

# Exhibit B

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**MINUTES**  
**Carmel Highlands Land Use Advisory Committee**  
**Tuesday, September 3, 2024**

1. Meeting called to order by John Borelli at 4:05 pm

2. Roll Call

**Members Present:**

John Borelli, Clyde Freedman, Donna Kostigen, Norm Leve (4)

**Members Absent:**

Dan Keig, Chip Moreland, Doug Paul (3)

3. Approval of Minutes:

A. August 5, 2024 minutes

Motion: Norm Leve (LUAC Member's Name)

Second: Clyde Freedman (LUAC Member's Name)

Ayes: Clyde Freedman, Donna Kostigen, Norm Leve (3)

Noes: \_\_\_\_\_

Absent: Dan Keig, Chip Moreland, Doug Paul (3)

Abstain: John Borelli (1) Did not attend the August 5<sup>th</sup> LUAC meeting

4. **Public Comments:** The Committee will receive public comment on non-agenda items that are within the purview of the Committee at this time. The length of individual presentations may be limited by the Chair.

NA

5. Scheduled Item(s)

6. Other Items:

A) LUAC member nominated for Secretary: Donna Kostigen

Motion: John Borelli (LUAC Member's Name)

Second: Norm Leve (LUAC Member's Name)

Ayes: Clyde Freedman, John Borelli, Norm Leve (3)

Noes: \_\_\_\_\_

Absent: Dan Keig, Chip Moreland, Doug Paul (3)

Abstain: Donna Kostigen

B) Preliminary Courtesy Presentations by Applicants Regarding Potential Projects

NA

C) Announcements

NA

7. **Meeting Adjourned:** 5:28 pm

**Minutes taken by:** Donna Kostigen & John Borelli

# Action by Land Use Advisory Committee Project Referral Sheet

Monterey County Housing & Community Development  
1441 Schilling Place 2<sup>nd</sup> Floor  
Salinas CA 93901  
(831) 755-5025

**Advisory Committee:** Carmel Highlands

- 1. Project Name:** KELLER KENNETH & KRISTINE TRS  
**File Number:** PLN230351  
**Project Location:** 24916 LINCOLN ST, CARMEL, CA 93923  
**Assessor's Parcel Number(s):** 009-122-022-000  
**Project Planner:** Joseph Alameda  
**Area Plan:** Carmel Land Use Plan, Coastal Zone  
**Project Description:** Combined Development Permit consisting of a: 1) Coastal Administrative Permit and Design Approval to allow a 72 square foot interior remodel at the existing 180 square foot main level, remove 202 square feet of the existing carport and add 259 square feet, new entry court and covered carport at the main level, removal of 104 square feet and addition of 235 square feet to an existing main level terrace with an attached 511 square foot accessory dwelling unit at a lower level and new guesthouse 420 square feet; 2) Coastal Development Permit for development on slopes in excess of 30 %; and 3) Coastal Development Permit to allow development within 750 feet of a known archaeological resource.

**Was the Owner/Applicant/Representative present at meeting?** YES X NO       

**(Please include the names of those present)**

Jun Silvano – Architect – Builder

**Was a County Staff/Representative present at meeting?** Joseph Alameda & Fionna Jensen (Name)

**PUBLIC COMMENT:**

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	
NA			

**LUAC AREAS OF CONCERN**

Concerns / Issues	Policy/Ordinance Reference	Suggested Changes -
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<b>(e.g. site layout, neighborhood compatibility; visual impact, etc.)</b>	<b>(If Known)</b>	<b>to address concerns (e.g. relocate; reduce height; move road access, etc.)</b>
Adequate Parking for the main house, ADU and a guest house. The street is quite narrow and parking is overflowing.		The county will review the parking situation and advise.
The narrowness of the street and parking clutter is a concern for emergency vehicle access.		

**ADDITIONAL LUAC COMMENTS**

This is a good project with no violations or variances. There is minimal impact to the character of the street as not much is being changed in the outside of the structure. As stated in the LUAC comments – parking is the main concern.

**RECOMMENDATION:**

Motion by: Clyde Freedman (LUAC Member's Name)

Second by: Norm Leve (LUAC Member's Name)

- Support Project as proposed
- Support Project with changes
- Continue the Item

Reason for Continuance: \_\_\_\_\_

Continue to what date: \_\_\_\_\_

Ayes: John Borelli, Clyde Freedman, Donna Kostigen, Norm Leve (4)

Noes: \_\_\_\_\_

Absent: Dan Keig, Chip Moreland, Doug Paul (3)

Abstain: \_\_\_\_\_

# Action by Land Use Advisory Committee Project Referral Sheet

Monterey County Housing & Community Development  
1441 Schilling Place 2<sup>nd</sup> Floor  
Salinas CA 93901  
(831) 755-5025

Advisory Committee: Carmel Highlands

2.                   **Project Name:** FARRAND TOBIN EDWARD & ROSENSTOCK SUE ANN  
                       **File Number:** PLN230337  
                       **Project Location:** 24744 DOLORES ST, CARMEL, CA 93923  
**Assessor’s Parcel Number(s):** 009-111-005-000  
                       **Project Planner:** Fionna Jensen  
                       **Area Plan:** Carmel Land Use Plan, Coastal Zone  
**Project Description:** Coastal Development Permit to allow a Lot Line Adjustment of four legal lots of record (Parcel A; 0.378 acres), (Parcel B; 0.053 acres), (Parcel C; 0.074 acres); and (Parcel D; 0.616 acres), resulting in four parcels containing 0.614 acres (Adjusted Parcel A), 0.425 acres (Adjusted Parcel B), 0.397 (Adjusted Parcel C), and 0.138 acres (Adjusted Parcel D).

Was the Owner/Applicant/Representative present at meeting?    YES   X   NO       

(Please include the names of those present)

Angie Pharas – Applicant representative

Was a County Staff/Representative present at meeting? Fionna Jensen (Name)

**PUBLIC COMMENT:**

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	
NA			

**LUAC AREAS OF CONCERN**

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc.)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc.)

Correct square footage – acres for each lot / parcel, they are incorrect on the plans and the planning documents.		Planning to take this up
Access to all four lots and proposed and agreed to easements need to be reviewed and finalized if and before these lots are developed.		
Are there any restrictions because of the proximity to the Stevenson school?		Planning said there are none.

**ADDITIONAL LUAC COMMENTS**

There are a number of concerns / consideration vis a vis this project. The access to the four lots if these lots are developed is an issue already exposed above. Bringing the lots into conformity is “noble” but too expensive an undertaking to believe that the lots are not intended for development. As an example, in this particular project, two of the resultant lots are so small, that each would probably not have adequate parking. Development would likely result in further street congestion.

The issue of lot line adjustments similar to this have be reviewed by this LUAC in the past. The comment was made then and is reiterated here. It is difficult for the LUAC to comment on the project in terms of how it relates and fits into Carmel when there can be no discussion about the intentions of the lot line adjustment. There are real concerns in the community with regard to the densification of Carmel neighborhoods, especially as it pertains to already congested streets and dense neighborhood development. The previous recommendation to planning from the LUAC to allow discussion on the development(s) resultant from Lot line adjustments should be allowed. The applicant should declare expected intensions for the lots so it can be taken up and commented on. Approving the lot line adjustment and coming back late to the LUAC with development projects may or may not happen at the discretion of planning. That in and of itself can result in a violation of the neighborhood “charm”, the LUAC’s major purview.

**RECOMMENDATION:**

Motion by: Donna Kostigen (LUAC Member's Name)

Second by: Norm Leve (LUAC Member's Name)

- Support Project as proposed
- Support Project with changes
- Continue the Item

Reason for Continuance: \_\_\_\_\_

Continue to what date: \_\_\_\_\_



Ayes: John Borelli, Clyde Freedman, Donna Kostigen, Norm Leve (4)

Noes: \_\_\_\_\_

Absent: Dan Keig, Chip Moreland, Doug Paul (3)

Abstain: \_\_\_\_\_

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