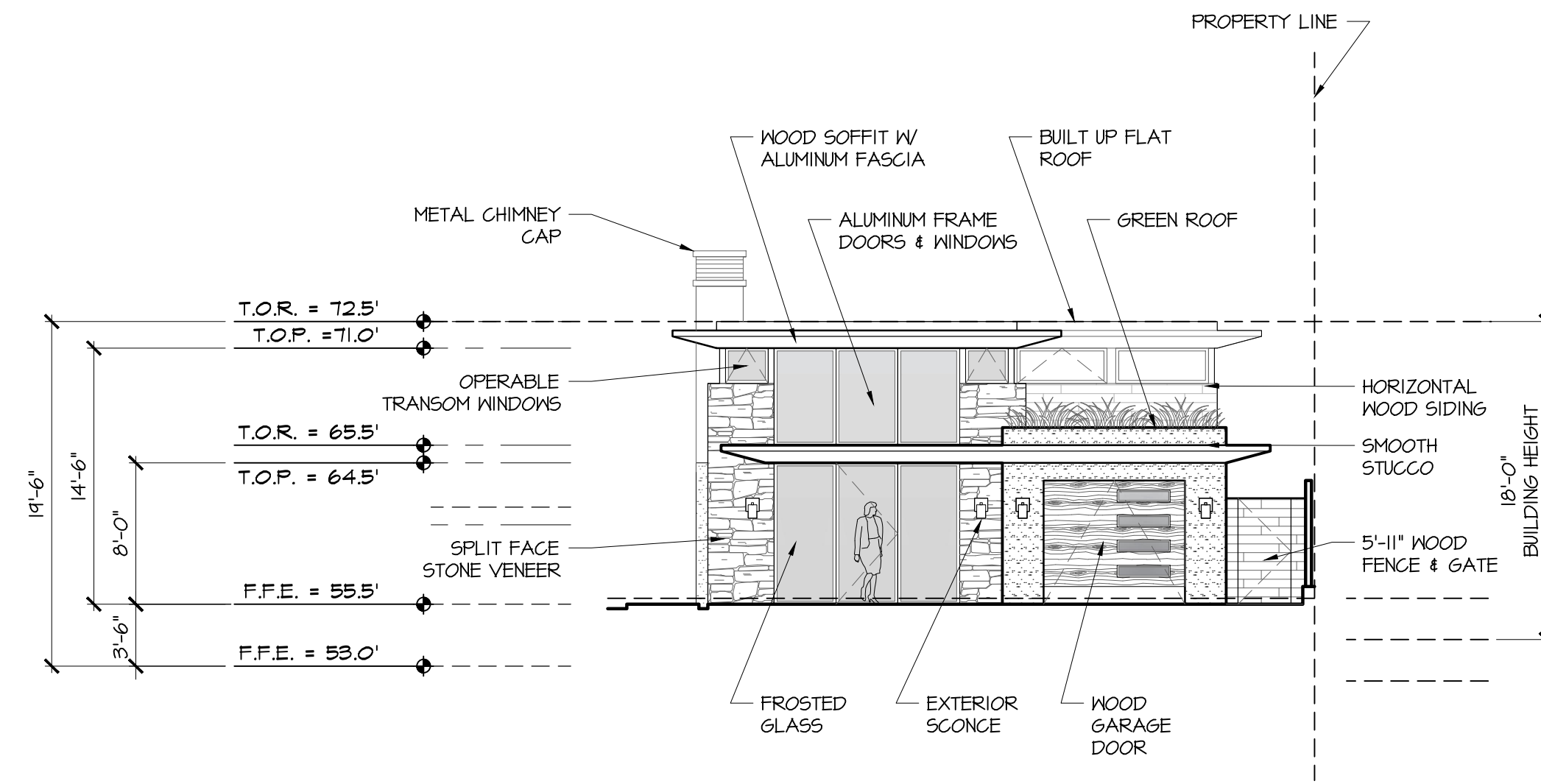
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ARCHITECT

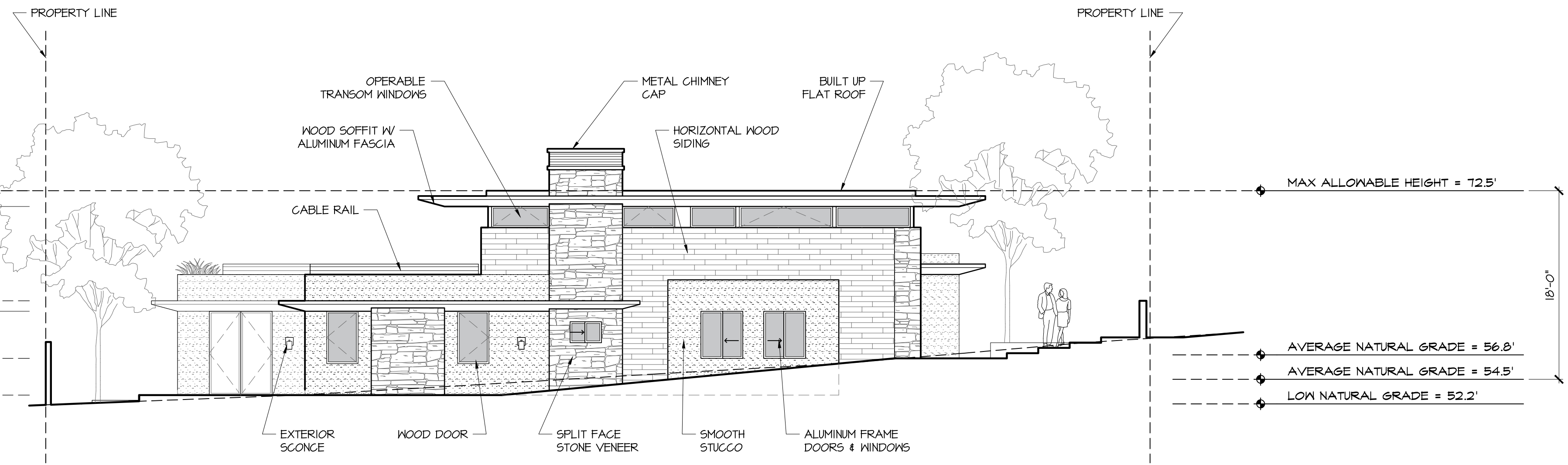
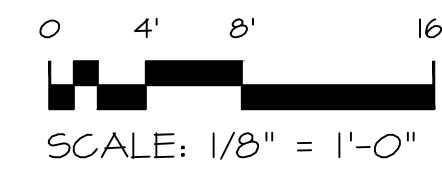
ERIC MILLER ARCHITECTS, INC.
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CONSULTANT:

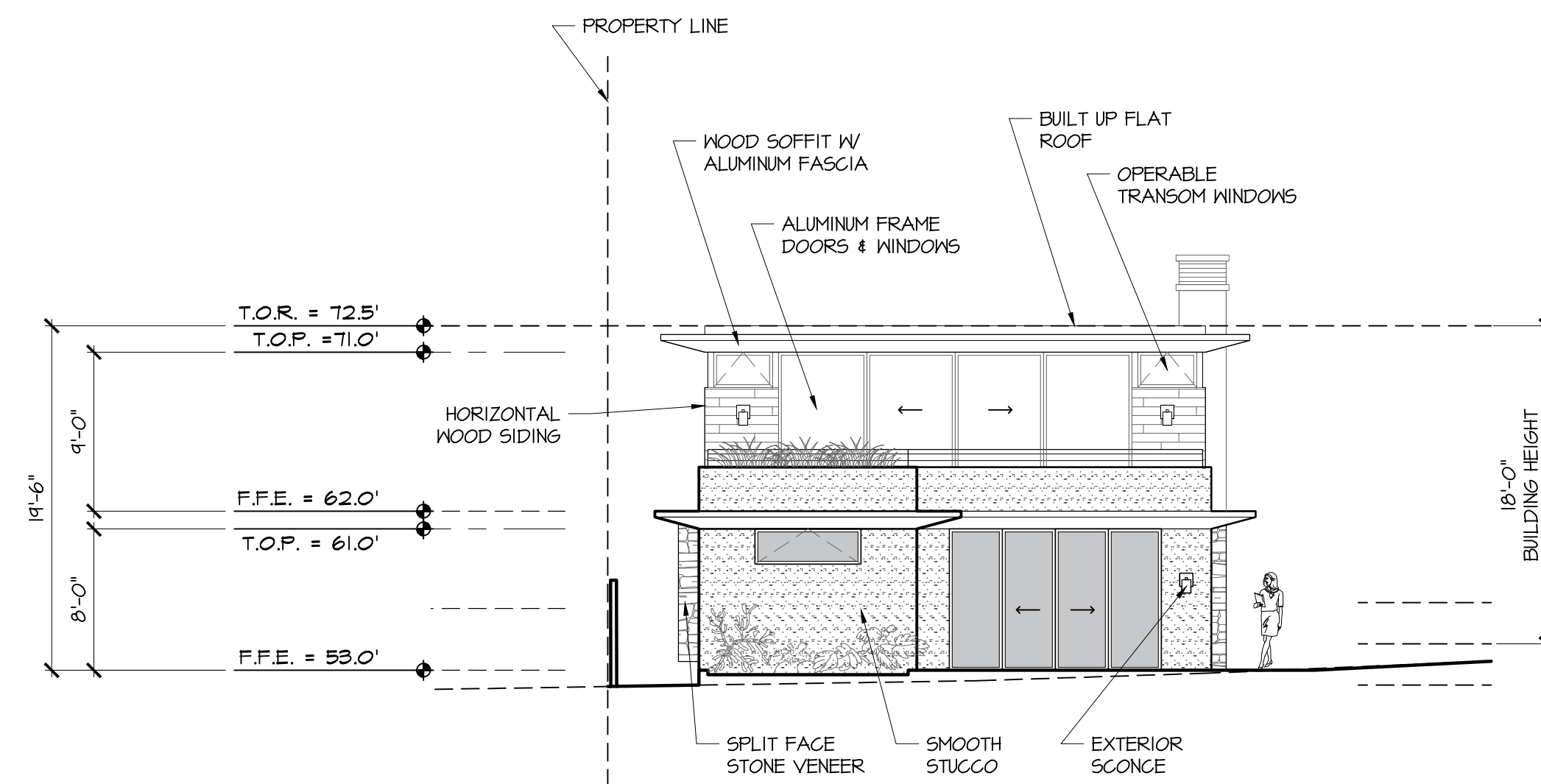
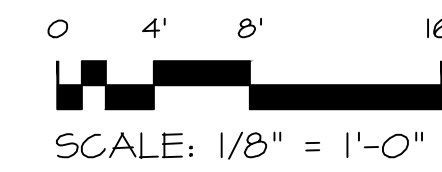
REVISION	No.



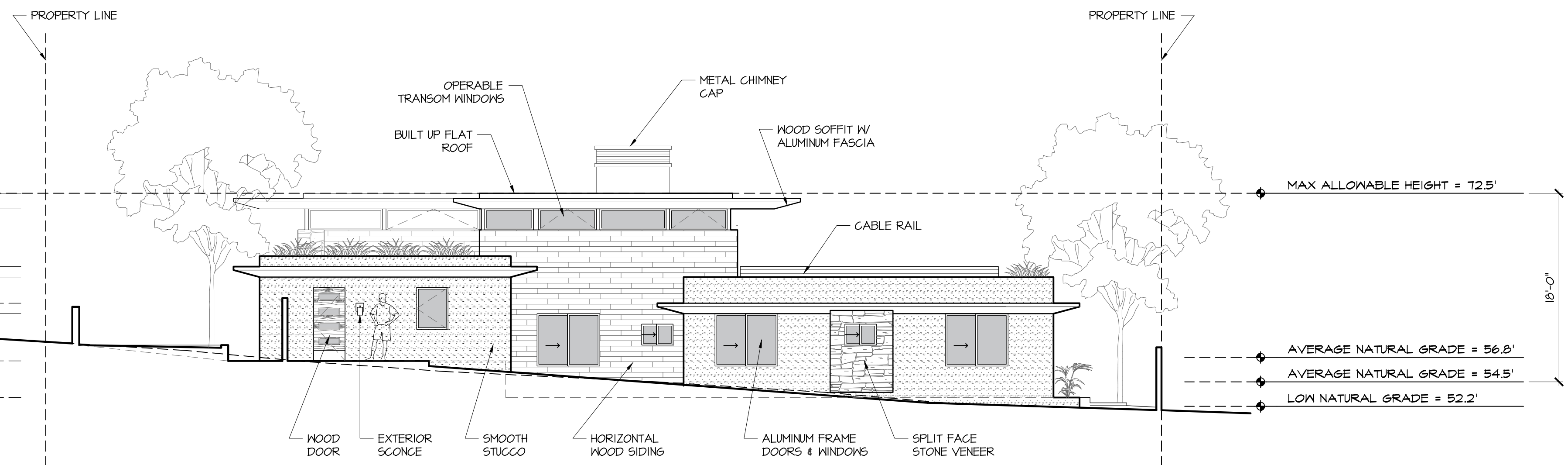
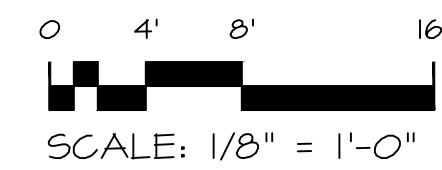
NORTH ELEVATION



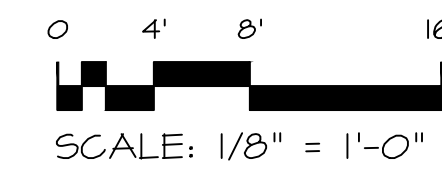
EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



REVISION	No.

CONSULTANT:

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ELEVATIONS
 JOB NAME: **Adamski Residence**
 26307 Isabella Avenue
 Carmel, CA 93923
 A.P.N. 009-463-012-000

DATE:	1/27/2025
SCALE:	1/8"=1'-0"
DRAWN:	HRM
JOB NUMBER:	22.10

J:\22_jobs\2210-Adamski-Isabella_DD\2210A7.dwg 1-27-25 01:10:06 PM
 THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REPRODUCTION OR PUBLICATION BY ANY MEANS, IN WHOLE OR IN PART, IS STRICTLY PROHIBITED. VISUAL CONTACT WITH THESE DRAWINGS & SPECIFICATIONS SHALL CONSTITUTE FORMAL AWARENESS OF ACCEPTANCE OF THESE RESTRICTIONS.



TRENCH GRATES - URBAN ACCESSORIES
"FLOW" IN ALUMINUM



DRAIN COVER - URBAN ACCESSORIES
"OPCB" IN ALUMINUM

10 DRAIN COVERS

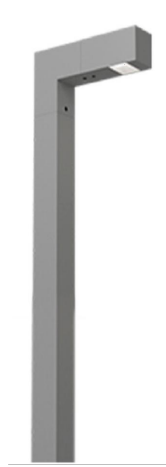


RECESSED DOWN LIGHT
STAINLESS STEEL
7W LED



MODEL : DICE SCOSCE LED IN WHITE BRONZE
LAMP : 3.5 LED WATT
MANUFACTURER : ROCKY MOUNTAIN HARDWARE

11 EXTERIOR LIGHTING



PATH DOWNLIGHT
STAINLESS STEEL FINISH
3W LED



WALL DOWNLIGHT
STAINLESS STEEL FINISH
3W LED



DRIVEWAY SURFACE DOWNLIGHT
STAINLESS STEEL FINISH
3W LED

12 LANDSCAPE LIGHTING



SMOOTH BEIGE STUCCO

7 STUCCO



TAPERED WOOD EAVE



ALUMINUM FASCIA

8 OVERHANG & EAVE

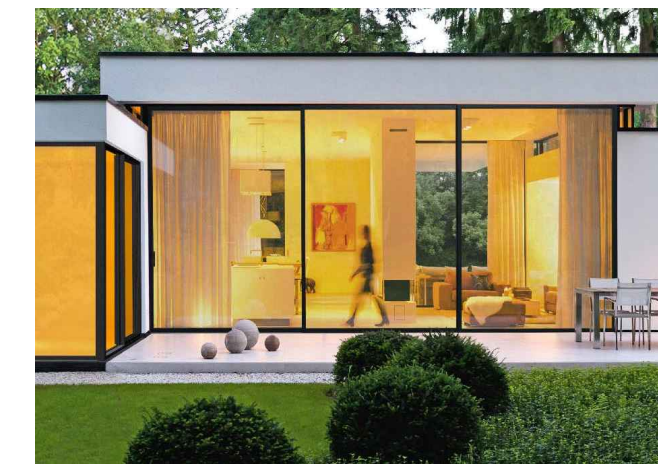


MANUFACTURER : CARRIAGE HOUSE
STYLE : "SONOMA" IN DOUGLAS FIR AND ALUMINUM

9 GARAGE DOOR



PIVOT DOOR
MANUFACTURER: ARGADIA
FRAME: CLEAR ANODIZED



MINIMAL FRAME SLIDING
GLASS DOOR



METAL FRAME WINDOWS

4 WINDOW & DOORS



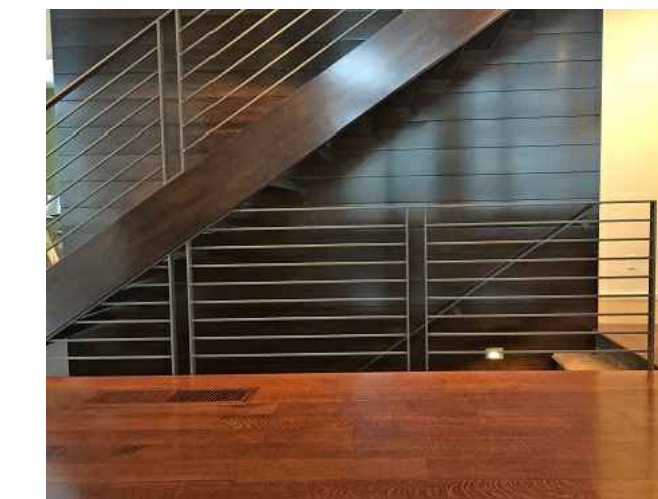
EXTERIOR STEPS
WITH UNDERLIGHTING



HORIZONTAL
WOOD FENCE



EXTERIOR FLOOR TILE SAMPLE



METAL GUARDRAIL

5 SITE WORK



THIN VENEER STONE: HUDSON LEDGESTONE
STONE LAYOUT : ASHLAR DRY STACK

6 STONE VENEER



BUILT UP FLAT ROOF



GREEN ROOF

1 METAL ROOF



Silverdale

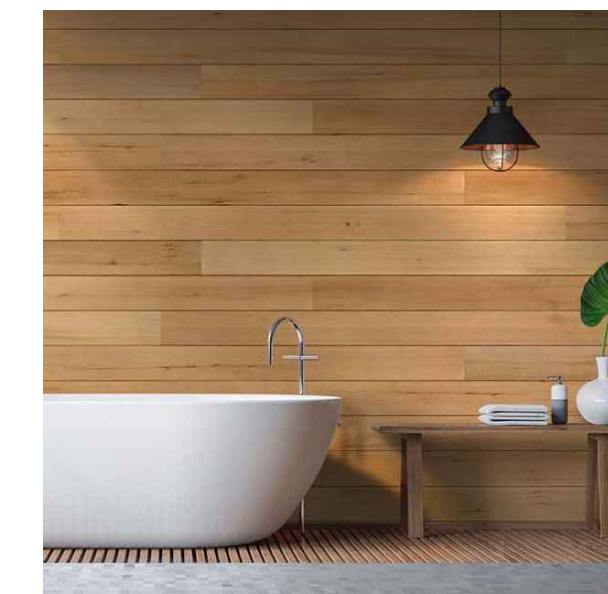


EXTERIOR FLOOR TILE SAMPLE
COLOR: SILVERDALE
MANUFACTURER: US STONE



COLOR: VERONA
MANUFACTURER: BASALITE - ITALIAN RENAISSANCE

2 PAVERS & PATIO



THERMALLY MODIFIED WOOD, UFP EDGE V6 HEMLOCK



3 WOOD SIDING & CEILING

REVISION	No.

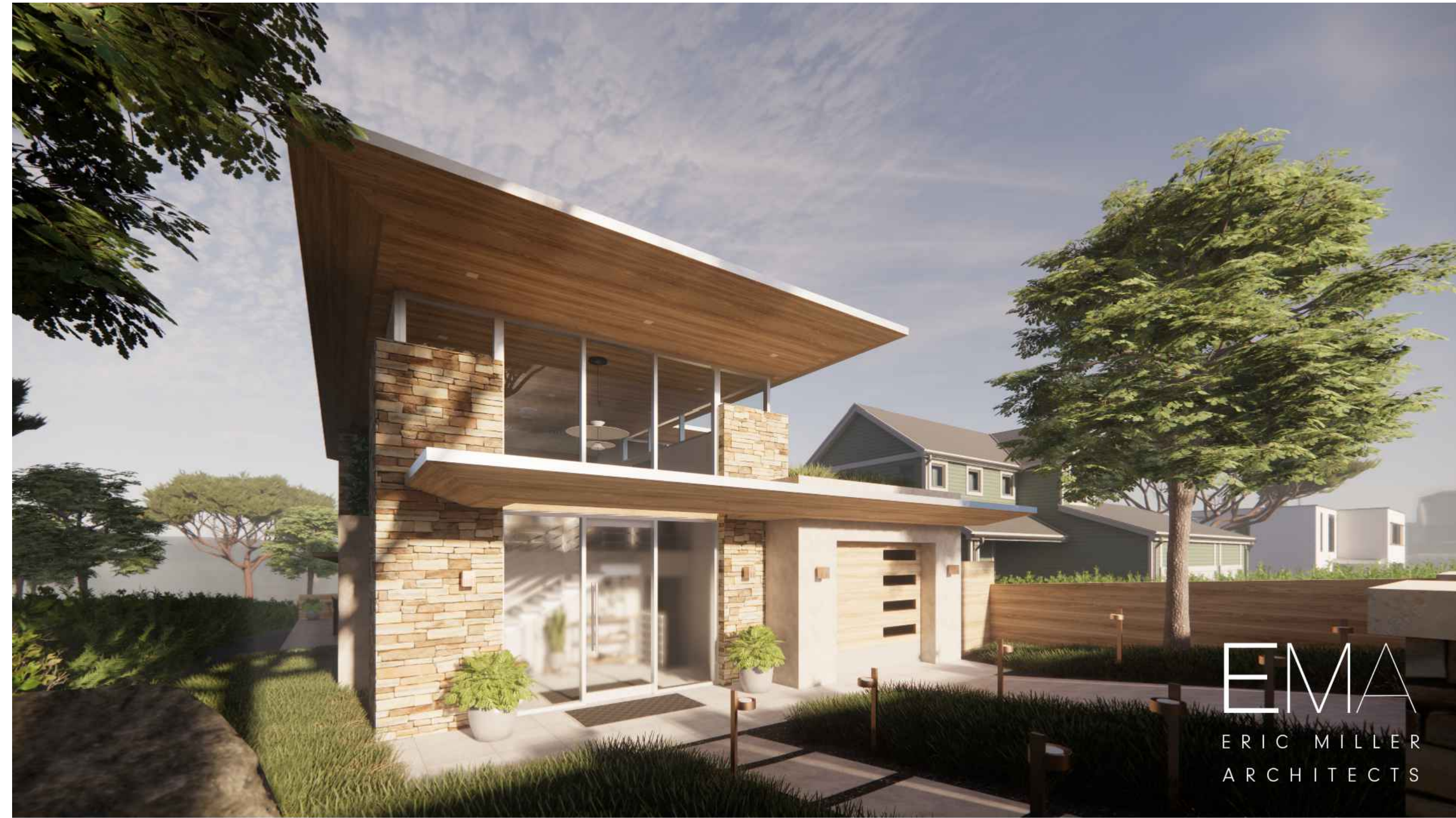
CONSULTANT:

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MATERIAL SAMPLES
 JOB NAME: Adamski Residence
 26307 Isabella Avenue
 Carmel, CA 93923
 A.P.N. 009-463-012-000

DATE:	1/27/2025
SCALE:	N.T.S.
DRAWN:	HRM
JOB NUMBER:	22.10

A-7.1
SHEET OF



ENTRY PERSPECTIVE



STREET PERSPECTIVE



REAR PATIO PERSPECTIVE



VIEW DECK PERSPECTIVE

REVISION	No.

CONSULTANT:

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RENDERED PERSPECTIVES
 JOB NAME: Adamski Residence
 26307 Isabella Avenue
 Carmel, CA 93923
 A.P.N. 009-463-012-000

DATE: 1/27/2025
 SCALE: N.T.S.
 DRAWN: HRM
 JOB NUMBER: 22.10

A7.2
 SHEET OF

GENERAL NOTES

- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND ACCOMPANYING SPECIFICATIONS. IN ADDITION ALL WORK SHALL ALSO CONFORM WITH THE FOLLOWING:
 - PROJECT SOILS REPORT PREPARED BY HARO, KASUNICH AND ASSOCIATES, INC. (PROJECT NO. M11382 DATED: 18 December 2017)
 - LATEST REVISION OF THE COUNTY OF MONTEREY DESIGN STANDARDS AND SPECIFICATIONS
 - THE LATEST REVISION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS (STATE SPECIFICATIONS)
 - THE 2023 EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ENERGY CODE (CEnC), CALIFORNIA ELECTRICAL CODE (CEC).
- THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE PLANS, DETAILS, AND SPECIFICATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION. IN THE EVENT THAT THE CONTRACTOR FINDS ANY DISCREPANCIES, OMISSIONS, OR DEFICIENCIES IN THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER AND THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- IT IS THE CONTRACTORS RESPONSIBILITY TO SECURE ALL REQUIRED PERMITS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE MONTEREY COUNTY BUILDING SERVICES DEPARTMENT (COUNTY) AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION.
- THE TOPOGRAPHY, LOCATIONS AND SIZE OF UNDERGROUND UTILITIES AND OR OTHER STRUCTURES SHOWN HEREON WERE OBTAINED FROM A FIELD SURVEY (BY OTHERS) AND OR FROM RECORD INFORMATION. NEITHER THE ENGINEER NOR THE OWNER MAKES ANY REPRESENTATION TO THE ACCURACY OF TOPOGRAPHY, SIZE AND OR LOCATION OF ANY OF THE UTILITIES OR STRUCTURES SHOWN ON THESE PLANS NOR FOR THE EXISTENCE OF ANY OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED THAT ARE NOT SHOWN ON THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE SIZE AND LOCATION OF EXISTING UNDERGROUND UTILITIES, SURFACE IMPROVEMENTS, AND OTHER STRUCTURES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THEM FROM DAMAGE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITY COMPANIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.
- THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 227-2600 AT LEAST 48 HOURS PRIOR TO EXCAVATION TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ANY CURRENTLY APPLICABLE SAFETY LAW OF ANY JURISDICTIONAL BODY. FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT THE STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND THE CONTROL OF TRAFFIC WITHIN THE CONSTRUCTION AREA. FOR ALL TRENCH EXCAVATION FIVE (5) FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH PRIOR TO BEGINNING ANY EXCAVATION. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
- EXISTING CURB, GUTTER, SIDEWALK, SURVEY MONUMENTS, AND OTHER IMPROVEMENTS WITHIN PROJECT SITE THAT ARE DAMAGED OR DISPLACED AS A RESULT OF THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THE PROJECT. THE CONTRACTOR AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE ENGINEER, AND ALL DESIGN CONSULTANTS FROM ANY AND ALL LIABILITY, CLAIMS, LOSSES OR DAMAGES ARISING FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN EXCEPT THOSE ARISING FROM THE SOLE NEGLIGENCE OF ANY OF THE PREVIOUSLY MENTIONED PEOPLE OR ENTITIES. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL LEAVE A 24-HOUR EMERGENCY TELEPHONE NUMBER WITH THE POLICE, FIRE DEPARTMENTS AND PRIVATE SECURITY COMPANY (IF APPLICABLE), AND KEEP THEM INFORMED DAILY REGARDING ANY CONSTRUCTION RELATED ACTIVITY IN THE PUBLIC RIGHT OF WAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, OFF-HAUL, AND PROPER DISPOSAL OF ALL ITEMS TO BE REMOVED INCLUDING BUT NOT LIMITED TO: CONCRETE, ASPHALT CONCRETE, STRIPING, ANY AND ALL OTHER DEBRIS FROM THE SITE, EXCESS MATERIAL FROM TRENCHING AND PAVEMENT CONSTRUCTION, TREES AND ROOT BALLS, FENCING AND SPOILS FROM EXCAVATION AT THE CONTRACTOR'S EXPENSE AND SHALL BE DISPOSED OF IN A LAWFUL MANNER.
- IF DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY HCD - PLANNING AND A QUALIFIED ARCHAEOLOGIST (I.E. AN ARCHAEOLOGIST REGISTERED WITH THE REGISTER OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.
- ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY THE ENGINEER AS WELL AS THE OWNER PRIOR TO THEIR CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON RECORD DRAWINGS PRIOR TO THE ACCEPTANCE OF THE WORK AS COMPLETE. ANY CHANGES TO OR DEVIATIONS FROM THE PLANS MADE WITHOUT AUTHORIZATION SHALL BE AT THE CONTRACTOR'S SOLE RISK AND SHALL ABSOLVE THE ENGINEER OF ANY AND ALL RESPONSIBILITY ASSOCIATED WITH THE CHANGE OR DEVIATION.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP THE SITE AND ADJACENT AREAS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH
 - COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
 - KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
 - LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
- A COPY OF ALL FIELD REPORTS/COMPACTIONS TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY AT SCHEDULED INSPECTIONS.
- PAD ELEVATION/S SHALL BE CERTIFIED TO 0.1 FEET, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.

GRADING AND DRAINAGE

- CONTRACTOR SHALL NOTIFY THE COUNTY 48 HOURS BEFORE STARTING ANY GRADING OPERATIONS.
- ALL GRADING SHALL CONFORM TO THE COUNTY GRADING ORDINANCE (CHAPTER 16.08) AND THE EROSION CONTROL ORDINANCE (CHAPTER 16.12) AS APPLICABLE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF GRADING, RIGHT-OF-ENTRY, PERMISSION TO GRADE, AND ENCROACHMENT PERMIT(S) MAY BE REQUIRED PRIOR TO GRADING.
- IT IS THE CONTRACTORS RESPONSIBILITY TO PREPARE THE GROUND SURFACE TO RECEIVE THE FILLS AND TO PLACE, SPREAD, MIX, WATER, AND COMPACT THE FILL. THE CONTRACTOR SHALL ALSO REMOVE ALL MATERIAL CONSIDERED UNSATISFACTORY.
- WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUB-GRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND BACKFILLED WITH SELECT MATERIAL.
- MAXIMUM CUT AND FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.
- ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PLANTED WITH SUITABLE GROUND COVER.
- TREE REMOVAL SHALL INCLUDE REMOVAL OF TRUNKS, STUMPS, AND ROOTBALLS. THE REMAINING CAVITY SHALL BE CLEARED OF ALL ROOTS LARGER THAN 1/2" TO A DEPTH OF NOT LESS THAN 18" AND BACKFILLED WITH SUITABLE MATERIAL THEN COMPACTED TO CONFORM WITH THE EXISTING GROUND.
- CONTRACTOR SHALL USE CAUTION WHEN GRADING AROUND AND/OR OVER EXISTING UNDERGROUND UTILITIES.
- ALL SURFACE DRAINAGE SHALL MAINTAIN 2% SLOPE MINIMUM UNLESS NOTED OTHERWISE.
- PERVIOUS SURFACES IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.
- DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15) THE FOLLOWING MEASURES MUST BE TAKEN:
 - DISTURBED SURFACES NOT INVOLVED IN IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON DOWNHILL PROPERTIES.
 - RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
 - DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGH THE LIFE OF THE PROJECT DURING WINTER OPERATIONS
- VEGETATION REMOVAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THAT AREA SHALL BE PLANTED.
- NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION.

UNDERGROUND UTILITIES

- CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES, INCLUDING STORM DRAINS, SANITARY SEWERS AND WATER LINES, BEFORE ORDERING MATERIALS AND/OR CONSTRUCTING NEW FACILITIES.
- ALL EXISTING MANHOLES AND UTILITY BOXES WITHIN THE PROJECT AREA ARE TO BE SET FLUSH WITH FINISHED GRADE, UNLESS OTHERWISE NOTED.
- ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES, CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.
- PIPE MATERIALS AND INSTALLATION PROCEDURE SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.
- DAMAGE SHALL BE REPAIRED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE COUNTY.

ABBREVIATIONS

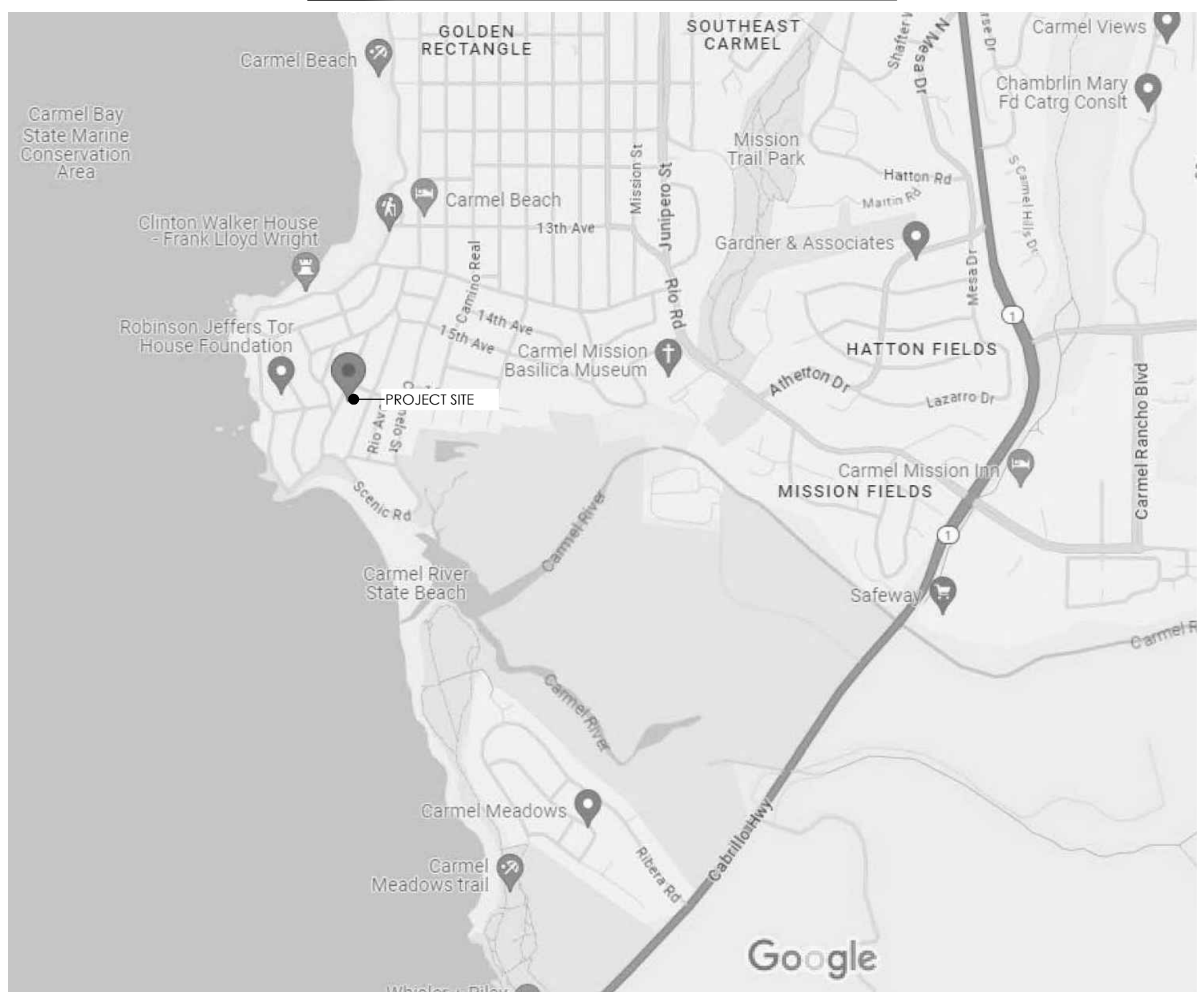
- (E) EXISTING
- FG FINISH GROUND GRADE
- FF FINISH FLOOR
- FL FLOW LINE
- FP FINISH PAVEMENT GRADE
- G GROUND
- M.E. MATCH EXISTING
- (N) NEW
- SD STORM DRAIN
- SS SANITARY SEWER
- TC TOP OF CURB GRADE
- (TYP) TYPICAL
- W WATER

SHEET INDEX

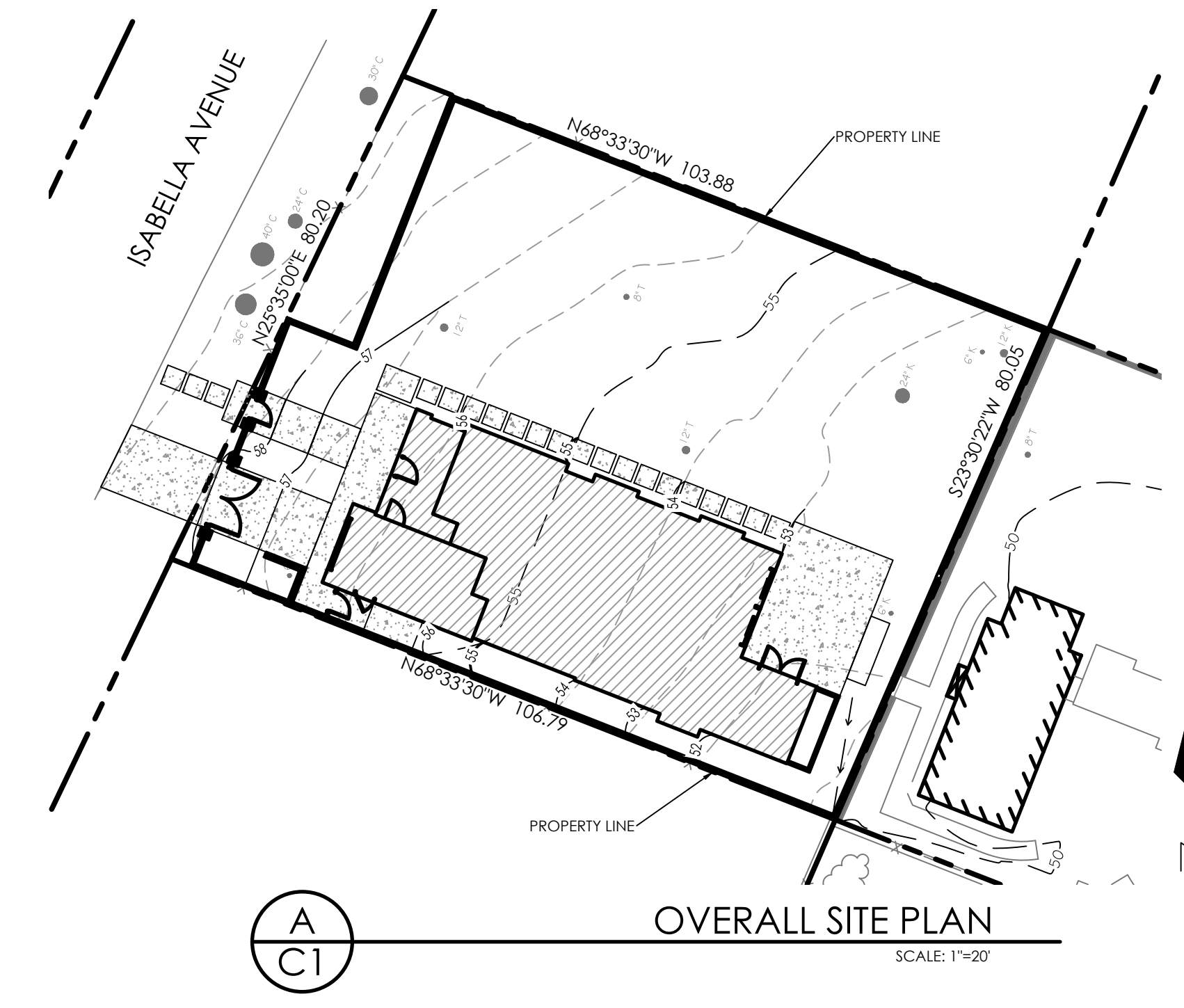
- C1 TITLE SHEET
- C2 GRADING AND DRAINAGE PLAN
- C3 STORMTECH DETAILS
- C4 CONSTRUCTION DETAILS
- C5 EROSION CONTROL PLAN

Inspection:	When:	Who:	Inspection By:	Date of Inspection:
Inspect and test Keyway/Subexcavation/overexcavation:	1) Prior to backfilling	Soils Engineer		
	2) During backfill placement - ongoing	Soils Engineer		
Inspect and Test Building Pad Subgrade:	Prior to excavation footings or placement of slab-on-grade materials	Soils Engineer		
Inspect Slab-on-grade installation:	Prior to concrete placement	Soils Engineer		
Inspect Foundation and/or retaining wall footing excavations:	Prior to reinforcement placement	Soils Engineer		
Inspect and Test Retaining wall backfill:	During backfill placement - ongoing	Soils Engineer		
Inspect and Test Driveway Fill, Subgrade and Baseroack Placement:	1) During fill placement	Soils Engineer		
	2) Subgrade, prior to baseroack placement	Soils Engineer		
	3) Baseroack prior to AC, Concrete or Pavement	Soils Engineer		
Inspect and Test Drainage Installation:	1) After pipe placement, prior to backfill placement	Soils Engineer		
	2) During backfill placement - ongoing	Soils Engineer		
Inspect site stripping and clearing	After clearing complete	Soils Engineer		
Inspect utility trench compaction	After utility trench backfill	Soils Engineer		

VICINITY MAP



GRADING AND DRAINAGE PLAN FOR NEW RESIDENCE



LAND DISTURBANCE

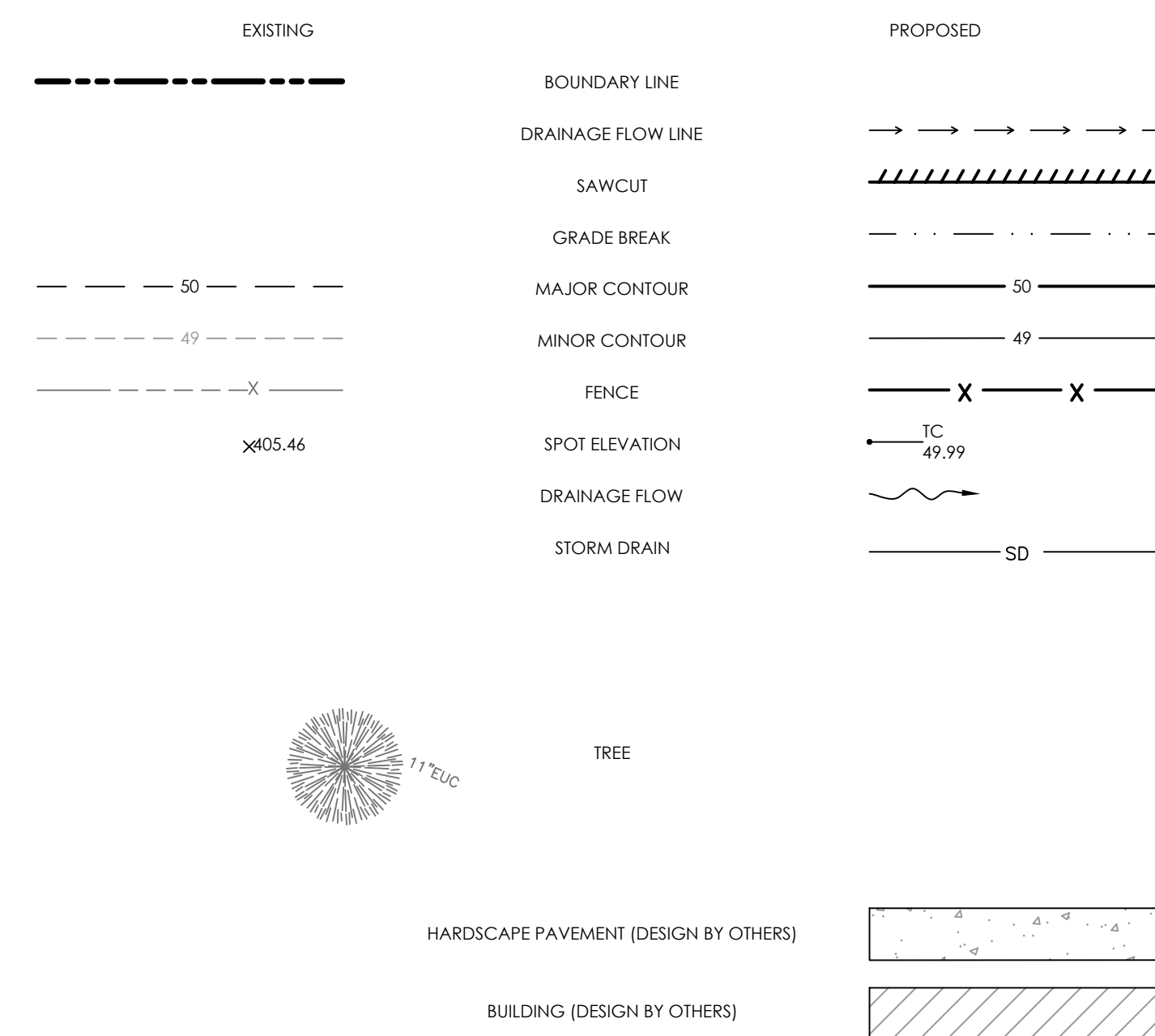
LAND DISTURBANCE AREA = 4,265 SF

GRADING QUANTITIES

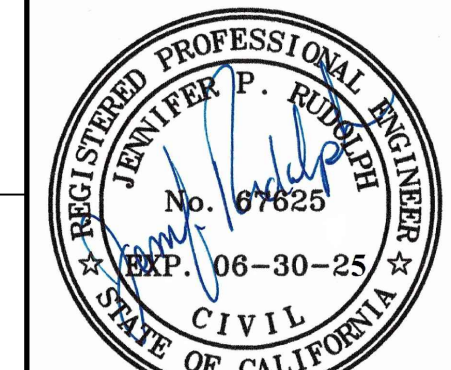
EARTHWORK QUANTITIES:
CUT = 69 CY
FILL = 33 CY

EARTHWORK QUANTITIES ARE ESTIMATES TO FINISH GRADE ONLY AND ASSUMES NO FILL/CUT FOR MATERIAL SECTIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACTUAL EARTHWORK QUANTITIES. NO ALLOWANCE HAS BEEN MADE TO ACCOUNT FOR QUANTITIES FROM PAVEMENT OR TRENCHING FOR FOUNDATION, FOOTINGS, PIERS AND/OR UTILITIES TRENCHES.

LEGEND



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TITLE SHEET
ADAMSKI RESIDENCE
26307 ISABELLA AVENUE
CARMEL, CA 93923

SCALE: AS NOTED
DATE: 1/24/2025
DESIGN BY: JPR
DRAWN BY: JPR
CHECKED BY:
SHEET NUMBER:
C1
OF 5 SHEETS
PROJECT# 124134

Drawing file: Z:\Projects\124134_Adamski-26307_Isabella.dwg 124134 Grading Plan.dwg
Plotted: Jan 24, 2025 11:14 am

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LEGEND

CUT AREA

FILL AREA

GRAPHIC SCALE

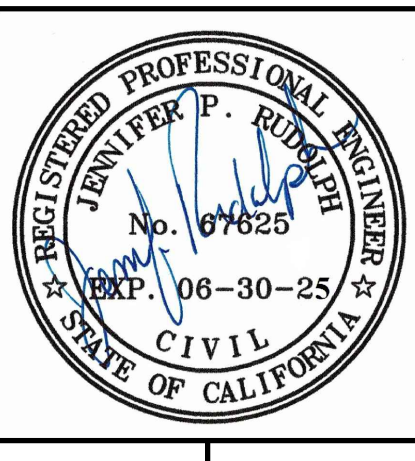
A
C2
GRADING AND DRAINAGE PLAN
 SCALE: 1"=5'

REV.	DATE	DESCRIPTION

C3 ENGINEERING INCORPORATED

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GRADING PLAN

ADAMSKI RESIDENCE
 26307 ISABELLA AVENUE
 CARMEL, CA 93923

SCALE: AS NOTED

DATE: 1/24/2025

DESIGN BY: JPR

DRAWN BY: JPR

CHECKED BY:

SHEET NUMBER:

C2

OF 5 SHEETS
PROJECT# 124134



STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH SC-740 OR SC-310.
- CHAMBERS SHALL BE MANUFACTURED FROM VIRGIN POLYPROPYLENE OR POLYETHYLENE RESINS.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL MEET ASTM F2922 (POLYETHYLENE) OR ASTM F2418-16 (POLYPROPYLENE), "STANDARD SPECIFICATION FOR THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBERS SHALL BE DESIGNED AND ALLOWABLE LOADS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. THE CHAMBER MANUFACTURER SHALL SUBMIT THE FOLLOWING UPON REQUEST TO THE SITE DESIGN ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:
 - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY AASHTO FOR THERMOPLASTIC PIPE.
 - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET. THE 50 YEAR CREEP MODULUS DATA SPECIFIED IN ASTM F2418 OR ASTM F2922 MUST BE USED AS PART OF THE AASHTO STRUCTURAL EVALUATION TO VERIFY LONG-TERM PERFORMANCE.
 - STRUCTURAL CROSS SECTION DETAIL ON WHICH THE STRUCTURAL EVALUATION IS BASED.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-310/SC-740 SYSTEM

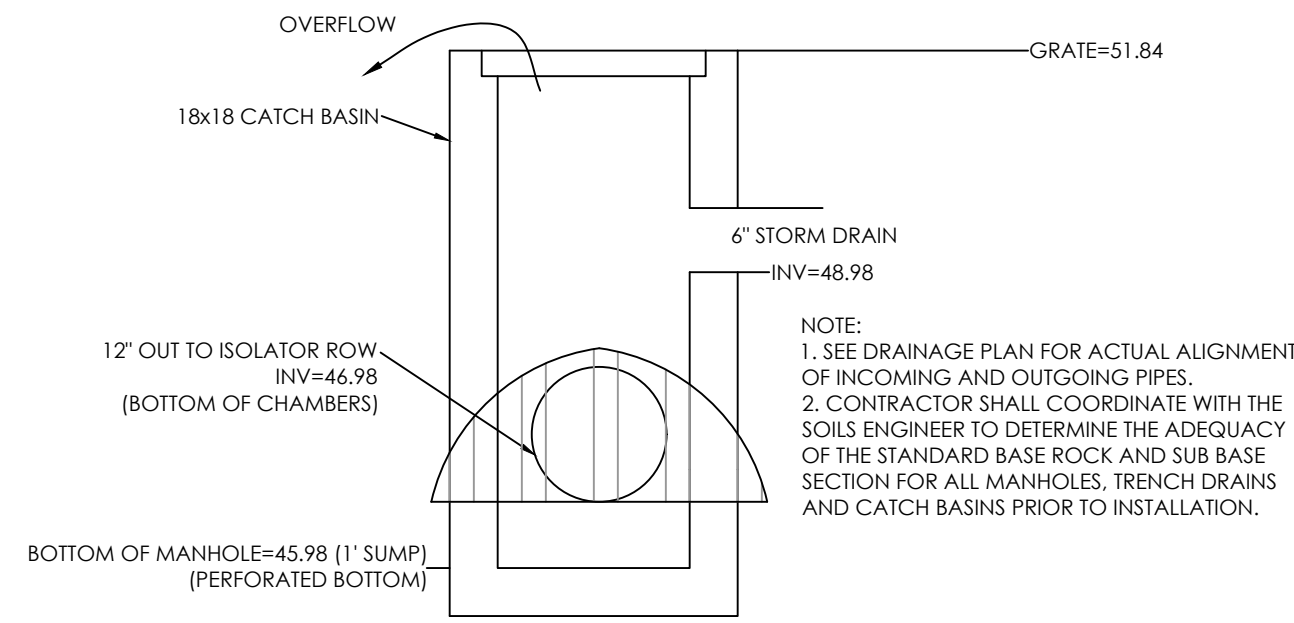
- STORMTECH SC-310 & SC-740 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONESHOOTER LOCATED OFF THE CHAMBER BED
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM - 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4"-2" (20-50 mm).
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

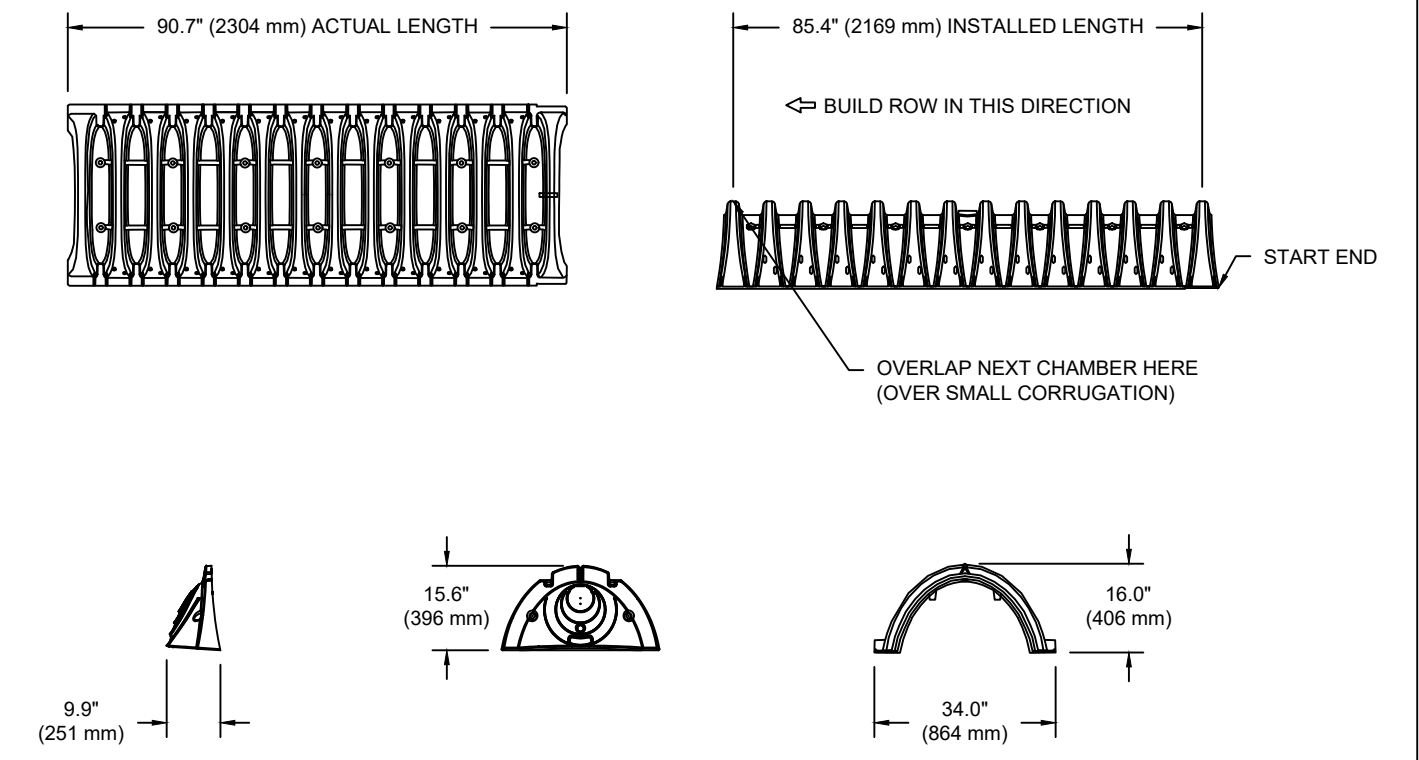
- STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- THE USE OF CONSTRUCTION EQUIPMENT OVER SC-310 & SC-740 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER Tired LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.



DIVERSION STRUCTURE



NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	CHAMBER STORAGE	MINIMUM INSTALLED STORAGE*	WEIGHT
34" (864 mm) X 16" (406 mm) X 85.4" (2169 mm)	14.7 CUBIC FEET (0.42 m³)	31.0 CUBIC FEET (0.88 m³)	35.0 lbs (16.8 kg)

*ASSUMES 6" (152 mm) ABOVE, BELOW, AND BETWEEN CHAMBERS



PRE-FAB STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
 PRE-FAB STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"
 PRE-CORED END CAPS END WITH "C"

PART #	STUB	A	B	C
SC310EPE007 / SC310EPE010TPC	6" (150 mm)	9.6" (244 mm)	5.8" (147 mm)	---
SC310EPE008 / SC310EPE08BPC	---	---	---	0.5" (13 mm)
SC310EPE007 / SC310EPE08TPC	8" (200 mm)	11.9" (302 mm)	3.5" (89 mm)	---
SC310EPE008 / SC310EPE08BPC	---	---	---	0.6" (15 mm)
SC310EPE107 / SC310EPE10TPC	10" (250 mm)	12.7" (323 mm)	1.4" (36 mm)	---
SC310EPE108 / SC310EPE10BPC	---	---	---	0.7" (18 mm)
SC310EPE12B	12" (300 mm)	13.5" (343 mm)	---	0.9" (23 mm)

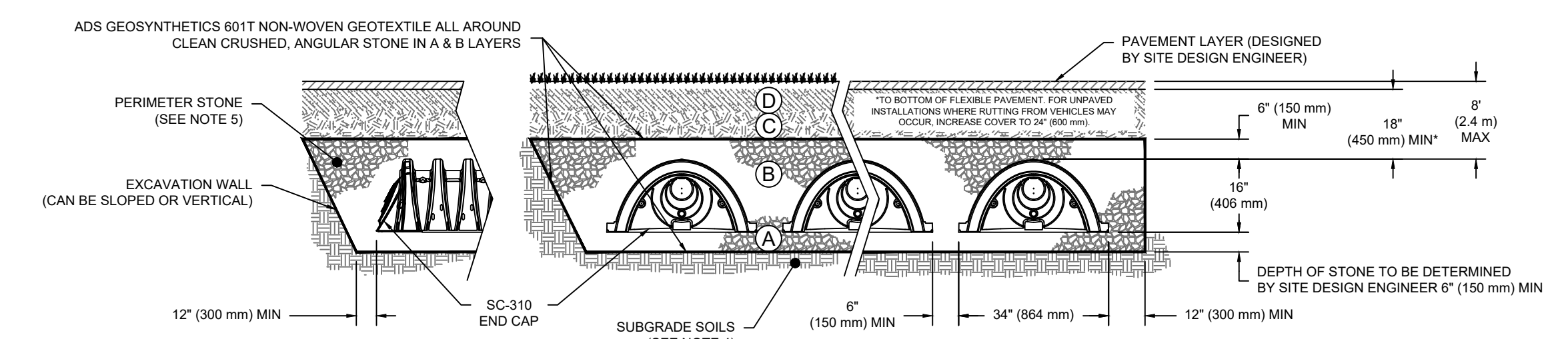
ALL STUBS, EXCEPT FOR THE SC310EPE12B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.
 * FOR THE SC310EPE12B THE 12" (300 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 0.25" (6 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.
 NOTE: ALL DIMENSIONS ARE NOMINAL.

2 SC-310 TECHNICAL SPECIFICATIONS

ACCEPTABLE FILL MATERIALS: STORMTECH SC-310 CHAMBER SYSTEMS

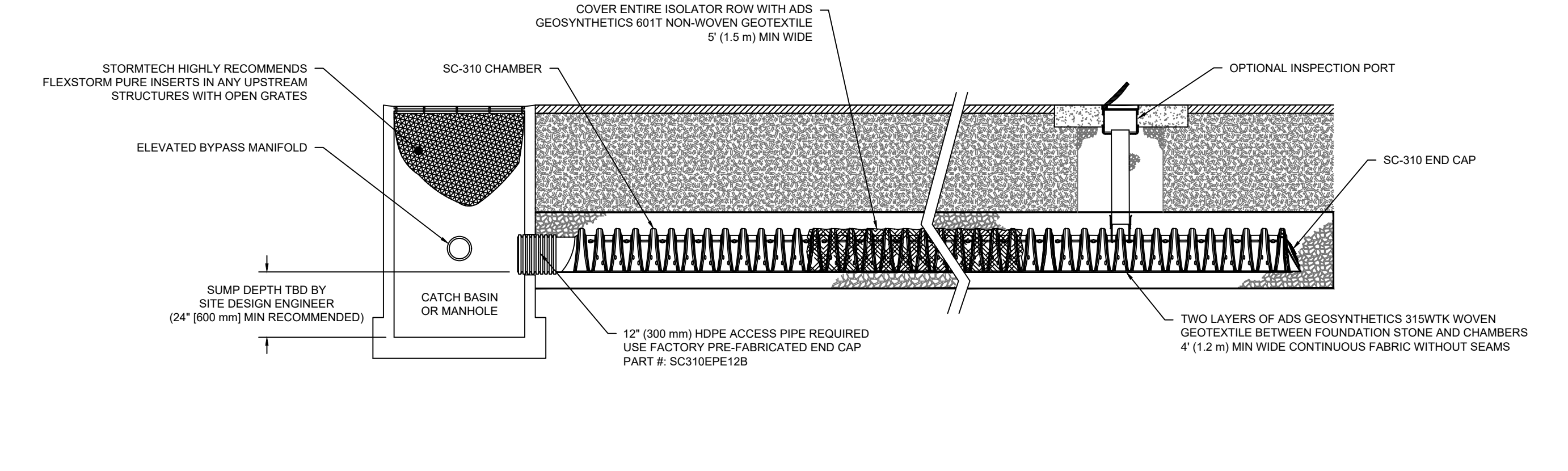
MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN) DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

PLEASE NOTE:
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.

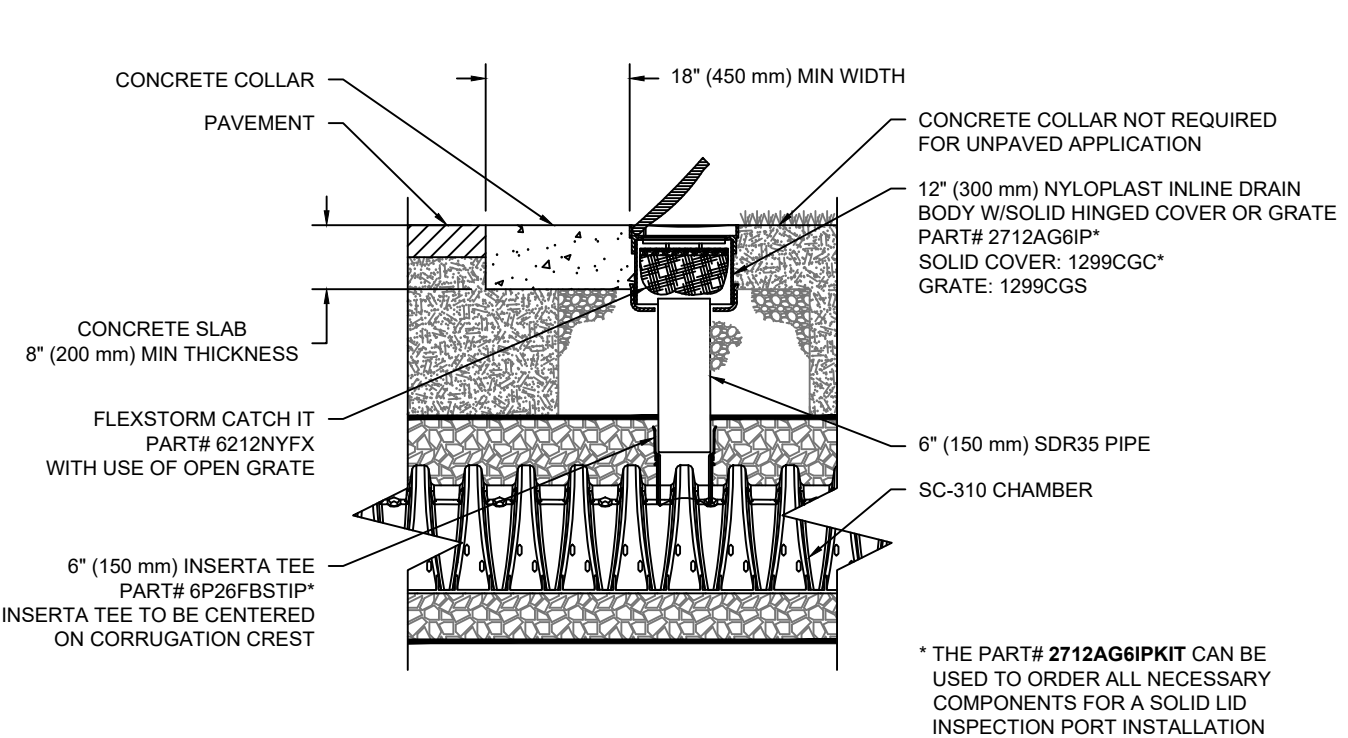


- NOTES:**
- SC-310 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - SC-310 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
 - THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
 - PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
 - ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

1 SC-310 CROSS SECTION DETAIL



3 SC-310 ISOLATOR ROW DETAIL



- INSPECTION & MAINTENANCE**
- STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT
- INSPECTION PORTS (IF PRESENT)
 - REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 - REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
 - ALL ISOLATOR ROWS
 - REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
 - USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE
 - MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS
- A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45" (1.1 m) OR MORE IS PREFERRED
 - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

- NOTES**
- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
 - CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

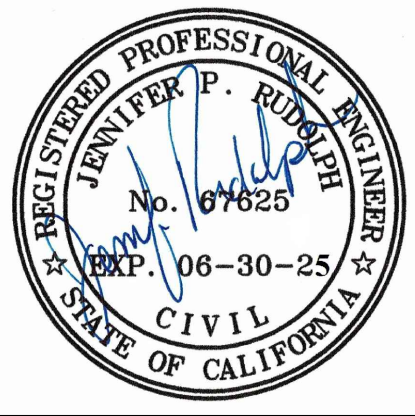
4 SC-310 6" (150 mm) INSPECTION PORT DETAIL

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STORM TECH DETAILS

ADAMSKI RESIDENCE
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 CARMEL, CA 93923

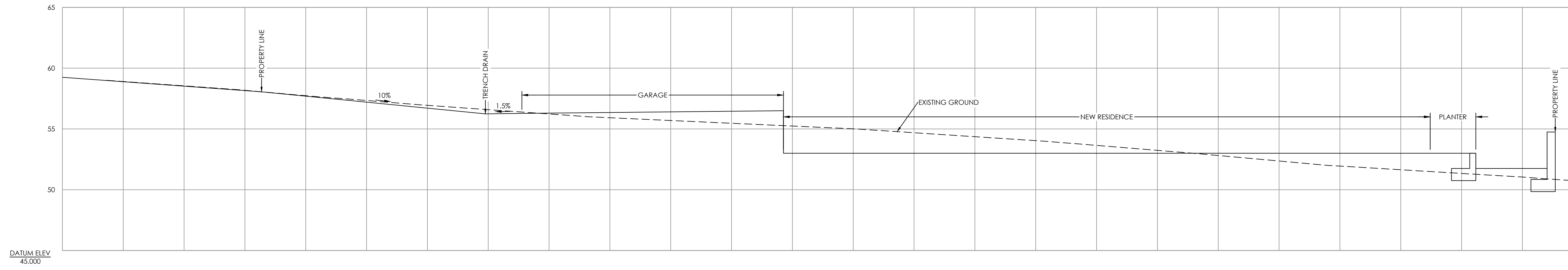
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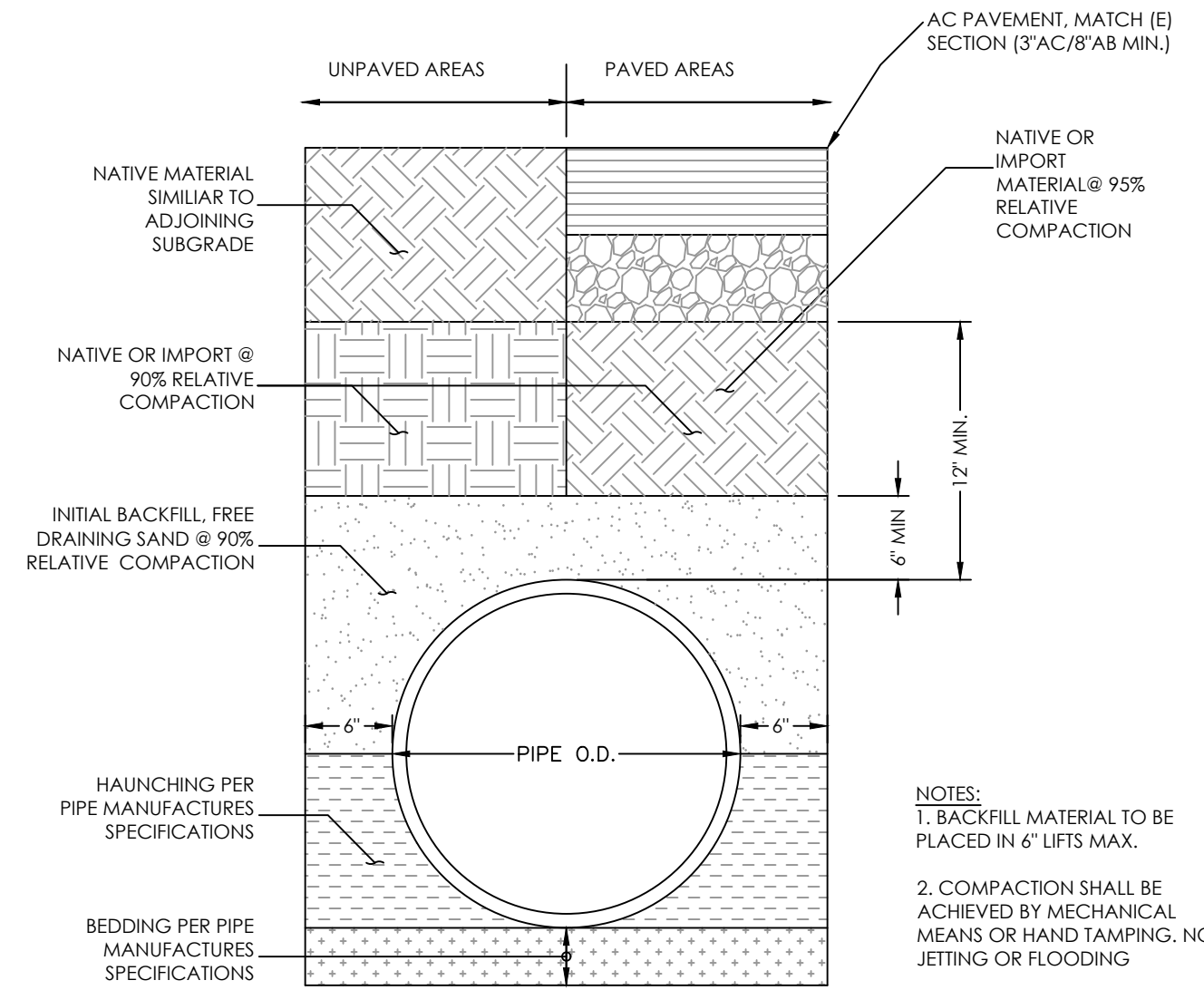
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 PROJECT# 124134

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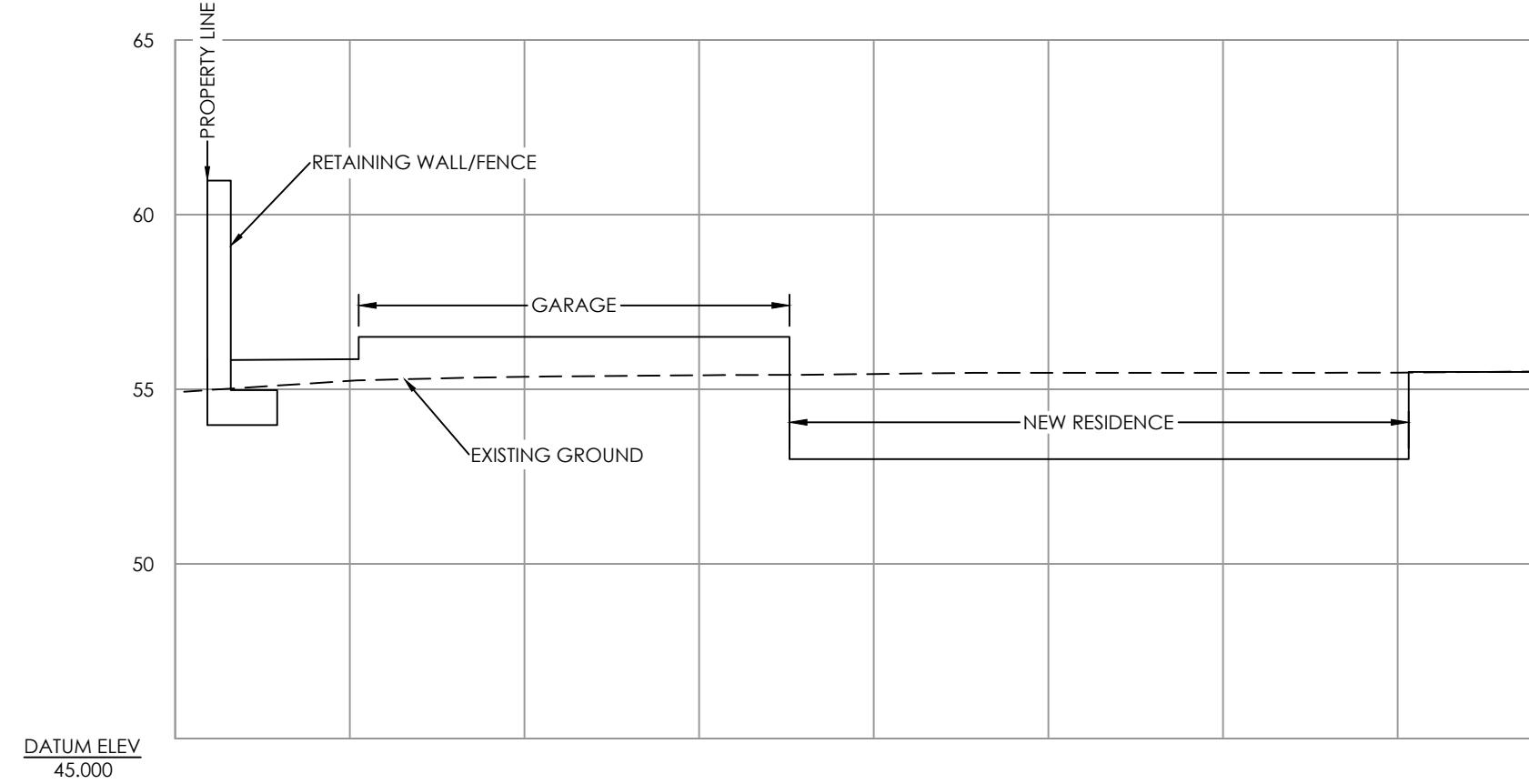
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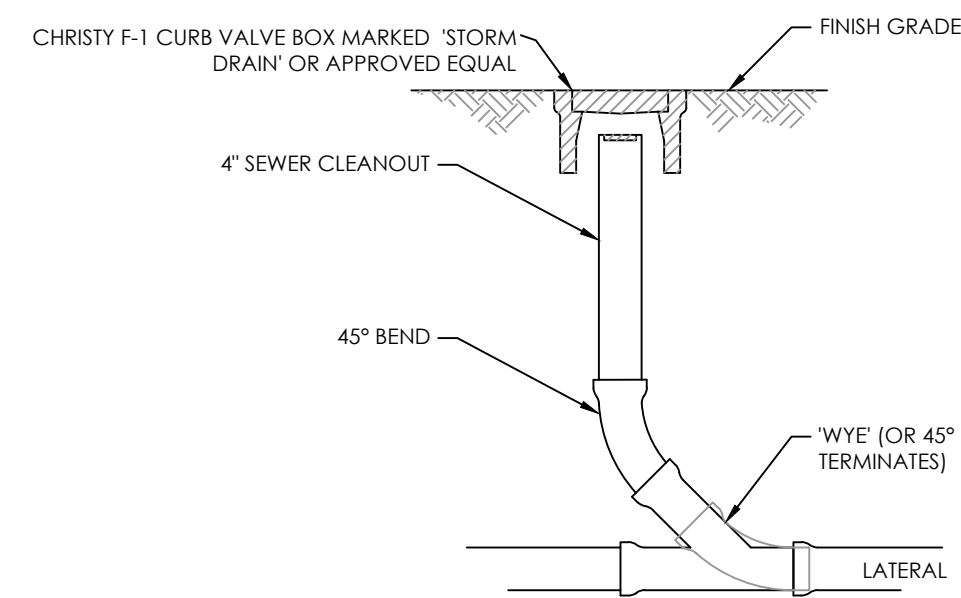
A
C4
SITE SECTION 1
SCALE: 1"=5'



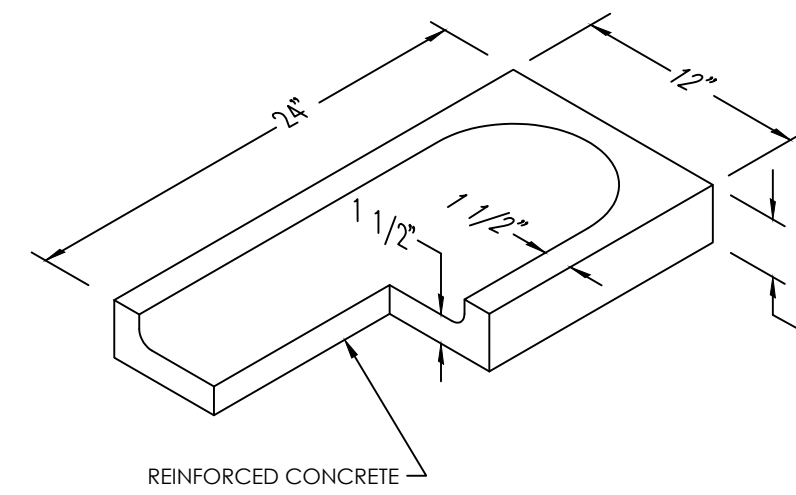
B
C4
TRENCH BACKFILL
NTS



C
C4
SITE SECTION 2
SCALE: 1"=5'

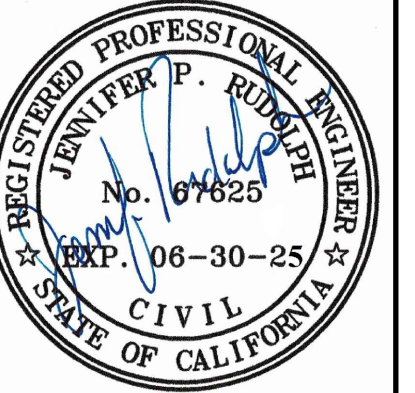


D
C4
STORM DRAIN CLEANOUT
NTS



E
C4
SPLASH PAD
NTS

F
C4
NOT USED
NTS



CONSTRUCTION DETAILS

ADAMSKI RESIDENCE
 26307 ISABELLA AVENUE
 CARMEL, CA 93923

SCALE:	AS NOTED
DATE:	1/24/2025
DESIGN BY:	JPR
DRAWN BY:	JPR
CHECKED BY:	
SHEET NUMBER:	

C4

GENERAL NOTES

- 1. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES...
2. DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT...
3. PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH...
4. COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST...
5. KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST...
6. LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE...
7. THE CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL...
8. MEASURES ARE TAKEN...
9. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS...
10. REMOVE IT IMMEDIATELY...
11. ALL CUT AND FILL SLOPES EXPOSED DURING CONSTRUCTION SHALL BE COVERED, SEEDED OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING...
12. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN...
13. VEGETATION REMOVAL SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS...
14. DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION...
15. ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES...
16. RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE...
17. MEASURES MUST BE MAINTAINED AND THE CONTRACTOR HAS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT...
18. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT...
19. (GONZALES GRADING/EROSION ORD. 2806-16.12.090)
20. THE GRADING INSPECTOR MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY...
21. IF VEGETATION REMOVAL TAKES PLACE PRIOR TO A GRADING OPERATION AND THE ACTUAL GRADING DOES NOT BEGIN WITHIN 30 DAYS FROM THE DATE OF REMOVAL...
22. ALL POLLUTANTS AND THEIR SOURCES, INCLUDING SOURCES OF SEDIMENT ASSOCIATED WITH CONSTRUCTION, CONSTRUCTION SITE EROSION AND ALL OTHER ACTIVITIES ASSOCIATED WITH CONSTRUCTION ACTIVITY ARE CONTROLLED...
23. ALL NON-STORM WATER DISCHARGES ARE IDENTIFIED AND EITHER ELIMINATED, CONTROLLED, OR TREATED...
24. SITE BMPs ARE TO BE EFFECTIVE AND RESULT IN THE REDUCTION OR ELIMINATION OF POLLUTANTS IN STORM WATER DISCHARGES...
25. STABILIZATION BMPs INSTALLED TO REDUCE OR ELIMINATE POLLUTANTS AFTER CONSTRUCTION IS COMPLETED...
26. BEST MANAGEMENT PRACTICES (BMPs) TO BE IMPLEMENTED BY THE PROJECT ARE LISTED BY CATEGORY, FACT SHEETS, AND DETAILS FOR THE BMPs SELECTED FOR THIS PROJECT...
27. MONTEREY COUNTY INSPECTIONS

MONTEREY COUNTY INSPECTIONS

- 1. PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT...
2. DURING CONSTRUCTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT...
3. PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT...

GOOD SITE MANAGEMENT "HOUSEKEEPING"

- 1. POLLUTANTS IN STORM WATER DISCHARGES FROM THE PROJECT DURING CONSTRUCTION MAY ORIGINATE FROM THE DAILY OPERATION OF EQUIPMENT...
2. DISCHARGERS SHALL IMPLEMENT GOOD HOUSEKEEPING MEASURES ON THE CONSTRUCTION SITE TO CONTROL THE AIR DEPOSITION OF SITE MATERIALS...
3. WASTE MANAGEMENT POLLUTION CONTROL

WASTE MANAGEMENT POLLUTION CONTROL

- 1. THE DISCHARGER SHALL PREVENT DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES...
2. THE DISCHARGER SHALL ENSURE THE CONTAINMENT OF SANITATION FACILITIES...
3. WASTE DISPOSAL CONTAINERS SHALL BE COVERED AT THE END OF EVERY BUSINESS DAY...
4. STOCKPILED MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN...
5. PROCEDURES SHALL BE DEVELOPED THAT EFFECTIVELY ADDRESS HAZARDOUS AND NONHAZARDOUS SPILLS...
6. CONCRETE WASHOUT AREAS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL...
7. DISCHARGER SHALL MAINTAIN VEHICLES TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND...
8. IN ADDITION TO THE ABOVE, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE WASTE MANAGEMENT POLLUTION CONTROL...
9. THE CONTRACTOR SHALL REVIEW CONSTRUCTION ACTIVITIES TO IDENTIFY AND QUANTIFY LIKELY CONSTRUCTION MATERIALS AND WASTES...
10. SPECIAL CARE SHALL BE TAKEN SO THAT NO FILL MATERIALS SHALL BE PLACED, SPREAD, OR ROLLED DURING UNFAVORABLE WEATHER CONDITIONS.

EROSION CONTROL (SOIL STABILIZATION)

- 1. SUFFICIENT EROSION CONTROL MATERIALS WILL BE MAINTAINED ON-SITE TO ALLOW FOR IMMEDIATE DEPLOYMENT...
2. DISCHARGERS SHALL PROVIDE EFFECTIVE SOIL COVERS FOR INACTIVE AREAS...
3. DISCHARGERS SHALL LIMIT THE USE OF PLASTIC MATERIALS WHEN MORE SUSTAINABLE, ENVIRONMENTALLY FRIENDLY ALTERNATIVES EXIST...
4. IN ADDITION TO THE ABOVE, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE TEMPORARY AND FINAL EROSION CONTROL...
5. SPECIAL CARE SHALL BE TAKEN SO THAT NO FILL MATERIALS SHALL BE PLACED, SPREAD, OR ROLLED DURING UNFAVORABLE WEATHER CONDITIONS.

SEDIMENT CONTROL

- 1. SUFFICIENT QUANTITIES OF TEMPORARY SEDIMENT CONTROL MATERIALS WILL BE MAINTAINED ON-SITE THROUGHOUT THE DURATION OF THE PROJECT...
2. DISCHARGERS SHALL ESTABLISH AND MAINTAIN EFFECTIVE PERIMETER CONTROLS AND STABILIZE ALL CONSTRUCTION ENTRANCES AND EXITS...
3. DISCHARGERS SHALL EFFECTIVELY MANAGE ALL RUN-OFF WITHIN THE SITE AND ALL RUN-OFF THAT DISCHARGES OFF THE SITE...
4. DISCHARGERS SHALL APPLY LINEAR SEDIMENT CONTROLS ALONG THE TOE OF THE SLOPE...
5. DISCHARGERS SHALL ENSURE THAT CONSTRUCTION ACTIVITY TRAFFIC TO AND FROM THE PROJECT IS LIMITED TO ENTRANCES AND EXITS...
6. DISCHARGERS SHALL INSURE THAT ALL STORM DRAIN INLETS AND PERIMETER CONTROLS, RUNOFF CONTROL BMPs, AND POLLUTANT CONTROLS...
7. DISCHARGERS SHALL INSPECT ON A DAILY BASIS ALL IMMEDIATE ACCESS ROADS DAILY...
8. AT A MINIMUM DAILY (WHEN NECESSARY) AND PRIOR TO ANY RAIN EVENT, THE DISCHARGER SHALL REMOVE ANY SEDIMENT...
9. IN ADDITION TO THE ABOVE, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE TEMPORARY AND FINAL SEDIMENT CONTROL...
10. TRACKING CONTROL

TRACKING CONTROL

- 1. TRACKING CONTROLS SHALL BE IMPLEMENTED AND MAINTAINED YEAR-ROUND AND THROUGHOUT THE DURATION OF THE PROJECT...
2. IN GENERAL, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE TRACKING CONTROL...
3. STABILIZED CONSTRUCTION ENTRANCE/EXIT
4. STABILIZED CONSTRUCTION ROADWAY
5. ENTRANCE/EXIT TIRE WASH

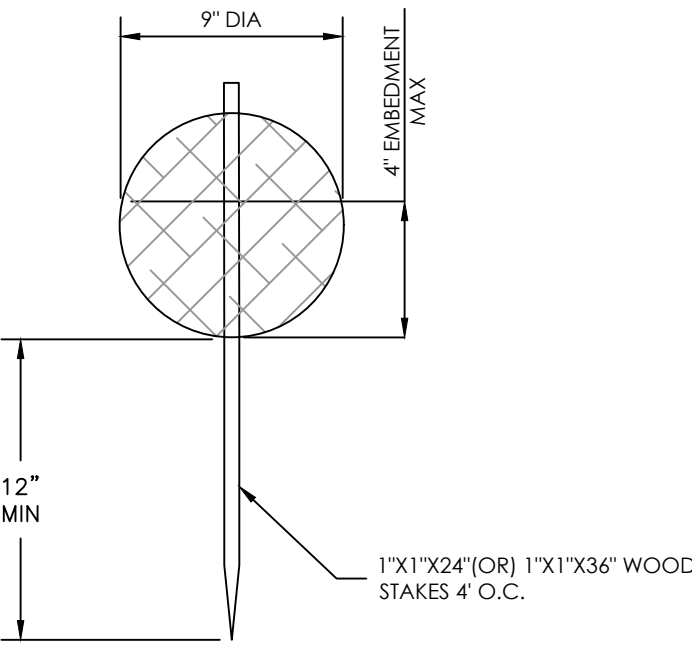
WIND EROSION CONTROL

- 1. WIND EROSION CONTROL BMPs SHALL BE IMPLEMENTED AND MAINTAINED YEAR-ROUND AND THROUGHOUT THE DURATION OF THE PROJECT...
2. IN GENERAL, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE WIND EROSION CONTROL...
3. WIND EROSION CONTROL

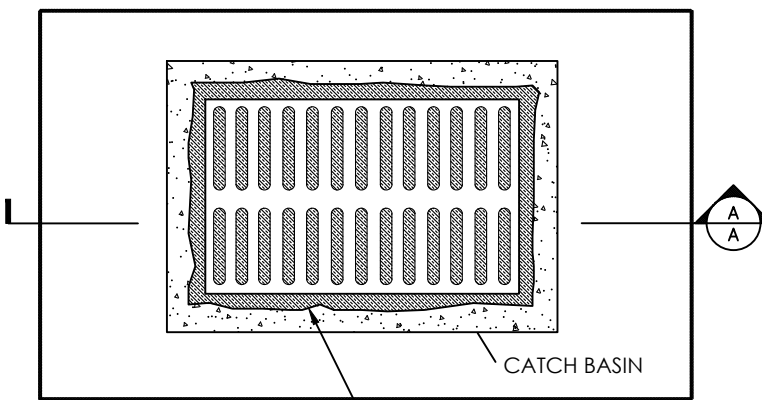
NON-STORMWATER MANAGEMENT POLLUTION CONTROL

- 1. NON-STORM WATER DISCHARGES CONSIST OF/FROM A MUNICIPAL STORM WATER CONVEYANCE...
2. DISCHARGERS SHALL IMPLEMENT MEASURES TO CONTROL ALL NON-STORM WATER DISCHARGES...
3. DISCHARGERS SHALL WASH VEHICLES IN SUCH A MANNER AS TO PREVENT NON-STORM WATER DISCHARGES...
4. DISCHARGERS SHALL CLEAN STREETS IN SUCH A MANNER AS TO PREVENT UNAUTHORIZED NON-STORM WATER DISCHARGES...
5. IN ADDITION TO THE ABOVE, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE NON-STORMWATER MANAGEMENT POLLUTION CONTROL...
6. WATER CONSERVATION PRACTICES
7. DEWATERING OPERATIONS
8. PAVING AND GRINDING OPERATIONS
9. TEMPORARY STREAM CROSSING
10. CLEAR WATER DIVERSION
11. ILICIT CONNECTION/ILLEGAL DISCHARGE DETECTION AND REPORTING
12. POTABLE WATER / IRRIGATION
13. VEHICLE AND EQUIPMENT CLEANING
14. VEHICLE AND EQUIPMENT FUELING
15. VEHICLE AND EQUIPMENT MAINTENANCE
16. FILE DRIVING OPERATIONS
17. CONCRETE CURING
18. MATERIALS AND EQUIPMENT USE OVER WATER
19. CONCRETE FINISHING
20. STRUCTURE DEMOLITION/REMOVAL
21. TEMPORARY BATCH PLANTS

- INSTALLATION
1. USE 1"X1"X2' OR 1"X1"X3' WOOD STAKES, DEPENDING ON THE SOIL AND SLOPE CONDITIONS...
2. CASQA RECOMMENDS IF MORE THAN ONE FIBER ROLL IS PLACED IN A ROW...
3. PLACE FIBER ROLLS SECURELY IN THE TRENCH SO THAT SILT LAIDEN RUN-OFF PASSES OVER OR THROUGH...
4. CONSTRUCTOR SHALL REVIEW CASQA MANUAL FOR INSTALLATION GUIDANCE...
5. CASQA RECOMMENDS THE ENDS OF THE FIBER ROLL BE TURNED UP-SLOPE TO PREVENT RUNOFF...



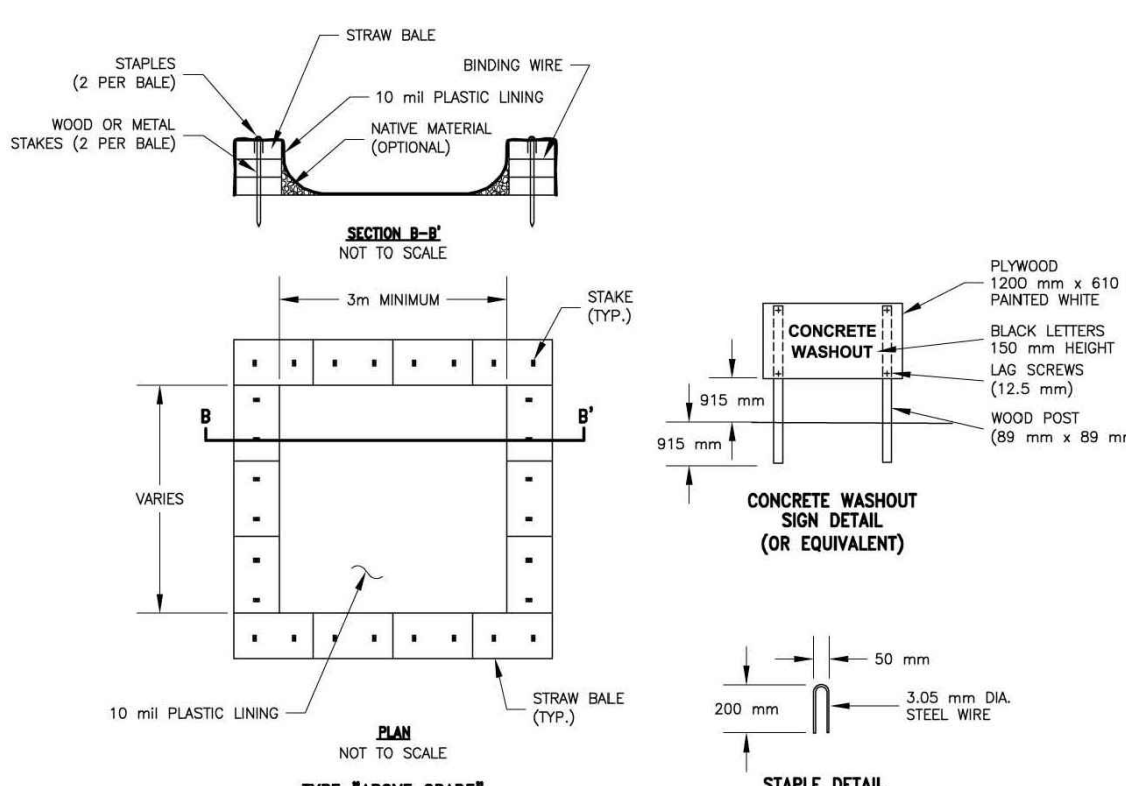
FIBER ROLL NTS



PLAN VIEW SECTION A-A

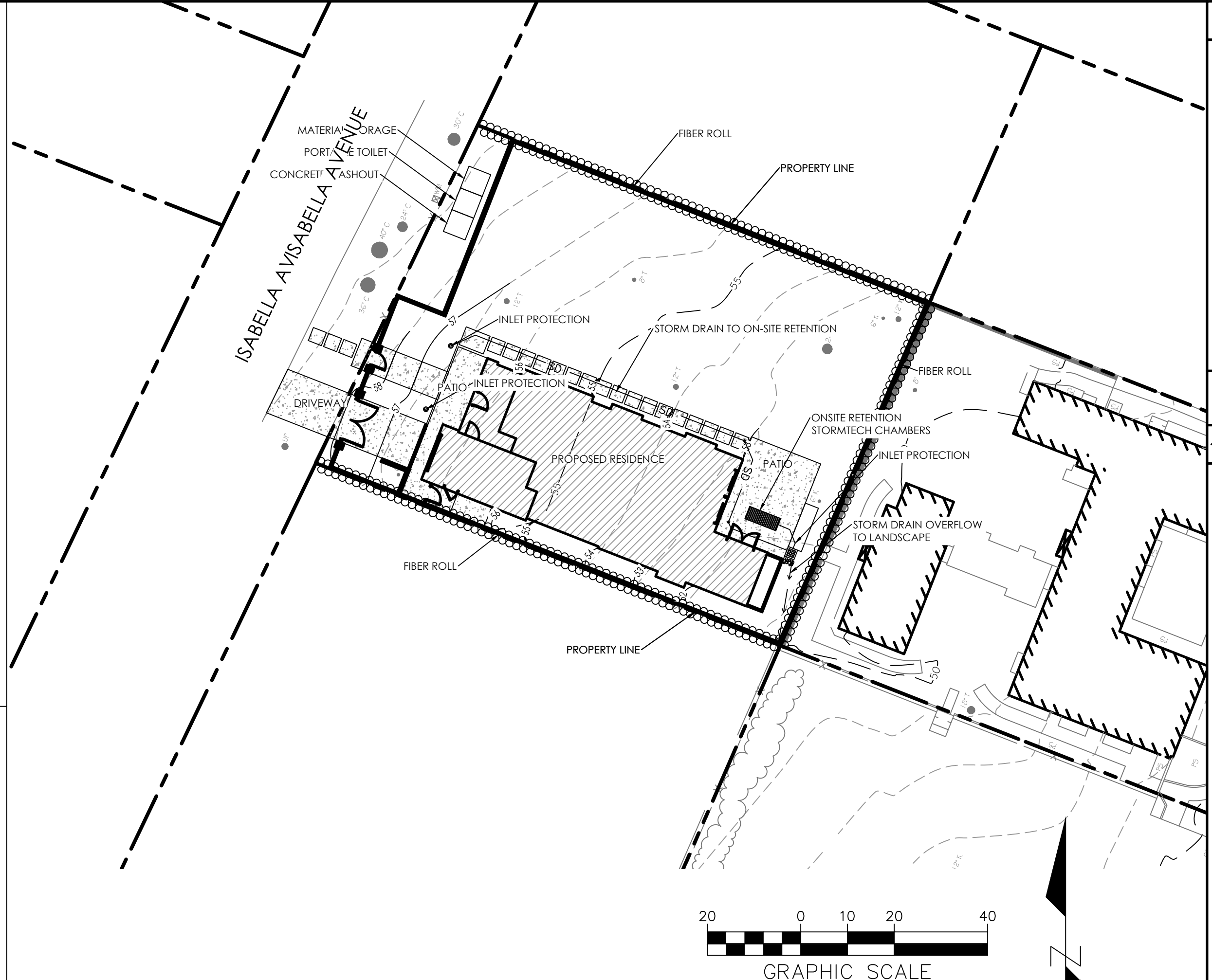
CATCH BASIN NTS

INLET PROTECTION NTS

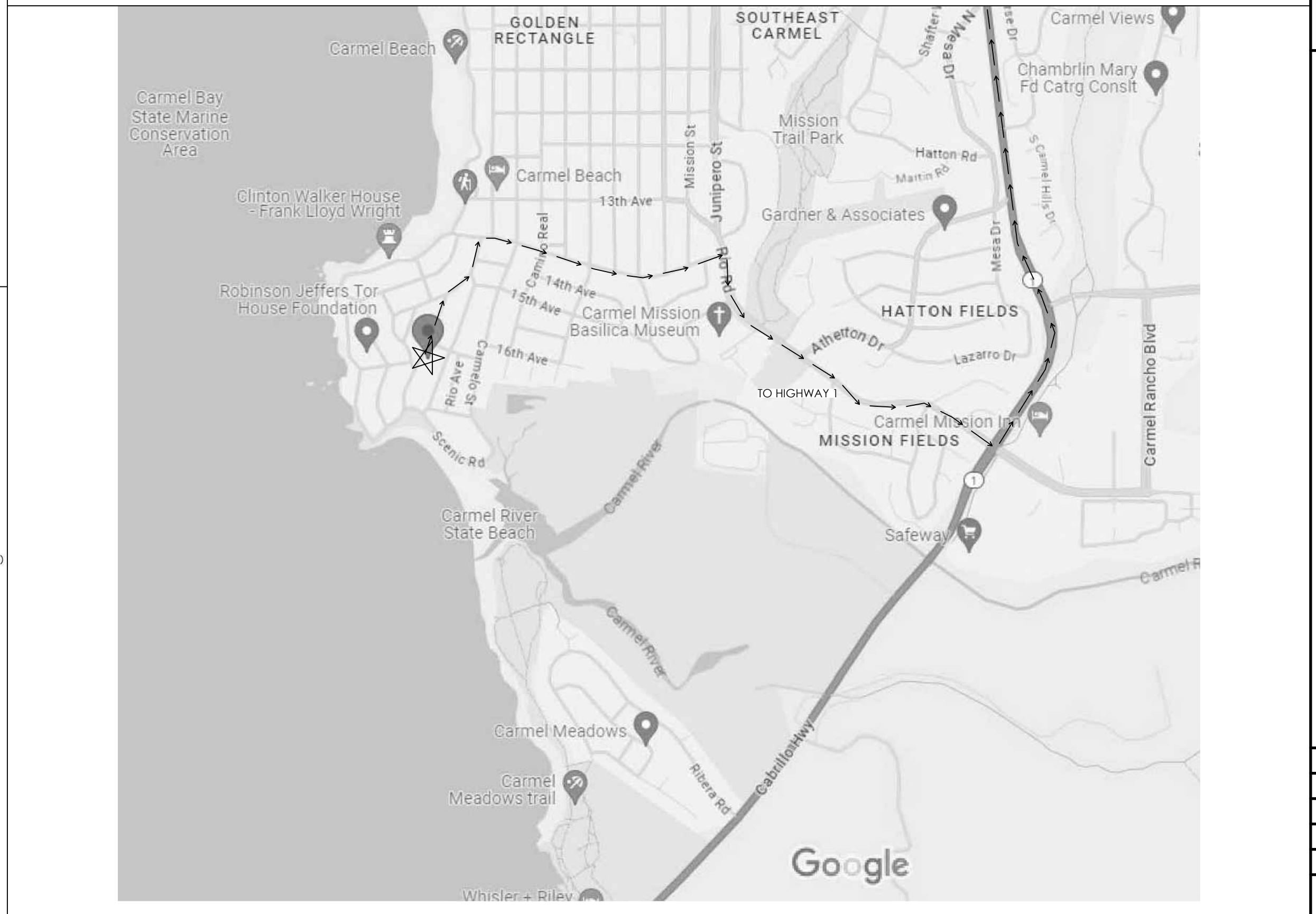


SECTION B-B NOT TO SCALE STAPLE DETAIL

CONCRETE WASHOUT NTS



EROSION CONTROL PLAN SCALE: 1"=20'



CONSTRUCTION HAUL ROUTE NTS

THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. REUSE, REPRODUCTION, OR PUBLICATION IN WHOLE OR IN PART, IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF C3 ENGINEERING.

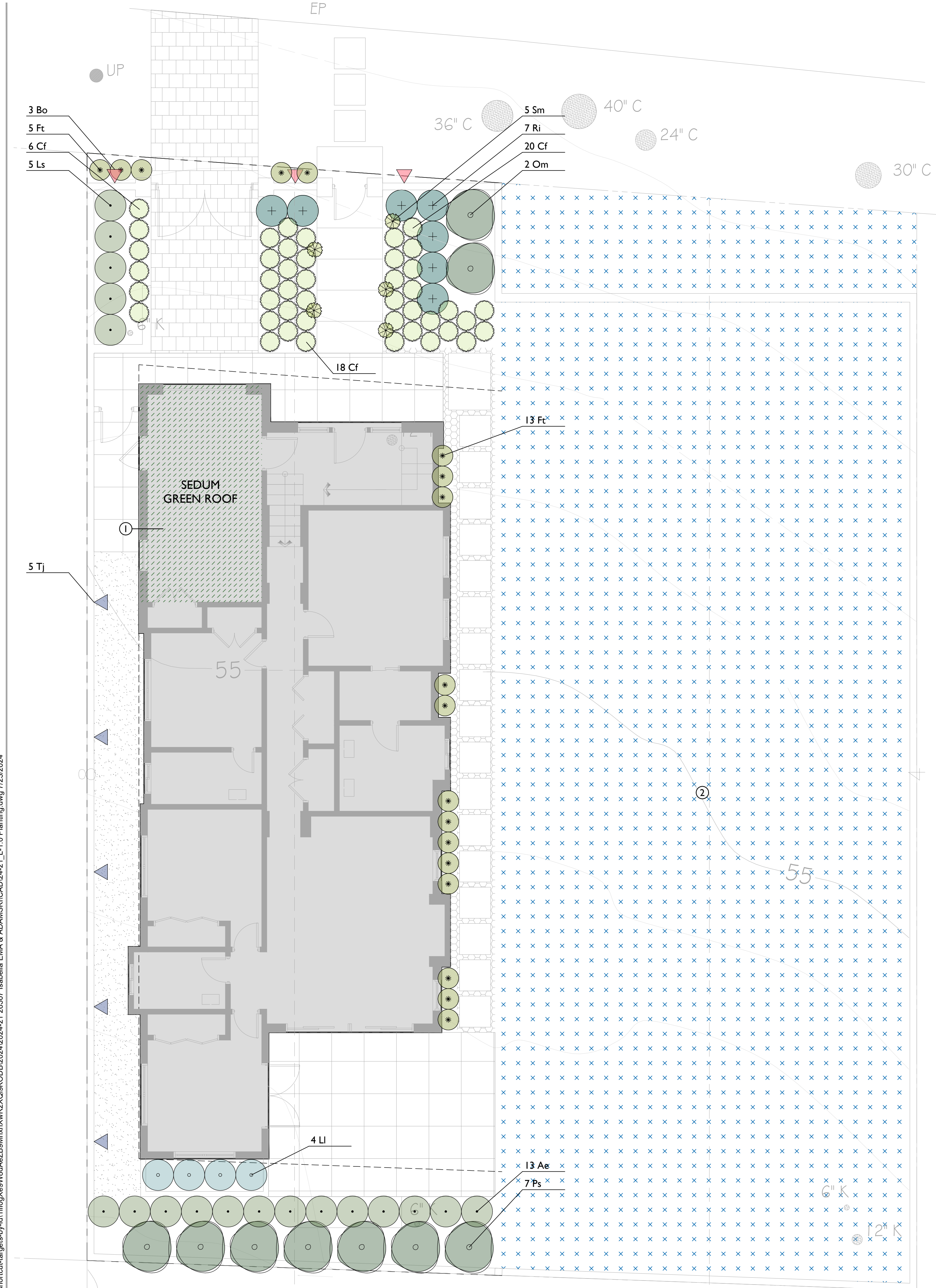
Table with columns for REV., DATE, and DESCRIPTION. Includes revision history for the drawing.

AC3 ENGINEERING INCORPORATED logo and contact information: Civil Engineering Land Development Stormwater Control, 126 Bonifacio Plaza, Suite C, Monterey, CA 93940.



EROSION CONTROL PLAN title block. Includes project name ADAMSKI RESIDENCE, address 26307 ISABELLA AVENUE, CARMEL, CA 93923, scale AS NOTED, date 1/24/2025, and sheet number C5 of 5 SHEETS.

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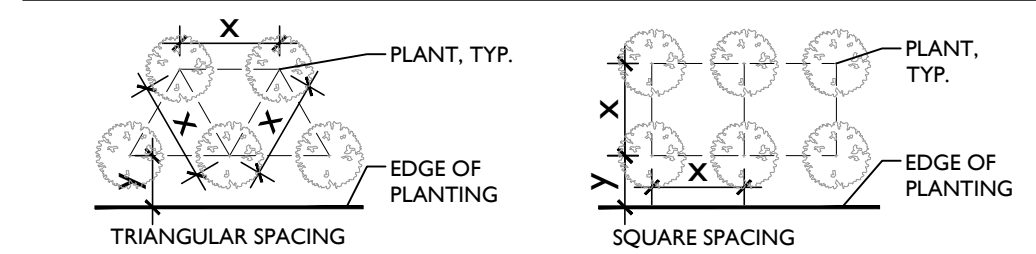


REFERENCE NOTES

- 1 RUN IRRIGATION TO ROOF - IRRIGATION VALVE TO BE LOCATED AT GRADE WITH A LATERAL LINE RUNNING TO THE ROOF - VERIFY ALIGNMENT THROUGH BUILDING WITH GENERAL CONTRACTOR - IRRIGATION TO BE DRIPLINE BY NETAFIM OR EQUAL.
2 HYDROSEED TO BE APPLIED AT 36 LBS/ACRES EVENLY BETWEEN THE SPECIES LISTED. HYDROSEED TO BE TEMPORARILY IRRIGATED WITH OVERHEAD SPRAY. IRRIGATION TO BE INSTALLED WITH LATERAL LINE ABOVE GROUND AND STAKED TO THE GROUND. IRRIGATION TO BE REMOVED AFTER 24 MONTHS. CONTRACTOR TO USE HUNTER MP ROTATORS - ENSURE NOZZLES ARE ADJUSTED TO AVOID SPRAY ONTO TRUNKS OF EXISTING TREES. ADD HEADS ON EITHER SIDE OF TREES AS NEEDED.

* WATER USE CATEGORY (WUC) KEY
WUCOLS REGION APPLICABLE TO THIS PROJECT: REGION 1
H = HIGH; M = MODERATE; L = LOW; VL = VERY LOW; NL = SPECIES NOT LISTED
* FROM: WATER USE CLASSIFICATION OF LANDSCAPE SPECIES, A GUIDE TO THE WATER NEEDS OF LANDSCAPE PLANTS (WUCOLS) UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION, L.R. COSTELLO, K.S. JONES

PLANT SPACING AND PLANTING SETBACK DIAGRAM



- 1. FOR SPACING 'X', SEE PLANTING PLAN LEGEND
2. Y = 1/2X + 12" UON

MWELO COMPLIANCE STATEMENT

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

SIGNED [Signature] SIMON PHILLIPS 4532 07-23-2024
NAME CLA# DATE

MONTEREY COUNTY COMPLIANCE STATEMENT

I CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT-TOLERANT, NON-INVASIVE SPECIES, LIMITED TURF, AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES.

SIGNED [Signature] SIMON PHILLIPS 4532 07-23-2024
NAME CLA# DATE

PLANT LEGEND

Table with columns: WUCODE, BOTANICAL NAME, COMMON NAME, SIZE, CHARACTER. Lists shrubs like ARCTOSTAPHYLOS 'EMERALD CARPET', CALAMAGROSTIS FOLIOSA, FESTUCA 'TOMALES BAY', etc.

Table with columns: WUCODE, BOTANICAL NAME, COMMON NAME, SIZE, CHARACTER. Lists groundcovers like DYMONDIA MARGARETAE, THYMUS PRAECOX, SEDUM 'ANGELINA', etc.

Table with columns: WUCODE, BOTANICAL NAME, COMMON NAME, SIZE, CHARACTER. Lists vines like BOUGAINVILLEA 'SAN DIEGO RED', TRACHELOSPERMUM JASMINOIDES.

Table with columns: WUCODE, BOTANICAL NAME, COMMON NAME, SIZE, CHARACTER. Lists hydroseed mix components like CAREX PREGRACILIS, DANTHONIA CALIFORNICA, etc.

MISCELLANEOUS
CRUSHED GRAVEL: 2" OVER 4" COMPACTED CLASS II BASE.
HDBR METAL EDGING: WELD ALL JOINTS AND PRIME AND PAINT ONCE WELDED.

GENERAL NOTES

- 1. ALL PLANTING AREAS TO BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO BEGINNING PLANTING.
2. CONTRACTOR TO TAKE SAMPLES OF PLANTING AREA SOIL FROM 0"-12" DEEP FROM AT LEAST THREE SEPARATE LOCATIONS FROM PLANTING AREAS ON THE SITE, MIXED TO FORM A SINGLE COMPOSITE SAMPLE.
3. FORWARD THE COMPOSITE SAMPLES TO THE TESTING LABORATORY FOR TESTING AND THEIR RECOMMENDATIONS AS TO EXACT FERTILIZERS AND SOIL AMENDMENTS TO BE USED IN PLANTING.
4. AMENDMENT AND FERTILIZER RECOMMENDATIONS BY THE TESTING LAB SHALL BE SPECIFIC TO THE PROPOSED AMENDMENTS TO BE USED AND INCLUDE THE AMENDMENT LAB TEST / SAMPLE ID NUMBER AND TESTING DATE AS REFERENCE.
5. FOR BIDDING PURPOSES ASSUME SOIL AMENDMENT FERTILIZER TO BE COMMERCIAL FERTILIZER, 16-6-8 (N-P-K) UNIFORM PELLET, EXACT FERTILIZER TO BE DETERMINED BY TESTING LAB ANALYSIS.
6. INSTALL COMMERCIAL PLANT FERTILIZER PACKETS / TABLETS, TWO-YEAR CONTROLLED-RELEASE 20-10-05 (N-P-K). BEST TABS BY SIMPLOT PROFESSIONAL PRODUCTS, AGRIFORM BY THE SCOTTS COMPANY.
7. SOIL AMENDMENTS TO BE MINERALIZED BARK OR SAWDUST, WITH WETTING AGENT AND PROPERLY PULVERIZED, CONTAINING A MINIMUM OF 270LBS. PER CUBIC YARD OF ORGANIC MATTER. SUBMIT SAMPLE ANALYSIS FOR APPROVAL.
8. AMENDMENT CHEMISTRY - SUITABILITY CONSIDERATIONS
1. NITROGEN (DRY WEIGHT BASIS): 0.4 TO 0.6%
2. IRON (MINIMUM): 0.08%
3. ORGANIC CONTENT: ABOVE 17%
4. CARBON-NITROGEN RATIO: BELOW 25
5. PH: BELOW 8.0
6. SALINITY (EC): A VALUE SUCH THAT WHEN COMBINED WITH THE EXISTING SITE SOIL AT A USE RATE DETERMINED BY THE TESTING LAB ANALYSIS, THE SALINITY OF THE AMENDED SOIL SHALL NOT EXCEED 4.0 DSM (MMHOS/CM).
9. GYPSUM (IF REQUIRED BY EXISTING SOILS TEST): AGRICULTURAL GRADE, OMRI LISTED.
1. CAL-SUL PELLETED GYPSUM BY NORTH PACIFIC, PORTLAND OR
2. ULTRA FINE AG GYPSUM BY WESTERN MINING & MINERALS
3. APPROVED EQUAL.
10. UNIFORMLY SPREAD AND INCORPORATED THE MATERIALS TO OBTAIN A HOMOGENEOUSLY BLENDED SOIL. 6-INCHES IN DEPTH. IF GYPSUM AND/OR SULFUR ARE REQUIRED TO BE ADDED AS PART OF AMENDMENTS PER SOILS REPORT FROM THE TESTING LAB, MANUALLY WATER THE AMENDED SOILS USING IMPACT SPRINKLERS OR HOSE-END SPRINKLERS - TO APPLY 1/2-INCH OF WATER OVER ALL PLANTING AREAS. EXISTING SOILS WITH HIGH SALINITY AS DETERMINED BY THE SOILS REPORT FROM THE TESTING LAB WILL BE REQUIRED TO BE SIMILARLY MANUALLY WATERED TO LEACH THE SALTS DEEPER INTO THE SOIL. AMOUNT OF WATER TO BE DETERMINED BY THE TESTING LAB.
11. PRE-MIX AMENDMENTS INTO SOIL BEFORE BACKFILLING PLANT PITS - DO NOT MIX INSIDE PITS. BREAK LARGE CLOUDS INTO SMALL PIECES. ALL PLANTING AREAS TO BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO BEGINNING PLANTING.
12. INSTALL 3" MULCH TO ALL PLANTING AREAS. MULCH TO BE SHREDDED CEDAR BARK OR SIMILAR. SUBMIT A SAMPLE OF MULCH FOR OWNER & LANDSCAPE ARCHITECT APPROVAL PRIOR TO INSTALLATION.
13. COMPOST: COMPOST MINIMUM OF 4 CUBIC YARDS PER 1,000 SQ. FT. OF PERMEABLE AREA TILLED TO A DEPTH OF 6".
14. ALL NEW PLANTING TO BE IRRIGATED WITH AUTOMATIC DRIP IRRIGATION SYSTEM, IRRIGATION CONTROLLER TO HAVE EITHER EVAPOTRANSPIRATION OR SOIL MOISTURE SENSING CAPABILITIES AND A RAIN SENSOR.
15. IRRIGATION SYSTEM TO HAVE A DEDICATED BACKFLOW PREVENTER AND MASTER SHUT OFF VALVE AT THE POINT OF CONNECTION.
16. PRESSURE REGULATORS SHALL BE INSTALLED AT EACH DRIP VALVE AND SET TO THE OPTIMAL PRESSURE AS SUGGESTED BY THE MANUFACTURER OF THE DRIP EMITTERS. ALL DRIP ZONES INSTALLED ON SLOPES TO BE FITTED WITH CHECK VALVES AND ALL LINES TO INCLUDE FLUSH PORTS.
17. MANUAL SHUT-OFF VALVE SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION AND AT VALVE MANIFOLDS. HOSE BIBS TO BE INSTALLED, VERIFY LAYOUT IN FIELD WITH OWNER & LANDSCAPE ARCHITECT.
18. IRRIGATION VALVES TO CORRESPOND TO HYDROZONE LIMITS.
19. IRRIGATION SYSTEM TO BE A DESIGN BUILD. ALL SHRUB AREAS TO BE DRIP IRRIGATED.

WATER EFFICIENT LANDSCAPE WORKSHEET - RESIDENTIAL

Project Name 26307 Isabella
Project Number 24-21
Reference Evapotranspiration (Eto) 32.00

Table with columns: Hydrozone #/Planting Description, Plant Factor (PF), Irrigation Method, Irrigation Efficiency (IE), ETAF (PF)(IE), Landscape Area (sq ft), ETAF x Area, Estimated Total Water Use (ETWU). Includes sections for Regular Landscape Areas and Special Landscape Areas.

*Hydrozone #/Planting Description
E.g. 1) front lawn
2) low water use plantings
3) medium water use planting

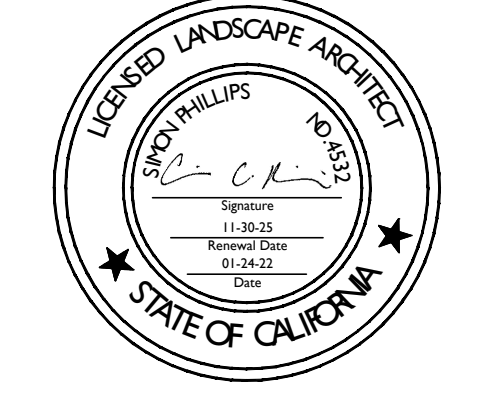
*MAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations
Regular Landscape Areas
Total ETAF x Area (B) 464.44
Total Area (A) 1020.00
Average ETAF B ÷ A 0.46

All Landscape Areas
Total ETAF x Area (B+D) 464.44
Total Area (A+C) 1020.00
Sitewide ETAF (B+D) ÷ (A+C) 0.46

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

SEVEN SPRINGS STUDIO LANDSCAPE ARCHITECTS
2548 EMPIRE GRADE
SANTA CRUZ, CA 95060
831.466.9617



PROJECT NAME: ADAMSKI RESIDENCE

PROJECT ADDRESS: 26307 ISABELLA AVENUE, CARMEL, CA 93923, APN: 009-463-012-000

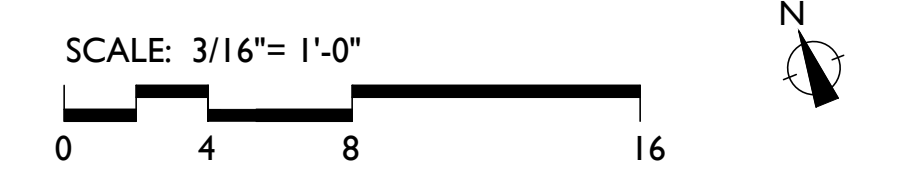
ISSUANCE: PLANNING DEPARTMENT SUBMITTAL

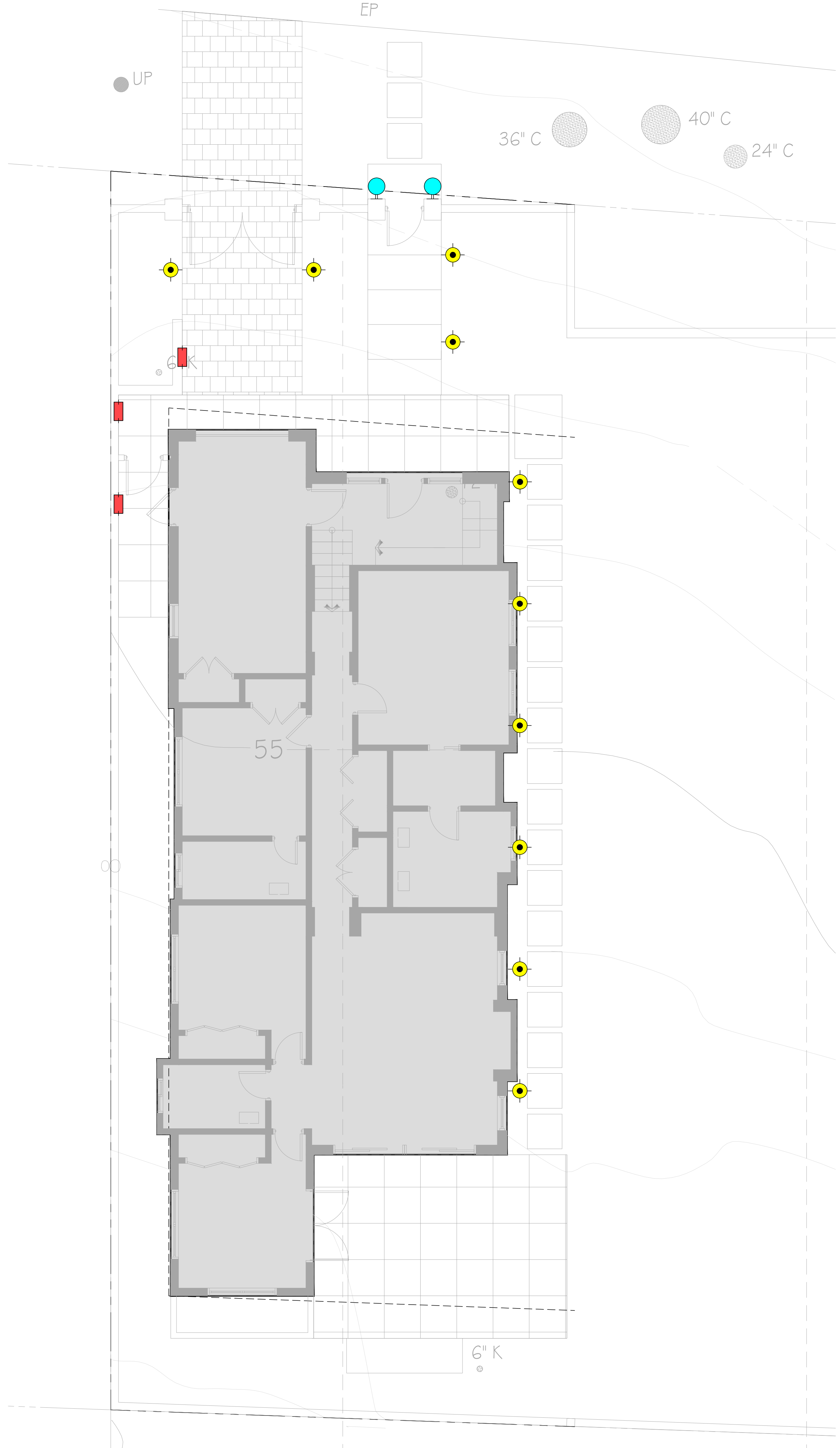
PROJECT NO: 2024-21, DATE: 07/23/2024

REVISIONS: DATE DESCRIPTION

SHEET NAME: PLANTING PLAN

SHEET NO: L-1.0





FIXTURE LEGEND

SYM	TYPE	MANUFACTURER	LAMP	COMMENTS
●	PATH LIGHT	SPJ-3124-DS	2W LED 2700K	SEE (1/L-2.0)
▭	WALL STEP LIGHT	SPJ-MSL-12-DS	6W LED 2700K	SEE (2/L-2.0)
●	WALL SCONCE	MATCH ARCHITECTURAL SCONCE		

GENERAL NOTES

1. SYSTEM SHOWN SCHEMATICALLY FOR GRAPHIC CLARITY. VERIFY ALL LIGHT LOCATIONS AND CABLE RUNS IN FIELD WITH LANDSCAPE ARCHITECT. CABLING TO BE SIZED TO PROVIDE A MINIMUM 10.5 VOLTS AND A MAX OF 11.5 VOLTS TO ALL FIXTURES. MINIMUM CABLE SIZE IS 12 GAUGE MULTI STRAND DIRECT BURIAL CABLE.
2. ALLOW 30% OF TRANSFORMER CAPACITY FOR FUTURE ADDITIONAL SITE LIGHTING.
3. COORDINATE SWITCHING ZONES FOR SITE LIGHTING WITH OWNER.
4. PROVIDE GFCI ELECTRICAL OUTLETS AS SHOWN ON DRAWINGS.
5. RUN MAXIMUM OF 10 LIGHTS IN DAISY CHAIN.
6. RUN ADDITIONAL 2" SLEEVES UNDER ALL PAVING AREAS FOR POSSIBLE FUTURE SITE LIGHTING- REVIEW LOCATIONS IN FIELD WITH LANDSCAPE ARCHITECT.
7. 8" DEPTH MINIMUM CABLE BURIAL.
8. ALL WIRE CONNECTIONS SHALL BE WATER-PROOFED USING FULLY ENCAPSULATED, DIRECT BURIAL WATERPROOF CONNECTORS.
9. SPACE LIGHTS EVENLY.
10. TRANSFORMER LOCATIONS AND SWITCHING TO BE DETERMINED.
11. ALL SITE LIGHTS TO BE ON DIMMERS.



PATH LIGHT



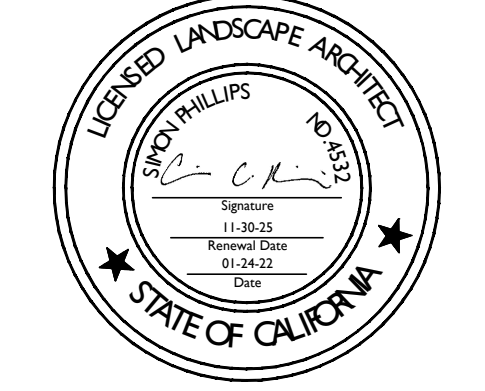
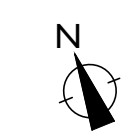
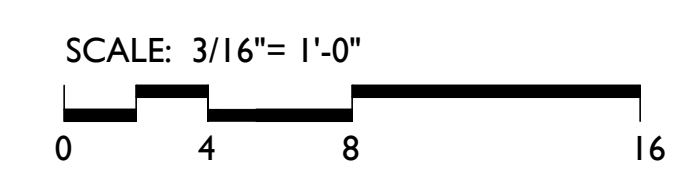
WALL STEP LIGHT

SPJ LIGHTING Inc. ARCHITECTURAL LANDSCAPE & OUTDOOR LIGHTING		SPECIFICATION SHEET		Contemporary Path Lights SPJ-3124-DS	
MODEL: SPJ-3124-DS MATERIAL: Solid Brass FINISH SHOWN: Black ELECTRICAL: 12V or 120V WATTAGE: 2W ENGINE: FB-LS2 LUMENS: 150 MOUNTING: 1/2" NPT, Dual Fin Spike Included		FINISHES <input type="checkbox"/> Matte Bronze (MBR) <input type="checkbox"/> Verde (V) <input type="checkbox"/> Moss (M) <input type="checkbox"/> Black (B) <input type="checkbox"/> Rusty (R) <input type="checkbox"/> Satin Brass (SB) <input type="checkbox"/> Aged Brass (AG) <input type="checkbox"/> Raw Copper (RC) <input type="checkbox"/> Natural Copper (NC) PVD PREMIUM <input type="checkbox"/> PVD Polished (PVDP) <input type="checkbox"/> PVD Satin (PVDS) <input type="checkbox"/> PVD Graphite (PVDG) <input type="checkbox"/> PVD Bronze (PVDBZ) <input type="checkbox"/> PVD Black (PVDBL)			
WATTAGE LUMENS <input type="checkbox"/> 2W 150 <input type="checkbox"/> 3W 350 Custom lumen packages are available upon request.		COLOR TEMPERATURE <input type="checkbox"/> 2200K <input type="checkbox"/> 2700K <input type="checkbox"/> 3000K Custom options are available.			
ELECTRICAL <input type="checkbox"/> 12V <input type="checkbox"/> 120V		MOUNTING OPTION <input type="checkbox"/> Anchor bolted-GMSSQ <input type="checkbox"/> Direct Burial-DB			
Ordering Example SPJ-3124-DS-B-2W-27K-12V		Customer Approval _____ Date _____		_____ Date _____	

1 PATH LIGHT

SPJ LIGHTING Inc. ARCHITECTURAL LANDSCAPE & OUTDOOR LIGHTING		SPECIFICATION SHEET		Recessed SPJ-MSL-12-DS	
MODEL: SPJ-MSL-12-DS MATERIAL: Solid Brass FINISH SHOWN: PVD Satin ELECTRICAL: 12V, 120V WATTAGE: 6W ENGINE: FB-LS11-650 LUMENS: 650 MOUNTING: Recessed		FINISHES <input type="checkbox"/> Matte Bronze (MBR) <input type="checkbox"/> Verde (V) <input type="checkbox"/> Moss (M) <input type="checkbox"/> Black (B) <input type="checkbox"/> Rusty (R) <input type="checkbox"/> Satin Brass (SB) <input type="checkbox"/> Aged Brass (AG) <input type="checkbox"/> Raw Copper (RC) <input type="checkbox"/> Natural Copper (NC) PVD PREMIUM <input type="checkbox"/> PVD Polished (PVDP) <input type="checkbox"/> PVD Satin (PVDS) <input type="checkbox"/> PVD Graphite (PVDG) <input type="checkbox"/> PVD Bronze (PVDBZ) <input type="checkbox"/> PVD Black (PVDBL)			
WATTAGE LUMENS <input type="checkbox"/> 6W 650 Custom lumen packages are available upon request.		COLOR TEMPERATURE <input type="checkbox"/> 2200K <input type="checkbox"/> 2700K <input type="checkbox"/> 3000K Custom options are available.			
ELECTRICAL <input type="checkbox"/> 12V <input type="checkbox"/> 120V		MOUNTING OPTION <input type="checkbox"/> Anchor bolted-GMSSQ <input type="checkbox"/> Direct Burial-DB			
Ordering Example SPJ-MSL-12-DS-PVDS-6W-27K-12V		Customer Approval _____ Date _____		_____ Date _____	

2 WALL STEP LIGHT



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