

Exhibit A

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**EXHIBIT A
DRAFT RESOLUTION**

**Before the Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

SEBASTIAN JOSE ADRIAN BASILIO ET AL (PLN250247)

RESOLUTION NO. 26-037

Resolution by the County of Monterey Chief of Planning:

- 1) Finding that the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Section 15303; and
- 2) Approving an Administrative Permit to allow the installation of a 1,440 square foot manufactured dwelling unit that is more than 10 years old and the construction of associated site improvements.

[PLN250247 Fidencio Basilio, 54669 Albert Street, San Lucas, Central Salinas Valley Area Plan (APN: 231-029-012-000)]

The SEBASTIAN JOSE ADRIAN BASILIO ET. AL. application (PLN250247) came on for an administrative decision before the County of Monterey Chief of Planning on April 15th, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the County of Monterey Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;
 - Central Salinas Valley Area Plan (CSVAP); and
 - Monterey County Zoning Ordinance (Title 21).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
b) Allowed Use. The property is located at 54669 Albert Street, San Lucas within the Central Salinas Valley Area Plan (Assessor’s Parcel Number 231-029-012-000). The parcel is zoned High Density Residential, 5 units per acres, or “HDR/5”, which allows for the establishment of the first single-family dwelling as a principally allowed use, according to Title 21 section 21.10.030. The proposed project involves the

installation of a 1,440 square foot manufactured home that was manufactured more than 10 years ago. The project also includes the construction of associated site improvements such as a 1,500-gallon propane tank on a concrete pad and a 30-square-foot concrete walkway. According to Title 21 section 21.64.040.C, the installation of a manufactured dwelling unit on a foundation can be processed ministerially as long as all the standards of the section are met. Based on Title 21 section 21.64.040.D, the proposed development deviates from one of the standards due to the manufactured dwelling unit being over 10 years old at 50 years old from its manufacturing date in 1976, making the project subject to an Administrative Permit. Therefore, the project is an allowed land use for this site.

- c) Lot Legality. The subject property (10,735 square feet), APN: 231-029-012-000, is identified in its current configuration as Lots 15 and 16 in Block “B” of the in the Cities and Towns Map entitled, “Town of San Lucas, Monterey County, California” (Volume 1, Page 43), recorded on December 5th, 1988. Therefore, the County recognizes the project site as a legal lot of record.
- d) Visual Resources. The subject property zoning district does not include a Design Control Overlay and therefore is not subject to the regulations outlined in Title 21.44 (Design Control Zoning Overlay). However, the CSVAP establishes policies that require the protection of public views. CSVAP Policy 3.1 dictates that new development or landscape in an area designated by CSV’s Figure 13 “Scenic Highway Corridors and Visual Sensitivity Map” as “sensitive” or “highly sensitive” needs to be designed and located to not disrupt public views. The subject property in San Lucas is not within a visually sensitive area and will not block views assessed based on the distance and intervening topography surrounding the subject property, as the proposed development is within a similar footprint as the previous single-family dwelling. The colors and materials proposed include beige trim, creamy off-white cement plaster, and hardwood doors, with asphalt shingle roofing. Therefore, the proposed development will not conflict with CSVAP Visual Resource policies.
- e) Development Standards. The proposed project meets all the required development standards for High Density Residential zoning district, which are identified in Title 20, section 20.10.060. Pursuant to Title 20, section 20.10.060.C, main structures within this district shall meet the required setbacks of 20 feet (front), 50 feet (side), and 10 feet (rear), unless otherwise indicated on a final map. The proposed single-family dwelling, fronting Albert Street, will have setbacks of 22 feet (front), 25 feet (side), 5 feet (side), and just over 60 feet (rear). The HDR zoning district allows a maximum height of 35 feet for main structures, and the proposed single-family dwelling will have a height of 14 feet 10 inches. The HDR zoning district allows a maximum building site coverage of 60%. The proposed project will have a building site coverage of 1,936 square feet or 18.03%. As conditioned, the proposed manufactured dwelling unit will be the only residence on the property and thus

complies with the allowed density. Therefore, the project meets all required development standards for the RDR zoning district.

- f) Manufactured Dwelling Unit Regulations. According to Title 21 section 21.64.040.C, the installation of any manufactured dwelling unit on a foundation system shall go through the same ministerial development process as a conventionally built dwelling on the same lot as long as a certain criterion is met. This criterion consists of 10 years having not lapped between the manufacturing date and the application date and having siding and roofing materials or appearance similar to other surrounding residences. Due to the date of manufacturing and the date of the application of installation being 49 years apart, an Administrative Permit is required in accordance with Title 21 section 21.64.040.D. The dwelling unit will have similar exterior materials as surrounding residences. Given its age, Condition No. 6 has been applied to ensure that the manufactured home is conducive to County health and safety standards by having a Home Inspection by a certified home inspector conducted prior to final inspection of the building permit.
- g) Land Use Advisory Committee (LUAC) Review. The project was not referred to the South County Land Use Advisory Committee (LUAC) for review because it does not involve a public hearing Design Approval, a Lot Line Adjustment, preparation of an Initial study, or a Variance.
- h) The project planner conducted a virtual site inspection on March 24th, 2026, to verify that the project on the subject parcel conforms to the plans listed above.
- i) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250247.

2. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and South County FPD. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) The following reports have been prepared:
 - “Geotechnical Investigation Report” (LIB250399) prepared by Belinda Taluban, Salinas, CA, January 22, 2026.County staff independently reviewed this report and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.
 - c) A Geotechnical Report (County of Monterey Library No. LIB250399) was prepared for this project, where the qualified civil engineer made multiple recommendations for the development, including all sub

excavated soil shall then be backfilled in eight-inch loose lifts and recompact to 90 percent relative compaction, foundation footings that should be underlain by a minimum of 12 inches. Engineered fill should extend a minimum of 5 feet laterally of foundations, 2 feet of either clay soil backfill or lean concrete plugs within the utility trenches, concrete slabs-on-grade, and a stormwater quality control plan to control surface storm water runoff is to be implemented at the project site. The report concluded that the site is suitable for the proposed project. Pursuant to Chapter 16.08 section 16.08.110 of the Monterey County Code, the recommendations included in geotechnical reports shall be incorporated in the grading plans and specifications. Therefore, as proposed and designed, the site is found to be suitable for the development.

- d) Staff conducted a virtual site inspection on March 24th, 2026, to verify that the site is suitable for this use.
- e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250247.

3. FINDING: HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and South County FPD. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood. Condition No. 6 has been applied to ensure that the manufactured home is conducive to County health and safety standards by having a Home Inspection by a certified home inspector conducted prior to final inspection of the building permit.
 - b) Necessary public facilities will be provided. San Lucas Water District will continue providing the property with potable water and wastewater/sewage service.
 - c) Staff conducted a virtual site inspection on March 24th, 2026, to verify that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250247.

4. FINDING: NO VIOLATIONS – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed County of Monterey HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Two halves of the proposed manufactured home currently occupies the site. These halves will be connected through the approval of this permit application and the issuance of a construction permit. Condition No. 6 has been applied to ensure that the manufactured home is conducive to County health and safety standards by having a Home Inspection by a certified home inspector conducted prior to final inspection of the building permit.
 - c) Staff conducted a site inspection on March 28th, 2026, and researched County records to assess if any violation exists on the subject property.
 - d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250247.

5. FINDING: CEQA (Exempt) – The project is categorically exempt from environmental review, and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303, categorically exempts the construction and location of limited numbers of new, small facilities or structures, such as single family dwellings.
 - b) As proposed, the project involves the installation of a 1,440 square foot manufactured home and associated site improvements. Therefore, the project meets the Class 3 Categorical Exemption requirements.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no significant effect on the environment due to unusual circumstances. No trees are proposed for removal, and the proposed development is not visible from any scenic corridor or scenic highway. There is no cumulative impact without any prior successive projects of the same type in the same place, over time, and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered a hazardous waste site. No known historical or archaeological resources are present. There is no significant effect on the environment due to unusual circumstances.
 - d) No adverse environmental effects were identified during staff review of the development application during a virtual site visit on March 24th, 2026.
 - e) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250247.

6. FINDING: APPEALABILITY – The decision on this project may be appealed to the Planning Commission.

- EVIDENCE:**
- a) Planning Commission. Pursuant to Title 21 section 21.80.040.A, the Planning Commission is the appropriate authority to hear appeals from the discretionary decisions of the Director of Planning.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Chief of Planning does hereby:

1. Find the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Section 15303;
2. Approve the Administrative Permit to allow the installation of a 1,440 square foot manufactured dwelling unit that is more than 10 years old and the construction of associated site improvements.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 15th day of April 2026.

Melanie Beretti, AICP
Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

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County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN250247

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Administrative permit (PLN250247) allows the installation of a 1,440 square foot manufactured home more than 10 years old and associated site improvements. The property is located at 54669 Albert Street, San Lucas (Assessor's Parcel Number 231-029-012-000), Central Salinas Valley Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"An Administrative Permit (Resolution Number _____) was approved by the Chief of Planning for Assessor's Parcel Number 231-029-012-000 on April 15th, 2026. The permit was granted subject to 6 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD012(F) - LANDSCAPE PLAN & MAINTENANCE (SFD ONLY)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to the HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

5. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

6. PDSP01 - HOME INSPECTION HEALTH & SAFETY CERTIFICATION (NON-STANDARD CONDITION)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The project scope of work includes the installation of a manufactured home 50 years past its manufacturing date that is currently being stored in halves on the subject property. To ensure that the manufactured home is conducive to county health and safety standards for habitated dwelling units, the applicant will hire a certified Home Inspector to perform a Home Inspection with a passing result to the final of the building permit.

Compliance or Monitoring Action to be Performed: Prior to the final on the associated building permit, an inspection report with passing results from a home inspector certified by the California Real Estate Inspection Association, American Society of Home Inspectors, International Code Council, International Association of Certified Home Inspectors, or a similar certification that provides and verifies the following information, to ensure the property is safe and habitable for its intended use as a single-family dwelling unit.

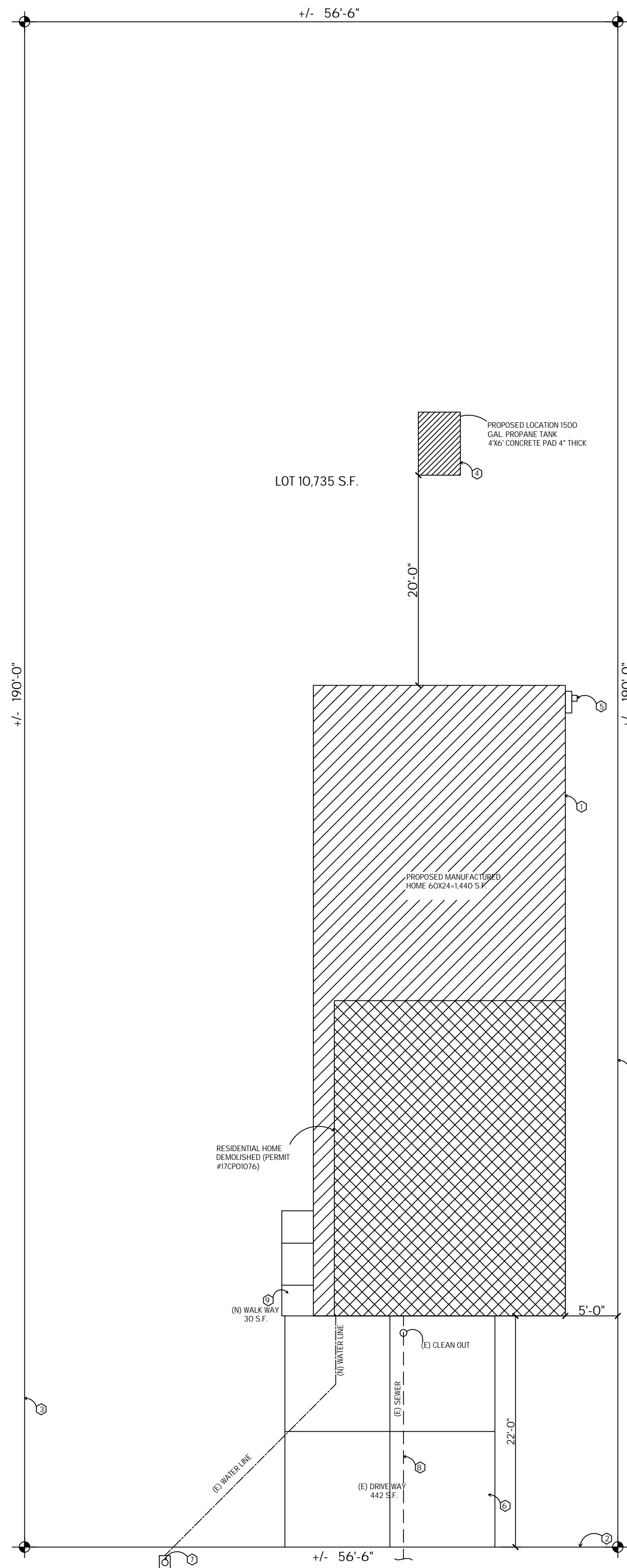
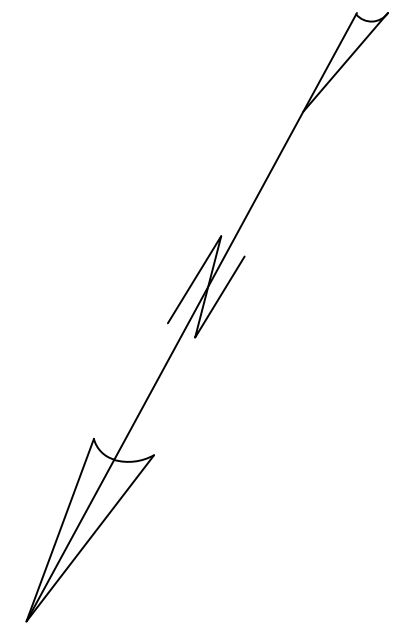
GENERAL NOTES

- A. ALL WORK SHALL CONFORM TO: (A) THE MINIMUM STANDARDS OF THE LATEST EDITION (OR THE CURRENT EDITION IN EFFECT) OF THE UNIFORM BUILDING CODE AND ALL RELATED DOCUMENTS THAT ARE PUBLISHED BY THE I.C.B.O. WHICH HAVE BEEN ADOPTED BY THE LOCAL GOVERNING AGENCIES; (B) ALL REGULATIONS AND ORDINANCES OF THE LOCAL GOVERNING AGENCIES; AND (C) ANY SPECIAL CONDITIONS REQUIRED BY THE LOCAL GOVERNING AGENCIES.
- B. THE CALIFORNIA ENERGY CONSERVATION STANDARDS FOR NONRESIDENTIAL AND/OR RESIDENTIAL BUILDING HAVE BEEN REVIEWED AND THE BUILDING DESCRIBED ON THE DRAWING IS IN SUBSTANTIAL CONFORMANCE.
- C. A CERTIFICATE OF CONSTRUCTION COMPLIANCE, SIGNED BY THE GENERAL CONTRACTOR BASED UPON HIS/HER OBSERVATION OF THE CONSTRUCTION WORK SHALL BE SUBMITTED TO THE INSPECTING BUILDING OFFICIAL PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- D. THE WORK DESCRIBED IN THE DRAWING SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO, HE SHALL BE PROCEEDING AT HIS OWN RISK.
- E. OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MIS-DESCRIPTION OF THE WORK WHICH IS MANIFESTED NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
- F. DIMENSIONS SHALL TAKE PRECEDENCE OVER DRAWING SCALE OR PROPORTION. LARGER SCALE DRAWING SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- G. PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT FOR ON-SITE PRE-JOB CONFERENCE.
- H. INSTALL SEDIMENT LOGS AROUND CONSTRUCTION AREA TO KEEP DEBRIS ON PROPERTY.
- I. PLACE GRAVEL BAGS AROUND NEARBY, DOWN-STREAM STORM INLET(S) DURING CONSTRUCTION.
- J. PROVIDE CONCRETE WASH OUT TO COMPLY WITH BEST MANAGEMENT PRACTICES. TO SATISFACTION OF CITY IN CONFORMANCE WITH CITY STANDARDS. MUST OBTAIN ENCROACHMENT PERMIT FROM P/W FOR ANY WORK IN PUBLIC RIGHT OF WAY (ROW) INCLUDING DRIVE WAY, APRON SIDE WALK, CURB/GUTTER.
- K. RECONSTRUCT ANY CURB, GUTTER OR SIDEWALK THAT IS DAMAGED DURING CONSTRUCTION.
- L. DURING CONSTRUCTION THE CONTRACTOR SHALL MAINTAIN THE CITY RIGHT-OF-WAY (STREET/SIDEWALK) FREE FROM DEBRIS AND DIRT. ANY CONSTRUCTION WORK ON THE PUBLIC RIGHT OF WAY WILL REQUIRE AN ENCROACHMENT PERMIT.
- M. PROJECT MUST COMPLY WITH THE CITY C & D ORDINANCE FOR THE RECYCLING OF CONSTRUCTION AND DEMOLITION MATERIALS GENERATED FROM THIS PROJECT DEMONSTRATING 65% TOTAL RECYCLING. CONTRACTOR TO OBTAIN THE NECESSARY FORMS TO COMPLY WITH LOCAL CITY BUILDING DEPARTMENT.
- N. A LETTER PREPARED BY A SURVEYOR OR LICENSED CIVIL ENGINEER CERTIFY THE LOCATION OF THE PAD WILL BE REQUIRED AT THE TIME OF FOUNDATION FORMING INSPECTION. THE LETTER SHALL BE STAMPED AND SIGNED.
- O. ADDRESS IDENTIFICATION SHALL BE PROVIDED IN A FORM OF CHARACTERS. THE CHARACTERS SHALL BE NOT LESS THAN 4 INCHES IN HEIGHT WITH STROKE WIDTH OF NOT LESS THAN 0.5 INCH. THE CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET. PLEASE NOTE, THE FIRE DEPARTMENT MAY AND WILL REQUIRE THE CHARACTER TO BE NOT LESS THAN 6 INCHES IN HEIGHT.
- P. VALIDITY OF PERMIT. THE ISSUANCE OR GRANTING OF A PERMIT SHALL NOT BE CONSTRUED TO BE A PERMIT FOR, OR AN APPROVAL OF, ANY VIOLATION OF THE PROVISIONS OF THIS CODE OR OF ANY OTHER ORDINANCE OF THE JURISDICTION.
- Q. ROOF SUBMITTALS CALCULATIONS WILL BE DEFERRED. ROOF PREFABRICATED TRUSSES TO BE USED.
- R. THE OWNER IS RESPONSIBLE FOR INSTALLATION OF THE PROPOSED WATER LATERAL (FROM METER TO MAIN). A PROPERLY LICENSED CONTRACTOR WILL BE REQUIRED, AND AN ENCROACHMENT PERMIT APPLIED FOR.
- S. MAIN DRAIN (SEWER) PIPE SIZE SHALL BE NOT LESS THAN 3-INCHES. THE SLOPE SHALL BE NOT LESS THAN 2%. CPC 2019, SECT 708
- T. HERS APPROVED SCHEDULE. TO RATE CHEERS IN 1610 R STREET, STE 200 SACRAMENTO, CA 95811

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S-1	FOUNDATION PLAN
GP-1	GENERAL NOTES

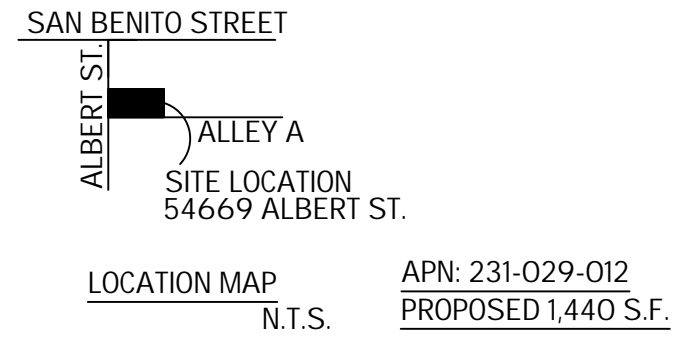
SITE PLAN LEGEND	
PROPERTY LINE	—————
BUILDING SETBACK & EASEMENTS	— — — — —
WATER LINE	——— W ———
SEWER LINE	——— S ———
ELECTRICAL LINE	——— E ———
GAS LINE	——— G ———
PHONE LINE	——— PH ———
CABLE TV LINE	——— TV ———

SITE PLAN NOTES	
1.	PROPOSED MANUFACTURED HOME
2.	EXISTING PROPERTY LINE
3.	EXISTING 6' FENCE TO REMAIN
4.	PROPOSED PROPANE TANK LOCATION
5.	EXISTING ELECTRICAL METER TO REMAIN
6.	EXISTING DRIVE WAY TO REMAIN
7.	EXISTING WATER METER
8.	EXISTING SEWER LINE
9.	PROPOSED CONCRETE WALK WAY



PROJECT STATISTICS

PROPOSED MANUFACTURED HOME	
PROJECT SCOPE	TO PERMIT THE PROPOSED MANUFACTURED HOME ON A PERMANENT FOUNDATION CONSISTING OF THREE BEDROOMS, TWO FULL BATHROOMS, KITCHEN, DINING ROOM, AND LIVING ROOM. ALSO PROPOSING PRO PANE TANK FOR HOME. LOT-10,735 SF, PROPOSED-1,440 SF, MANUFACTURED HOME.
OCCUPANCY	SINGLE FAMILY RESIDENTIAL
TYPE OF CONSTRUCTION	VB
ZONING	HDR/5
PROJECT ADDRESSES	54669 ALBERT STREET SAN LUCAS, CA 93954
OWNER	FIDENCIO BASILIO 54669 ALBERT STREET SAN LUCAS, CA 93954
PROJECT MANAGER	FIDENCIO BASILIO 831-718-7305
APN	231-029-012
EXISTING USE	RESIDENCE
FIRE SPRINKLER	NO
PARKING REQUIRED (E) UNIT #1:	(E) TWO SPACES ON EXISTING DRIVEWAY



TOTAL LOT COVERAGE PRE & POST CONSTRUCTION
 TOTAL LOT COVERAGE PRE CONSTRUCTION : 496 S.F./10,735 S.F. = 4.62%
 TOTAL LOT COVERAGE POST CONSTRUCTION : 1,440 + 496 = 1,936 S.F./10,735 S.F. = 18.03%

SITE PLAN

54669 ALBERT STREET

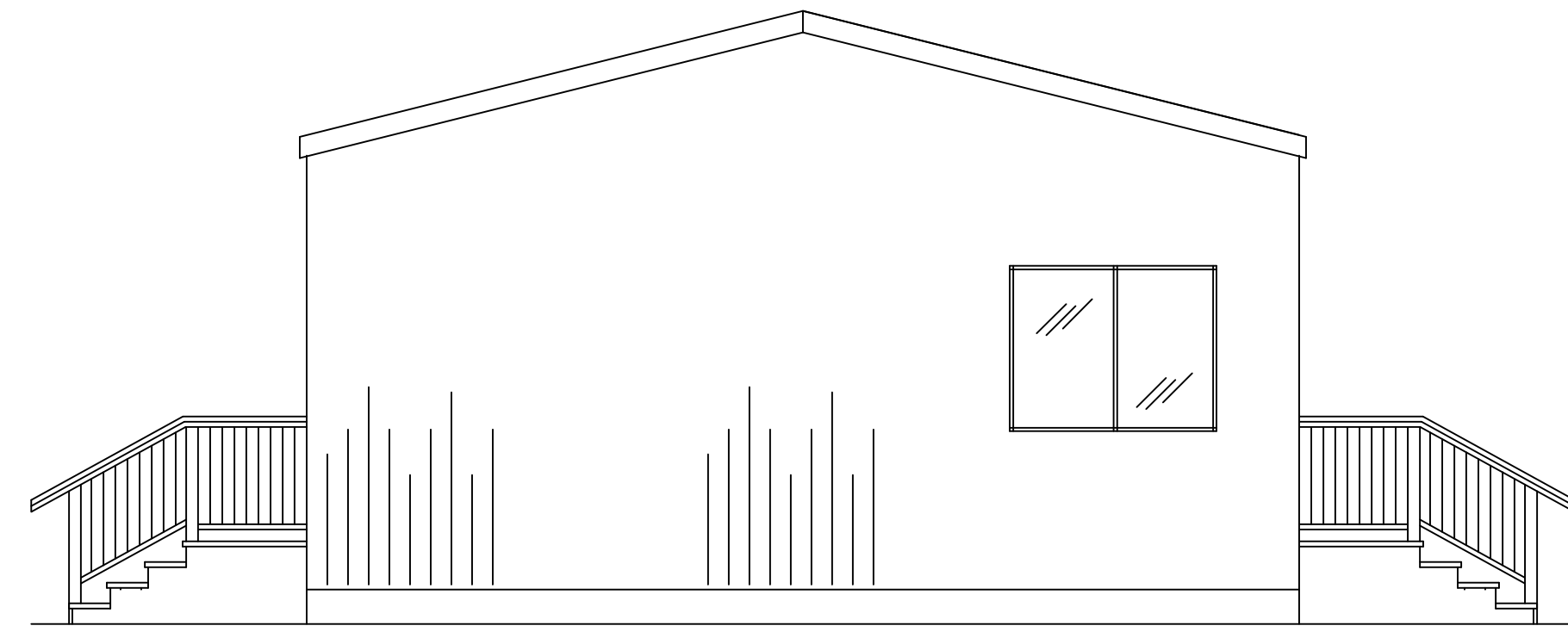
REVISIONS	BY
12/05/2025	JC

JUAN C. PEREZ - DESIGNER
 10 SPOLETO CIRCLE SALINAS CA
 93905
 831-597-1375
Juan C. Perez

SITE PLAN

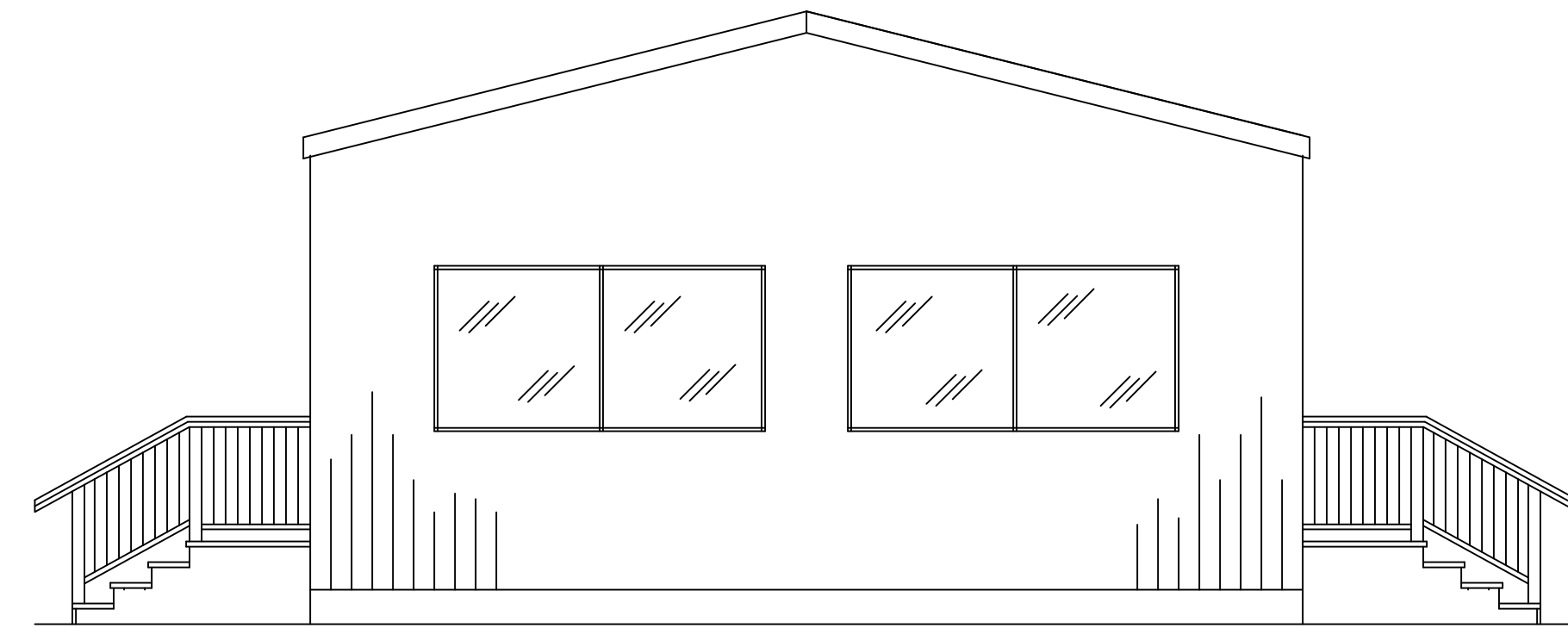
OWNER: FIDENCIO BASILIO
 54669 ALBERT STREET.
 SAN LUCAS CA, 93953
 PHONE: 831-718-7305

DATE	6/18/2025
SCALE	1/8"=1'-0"
DRAWN	
JOB	
SHEET	A-1
OF	SHEET



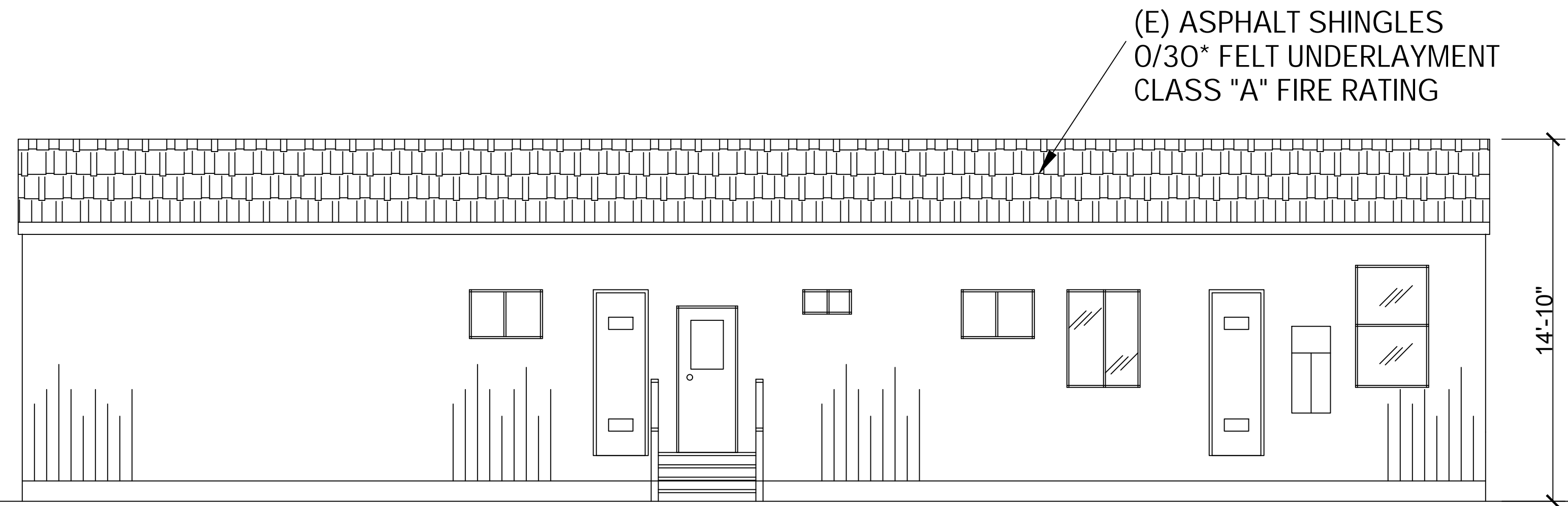
SOUTH ELEVATION

1/4" = 1'-0"



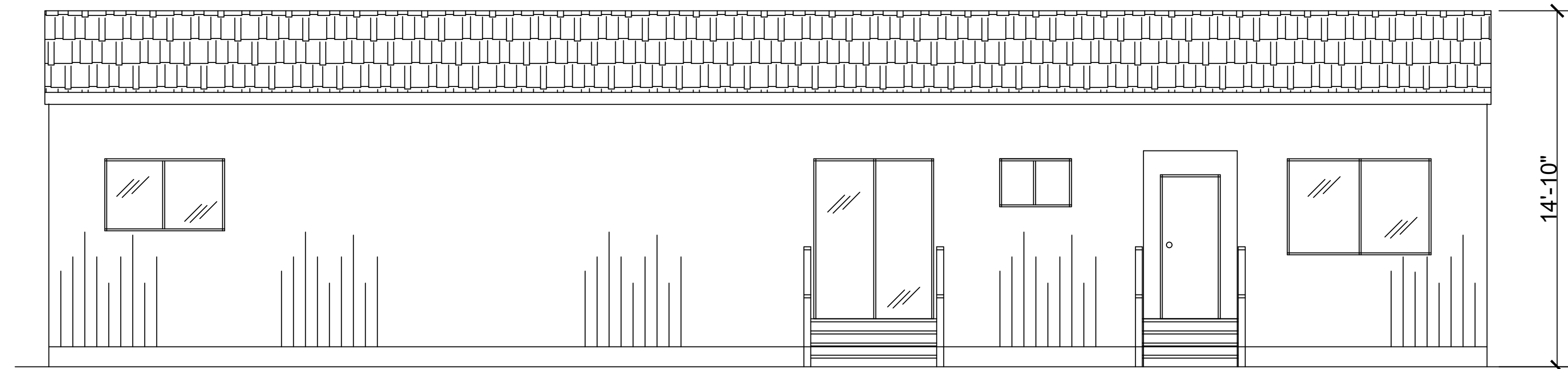
NORTH ELEVATION

1/4" = 1'-0"



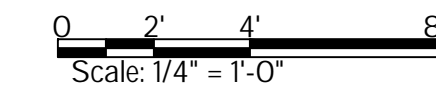
WEST ELEVATION

1/4" = 1'-0"



EAST ELEVATION

1/4" = 1'-0"



REVISIONS	BY
XX/XX/XXXX	XX

JUAN C. PEREZ - DESIGNER
 10 SPOLETO CIRCLE SALINAS CA.
 93905
 831-597-1375 *Juan C. Perez*

ELEVATION PLAN

OWNER: FIDENCIO BASILIO
 54669 ALBERT STREET.
 SAN LUCAS CA, 93953
 PHONE: 831-718-7305

DATE 6/18/2025

SCALE 1/4"=1'-0"

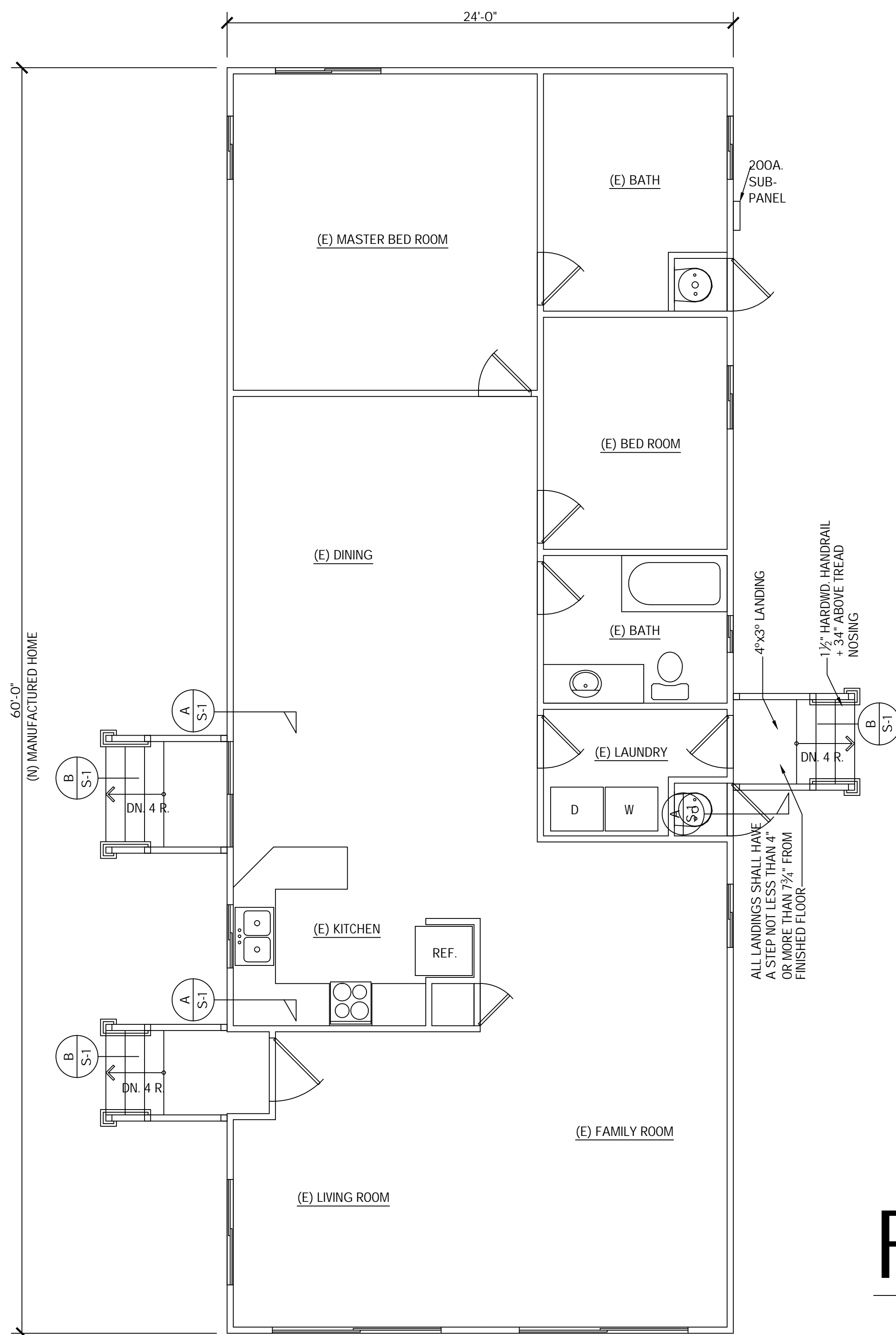
DRAWN

JOB

SHEET

A-2

OF SHEET



FLOOR PLAN

0 2' 4' 8'
Scale: 1/4" = 1'-0"

REVISIONS	BY
XX/XX/XXXX	XX

JUAN C. PEREZ - DESIGNER
10 SPOLETO CIRCLE SALINAS CA.
93905
831-597-1375 *Juan C. Perez*

FLOOR PLAN

OWNER: FIDENCIO BASILIO
54669 ALBERT STREET.
SAN LUCAS CA, 93953
PHONE: 831-718-7305

DATE 6/18/2025
SCALE 1/4"=1'-0"
DRAWN
JOB
SHEET

A-3
OF SHEET

REVISIONS	BY
XXXXXX	XX

JUAN C. PEREZ - DESIGNER
 10 SPOLETO CIRCLE SALINAS CA.
 93905
 831-597-1375 *Juan C. Perez*

EROSION CONTROL PLAN

OWNER: FIDENCIO BASILIO
 54669 ALBERT STREET.
 SAN LUCAS CA, 93953
 PHONE: 831-718-7305

DATE	6/18/2025
SCALE	1/8"=1'-0"
DRAWN	JCP JR
JOB	
SHEET	
	C-1
OF	SHEET

EROSION CONTROL

- THE EROSION AND SEDIMENT CONTROL MEASURES WILL BE IN OPERATION THROUGHOUT CONSTRUCTION PHASE. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED, REPAIRED AND LOGGED AT THE END OF EACH WORKING DAY.
- GRAVEL BAGS & PCC BLOCKS SHALL BE PLACED AROUND EACH CATCH BASIN UNTIL ALL TRIBUTARY UPSTREAM AND DOWNSTREAM AREAS HAVE BEEN STABILIZED AND MAY BE REMOVED ONLY WITH THE APPROVAL OF THE COUNTY ENGINEER.
- CONTRACTOR SHALL CONFINE VEHICLES, ETC., TO THE AREAS UNDER CONSTRUCTION AND SHALL NOT PERMIT DAMAGE TO THE EXISTING VEGETATION OR NATURAL GROUND IN FUTURE DEVELOPMENT AREAS. ANY DAMAGE SHALL BE IMMEDIATELY REPAIRED, DAMAGED AREA TO BE ADDED TO THE SWPPP.
- TRAPPED SEDIMENT IS TO BE REMOVED AS REQUIRED TO MAINTAIN TRAP EFFICIENCY. CONTRACTOR SHALL EXAMINE GRAVEL BAGS AND FIBER ROLLS WEEKLY AND BEFORE AND AFTER EACH RAIN. FOLLOWING ANY PERIODS OF RAIN, REMOVE ANY SILT DEPOSITS AND REPLACE ANY DAMAGED GRAVEL BAGS. TRAPPED SEDIMENT IS TO BE DISPOSED AT A SITE APPROVED BY THE PROJECT ENGINEER.
- THE CONTRACTOR SHALL CONSTRUCT, AT HIS ONLY ACCESS POINT, AN APPROVED CONSTRUCTION ENTRANCE CONSISTING OF A 15' WIDE BY 50' LONG TRANSITION (MIN.) WITH A MINIMUM 6" THICK MANUFACTURED STONE AGGREGATE MATERIAL PLACED OVER FILTER FABRIC/MAT.
- GRAVEL BAGS AND FIBER ROLLS MAY BE REMOVED AFTER AREAS ABOVE THEM HAVE BEEN STABILIZED AND ONLY WITH APPROVAL OF THE COUNTY ENGINEER.
- HYDROSEEDING: SEEDING SHALL BE PERFORMED BY A MECHANICAL HYDROSEEDER. THE HYDRO MULCH IS PREPARED BY MIXING FIBER, SOIL STABILIZER, SEED AND WATER IN PORTIONS SPECIFIED IN THE PLANS OR HEREIN. MIXING TIME SHALL NOT EXCEED 45 MINUTES FROM THE TIME THE SEED CONTACTS THE WATER UNTIL THE ENTIRE BATCH IS DISCHARGED ONTO THE PREPARED SOIL.

HYDROSEEDING SEED MIX FOR THE PARTIAL HYDROSEEDING AREA

SCIENTIFIC NAME	COMMON NAME	APPLICATION RATE (lbs./acre)
ACHILLEA MILEFOLIUM	COMMON YARROW	1
NASSELLA PULCHRA	PURPLE NEEDLEGRASS	15
LEMNUS TRITICOIDES	CREeping RYEGRASS	5.5
LUPINUS NAMUS	SKY LUPINE	2
ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	0.5
LOTUS SCOPARIODUS	DEERWEED	2
BROMUS CARNATUS	CALIFORNIA BROME	15
ELIMUS GLAUCUS	BLUE WILD-RYE	10

NON-SEED PRODUCTS	APPLICATION RATE (lbs./acre)
BONDED FIBER MATRIX MULCH	3000
ENDO MYCORRHIZAL INOCULANT (25 spores/ft ²)	10

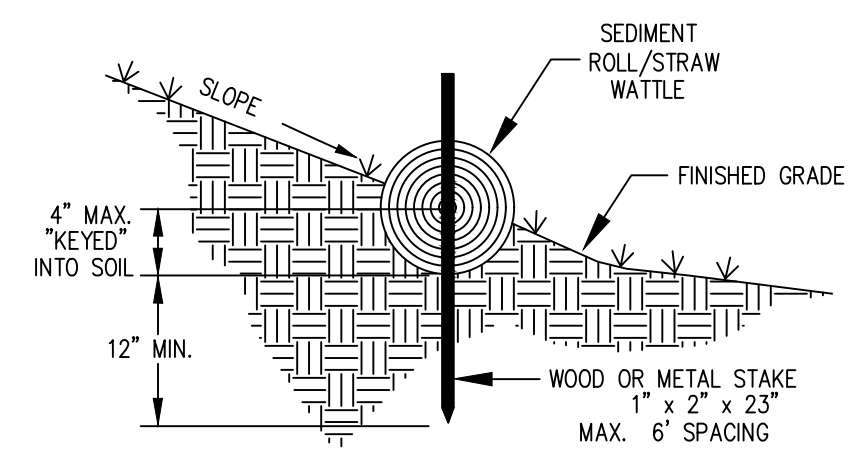
- COUNTY ENGINEER RESERVES THE RIGHT TO REQUIRE THE INSTALLATION OF STRAW MATTING IN AREAS WHERE EROSION CONTROL/SEEDING HAS NOT BEEN ESTABLISHED.
- CONTRACTOR & ALL SUBCONTRACTORS SHALL RETAIN A COPY OF THE NOI & SWPPP FILED WITH THE S.W.Q.C.B. ON SITE, OR HAVE ACCESS TO A CENTRALLY LOCATED COPY ON SITE. ALL CONTRACTORS & SUBCONTRACTORS SHALL AGREE TO ABIDE BY THE SWPPP IN WRITING, IF REQUIRED BY COUNTY.
- CONTRACTOR SHALL PROVIDE A CONCRETE WASHOUT LOCATION ON SITE. THE LOCATION SHALL BE APPROVED BY THE COUNTY ENGINEER PRIOR TO ANY WASTE DISPOSAL (SEE CONCRETE WASTE MANAGEMENT DETAIL ABOVE).

EROSION CONTROL NOTES

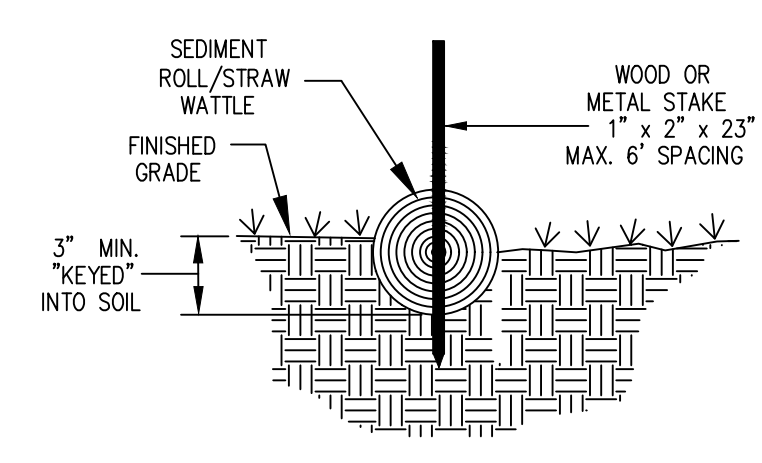
- NATURAL FEATURES, INCLUDING VEGETATION, TERRAIN, WATERCOURSE AND SIMILAR RESOURCES SHALL BE PRESERVED WHERE POSSIBLE.
- DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 30):
 * GRADING ACTIVITIES MUST BE SCHEDULED TO MINIMIZE BARE GRADED AREAS.
 * SUFFICIENT QUANTITIES OF EROSION CONTROL MATERIALS SHALL BE KEPT ON SITE AT ALL TIMES TO BE INSTALLED AS SOON AS POSSIBLE AND PRIOR TO LIKELY PRECIPITATION EVENTS.
- EFFECTIVE SOIL COVER SHALL BE PROVIDED ON ALL FINISHED SLOPES, OPEN SPACE, UTILITY BACKFILL AND COMPLETED LOTS THAT ARE NOT SCHEDULED TO BE RE-DISTURBED FOR MINIMALLY 14 DAYS.
- MINIMIZE SOIL COMPACTION FOR AREAS THAT WILL REMAIN PERVIOUS OR USED FOR LID MEASURES.
- WHERE FEASIBLE, TOP SOIL SHALL BE STOCKPILED AND REAPPLIED UPON COMPLETION OF GRADING ON SLOPES OF LESS THAN TWENTY PERCENT.
- CONTRACTOR SHALL FURNISH AN UTILIZE SUITABLE RECEPTACLES FOR WASTE AND RECYCLABLES FOR CONSTRUCTION PERSONNEL AND ENSURE THAT ALL GARBAGE IS REMOVED FROM THE SITE ON REGULAR BASIS AND AT THE END OF EACH CONSTRUCTION DAY.
- CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED TO BE COVERED AND BERMED.
- ACCESS ROADS SHALL BE CLEANED DAILY (IF NECESSARY) AND PRIOR TO ANY RAIN EVENT.
- WASTE MATERIAL DUMPSTER TO BE COVERED NIGHTLY AND PROTECTED FROM RAIN.
- DUST CONTROL PRACTICES TO BE USED.
- CONTRACTOR SHALL REMOVE GRASS AND WEEDS GROWING IN THE SIDEWALK. PREVENT THE USE OF HERBICIDES.
- ANY WORK IN THE RIGHT OF WAY REQUIRES AN ENCROACHMENT PERMIT.
- CONSTRUCTION BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED DURING CONSTRUCTION. BMP BROCHURES TO BE PROVIDED TO CONTRACTOR.
- WORK DAYS TO BE FROM MONDAY THROUGH SATURDAY. WORK HOURS TO BE FROM 8:00 AM TO 5:00 PM.
- NOISE CONTROL TO BE PER GMC 17.60.030. 45 dBA 7 A.M. TO 10 P.M.

NOTES:

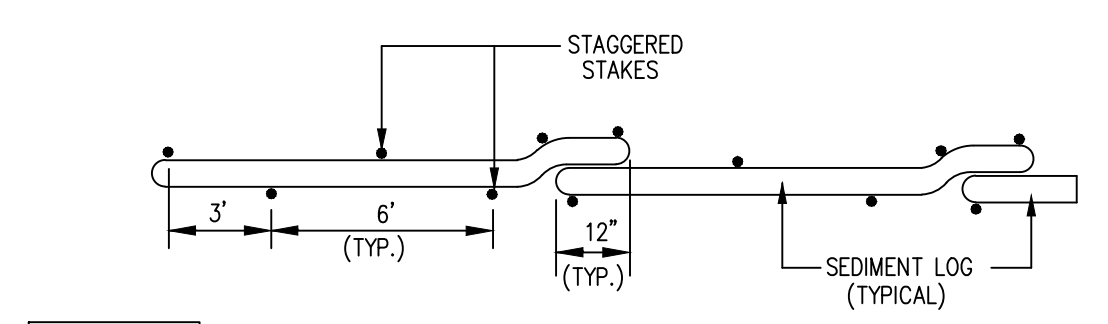
- GRAVEL BAGS SHALL BE USED AT ALL ON-SITE DRAINAGE INLETS, TOP OPENINGS AND SIDE OPENINGS.
- GRAVEL BAGS SHALL BE USED ON ALL DRAINAGE INLETS IN COUNTY RIGHT-OF-WAY IMPACTED BY THE PROJECT (DOWN STREAM INLETS AND FIRST INLET UP STREAM)
- PLACE TYPE I BARRICADE OVER DRAINAGE INLET WHEN FILTER FABRIC & GRAVEL SACKS ARE UTILIZED.
- INSPECT (AND DOCUMENT EACH INSPECTION) ALL INLET PROTECTION DEVICES BEFORE AND AFTER RAINFALL EVENTS, AND WEEKLY THROUGHOUT RAINY SEASON. DURING EXTENDED RAINFALL EVENTS, INSPECT INLET PROTECTION DEVICES AT LEAST ONCE EVERY TWENTY-FOUR (24) HOURS.
- REMOVE ALL INLET PROTECTION DEVICES WITHIN THIRTY (30) DAYS AFTER THE SITE IS STABILIZED, OR WHEN INLET PROTECTION IS NO LONGER REQUIRED, BY THE COUNTY ENGINEER.
- PRIOR TO ROLL INSTALLATION, CONTOUR A CONCAVE KEY TRENCH THREE (3" MIN.) TO FOUR (4") INCHES MAX. DEEP ALONG THE PROPOSED INSTALLATION ROUTE.
- SOIL EXCAVATED IN TRENCHING SHOULD BE PLACED ON THE UPHILL OR FLOW SIDE OF THE ROLL TO PREVENT WATER FROM UNDER CUTTING THE ROLL.
- PLACE SEDIMENT ROLL INTO KEY TRENCH AND STAKE ON BOTH SIDES OF THE ROLL TO WITHIN SIX FEET (6') OF EACH END AND THEN EVERY SIX FEET (6') WITH 1" x 2" x 23" WOOD OR METAL STAKES.
- STAKES ARE TYPICALLY DRIVEN IN ON ALTERNATING SIDES OF THE ROLL. WHEN MORE THAN ONE SEDIMENT ROLL IS PLACED IN A ROW, THE ROLLS SHOULD BE OVERLAPPED TWELVE INCHES (12") MIN. TO PROVIDE A TIGHT JOIN, NOT ABUTTED TO ONE ANOTHER.



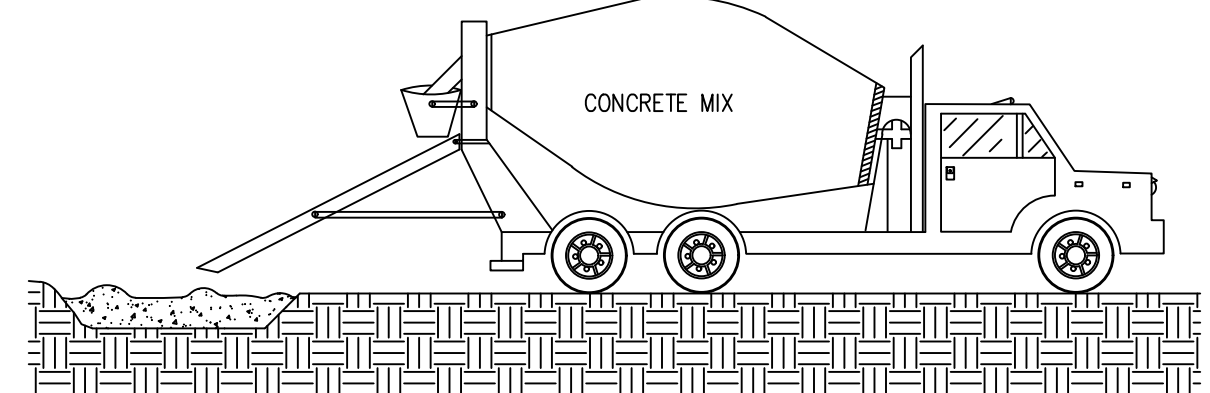
ENTRENCHMENT DETAIL IN SLOPE AREA
 (FOR SHORT SLOPES OR SLOPES FLATTER THAN 3:1)
 NOT TO SCALE



ENTRENCHMENT DETAIL IN FLAT AREA
 NOT TO SCALE



A SEDIMENT LOG DETAIL
 (TO BE USED ON SLOPES AND ALONG PROPERTY LINES)
 NOT TO SCALE



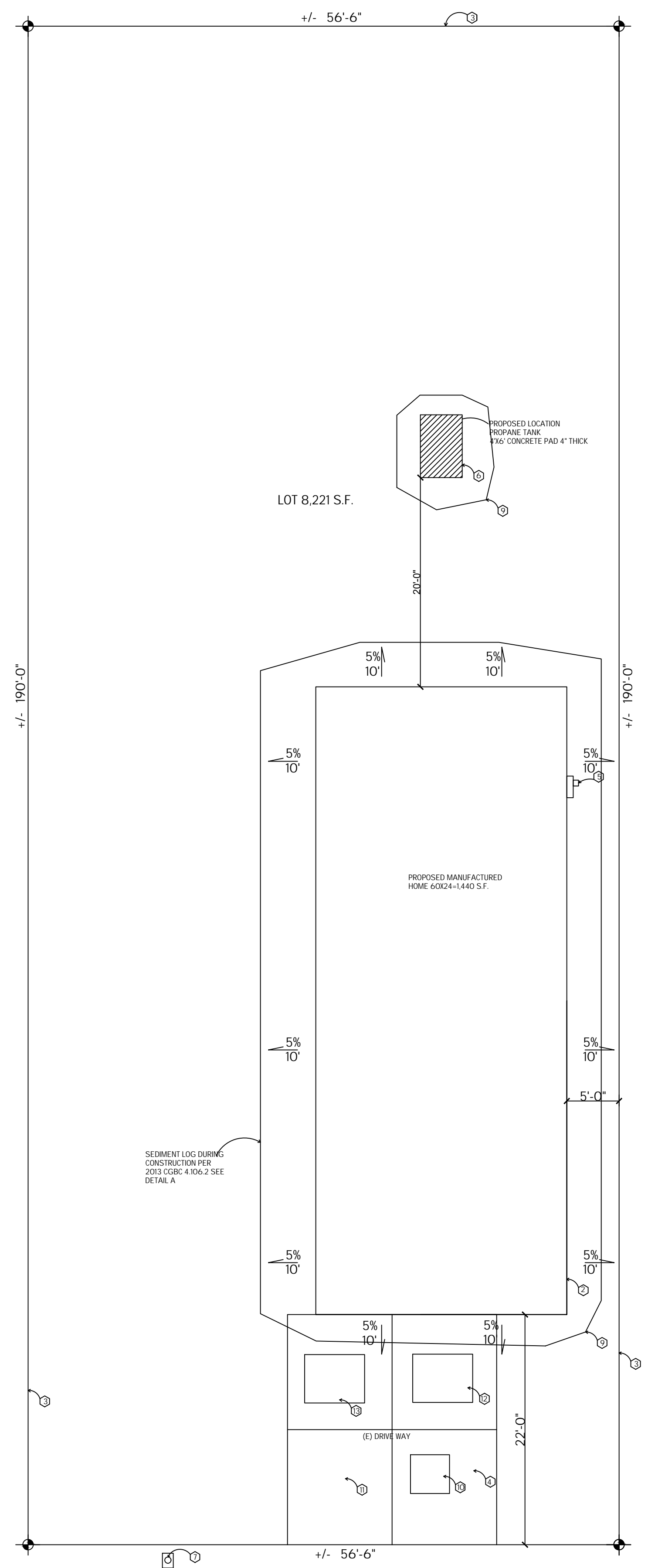
B CONCRETE WASTE WASH MANAGEMENT DETAIL
 NOT TO SCALE

DESCRIPTION
 PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORM WATER FROM CONCRETE WASTE BY CONDUCTING WASHOUT OFF-SITE, PERFORMING ON-SITE WASHOUT IN A DESIGNATED AREA, AND TRAINING EMPLOYEES AND SUBCONTRACTORS.

APPROACH
 THE FOLLOWING STEPS WILL HELP REDUCE STORM WATER POLLUTION FROM CONCRETE WASTES:
 STORE DRY AND WET MATERIALS UNDER COVER, AWAY FROM DRAINAGE AREAS.
 AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON-SITE.
 PERFORM WASHOUT OF CONCRETE TRUCKS OFF SITE OR IN DESIGNATED AREAS ONLY.
 DO NOT WASH OUT CONCRETE TRUCKS INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.
 DO NOT ALLOW EXCESS CONCRETE TO BE DUMPED ON-SITE, EXCEPT IN DESIGNATED AREAS.

FOR ON-SITE WASHOUT:
 LOCATE WASHOUT AREA AT LEAST FIFTY FEET (50') FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DO NOT ALLOW RUNOFF FROM THIS AREA BY CONSTRUCTING A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH FOR LIQUID AND SOLID WASTE.
 WASH OUT WASTES INTO THE TEMPORARY PIT WHERE THE CONCRETE CAN SET, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.

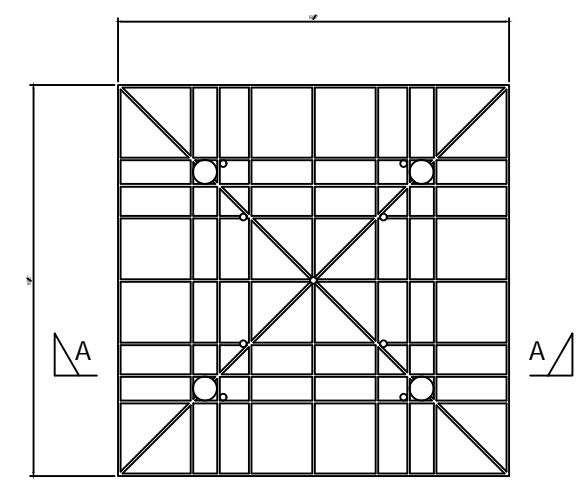
WHEN WASHING CONCRETE TO REMOVE FINE PARTICLES AND EXPOSE THE AGGREGATE, AVOID CREATING RUNOFF BY DRAINING THE WATER TO A BERMED OR LEVEL AREA.
 DO NOT WASH SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE INTO THE STREET OR STORM DRAIN. COLLECT AND RETURN SWEEPINGS TO AGGREGATE BASE STOCK PILE, OR DISPOSE IN THE TRASH.



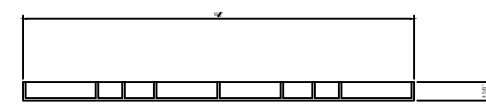
- BMP PLAN NOTES**
- EXISTING RESIDENCE TO REMAIN
 - PROPOSED MOBILE TRAILER
 - EXISTING FENCE TO REMAIN
 - EXISTING DRIVEWAY TO REMAIN
 - EXISTING ELECTRICAL METER TO REMAIN
 - PROPOSED PROPANE TANK
 - EXISTING WATER METER TO REMAIN
 - EXISTING SIDEWALK TO REMAIN
 - STRAW WATTLE REFER TO DETAIL
 - CONCRETE WASH OUT REFER TO DETAIL
 - LOCATION OF CONSTRUCTION WORKERS PARKING
 - LOCATION OF CONSTRUCTION RECYCLING CONTAINERS
 - CONSTRUCTION MATERIAL DROP OFF AND STORAGE AREA

BEST MANAGEMENT PLAN

54669 ALBERT STREET



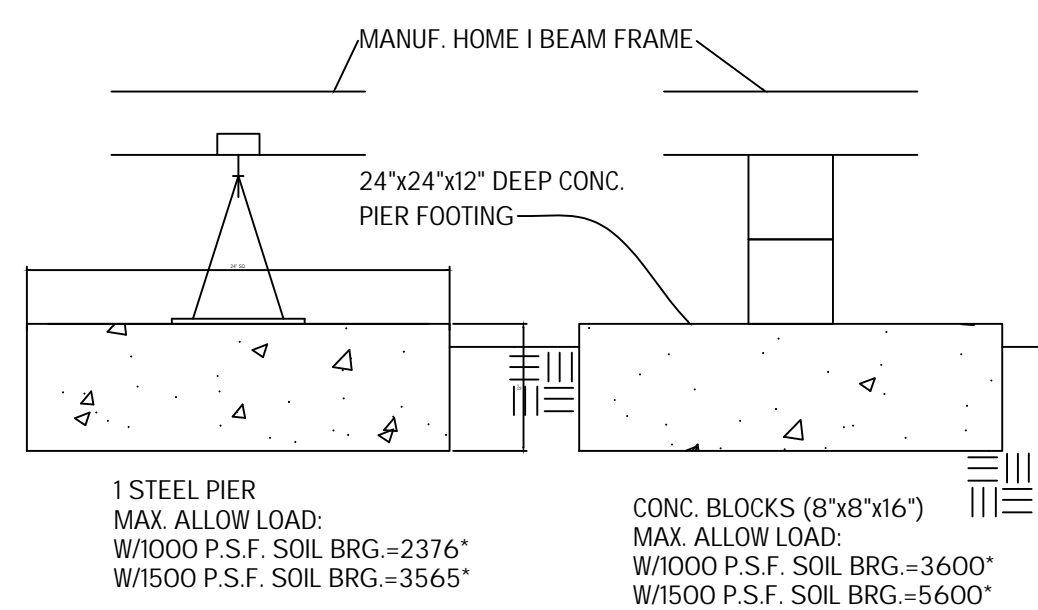
ABESCO BEARING PAD
PLAN VIEW



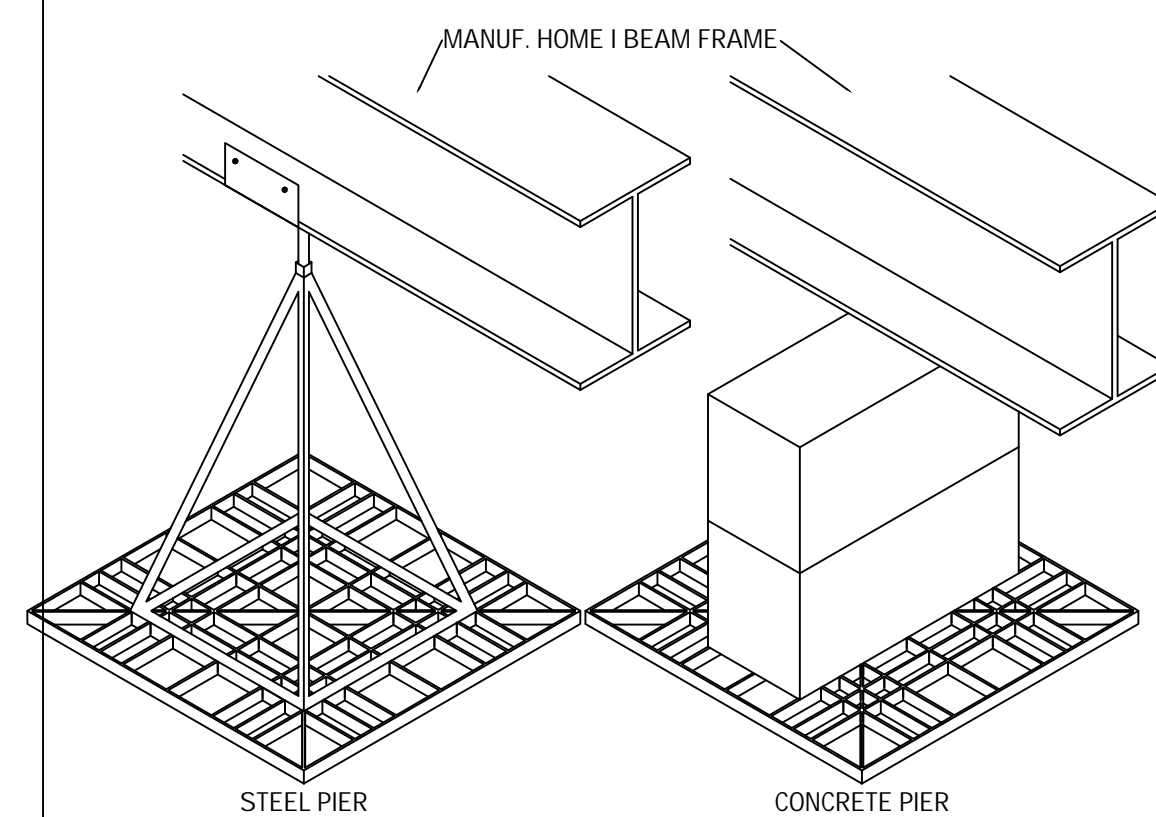
SECTION A-A

TYPICAL APPLICATIONS/CONFIGURATIONS TO BE INSTALLED PER HOME MANUFACTURERS SPECIFICATIONS AND HOME MANUFACTURERS INSTALLATION MANUAL.

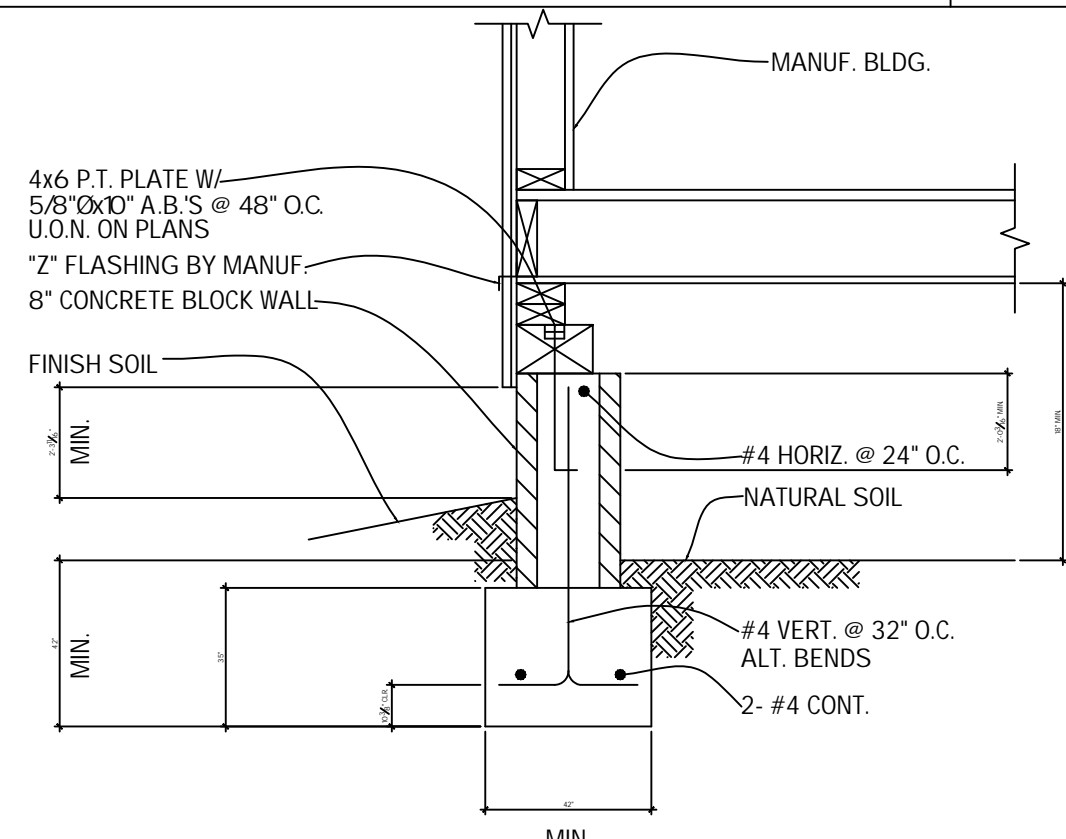
NOTE: WHEN A PERIMETER FOUNDATION SYSTEM IS USED FOR MANUFACTURED HOME, A BRACING CONNECTION BETWEEN THE MANUFACTURED HOME I BEAM TO EITHER A STEEL PIER OR CONCRETE BLOCK APPLICATION/CONFIGURATION SUPPORT IS NOT REQUIRED.



CONFIGURATIONS

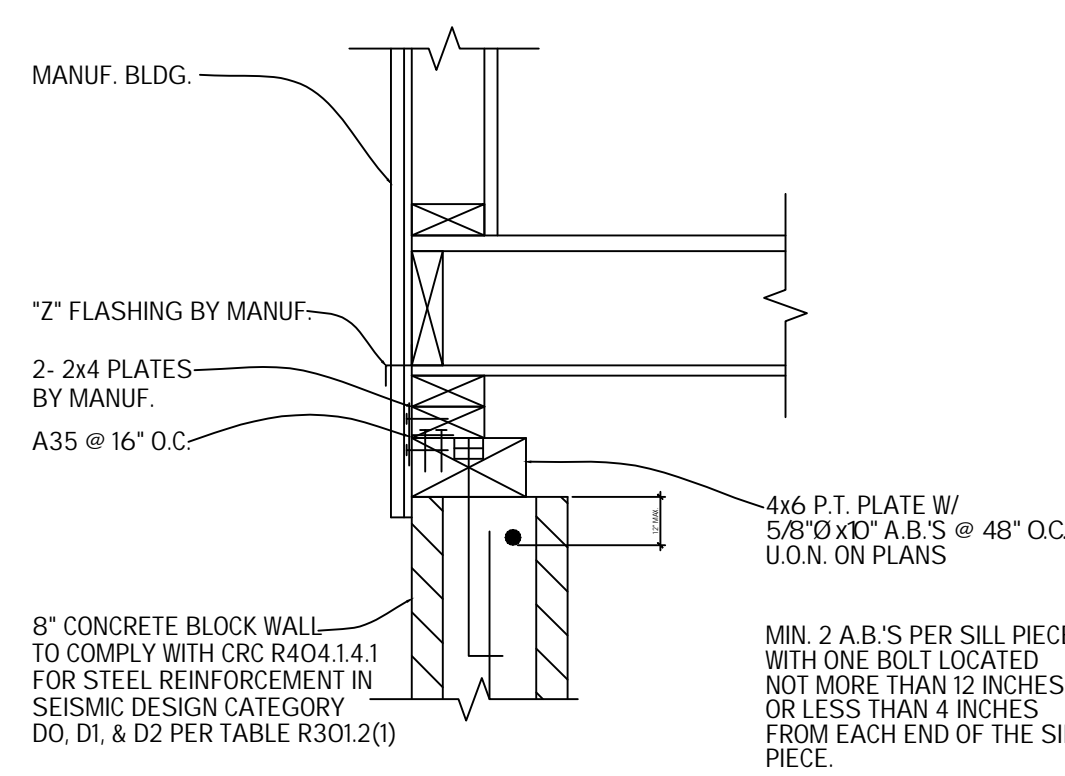


TYPICAL APPLICATIONS



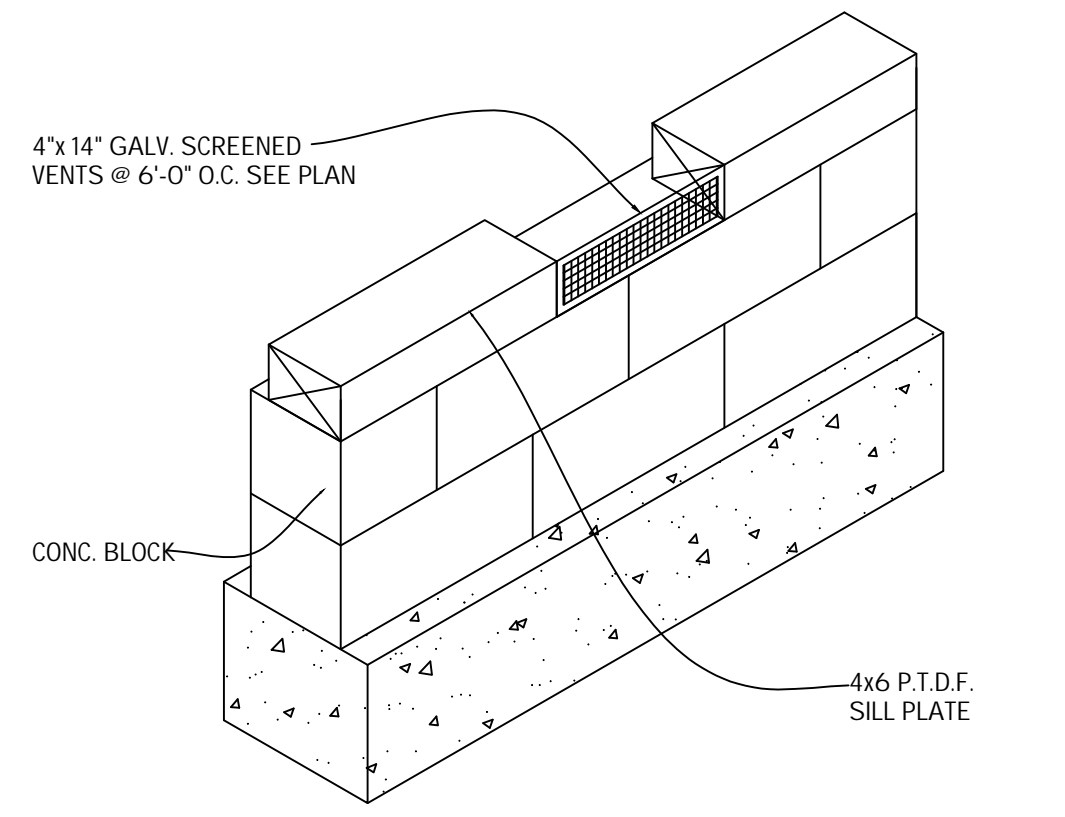
ALL ANCHOR BOLTS SHALL HAVE 3"x3"x.229" PLATE WASHERS AND BOLTS SHALL EMBED 7" MIN. INTO CONCRETE BLOCK WALL

2



ALL ANCHOR BOLTS SHALL HAVE 3"x3"x.229" PLATE WASHERS AND BOLTS SHALL EMBED 7" MIN. INTO CONCRETE BLOCK WALL

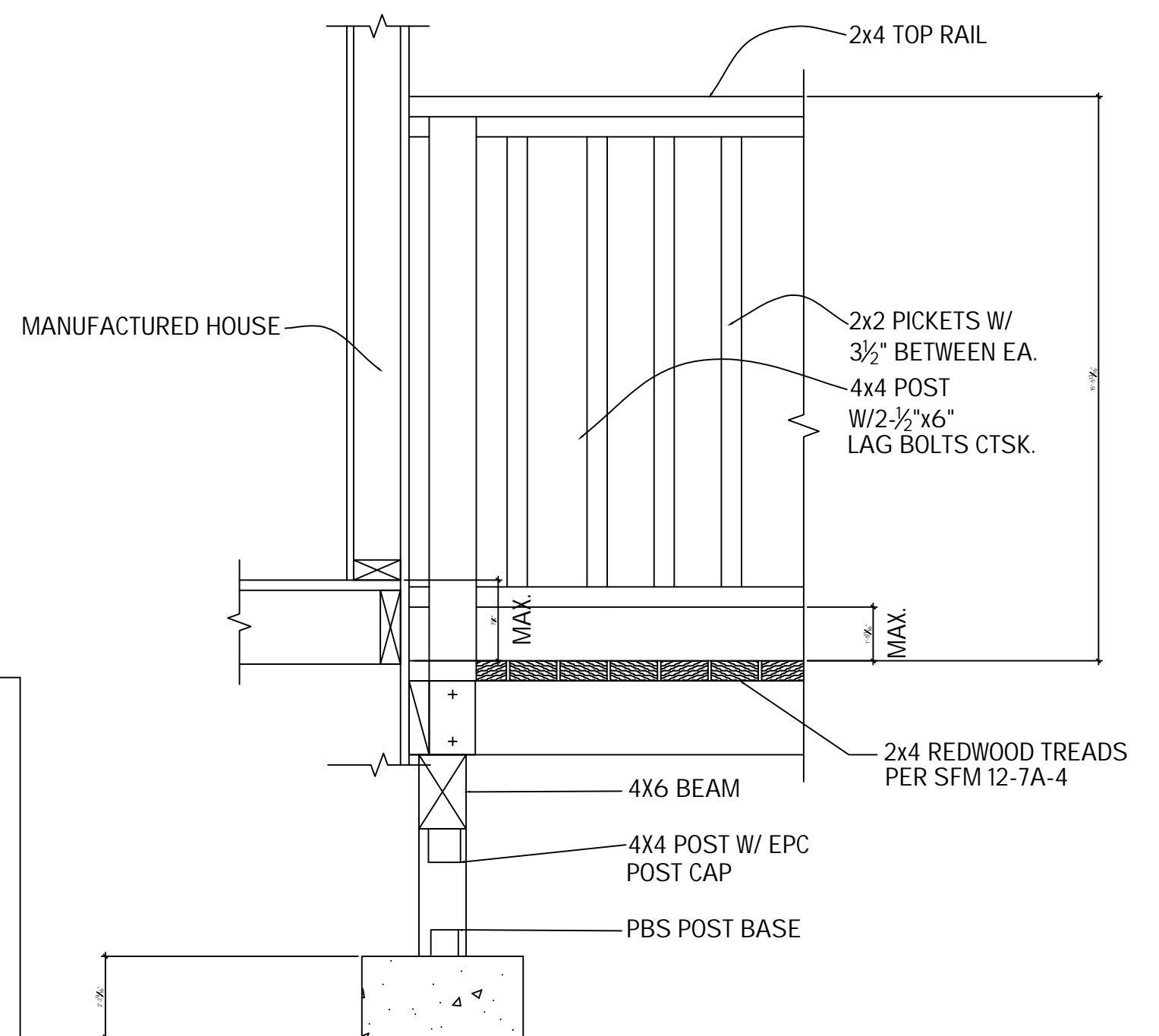
3



NOTES

1. THE SOILS ENGINEER SHALL INSPECT AND APPROVE THE FOUNDATION EXCAVATIONS BEFORE REQUESTING A BUILDING SERVICES DEPARTMENT FOUNDATION INSPECTION.
2. HOLD DOWN DEVICES MUST BE SECURED IN PLACE PRIOR TO FOUNDATION INSPECTION.
3. FASTENERS IN PRESERVATIVE-TREATED WOOD (ANCHOR BOLTS, NAILS, SCREWS, ETC.) EXCLUDING INTERIOR WALLS, SHALL BE APPROVED SILICON BRONZE OR COPPER, STAINLESS STEEL OR HOT-DIPPED ZINC-COATED STEEL (CBC 2304.9.5).
4. PROVIDE FINAL SOILS REPORT (OR FINAL COMPACTION REPORT/LETTER) PRIOR TO FOUNDATION INSPECTION. THIS REPORT SHALL CERTIFY THAT THE SOIL PREPARED IS TO THE PRELIMINARY SOIL REPORT AND THE SOIL CONDITION IS SUITABLE FOR THE PROPOSED STRUCTURE. THIS REPORT SHALL BE WET SIGNED AND STAMPED BY THE SOIL ENGINEER.
5. SOIL ENGINEER SHALL INSPECT ALL FOUNDATION EXCAVATIONS PRIOR TO CONCRETE POURING AND OBSERVE ALL REQUIRED MOISTURE CONDITIONS OF UNDER-SLAB AREAS.
6. PRIOR TO POURING FOUNDATION, A LICENSED PROFESSIONAL SHALL PERFORM A FOUNDATION PAD INSPECTION. A LETTER IS TO BE SENT TO THE PLAN CHECK DIVISION AND CERTIFY THAT THE CONSTRUCTION OF THE PAD IS TO THE SITE PLAN AND TO THE ARCHITECTURAL PLAN; AND NO DEVIATION FROM THE APPROVED PLANS.

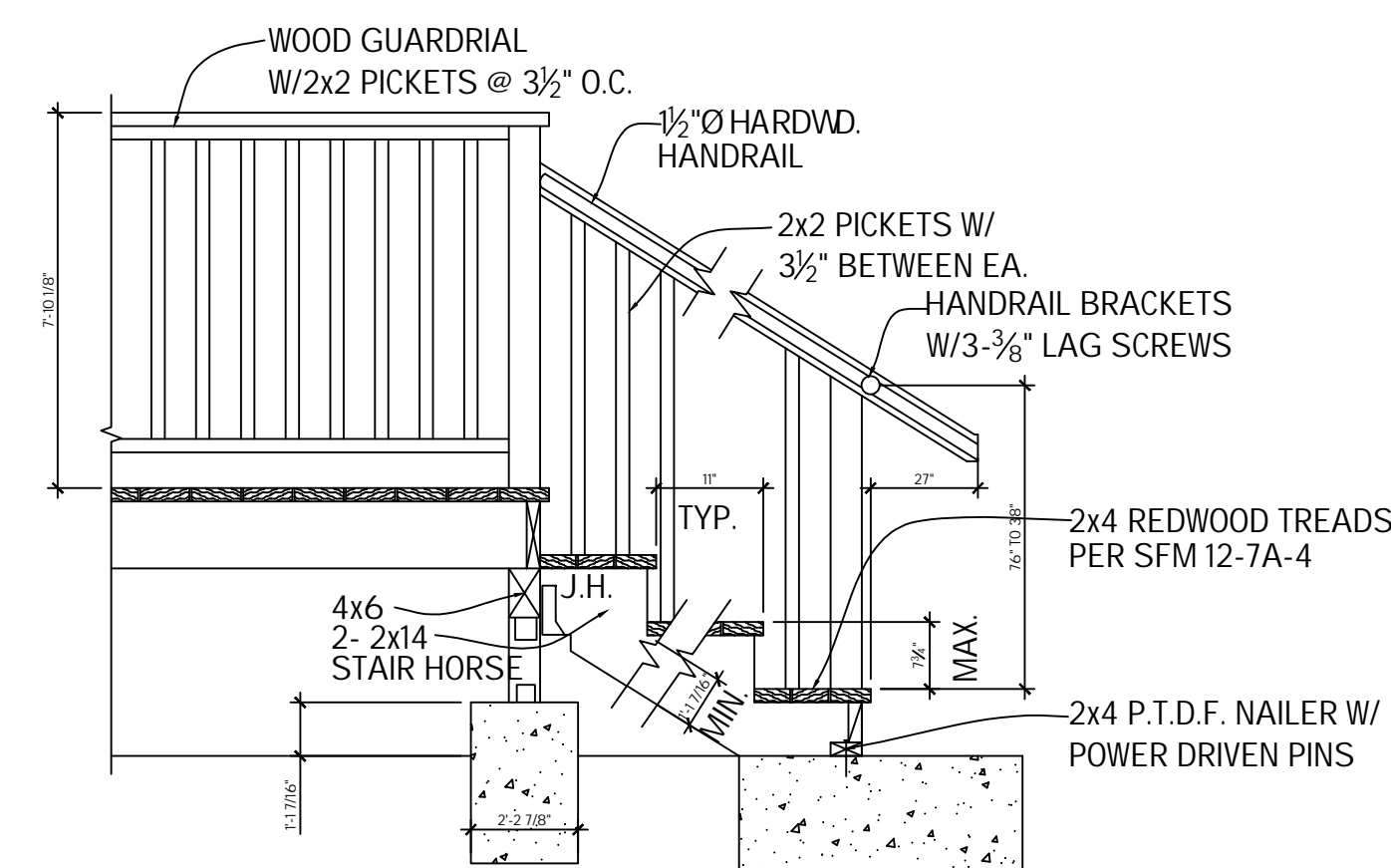
4



LANDING

NOT TO SCALE

A

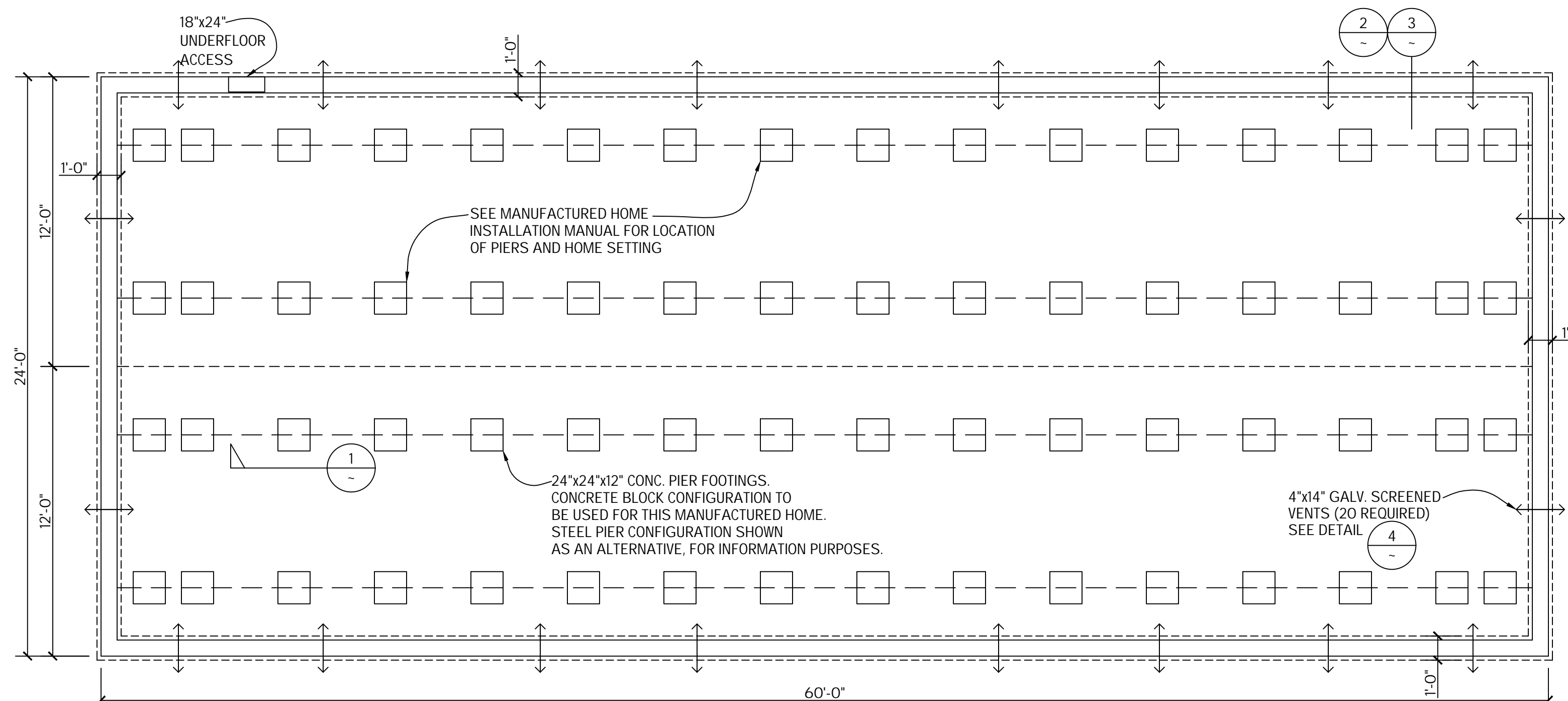


NOTE: STAIR STRINGERS TO BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE AT NOT OVER 8 FEET ON CENTER OR SHALL BE DESIGNED FOR LATERAL LOADS. TOENAILS OR NAILS SUBJECT TO WITHDRAW ARE NOT ACCEPTABLE ANCHORS.

STAIR SECTION

NOT TO SCALE

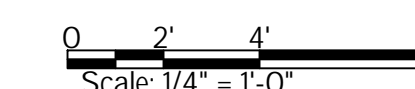
B



UNDERFLOOR VENTILATION
UNDERFLOOR VENTILATION REQUIRED
1440 / 150 = 9.6 S.F.
UNDERFLOOR VENTILATION PROVIDED
20- 4"x14" FOUNDATION VENTS = 87 EA.
TOTAL = 1440 S.O. IN / 144 = 10 S.F.

FOUNDATION PLAN

1/4" = 1'-0"



REVISIONS	BY
XX/XX/XXXX	XX

JUAN C. PEREZ - DESIGNER
10 SPOLETO CIRCLE SALINAS CA.
93905
831-597-1375 *Juan C. Perez*

FOUNDATION PLAN

OWNER: FIDENCIO BASILIO
54669 ALBERT STREET.
SAN LUCAS CA, 93953
PHONE: 831-718-7305

DATE 6/18/2025

SCALE 1/4"=1'-0"

DRAWN

JOB

SHEET

S-1

OF SHEET

GENERAL REQUIREMENTS

1. OWNER SHALL IN NO CASE WEAR THE LEGAL OWNER OF THE PROPERTY. CONTRACTOR SHALL MEAN ANY PERSON OR COMPANY SUPPLYING LABOR OR MATERIALS TO THE JOB.

2. ALL LOCAL CODES, ORDINANCES AND REGULATIONS ARE HEREBY MADE PART OF THE PLANS AND SPECIFICATIONS. IF THERE ARE ANY CONFLICTS BETWEEN THE PLANS AND SPECIFICATION AND THE LOCAL CODES ORDINANCES AND REGULATIONS, THE LATER SHALL GOVERN. ALL NECESSARY PERMITS AND INSPECTIONS SHALL BE OBTAINED PRIOR TO DURING CONSTRUCTION. PLANS SHALL COMPLY WITH THE 2003 CALIFORNIA BUILDING CODE AND C.E.C. TITLE 24 REGULATIONS.

3. ALL WORK SHALL BE DONE BY PERSONS SKILLED IN THEIR RESPECTIVE TRADES AND IN ACCORDANCE WITH THE BEST RECOGNIZED PRACTICE OF EACH TRADE. WORKMANSHIP AND PROCEDURES SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS WHERE A PRODUCT IS INVOLVED. IT IS THE INTENT OF THE CONSTRUCTION DOCUMENTS TO PROVIDE A WATER-TIGHT BUILDING ENCLOSURE. THE QUALITY OF WORKMANSHIP SHALL BE CONSISTENT WITH THESE REQUIREMENTS.

4. CONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THEIR WORK. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS MUST BE PROVIDED TO THE OWNER/BUILDER BEFORE PROCEEDING WITH THE WORK. DIMENSIONS ARE GIVEN TO THE FACE OF STUD (UNLESS OTHERWISE NOTED).

5. DETAILS AND NOTES ARE TYPICAL AND SHALL BE USED THROUGHOUT FOR LIKE OR SIMILAR CONDITIONS (UNLESS OTHERWISE NOTED).

6. VERIFY ALL ROUGH OPENING DIMENSIONS FOR FABRICATED ITEMS WITH MANUFACTURER BEFORE PROCEEDING.

7. ALL MATERIALS, LABOR, INSTALLATION, FABRICATION, ETC. SHALL CONFORM TO ALL LOCAL CODES, REGULATIONS AND C.E.C. TITLE 24, ESPECIALLY THESE ABSTRACTS SEALING WITH ENERGY AND HANDICAPPED ACCESS REQUIREMENTS.

SITE WORK

1. SOILS INVESTIGATION AND INSPECTION:
SOILS ENGINEER, EARTH SYSTEMS CONSULTANTS
REPORT NUMBER HO-07620-03

THE INTENT OF THE CONTRACT DOCUMENTS IS TO CONFORM TO ALL RESPECTS WITH THE RECOMMENDATIONS OF THIS REPORT AND THE CONTRACTOR(S) SHALL PERFORM HIS WORK IN ACCORDANCE WITH THE PROVISIONS THEREIN.

2. STRUCTURAL ENGINEER: SEE TITLE SHEET.

3. VERIFY EXACT STRUCTURAL AND LATERAL REQUIREMENTS WITH ENGINEER PRIOR TO START OF JOB. ALL FOUNDATION AND SITE WORK SHALL COMPLY WITH ENGINEER'S DRAWINGS, DETAILS AND CALCULATIONS.

4. POST-TENSION SLAB FOUNDATION DESIGN: SEE TITLE SHEET.

SPECIAL INSPECTIONS: (FOR THESE CONDITIONS)

1. 3000 PSI CONCRETE

2. HOLD DOWN ANCHOR BOLT SET IN CONCRETE, PLACING OF TENDONS, STRESSING AND GROUTING OF CABLE IN POST-TENSION SLAB.

3. AS REQUIRED PER UBC SECTION 101.

CONCRETE AND FOUNDATION

1. THE SOILS ENGINEER SHALL SUBMIT, PRIOR TO CONSTRUCTION, A LETTER THAT FOUNDATION PLANS & DETAILS HAVE BEEN REVIEWED AND THAT THEY CONFORM TO REQUIREMENTS OF SOIL REPORT.

2. GRADING & FOUNDATION OBSERVATION SHALL BE PROVIDED AS AGREED UPON WITH OWNER BY SOILS ENGINEER. SOILS ENGINEER SHALL OBSERVE ALL EXCAVATION PRIOR TO DETAILING OR REINFORCING & SHALL DETERMINE FINAL DEPTH OF FOOTING BASE ON HIS OBSERVATIONS.

3. WHEN POST-TENSION SLABS ARE USED: SEE DETAILS AND NOTES ON STRUCTURAL SHEETS AND CALCULATIONS PREPARED BY P.T. SLAB ENGINEER, WHICH COVER FOUNDATION CRITERIA AND SHALL BE REFERENCED ALONG WITH THE FOLLOWING INFORMATION:

4. TOP OF SUB-FOUNDATION SHALL BE A MINIMUM OF 16" HIGHER THAN TOP OF CURB OR STREET OR ALLEY. SEE GRADING PLANS FOR DRAINAGE DIRECTION.

5. GRAB ON GRADE SHALL BE 4" MIN THICKNESS. SEE DRAWINGS FOR SAND, CRUSHED BASE ROCK AND WIRE MESH REINFORCEMENT. SLAB AND ALL EXTERIOR CONCRETE SLABS (PATIOS, WALKS, AND DRIVEWAYS) SHALL HAVE A MIN. SLOPE OF 1/8" PER FOOT (1/16") TO PREVENT PONDING OF WATER.

6. SURFACES TO RECEIVE CONCRETE SHALL BE WET AT LEAST THREE HOURS IN ADVANCE OF POURING.

7. THE EXCAVATED BOTTOM OF ALL FOOTINGS SHALL EXTEND TO THE ELEVATION SHOWN ON FOUNDATION DETAILS AND PLANS.

8. ELEVATIONS OF BOTTOM OF FOOTING HAVE BEEN ESTABLISHED TO REACH FIRM UNDISTURBED SOIL. EXCAVATION SHALL BE INSPECTED BY THE ENGINEER OR THE CITY INSPECTOR PRIOR TO POURING CONCRETE. THE SIDES AND BOTTOMS OF THE EXCAVATIONS WHICH ARE TO HAVE CONCRETE CONTACT MUST BE MOISTENED SEVERAL TIMES JUST BEFORE POURING CONCRETE.

9. FOOTINGS SHALL BE POURED IN NEAT EXCAVATION WITHOUT USE OF SIDE FORMS WHEREVER POSSIBLE.

10. UTILITY LINES PARALLEL WITH FOUNDATIONS SHALL NOT BE PLACED CLOSER TO THE FOOTING THAN ITS DEPTH BELOW THE FOOTING BASE.

11. THE EXCAVATION SUBCONTRACTOR IS TO PLACE ALL FILL AND BACKFILL IN 6" LAYERS MAX DEPTH. ADDING WATER IN AMOUNTS NECESSARY TO COMPACT EACH LAYER TO 90% RELATIVE DENSITY AT 1% OPTIMUM MOISTURE CONTENT WHICH HAS BEEN DETERMINED BY TESTING.

12. ANCHOR BOLT, INSERTS AND OTHER HARDWARE TO BE WET IN CONCRETE SHALL BE FIRMLY SET IN POSITION BEFORE CONCRETE IS PLACED.

13. DIMENSIONS TO ALL HOLD DOWNS AND STRAPS ARE APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE FRAMING CONTRACTOR AND THE CONCRETE CONTRACTOR TO VERIFY THEIR EXACT LOCATION REFER TO DETAILS AND VERIFY MANUFACTURER'S INSTALLATION INSTRUCTIONS PRIOR TO INSTALLATION.

14. REINFORCING STEEL SHALL BE GRADE 40 WITH DEFORMATION PER AS TM SPECIFICATION A 616 FOR #4 BARS & SMALLER, GRADE 60 WITH DEFORMATION PER ASTM SPECIFICATION A-615 FOR #5 BARS (LARGER), OR WELDED WIRE MESH PER ASTM SPECIFICATION A-185, AND SHALL BE CLEAN, RUST FREE, OR OTHER MATERIAL THAT MAY WEAR BOLD.

15. REINFORCING STEEL SHALL BE PROVIDED WITH THE FOLLOWING COVERAGE:
CONC. CAST & EXPOSED TO EARTH = 3" (4" OR LARGER)
CONC. FORMED & EXPOSED TO EARTH OR WEATHER = (4" OR #5)
CONC. FORMED & EXPOSED TO EARTH OR WEATHER = (4" OR #5)

16. SPLICES IN REINFORCING SHALL LAP 30 DIAMETERS IN CONCRETE. REINFORCING SHALL BE BENT 90° MIN. AROUND CORNERS IN WALLS AND PLASTERS.

17. PROVIDE U.F.E. ELECTRIC GROUND WITH 4 REBAR, 20 FEET LONG EMBEDDED IN FOOTING, NEAR SERVICE LOCATION PER CCC 250.50 (C).

18. #4 OR #5 ANCHOR BOLTS (7" MIN. EMBEDMENT) @ 4" O.C. UNLESS OTHERWISE NOTED ON SHEAR WALL. SCHEDULE LOCATE ANCHOR BOLTS NOT MORE THAN 12" OR LESS THAN 30% BOLT DIAMETERS FROM END OF PLATES. MIN. 2 IN. 15" GULL LENGTH U.B.C. SEC. 1806.6. PROVIDE MIN. 2" X 1/2" X 1/2" PLATE WASHERS @ EA. BOLT PER UBC 1806.6.1(2).

19. POWER OR AIR DRIVEN FASTENERS W/ CURRENT 1/80 REPORT MUST BE USED AT ALL INTERIOR NON-BEARING WALLS, SIZE & SPACING PER STRUCTURAL ENGINEER.

20. SILL PLATES AND SLEEPERS ON CONCRETE SHALL BE 2" NOMINAL FOUNDATION GRADE PRESURE TREATED DOUGLASS FIR OR CONSTRUCTION GRADE REDWOOD UNLESS ON SHEAR WALL. SCHEDULE AND SHALL BE MIN. 4" ABOVE GRADE PER CCC 2306.8.

21. SEE SHEAR WALL SCHEDULE FOR ANCHOR BOLT SPACING AT SHEAR WALLS. REFER TO STRUCTURAL SHEETS AND CALCULATIONS.

22. PROVIDE 1/2" GALVANIZED SCREENED FOUNDATION VENT PER CAR WALLS IN GARAGE EXTERIOR ROOF AREAS TO PROVIDE ACCESS & CROSS VENTILATION.

23. ALL CONCRETE PADS, STOPS OR LANDING AT EXTERIOR DOORS SHALL BE 3/4" MIN. IN DEPTH IN THE DIRECTION OF TRAVEL.

24. A MOISTURE BARRIER MUST BE INSTALLED UNDER LIVING AREA SLABS USE MOSTOP BY FORTIFIED CORPORATION.

25. CONSTRUCTION / CONTROL JOINTS SHALL BE PROVIDED SO THAT SLAB AREAS DO NOT EXCEED 50.0' SQ. FT. WITH PORTION OF SLAB GREATER THAN 20 LINEAR FEET.

26. SEPARATE ALL CONCRETE WALKS, DRIVEWAYS CURBS, ETC. FROM FOUNDATION W/ 1/2" FELT EXPANSION JOINT.

27. AT RAISED FOUNDATION, WOOD JOISTS SHALL HAVE A MINIMUM 12" CLEARANCE AND WOOD GRIDDERS SHALL HAVE A MINIMUM 12" CLEARANCE. TO EXPOSED GROUND IN GARAGE SPACE PER CCC SEC. 2306.5.

28. INDIVIDUAL CONCRETE PIERS SHALL PROJECT 1/2" MINIMUM ABOVE EXPOSED GROUND UNLESS POSTS OR COLUMNS THEY SUPPORT ARE OF APPROVED WOOD OF NATURAL RESISTANCE TO DECAY OR TREATED WOOD PER CCC SEC. 2306.5.

29. AT RAISED FOUNDATION, A MINIMUM 18"x24" CRAWL SPACE ACCESS SHALL BE REQUIRED PER CCC SEC. 2306.3.

30. AT RAISED FOUNDATIONS, UNDER FLOOR AREAS SHALL BE VENTILATED BY OPENINGS HAVING A NET AREA OF NOT LESS THAN 1/4" OF THE UNDER FLOOR AREA REQUIRED OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT WIRE MESH WITH MESH OPENINGS OF 1/2" PER CCC SEC. 2306.7.

CARPENTRY

1. ALL FRAMING AND NAILING SHALL CONFORM TO CH23 OF C.B.C.

2. ALL LUMBER, PLYWOOD, SHEATHING (WHEN USED STRUCTURALLY) AND HARD BOARD SIDING (WHEN USED STRUCTURALLY) SHALL CONFORM TO THE APPLICABLE STANDARDS OR GRADING RULES SPECIFIED IN THE C.B.C. AND SHALL BE SO IDENTIFIED BY THE GRADE MARK OR A CERTIFICATE OF INSPECTION USED BY AND APPROVED AGENCY.

3. ALL LUMBER, TIMBER, PLYWOOD AND POSTS REQUIRED TO BE TREATED WOOD UNDER SEC. 2306. SHALL BE IDENTIFIED BY THE QUALITY MARK OF AN APPROVED INSPECTION AGENCY WHICH MAINTAINS CONTINUED SUPERVISION, TESTING AND INSPECTION OVER THE PRODUCT AS SPECIFIED IN U.B.C. STANDARD NO.23-1.

4. FRAME NAILING TO BE WITH COMMON NAILS, NUMBER AND SIZE SHALL COMPLY WITH MIN. 23-11.8-1 EXCEPT AS NOTED ON PLANS AND DETAILS. NAILS SHALL NOT BE OPENED CLOSER TO THE EDGE OF A MEMBER THAN 1/4" THEIR LENGTH, NOR CLOSER TO THE EDGE OF A MEMBER THAN 1/4" THEIR LENGTH EXCEPT FOR SHEATHING WITH PENETRATION 1/4" THEIR LENGTH. ALL JOINTS SHALL OCCUR OVER STUDS.

5. WOOD MEMBERS ENTERING MASONRY OR CONCRETE REQUIRES 3" NET AIR SPACE ON TOP, SIDE AND END PER U.B.C. SEC. 2306.6. A) WOOD MEMBERS AND BEARING SHALL HAVE SUFFICIENT BEARING AREA BASED IN ALLOWABLE VALUES FOR COMPRESSION PERPENDICULAR TO GRAIN PER UBC SUPPLEMENT.

6. B) FOR CONVENTIONAL CONSTRUCTION, THE ENDS OF EACH JOIST SHALL HAVE NOT LESS THAN 1/2" OF BEARING ON WOOD, METAL OR LESS THAN 3" ON MASONRY EXCEPT WHERE SUPPORTED ON A 1X4 RIBBON STRIP NAILED TO ADJOINING STUD PER C.B.C. SEC. 2306.9.2.

6. BEARING PARTITIONS PERPENDICULAR TO JOIST SHALL NOT BE OFFSET FROM SUPPORTING GRIDDERS, WALLS OR PARTITIONS MORE THAN THE JOIST DEPTH PER U.B.C. 2308.5.5.

7. JOIST UNDER AND PARALLEL TO BEARING PARTITIONS SHALL BE DOUBLE PER C.B.C. SEC. 23 20.6.5.

8. JOIST SHALL BE SUPPORTED LATERALLY AT ENDS AND AT EACH SUPPORT PER C.B.C. SEC. 2320.8.3.

9. BEAMS SHALL NOT HAVE SPLITS OR CHECKS LONGER THAN THE NARROW FACE DIMENSION.

10. SOLID BLOCKING SHALL BE INSTALLED OVER BEARING PARTITIONS, WALLS AND BEAMS PER C.B.C. SEC. 2320.8.3.

11. FIRE BLOCKING AND DRAFT STOPPING SHALL BE INSTALLED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH HORIZONTAL AND VERTICAL) THE INTEGRITY OF ALL FIRE BLOCKINGS AND DRAFT STOPS SHALL BE LOCATED AND MAINTAINED PER C.B.C. SEC. 708.

12. COLUMNS AND POSTS, FRAME TO TRUSS AND BEARING AND ADEQUATELY ANCHOR AT TOP AND BOTTOM WITH A POSITIVE DIRECT CONNECTION TO ASSURE AGAINST UPLIFT OR LATERAL DISPLACEMENT PER C.B.C. SEC. 1609.2.3, 2304.3 AND 2304.

13. CONNECTIONS OF WOOD STRUCTURAL MEMBERS ARE TO BE STRENGTHENED WITH APPROVED METAL TIMBER FASTENERS WHEN REQUIRED. INSTALLATION AND ALLOWABLE LOADS SHALL BE SET FORTH IN THE C.B.C. CHAPTER 23 DIVISION N. FASTENERS SHALL BE MANUFACTURED BY SAPPHO CO. OR APPROVED EQUAL. NOTIFY OWNER IF SUBSTITUTION IS REQUIRED.

14. BEAMS, GRIDDERS OR OTHER CONCEALED LOADS SUPPORTED BY A CONCRETE WALL OR SPREAD FOOTING SHALL BE ANCHORED BY APPROVED METAL FASTENERS. INSTALLATION AND ALLOWABLE LOADS SHALL BE AS SET FORTH IN C.B.C. CHAPTER 23.

15. ALL STUDS ARE TO BE CONTINUOUS AND UNINTERRUPTED FOR THE ENTIRE FULL HEIGHT OF THE WALL UNLESS SUPPORTED LATERALLY BY CEILING, FLOOR OR RAFTERS PERPENDICULAR TO THE WALL. WOOD STUD WALL FRAMING SIZE, HEIGHT AND SPACING PER SEC. 2303.11 AND TABLE NO. 23-11.8.

16. ALL FRAMING TO BE 16" O.C. UNLESS NOTED.

17. PROVIDE SOLID BLOCKING IN FLOOR BELOW CONCENTRATED POST LOAD TO TRANSFER LOAD TO BEARING POINT IN WALL BELOW BLOCKING TO BE SAME SIZE AS SUPPORTED POST.

18. PROVIDE MIN. 1% GALVANIZED GAUGE 1 1/2" WIRE PROTECTIVE METAL PLATE FASTENED TO EACH PLATE ADDRESS AND TO EACH SIDE OF OPENING WITH MIN 8 IN. NAILS AT SOLES & PLATES BORED OR NOTCHED FOR THE PASSAGE OF PIPES PER CCC SEC. 2320.11.7.

19. ALL EXTERIOR WALLS AND MAIN CROSS STUD PARTITIONS SHALL BE EFFECTIVELY AND THOROUGHLY BRACED ACCORDING TO C.B.C. SEC. 2320.11.3.

20. RAFTER TIES SHALL BE MINIMUM 4" O" C. WHERE CEILING JOISTS AND RAFTERS ARE NOT PARALLEL. FASTEN AS REQUIRED PER C.B.C. SEC. 2320.12.6.

21. FLOOR SHEATHING SHALL BE 1/2" T&G CDX PLYWOOD LAY PERPENDICULAR TO DIRECTION OF RAFTERS. STAGGER END JOINTS & NAIL WITH 8d @ 8" O.C. EDGES & 12" O.C. FIELD UNLESS NOTED.

22. ROOF SHEATHING SHALL BE 1/2" CDX PLYWOOD LAY PERPENDICULAR TO DIRECTION OF RAFTERS. STAGGER END JOINTS & NAIL WITH 8d @ 8" O.C. EDGES & 12" O.C. FIELD UNLESS NOTED.

23. ATTIC SPACES ARE TO BE VENTILATED BY OPENINGS NOT LESS THAN 1/4" OF THE AREA OF THE SPACE TO BE VENTILATED, EXCEPT THAT AREA MAY BE REPLACED TO BE PROVIDED AT LEAST 50% OF THE REQUIRED VENTILATION AREA IS PROVIDED BY VENTS LOCATED A MINIMUM OF 18" ABOVE FINISH FLOOR. THE VENTS SHALL BE THE REQUIRED VENTILATION AREA PROVIDED BY EAVE OR CORNICE VENTS. THE OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT METAL MESH OPENINGS OF 1/2" IN DIAMETER PER U.B.C. SEC. 2306.5.

24. ACCESS TO ATTIC SPACE IS TO BE THROUGH AN UNSTRUCTURED, READILY ACCESSIBLE OPENING OF AT LEAST 22"x30" WITH HEADROOM ABOVE THE OPENING TO BE 6'8" MIN. PER UBC SEC. 1050.1.

25. HORIZONTAL AND VERTICAL DAPHRAGM WHICH ARE SHEATHED WITH PLYWOOD SHALL BE CONSTRUCTED TO RESIST FORCES AS PER C.B.C. TABLE 23-11.8-1a2 and 23-11.8-1a2.

26. ALL WOOD IN DIRECT CONTACT WITH CONCRETE IS TO BE TREATED TO RESIST ROTTING, MARKED BY AN APPROVED AGENCY, TREATED WOOD SHALL CONFORM TO C.B.C. 2303.3.

27. EDGES OF PLYWOOD SHEETS NOT NAILED TO STUDS, JOISTS OR SOLID BLOCKING WITH 2X MATERIAL AND EDGE NAILED UNLESS TAGS ARE USED.

28. NOTES ON THE ENDS OF JOISTS SHALL NOT EXCEED 1/4" OF THE JOIST DEPTH HOLES IN JOISTS SHALL NOT BE WITHIN 2" OF THE TOP OR BOTTOM OF THE JOIST AND THE DIAMETER OF ANY SUCH HOLE SHALL NOT EXCEED 1/4" OF THE JOIST DEPTH. NOTICES IN THE TOP OR BOTTOM OF JOISTS SHALL NOT EXCEED 1/4" OF THE DEPTH & SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF SPAN PER CCC SEC. 2303.3. REFER TO C.B.C. 2302.4 FOR ALLOWABLE NOTICES, HOLES IN RAFTERS AND CEILING JOISTS.

29. RAFTERS SHALL BE FRAMED DIRECTLY OPPOSITE EACH OTHER AT THE RIDGE. THERE SHALL BE A RIDGE BOARD AT LEAST 1" NOMINAL THICKNESS AT ALL RIDGES AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER. AT ALL VALLEYS AND HIPS THERE SHALL BE A SINGLE RAFTER NOT LESS THAN 2" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER PER CCC SEC. 2320.12.2.

30. FRAMING LUMBER SHALL BE DOUGLAS FIR OR LARGER & SHALL CONFORM TO STRUCTURAL GRADING DETAILS BELOW U.B.C. 1) WOOD IN CONTACT WITH COND-PRESSURE TREATED GRADING: 2) STUDS & BLOCKING: 3) CONSTRUCTION GRADE: 4) FLOOR JOISTS: 5) RAFTERS: NO. 2: CEILING JOISTS: NO. 2: BEAMS & HEADERS: NO. 1: 6) END POSTS: NO. 1: 7) END POSTS OR LARGER: NO. 1.

31. PER DRILL LAG SCREW HOLES THE SAME DIAMETER AS ROOT THREAD. ENLARGE TO SHANK DIAMETER FOR THE LENGTH OF SHANK.

32. ALL GIARDARBS INCLUDING THEIR CONNECTIONS AND ANCHORAGE SHALL BE DESIGNED FOR A LIVE LOAD OF 20 LBS/LINEAR FT. APPLIED EITHER HORIZONTALLY OR VERTICALLY DOWNWARD AT THE TOP NAIL PER TABLE 18-8 OF C.B.C. THE TOP NAIL SHALL BE 3/4" IN HEIGHT WITH INTERMEDIATE NAILS SUCH THAT A 1" DIAMETER SPHERE CANNOT PASS THROUGH PER C.B.C. SEC. 509.

33. ALL HANDRAILS & OTHER SUPPORTING STRUCTURE SHALL BE CAPABLE OF WITHSTANDING A LOAD OF AT LEAST 200CA. APPLIED IN ANY DIRECTION AT ANY POINT ON NAIL PER TABLE 18-8 OF UBC. THE TOP OF HANDRAILS SHALL NOT BE LESS THAN 34" ABOVE FINISH FLOOR AND THE NOSING OF TREADS PER CCC SEC. 1003.3.3.8.

34. STAIR CONSTRUCTION SHALL COMPLY WITH C.B.C. SEC. 1003.3.3. PROVIDE FIRE BLOCKING IN CONCEALED SPACES BETWEEN STRINGERS @ TOP & BOTTOM RUN AND BETWEEN STUDS IN LINE WITH RUN OF STAIRS IN WALLS UNDER STAIRS ARE UNFINISHED PER CCC SEC. 708.2 (3).

35. GLUE LAMINATED BEAMS SHALL BE DOUGLAS FIR OR WESTERN LARCH COMBINATION 2H 4F FOR SIMPLY SUPPORTED BEAMS AND 24F-V FOR CANTILEVER BEAMS OR EQUAL. THE MANUFACTURING OF THE BEAMS SHALL BE IN ACCORDANCE WITH THE LATEST STANDARD SPECIFICATION FOR STRUCTURAL GLUE LAMINATED TIMBER BY THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (AITC). THE BEAM SHALL BE END SEALED AND LOAD WRAPPED FOR PROTECTION DURING SHIPMENT. THE BEAM SHALL BE CARRIED AS CALLED FOR ON THE DRAWINGS OR AS CALLED FOR ON ALL CERTIFICATES FOR QUALITY BEAMS TO CITY PRIOR TO INSTALLATION.

36. BOLTS BEARING ON WOOD SHALL HAVE STANDARD CAST NUT OR MALLEABLE BUSHINGS. BOLT HOLES SHALL BE DRILLED 1/8" LARGER THAN THE BOLT DIAMETER. THREADS ABOVE AND BELOW BOLT HOLES TO BE DRIVEN EASILY WITH CAREFUL CENTERING OF HOLES IN MAIN MEMBERS AND SPLICES PLATES ARE ASSUMED.

37. MANUFACTURED TRUSSES AND/OR FELD-BUILT TRUSSES, WHEN USED, ARE TO BE DESIGNED BY A REGISTERED ENGINEER. DRAWINGS, TRUSS AND JOIST TAGS, TRUSS ENGINEER'S STAMP AND APPROVAL ARE TO BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW. PER APPROVAL PER U.S.C. SEC. 106.3.4.2. PRIOR TO INSTALLATION, TRUSSES SHALL BE REVIEWED BY ENGINEER OF RECORD 3 AND STAMPED REVERSED TO THE CITY PRIOR TO INSTALLATION TO BUILDING OFFICE FOR REVIEW.

38. OPENINGS ABOVE CASING VENTS, PIPES, CHIMNEYS & FIREPLACES OR THE CEILING SHALL BE FIRE BLOCKED WITH NON-COMBUSTIBLE MATERIAL PER U.B.C. 708.2(1)(4).

39. FIRE BLOCKING IS REQUIRED AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES AS OCCUR AT SOFFITS, FURRED CEILINGS AND COVERED CEILINGS. PER CCC SEC. 708.2(2).

40. STUDS IN EXTERIOR WALLS OR BEARING PARTITIONS MAY BE CUT OR NOTCHED TO DEPTH A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NON-BEARING PARTITIONS MAY BE CUT OR NOTCHED TO A DEPTH NOT TO EXCEED 40% OF ITS WIDTH PER CCC SEC. 2303.11.9.

41. A HOLE NOT GREATER IN DIAMETER THAN 40% OF STUD WIDTH MAY BE BORED IN ANY STUD. A HOLE NOT GREATER THAN 60% OF STUD DEPTH IS PERMITTED IN NON-BEARING WALLS AND IN ANY WALL WHERE EACH BORED STUD IS DOUBLED PROVIDED NOT MORE THAN 2 SUCCESSIVE DOUBLED STUDS ARE BORED IN NO CASE SHALL THE EDGE OF BORED HOLES BE NEARER THAN 1/4" TO EDGE OF STUD. PER CCC SEC. 2303.11.3.

42. FIRE BLOCKING IS REQUIRED AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES AS OCCUR AT SOFFITS, FURRED CEILINGS AND COVERED CEILINGS. PER CCC SEC. 708.2(2).

43. METAL CHIMNEYS TO BE ANCHORED TO ROOF & FLOOR STRUCTURES WITH TWO 1/2" METAL STAPLS LOADED AROUND FIELDS AND NAILED WITH NOT LESS THAN SIX 8d NAILS PER STAP TO TRUSSES AND FLOOR JOIST PER CCC 3002.6.

44. PROVIDE 22"x30" OPENING THROUGH PLYWOOD OR 1X4 GALVANIZED FRAMED ROOF AREAS TO PROVIDE ACCESS & CROSS VENTILATION. FINISHES GYPSUM DRYWALL.

45. INSTALL IN ACCORDANCE WITH GYPSUM DRYWALL CONSTRUCTION HANDBOOK, 4TH EDITION BY U.S. GYPSUM COMPANY FOR APPLICABLE WALL AND CEILING INSTALLATION. SEE DRAWINGS FOR TYPES OF GYPSUM BOARD.

46. PROVIDE ONE-HOUR OCCUPANCY SEPARATION @ WALLS AND CEILING BETWEEN GARAGE (IF OCCUPANCY) AND DWELLING (IF OCCUPANCY) PER CCC SEC. 708.2.1. PROVIDE ONE-HOUR GARAGE SIDE OF WALLS AND CEILING PER 302.4 EXCEPTION. NAILED WITH 8d COOLER NAILS @ 7" O.C. UNLESS OTHERWISE NOTED.

47. WHEN THERE IS AN ENCLOSURE UNDER STAIRS, THE WALLS AND CEILING OF THE ENCLOSED SPACE SHALL BE PROTECTED ON THE ENCLOSED SIDE WITH ONE-HOUR FIRE-RESISTIVE CONSTRUCTION, ONE LAYER OF 5/8" TYPE X GYP. BDR. PER CCC SEC. 1003.3.9.

48. PLASTER, METAL LATH AND DRYWALL APPLICATIONS SHALL COMPLY WITH C.B.C. CHAP. 25.

49. CEMENT PLASTER STUCCO

1. ALL WORK TO BE IN ACCORDANCE WITH THE LATHING AND PLASTERING REFERENCE SPECIFICATIONS, BY THE CALIFORNIA LATHING AND PLASTERING CONTRACTORS ASSOC. & C.B.C. CH. 25.

2. LATH TO BE GALVANIZED STEEL-FURRING WIRE MESH.

3. PLASTERING MATERIALS SHALL BE PORTLAND-CEMENT PLASTER, TYPE I CEMENT, WITH RECOMMEND PROPORTIONS AND ADDITIVES IN THE REFERENCE STANDARDS.

4. PLASTERING SHALL BE 3 COATS, PER C.B.C. 2508.11.2 MIN. OVER FURRED METAL LATH (C.B.C. SEC. 2506.5) OVER 2 LAYERS OF GRADE "D" PAPER (C.B.C. SEC. 2506.4) ON EXTERIOR SHEATHING. FINISH TO BE SELECTED BY CREEDMORRIS HOMES SUBMIT 24"x24" SAMPLE TO OWNER FOR APPROVAL PRIOR TO APPLICATION.

5. ACCESSORIES: METAL CORNER BEADS AT EXPOSED EXTERIOR CORNERS, CASING BEADS/WEEP SCREENS AT STUCCO EDGES: ALL GALVANIZED.

6. PROVIDE MIN. 26GA CORROSION RESISTANT WEEP SCREEN WITH MIN. 3/4" ATTACHMENT FLANGE AT OR BELOW FOUNDATION PLATE LINE. PLACE A MIN. 4" ABOVE EARTH OR 2" ABOVE PAVING PER CCC SEC. 2506.5.

7. EXPANDED METAL LATH (DIAMOND MESH) SHALL BE USED AT HORIZONTAL SURFACES PER CCC TABLE 25-8.

TILE

1. METHODS OF INSTALLATION OF SUBSTRATE AND TILE ARE TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE HANDBOOK FOR CERAMIC TILE INSTALLATION BY THE TILE COUNCIL OF AMERICA. TILE, COLOR AND GROUT SHALL BE SELECTED BY OWNER.

2. STANDARDS OF CONSTRUCTION: ARCHITECTURAL SHEET METAL STANDARDS, BY THE SHEET METAL AND AIR-CONDITIONING CONTRACTORS NATIONAL ASSOCIATION, INC. (SMACNA MANUAL).

3. GUTTER TIE SHALL BE 26 GAUGE GALVANIZED IRON STOCK SHAPE WITH PROFILE SIMILAR TO THAT SHOWN ON DRAWINGS.

4. SHEET METAL TO BE MINIMUM OF 26 GAUGE GALVANIZED IRON UNLESS OTHER WISE NOTED. VALLEY FLASHING SHALL BE PER C.B.C. SEC. 1506.

4. PROVIDE MOSTOP FLASHING AT DOOR AND WINDOW LOCATIONS, VERIFY METHOD AND LOCATION WITH OWNER.

5. INSTALLATION: PROVIDE GUTTER AND DOWN SPOUTS WHERE SHOWN ON THE DRAWINGS. PROVIDE FLASHING, COUNTER FLASHING AND REGLES WHERE NECESSARY TO ENSURE A WATER-TIGHT ENCLOSURE AND WHERE SHOWN ON THE DRAWINGS. PROVIDE EXPANSION JOINTS AS NECESSARY.

6. PROVIDE MIN. 26 GA. GI FLASHING AT ROOF TO WALL LOCATIONS PER CCC 1509.

ROOFING

1. INSTALL ROOF MATERIALS IN ACCORDANCE WITH C.B.C. CHAPTER 15 AND SEC. 1507. REFER TO ELEVATIONS FOR EXTERIOR ROOF FINISH.

2. PROVIDE MIN. ONE LAYER NON-PERFORATED TYPE 16 FELT LAPPED 2" HORIZ & 4" VERT TO SHEED WATER @ ASPHALT SHINGLE ROOF PER CCC TABLE 15-9.1.

3. PROVIDE MIN. ONE LAYER TYPE 30 FELT SLID LAPPED 2" AND END LAPPED 6" TO THE ROOFING PER CCC TABLE 15-10.1 & 2.

4. PROVIDE "CLASS A" FIRE RATED ROOFING MATERIAL.

5. THERMAL AND MOISTURE PROTECTION

1. ALL ROOFING MATERIALS (AS NOTED ON EXTERIOR DRAWING) SHALL BE APPLIED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S WRITTEN RECOMMENDATIONS AND C.B.C. CHAPTER 15.

2. BALCONIES, LANDINGS, EXTERIOR STAIRWAYS AND SIMILAR SURFACES EXPOSED TO THE WEATHER AND SEALED UNDERNEATH SHALL BE WATERPROOFED. DECK FRAMING TO SLOPE 1/4" PER FOOT TO DRAIN PER CCC SEC. 1402.3. DRAINS, OVERFLOW DRAINS AND SPOUTS TO BE INSTALLED.

3. DRAIN AND OVERFLOW DRAIN LINES INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH THE C.P.C. INTERIOR DRAIN LINE. SHALL HAVE 2" MINIMUM THERMAL INSULATION.

4. INSULATION SHALL COMPLY WITH C.B.C. SEC. 707 AND 2003 CALIFORNIA ENERGY CODE.

5. CALLING AND SEALANT: PAD ARCHITECTURAL, GRADE AND CAULK JOINTS TO THE EXTENT NECESSARY TO PROVIDE A WEATHER-TIGHT ENCLOSURE. SET WOOD TRIM IN CONTINUOUS CAULKING BED RATHER THAN APPLYING CAULKING AFTER TRIM INSTALLATION. COLOR CAULKING TO MATCH ADJACENT SURFACES.

6. OPEN JOINTS, PENETRATION AND OTHER OPENINGS IN THE BUILDING ENVELOPE TO BE SEALED, CAULKED, GASKETED OR WEATHER-STRIPPED TO LIMIT AIR LEAKAGE.

7. ADD A BEAD OF CAULKING AROUND THE INTERIOR OF THE SOLE PLATE AT ALL EXTERIOR WALLS. THE BEAD SHOULD BE APPLIED AT THE JOINT OF SUBFLOOR AND SOLE PLATE JUST PRIOR TO SHEETROCK APPLICATION.

8. PROVIDE MIN. 1" AIR SPACE ABOVE INSULATION AT ALL CATHEDRAL CEILINGS. HOLD 8-38 INSULATION MINIMUM 1" OFF BOARD FROM PLATE WHERE LEAK VENTS OCCUR.

9. WHEN GYPSUM BOARD IS USED AS BASE FOR TILE OR WALL PANELS FOR TUB, SHOWER OR WATER RESISTANT GYPSUM BACKING SHALL BE USED TO A HEIGHT OF 10" ABOVE DRAIN NILE PER CCC SEC. 2502 AND R01.3.

10. ALL EXTERIOR OPENINGS FOR FIXTURES SUCH AS WINDOWS, DOORS AND VENTS SHALL BE INDIVIDUALLY FLASHED TO MAKE THEM WATERPROOFED. FLASHING MATERIALS SHALL BE 1/2" MIN. TOP AND AT LEAST 1/2" WIDE FLASHING MATERIAL SHALL BE APPLIED IN WEATHER BOARD FASHION. APPLY T&B FLASHING FIRST WITH A STRIP LOGIC FINISH TO EXTEND BEYOND JAMB FLASHING WHICH IS NEXT APPLIED WITH SUFFICIENT LENGTH TO EXTEND BEYOND SILL FLASHING AND EXTEND 8" BEYOND TOP OF ROUGH OPENING. FOR FIXTURES WITH NAIL OR FLANGE INSTALL BY PRESSING FLANGE INTO A CONTINUOUS BEAD OF SEALANT AT BOTTOM AND SIDES OF FIXTURE. APPLY TOP BEAD FLASHING LAST WITH SUFFICIENT LENGTH TO EXTEND BEYOND JAMB FLASHING. OVERLAP HEAD FLASHING AND SEAL AGAINST TOP FLANGE OR HEAD FLASHING WITH CONTINUOUS BEAD OF SEALANT. APPLY WALL SHEATHING PAPER IN WEATHER BOARD FASHION WITH SELF FLASHING LAPPING OVER THE TOP AND JAMB AND HEAD FLASHING BELOW FOR FIXTURES WITHOUT NAILING FLANGE. FLASHING SHALL BE MINIMUM 1/2" AND SHALL EXTEND INTO ROUGH OPENING AT SILL AND JAMB.

DOORS AND WINDOWS

1. GLAZING: GLASS SHALL BE CLEAR SINGLE AND DOUBLE THICKNESS SHEET GLASS, THICKNESS AS REQUIRED BY CODE AND ENERGY CALCULATION. SAFETY GLASS SHALL BE PROVIDED AS REQUIRED BY THE C.B.C. AND U.S. CONSUMER PRODUCT SAFETY STANDARD 16 CFR PART 1201. ALL GLAZING SHALL COMPLY WITH C.B.C. CHAPTER 24.

2. ALL MANUFACTURED WINDOWS, DOORS, AND SLIDING GLASS DOORS SHALL MEET THE AIR AND FILTRATION STANDARDS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE AND SHALL BE CERTIFIED AND LABELED.

3. EXTERIOR OPERABLE WINDOW AND SLIDING GLASS DOORS SHALL MEET THE AIR AND FILTRATION STANDARDS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE AND SHALL BE CERTIFIED AND LABELED.

4. ALL OPERABLE WINDOWS SHALL HAVE SECONDARY LOCKS.

5. ALL EXTERIOR DOORS, INCLUDING DOOR TO GARAGE, TO BE SOLID CORE AND NOT LESS THAN 1 1/2" INCH THICKNESS. DECORATIVE PANELS MAY BE USED AS PORTION OF THE DOOR AND INCLUDE A DECORATIVELY CARVED DESIGN. PORTION OF THE CARVED DESIGN OR BE LESS THAN 1/2" THICK. ALL DOORS SHALL BE INSTALLED WITH HINGES AND PINS THAT ARE ON THE INTERIOR OF THE DOOR OR LESS THAN 1/2" FROM NON-REMOVABLE HINGE PINS OR WITH ANCHOR AND INTERLOCK TO PREVENT REMOVAL OF THE DOOR FROM THE EXTERIOR.

6. ENTRY DOORS, WHICH HAVE NO MEANS OF OBSERVATION VIA ADJACENT WINDOWS, SHALL BE EQUIPPED WITH A VIEWING PORT OR PEELHOLE.

7. EXTERIOR DOOR JAMBES SHALL BE INSTALLED WITH SOLID BACKING IN SUCH A MANNER THAT NO VOIDS EXIST BETWEEN THE STRIKE SIDE OF THE JAMB AND THE FRAME. OPENING FOR A VERTICAL DISTANCE OF SIX INCHES EACH SIDE OF THE STRIKE PLATE. DOWR STOPS IN WOODEN JAMBS FOR SPRING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB. JAMBS FOR ALL DOORS SHALL BE CONSTRUCTED OR PROTECTED SO AS TO PREVENT VIOLATION OF THE STRIKE. THE STRIKE PLATE FOR DEADLOCKS ON ALL WOOD FRAME DOORS SHALL BE CONSTRUCTED OF A MINIMUM OF TWO SCREWS WHICH MUST PENETRATE AT LEAST TWO INCHES INTO SOLID BACKING BEYOND THE SURFACE TO WHICH THE STRIKE IS ATTACHED.

8. SAFETY GLAZING (TEMPERED) SHALL BE LOCATED AND INSTALLED PER CCC SEC. 2406.

9. DOOR BETWEEN HOUSE AND GARAGE TO BE 1 1/2" MINIMUM SOLID WOOD WITH SELF-CLOSING DEVICE OR SELF-CLOSING 20 MIN. RATED PER CCC SEC. 302.4 EXCEPTION 3.

10. ALL EXTERIOR DOORS OTHER THAN SLIDING GLASS DOORS MUST BE EQUIPPED WITH A THROW DEAD BOLT WORKING IN COMBINATION WITH A DEAD LATCH.

11. ALL BEDROOM WINDOWS TO COMPLY WITH CBC SECTION 310.4 AND PROVIDE ADEQUATE VENTILATION AND LIGHT PER CBC SECTION 703.

SKYLIGHTS

1. METAL FRAME SHALL BE COLOR ANODIZED MEDIUM BRONZE, OR COLOR TO BLEND WITH ROOF COLOR.

2. SKYLIGHT SUPPLIER SHALL SUBMIT THE MANUFACTURER'S DESIGN DETAILS WITH ENGINEER'S CALCULATIONS AND BROCHURE TO THE CITY BUILDING DEPARTMENT FOR REVIEW AND APPROVAL. C.B.C. 310.3.3.7(1) & (2).

3. INSTALL SKYLIGHT IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS AND WITH U.S.C. SEC. 2409 AND SEC. 2603.7.

HEATING, VENTILATING AND AIR CONDITIONING

1. CONTRACTOR TO SIZE, FURNISH AND INSTALL ALL MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE GAS FIRED, FORCE WARM AIR HEATING SYSTEMS AS SHOWN ON THE DRAWINGS AND AS REQUIRED BY CODE. THE LATTER REGULATIONS GOVERN IN CASE OF CONFLICT OR OMISSION. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE SATISFACTORY OPERATION & BALANCING OF ALL HEATING ITEMS.

2. CONTRACTOR TO SUBMIT WITH HIS BASE BID A LIST OF EQUIPMENT PROPOSED FOR USE, SKID DIAGRAMS, REGISTER LOCATIONS, BTU REQUIREMENTS, THERMOSTAT LOCATIONS AND ALL OTHER ITEMS AS REQUIRED TO SHOW SERVICE. CONTRACTOR'S OMISSION FROM THE EQUIPMENT LIST SHALL NOT BE CONSIDERED AS TO BE LIABLE.

3. ENERGY CONSERVATION: ALL EQUIPMENT SHALL BE PROPERLY SIZED AS TO CAPACITY AND EFFICIENCY TO MEET CALIFORNIA TITLE 24 ENERGY CODE. MINIMUM SEASONAL EFFICIENCY (SE) ACCEPTABLE WITHOUT REFRIGERATION COOLING IS 1% PERCENT. ALL CONDENSER DUCT, FLEX AND FITTING JOINTS SHALL BE SEALED WITH PRESSURE SENSITIVE TAPE OR MASTIC TO PREVENT AIR LOSS.

4. PROVIDE DUCT INSULATION PER TITLE 24 CALCULATIONS PROVIDED.

5. ALL INTERIOR FANS SHALL PROVIDE 5 AIR CHANGES PER HOUR AND BE CONNECTED DIRECTED DIRECTLY TO THE OUTSIDE & SHALL DISCHARGE AT LEAST 3 FEET FROM ANY OPENING INTO BUILDING.

6. PROVIDE AUTOMATIC DAMPER AT ALL VENTILATION FANS.

7. GARAGE APPLIANCES WITH PILOTS, BURNERS AND SWITCHES SHALL BE AT LEAST 18" ABOVE FLOOR PER CCC SEC. 208.1 AND PROTECTED FROM AUTO IMPACT.

8. VENTING OF APPLIANCES SHALL COMPLY WITH CM 4. B PROVIDE REQUIRED COMBUSTION AIR FROM OUTSIDE FOR HEATING UNITS PER CCC 7.

9. DRYER VENTING TO COMPLY WITH C.M.C. SECTION 504.3.

10. CLOTHES DRYERS INSTALLED IN CLOSETS SHALL HAVE A MIN. OPENING OF 100 SQUARE INCHES PROVIDED FOR MAKEUP AIR PER C.M.C. 504.3.2.

11. CLOTHES DRYERS INSTALLED IN CLOSETS SHALL HAVE A MIN. OPENING OF GARAGE PER C.B.C. SEC. 302.4 EXCEPTION 3.

12. PROVIDE 30" MIN. VERTICAL CLEARANCE ABOVE COOK TOP TO UNPROTECTED COMBUSTIBLE MATERIAL OR 24" MIN. TO METAL VENT HOOD PER CCC 701.1.

13. VENT COOK TOP PER CCC SEC. 504.2.

14. ATTIC FURNACE SHALL BE INSTALLED PER CM 4. CH. 3 AND SHALL HAVE MIN. 22" X 30" ATIC ACCESS (20 FEET MAX FROM FURNACE). CONTINUOUS LOW FLOORING 2" MIN. WIDE FROM ACCESS TO FURNACE. 3" X 18" MIN. WORKING PLATFORM LOCATED AT FRONT OR SERVICE SIDE OF EQUIPMENT PER UBC 906.

15. GARAGE APPLIANCES SHALL BE PROVIDED WITH 2 1/4" GALVANIZED SCREENED & COVERED VENTS, SHALL BE LOCATED IN EXTERIOR WALL OF GARAGE WITH ONE WITHIN THE UPPER 1/2" OF ENCLOSURE & ONE WITHIN THE LOWER 1/2" OF ENCLOSURE PER CM 4 702.

PLUMBING

1. CONTRACTOR TO SIZE AND COMPLETE OPERATING INSTALLATION OF ALL PLUMBING, WATER, GAS LINES AND FIXTURES AS NOTED ON THE DRAWINGS. SPECIFICATIONS AND AS REQUIRED BY U.P.C. THE LATTER REGULATIONS GOVERN IN CASE OF CONFLICT OR OMISSION. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE SATISFACTORY OPERATION OF ALL PLUMBING ITEMS.

2. ALL PLUMBING WORK SHALL BE PERFORMED IN CONFORMANCE WITH APPLICABLE CODES, REGULATIONS AND ORDINANCES, INCLUDING CALIFORNIA PLUMBING CODE.

3. BACKFILL OF SINKER AND WATER SERVICE TRENCHES SHALL BE DONE IN MAX. 10 LIFTS MECHANICALLY COMPACTED WITH OPTIMUM MOISTURE TO 90% RELATIVE COMPACT.

4. PROPOSED TRENCH ROUTES SHALL BE SUBMITTED TO BUILDING FOR APPROVAL PRIOR TO SCHEDULING OF EQUIPMENT.

5. PROVIDE PLUMBING SERVICE AND CONNECTIONS TO APPLIANCES AS REQUIRED.

6. PROVIDE WATER PRESSURE REGULATOR AS INDICATED IN SECTION 608 C.P.C.

7. ALL WATER LINES TO BE COPPER TYPE "L" WHERE EXPOSED TO ULTRA VIOLET RAYS AND PLASTIC (SCHEDULE PER CODE) AT ALL OTHER LOCATIONS. NO SUBSTITUTIONS PER U.P.C. SEC. 404.

8. DESIGN AND INSTALL PLUMBING SYSTEMS ACCORDING TO RECOMMENDED PROCEDURES FOR CONTROL OF SOUND.

9. ANCHOR PLUMBING TO STRUCTURE WITH RESILIENT MOUNTS.

10. MOUNT VIBRATING EQUIPMENT (EXHAUST FANS, ETC.) ON RESILIENT MOUNTS AND CONNECT WITH FLEXIBLE LINES.

11. PROVIDE SHUT-OFF VALVE FOR EACH FIXTURE.

12. SIZE PIPING FOR MAXIMUM VELOCITY OF 4 FPS.

13. MAXIMUM PLUMBING VELOCITY AS FOLLOWS: A WATER CLOSETS: 128gpm @ 60psi; S. SHOWERSHEADS: 2gpm

14. PROVIDE DIELECTRIC UNIONS BETWEEN DISSIMILAR METALS.

15. PROVIDE FLEXIBLE CONNECTIONS WHERE PIPING ENTERS BUILDING.

16. PROVIDE SLEEVES AND CAULKING WHERE PIPING PENETRATES FOUNDATIONS.

17. GAS PIPING SHALL NOT BE EMBEDDED IN OR BELOW SLABS WITH BUILDING OR PASS UNDER FOUNDATION.

18. PROVIDE WATER HEATER WITH SUPPLY DRAIN FROM PRESSURE RELIEF VALVE TO EXTERIOR.

19. THE WATER HEATER TANK INSTALLATION SHALL HAVE EXTERNAL BLANKET OF R-12 OR GREATER. SEE T24.

20. PROVIDE WATER HEATER, WITH SHUT-OFF VALVE TO REFRIGERATOR FOR ICE MAKER. PROVIDE RECESSED BOX FOR SHUT-OFF.

21. PROVIDE RECESSED BOX FOR HOT AND COLD WATER BENDER WASHING.

22. PROVIDE GAS LOG LIGHTER, WITH SHUT-OFF VALVE, AT FIREPLACES.

23. ALL TOILETS SHALL BE AN ULTRA-LOW FLOW TOILET WITH A MINIMUM TANK SIZE OR FLUSH CAPACITY OF 1.6 GALLONS. ALL SHOWER HEADS AND OTHER FIXTURES SHALL HAVE A MINIMUM FLOW CAPACITY OF 2.0 GALLONS PER MINUTE. AND ALL HOT WATER FAUCETS THAT HAVE MORE THAN TEN FEET OF PIPE BETWEEN THE FAUCET AND THE HOT WATER HEATER SERVICING SUCH FAUCET SHALL BE EQUIPPED WITH A HOT WATER RECIRCULATING SYSTEM.

24. GAS COOKING APPLIANCES SHALL HAVE INTERMITTENT IGNITION DEVICES.

25. PROVIDE BACK FLOW PREVENTION DEVICE AT ALL HOUSE BIES (NON-REMOVABLE), PER C.P.C. SEC. 603.4.7.

26. PROVIDE AN APPROVED DISHWASHER AIR GAP FITTING PER C.P.C. SEC. 807.4.

27. INSTALL WATER CLOSET IN A CLEAR SPACE NOT LESS THAN 30" IN WIDTH AND NOT LESS THAN 24" CLEAR SPACE IN FRONT OF WATER CLOSET. PER C.B.C. SEC. 2904.

28. AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM UNDER SEPARATE PERMIT IF REQUIRED.

29. PLUMBING CONNECTIONS SHALL COMPLY WITH SECTION 405.2 C.P.C. IF SLIP JOINTS INSTALLATION USED.

30. PLUMBING VENTS SHALL BE 1/2" OF INCH ABOVE SKYLIGHTS. TERMINATE VENT PIPE PER CCC SEC. 905.

31. NO WATER LINES TO BE INSTALLED IN SLAB. ALL LINES MUST BE OVERHEAD.

32. PROVIDE INDIVIDUAL CONTROL VALVES OF THE "PRESSURE BALANCE" OR "THERMOSTATIC MIXING" TYPE PER C.P.C. SEC. 420.4 AT SHOWER AND TUB/SHOWER LOCATIONS.

33. GAS LINES TO BE INSTALLED PER CM 4 CH. 13.

34. WATER HEATER TO BE INSTALLED PER CPC CHS.

35. PROVIDE SEISMIC ANCHORAGE OF WATER HEATER AND MUST INCLUDE ANCHORS OR STRAPS AT POINTS WITHIN THE UPPER AND LOWER ONE THIRD OF ITS VERTICAL DIMENSION. THE LOWER ANCHOR/STRAP LOCATED TO MAINTAIN A MINIMUM DISTANCE OF 4" ABOVE THE CONTROLS. PER U.P.C. SEC. 510.5.

36. CONTROL VALVE FOR THE GAS FIREPLACE SHALL BE OUTSIDE THE FIREPLACE BUT NO MORE THAN 4 FEET FROM THE OUTLET PER CM 4 1011.7.

37. ALL HOT WATER SYSTEMS TO HAVE RECIRCULATING SYSTEMS PER THE ENERGY DESIGN.

ELECTRICAL

1. CONTRACTOR TO SIZE AND COMPLETE OPERATING INSTALLATION OF LIGHTING, POWER AND COMMUNICATIONS SYSTEMS AS INDICATED ON THE DRAWINGS. SPECIFICATIONS AND AS REQUIRED BY CODE. THE LATTER REGULATIONS GOVERN IN CASE OF CONFLICT OR CONFLICT. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE SATISFACTORY OPERATION OF ALL ELECTRICAL ITEMS.

2. VERIFY TYPES AND CAPACITIES OF ALL EQUIPMENT THAT REQUIRE ELECTRICAL SERVICE. PROVIDE APPROPRIATE SERVICE AND CONNECTION.

3. GROUND ALL OUTLETS AND EQUIPMENT. PROVIDE GROUND FAULT CIRCUIT INTERRUPTER PROTECTION FOR ALL OUT DOOR RECEPTACLE OUTLETS AND RECEPTACLE OUTLETS AT ALL BATHROOMS, GARAGE AND IN KITCHEN LOCATIONS PER CCC 210-5(A).

4. CONVENIENCE OUTLETS IN GARAGE TO BE A MINIMUM OF 42" ABOVE SLAB & GFCI.

5. BOND GAS, HOT AND COLD WATER LINES TO THE ELECTRICAL SERVICE MAIN NEUTRAL BUSS BAR OR GROUNDING ELECTRODE.

6. PROVIDE MINIMUM OF (2) 20-AMPERE SMALL APPLIANCE BRANCH CIRCUITS AT KITCHEN PER C.E.C. 210-11(C)(1).

7. PROVIDE A SEPARATE 20-AMPERE BRANCH CIRCUIT FOR LAUNDR