

Exhibit A

This page intentionally left blank.

DRAFT RESOLUTION

Before the Housing and Community Development Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

WEBER MARK LEO (PLN240010)

RESOLUTION NO. 25--

Resolution by the County of Monterey Zoning
Administrator:

- 1) Finding that the project qualifies for a Class 2 Categorical Exemption pursuant to CEQA Guidelines section 15302, and that none of the exceptions set forth in Guidelines section 15300.2 apply; and
- 2) Approving a Combined Development Permit consisting of:
 - a. Coastal Administrative Permit and Design Approval to allow the demolition of an existing 1,887 square foot single family dwelling with a 503 square foot detached garage, and construction of a 3,028 square foot single family dwelling and 1,058 square foot attached garage, and associated site improvements;
 - b. Coastal Administrative Permit to allow development within 750 feet of a known archaeological resource; and
 - c. Coastal Development Permit for the removal of three Monterey pine trees.

[PLN240010 WEBER MARK LEO, 1267
CANTERA CT, PEBBLE BEACH, DEL MONTE
FOREST LAND USE PLAN (APN: 008-234-007-
000)]

The WEBER MARK LEO application (PLN240010) came on for a public hearing before the County of Monterey Zoning Administrator on October 9, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

- EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
- the 1982 Monterey County General Plan;
 - Del Monte Forest Land Use Plan;
 - Monterey County Coastal Implementation Plan, Part 5; and
 - Monterey County Zoning Ordinance (Title 20).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Project. The project involves demolition of an 1,887 square foot single family dwelling with a 503 square foot detached garage, and construction of a 3,028 square foot single family dwelling with an attached 1,058 square foot garage. Site improvements include a new retaining wall and metal fencing, a spa, 716 square feet of decks, development within 750 feet of known archaeological resources, and the removal of three Monterey Pine trees.
- c) Allowed Use. The property is located at 1267 Cantera Ct, Pebble Beach (Assessor's Parcel Number [APN]: 008-234-007-000), within the Del Monte Forest Land Use Plan. The parcel is zoned as Low Density Residential, 1.5 acres per unit, with a Design Control zoning overlay district, coastal zone [LDR/1.5-D(CZ)], which allows the first single family dwelling and accessory structures (Title 20 section 20.14.040.A). Therefore, the project is an allowed land use for this site.
- d) Lot Legality. The parcel is shown in its current size (1.011 acres) and configuration as shown as a lot of the Record of Survey of a portion of the Rancho El Pescadero, Monterey County, CA, on page 95, Volume 4, Maps of Surveys. Therefore, the county recognizes it as a legal lot of record.
- e) Development Standards. Development standards for the LDR zoning district are identified in Title 20 Section 20.14.060.C.1. The required main structure setbacks for the subject property are 30 feet (front), 20 feet (side) and 20 feet (rear). The replacement single-family dwelling will be located primarily within the same footprint as the existing residence and will have a front setback of 33 feet 7 inches, and the proposed dwelling is well within the required side and rear setbacks. The maximum allowed height for main structures in the LDR zoning district is 30 feet above average natural grade. The proposed height is 19 feet and 9 inches above the average natural grade. The proposed garage is attached to the main dwelling and therefore has the same setback requirements as the main dwelling and are within the same footprint as the existing structure. Therefore, as proposed, the project meets all required development standards.

Pursuant to Title 20 Section 20.14.060.E and F, the LDR district allows a maximum lot coverage of 15% and FAR of 17.5%. The proposed lot coverage is 4,230 square feet, or 10%, within the requirement. The existing FAR is 2,390 square feet, or 5.2%. The proposed FAR development will be 4,086 square feet, or 9.2%, also within the requirement. The subject property is located within the Del Monte Forest Watershed and shall be limited to 9,000 square feet of

impervious site coverage pursuant to the Del Monte Forest LUP Policy No. 77. The property is 1.011 acres (44,039 square feet). The property is currently developed with 2,930 square feet of structural coverage and 2,598 of impermeable hardscape, constituting a total of 4,988 square feet of existing impervious coverage. The proposed development includes 1,840 square feet of additional structural coverage; however, the existing impervious coverage will be reduced by 218 square feet and totaling in 6,466 square feet of impervious coverage. Therefore, as proposed, the project meets all required development standards.

- f) Design. The subject parcel and surrounding area are designated as a Design Control overlay zoning district (“D” zoning overlay) and pursuant to Title 20 Chapter 20.44, the location, size, configuration, materials, and colors of structures and fences are regulated to assure the protection of the neighborhood character. The neighborhood of the Del Monte Forest is a mixture of various massing and architectural styles. In accordance with the Del Monte Forest LUP Policy No. 53, the colors and materials give the general appearance of natural materials to blend into the environment and include aluminum clad black windows and doors, a dark gray composition shingle roofing, and light gray vertical wood siding with dark gray trim. Associated site improvements include a new retaining wall and metal fencing to match the single-family dwelling. Due to the distance, topography, vegetation, and intervening development, the project would not be visible from the scenic highway. The proposed tree removal will not negatively impact visual resources nor is the subject property identified to be located with the public viewshed according to DMF LUP Figure 3 – Visual Resources.
- g) Tree Removal. The proposed project includes the removal of three Monterey pine trees. Pursuant to CIP section 20.147.050.A.1.a and Title 20 section 20.70.025, the removal of native trees requires a Coastal Development Permit. Therefore, the removal of three Monterey pine trees is subject to the granting of a Coastal Development Permit. The project meets the required findings to allow the removal of trees as demonstrated in Finding No. 5 and supporting evidence.
- h) Biological Resources. Consistent with the applicable goals and policies of the 1982 Monterey County General Plan (1982 GP); Del Monte Forest Land Use Plan (LUP) Policy 12; CIP section 20.147.040.B.1; and Title 20 section 20.66.020, a Biological Assessment dated October 11, 2021 (LIB240320 – see Finding 2, Evidence “b”) has been provided with the application. A site visit was conducted and while the environment on the parcel has been identified as mixed Pine and Oak woodland, no special status species, sensitive habitat, or nesting birds that have protection status were observed on the subject parcel. The Biological Assessment included recommendations to minimize construction related impacts to the woodland habitat including the following: Best management practices for erosion and sediment control, exclusionary fencing, resource protection measures; utilizing native plants or plants that are well-adapted to a mixed woodland vegetation community; control and manage non-native invasive plant species; and a nesting survey for if construction activities begin during the nesting season between February 1st and August 1st. All recommendations

included in the Biological Assessment shall be implemented through the County's standard condition for a notice of report.

- i) Cultural Resources. The site is in an area identified in County records as having high archaeological sensitivity. In accordance with CIP section 20.147.080.A, a Coastal Administrative Permit has been applied to a project to allow development within 750 feet of known archaeological resources. A Phase 1 Archaeological Report (LIB240319 – see Finding 2, Evidence “b”) was prepared by Historic Resource Associates on August 2020 and included with the project application. The report included a records search and a field reconnaissance, both produced negative results. Staff reviewed the report and agreed with its conclusions. However, due to the site's high archaeology sensitivity and the proximity of known resources, the County's standard condition has been incorporated, which would require the applicant to stop work if any cultural resources or human remains are identified.
- j) Historical Resources. A Phase 1 Historical Assessment (LIB240321 – see Finding 1, Evidence “b”) was prepared by the Historic Resource Associates on September 17, 2021. The Mid-20th century modern California Ranch style residence was built in 1965, with a large addition added in 1969 and another large addition in recent years. The assessment concluded that the architectural integrity of the residence has been compromised, and the archival research failed to demonstrate that the home is associated with a person or persons of significance. Therefore, the single-family dwelling is not a historic resource.
- k) Pescadero Watershed. The subject property is identified to be within the Seal Rock Watershed as identified by the DMF LUP Figure 2b. As such properties within this area are subject to an impervious surface coverage of 9,000 square feet pursuant to DMF LUP Policy 77. The proposed project includes 6,610 square feet of impervious coverage and therefore, is consistent with this policy
- l) Land Use Advisory Committee (LUAC) Review. Based on the Land Use Advisory Committee (LUAC) procedure guidelines adopted by the Monterey County Board of Supervisors, this application warranted referral to the LUAC because the project requires Design Approval subject to review by the Zoning Administrator. The project was referred to the Del Monte Forest LUAC for review and scheduled for January 16, 2025. The LUAC voted unanimously in support of the project.
- m) The project planner conducted a site inspection on May 16, 2025 to verify that the project on the subject parcel conforms to the plans listed above.
- n) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240010.

2. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

EVIDENCE: a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District. County staff reviewed the

application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.

- b) Staff identified potential impacts to trees, biological resources, cultural resources, and historical resources. The following reports have been prepared:
- “Arborist Report” (LIB240318) prepared by Albert Weisfuss, Carmel, CA, November 29, 2023.
 - “Archaeological Report” (LIB240319) prepared by Historic Resource Associates, Pebble Beach, CA, August 2020.
 - “Biological Assessment” (LIB240320) prepared by Thompson Wildlife Management, Monterey, CA, October 11, 2021.
 - “Phase I Historical Assessment” (LIB240321) prepared by Historic Resource Associates, Pebble Beach, CA, September 17, 2021.
 - “Soil Engineering Report” (LIB240322) prepared by Landset Engineers, Inc., Salinas, CA, December 2021.

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

- c) Staff conducted a site inspection on May 16, 2025 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240010.

3. FINDING: HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) Necessary public facilities are available to serve the proposed development. Water will be provided by CalAm, as managed by the Monterey Peninsula Waste Management District with no proposed increase to the water service beyond what is existing. Sewer will be provided by the Pebble Beach Community Services District.
- c) The project is located on 17 Mile Drive, a frequently traveled road for tourism. To minimize the overall construction impacts to the neighborhood, approval and implementation of a Construction Management Plan is required and will be implemented through the

County's standard condition. The Construction Management Plan will limit parking areas, hours of construction, and identify haul routes for grading exports.

- d) Staff conducted a site inspection on May 16, 2025 to verify that the site is suitable for this use.
- e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240010.

4. FINDING: **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed County of Monterey HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on May 16, 2025 and researched County records to assess if any violation exists on the subject property.
 - c) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240010.

5. FINDING: **TREE REMOVAL** - The tree removal is the minimum required under the circumstances and in accordance with the applicable goals and policies of the Del Monte Forest Land Use Plan (LUP) and the associated Coastal Implementation Plan (CIP), Part 5.

- EVIDENCE:**
- a) The project includes application for the removal of three Coast live oak trees. In accordance with CIP section 20.147.050.A.1.a and Title 20 section 20.70.025 a Coastal Development Permit is required.
 - b) An Arborist Report (LIB240318 – see Finding 2, Evidence “b”) was provided with the project application and identified three trees as being impacted by development and proposed for removal. There were six trees assessed for the project, and three were determined to be in poor health and have been recommended for removal based on the declining and decaying health of the tree. The three trees are 19 inches, 23 inches, and 14 inches, and the health and stability of the trees will be further impacted by the proposed construction and are therefore recommended for removal. The three remaining trees that were assessed are in fair condition and will not be impacted by the construction. Staff found that the removal of the decaying trees are the minimum necessary given the topography of the subject property and the configuration of the proposed development compared to the original footprint of the existing single family dwelling. Consistent with DMF LUP Key Policy 33, the the development minimizes tree removal to the extent feasible while minimizing damages to soil resources. The proposed development footprint utilizes areas previously disturbed to minimize such impacts. No landmark trees will be impacted. The Arborist Report recommends a one-to-one ratio for each removed protected tree. Accordingly, the County's tree replacement and tree and root protection conditions have been applied to the project indicating a one-to-one replacement ratio.

- c) Staff conducted a site inspection on May 16, 2025 to verify that the tree removal is the minimum necessary for the project and to identify any potential adverse environmental impacts related to the proposed tree removal
- d) The application, plans, and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN240010.

6. FINDING: CEQA (Exempt) – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) The project is categorically exempt from environmental review pursuant to CEQA Guidelines section 15302, Replacement. The project consists of demolition and re-construction of a single-family dwelling that will be located on the same site, and will have substantially the same capacity and purpose as the structure being replaced.
 - b) None of the exceptions under CEQA Guidelines section 15300.2 apply. CEQA section 15302 is not qualified by consideration of the project location. The project does not impact environmental resources of hazardous or critical concern where designated (see Findings 2 and 3, and supportive evidence); the project does not contribute to any cumulative environmental effects (see Finding 1, Evidence “g” and Finding 2, and supportive evidence); there is no reasonable possibility that the project would cause an impact due to unusual circumstances (see Findings 1 and 2, and supportive evidence); based on the project location, and its topographical relationship to visual public access points in the area, the proposed development is not visible from 17-Mile Drive, Point Lobos or Carmel Beach without aided vision due to distance, topography, and existing mature vegetation, including several trees that are surrounding the parcel, will not block significant public views toward the ocean and will not adversely impact the public viewshed or scenic character in the project vicinity; is not a hazardous waste site or any list compiled pursuant to Government Code section 65962.5; and does not involve any identified historical resources (see Finding 1, Evidence “i”).
 - c) No adverse environmental effects were identified during staff review of the development application during a site visit on May 16, 2025.
 - d) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240010.

7. FINDING: PUBLIC ACCESS – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights. The project is consistent with the Del Monte Forest LUP Policy No. 125 and Figure 8, and does not interfere with any public access areas including trail access.

- EVIDENCE:**
- a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in

Section 20.147.130 of the Del Monte Forest Coastal Implementation Plan can be demonstrated.

- b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
- c) The subject property is not described as an area where the Local Coastal Program requires visual or physical public access to the shoreline.
- d) The nearest public access trail is 0.1 miles from the project site and no trails or public access areas are located on the parcel. The project planner conducted a site visit on May 16, 2025, to verify that the project, as proposed, would not impact public access.
- e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN2400010.

8. FINDING: APPEALABILITY – The decision on this project may be appealed to the Board of Supervisors.

- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Title 20 Section 20.86.030, the project is subject to appeal to the Board of Supervisors because it requires the Zoning Administrator to make a discretionary decision.
 - b) California Coastal Commission. Pursuant to Section 20.86.080.A.3 of Title 20, the project is subject to appeal by/to the California Coastal Commission because the project is located between the sea and the first through public road paralleling the sea.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find that the project qualifies for a Class 2 Categorical Exemption pursuant to CEQA Guidelines Section 15302, and that none of the exceptions set forth in Guidelines section 15300.2 apply; and
2. Approve a Combined Development Permit consisting of:
 - a. Coastal Administrative Permit and Design Approval to allow the demolition of an existing 1,887 square foot single family dwelling with a 503 square foot garage, and construction of a 3,028 square foot single family dwelling and 1,058 square foot attached garage, and associated site improvements;
 - b. Coastal Administrative Permit to allow development within 750 feet of a known archaeological resource; and
 - c. Coastal Development Permit for the removal of three Monterey pine trees.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 9th day of October, 2025.

Mike Novo, AICP
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

This page intentionally left blank

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240010

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

**Condition/Mitigation
Monitoring Measure:**

This Combined Development Permit (PLN240010) allows the demolition of an existing 1,887 square foot single family dwelling with a 503 square foot detached garage, construction of a 3,028 square foot single family dwelling and 1,058 square foot attached garage, associated site improvements, development within 750 feet of a known archaeological resource, and the removal of three Monterey pine trees. The property is located at 1267 Cantera Ct., Pebble Beach (Assessor's Parcel Number 008-234-007-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or
Monitoring
Action to be
Performed:**

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "A Combined Development Permit (Resolution Number _____) was approved by the Zoning Administrator for Assessor's Parcel Number 008-234-007-000 on October 9, 2024. The permit was granted subject to 9 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Prior to the issuance of grading and building permits, certificates of compliance, or
Monitoring commencement of use, whichever occurs first and as applicable, the Owner/Applicant
Action to be shall provide proof of recordation of this notice to the HCD - Planning.
Performed:

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation If, during the course of construction, cultural, archaeological, historical or
Monitoring Measure: paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or The Owner/Applicant shall adhere to this condition on an on-going basis.

Monitoring
Action to be Prior to the issuance of grading or building permits and/or prior to the recordation of the
Performed: final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

5. PD016 - NOTICE OF REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:
"A Biological Assessment] (County of Monterey Library No. LIB240320), was prepared by Thompson Wildlife Management, Monterey CA on October 11, 2021 and is on file in Monterey County HCD - Planning. All development shall be in accordance with this report."
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to HCD - Planning.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with the report to the HCD - Planning.

6. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

7. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Within 60 days of substantial completion of the project, the applicant shall replace and or relocate each tree approved for removal as follows:

- Replacement ratio: 1:1 Monterey pine 5 gallon stock
- Replacement ratio recommended by arborist: 1:1 Monterey Pine
- Other:

Replacement tree(s) shall be located within the same general location as the tree being removed. The spacing between trees should be at least 15 feet. Occasional deep watering (1 to 2 times per week) during the late spring, summer, and fall is recommended during the first two years after establishment. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

8. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

9. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

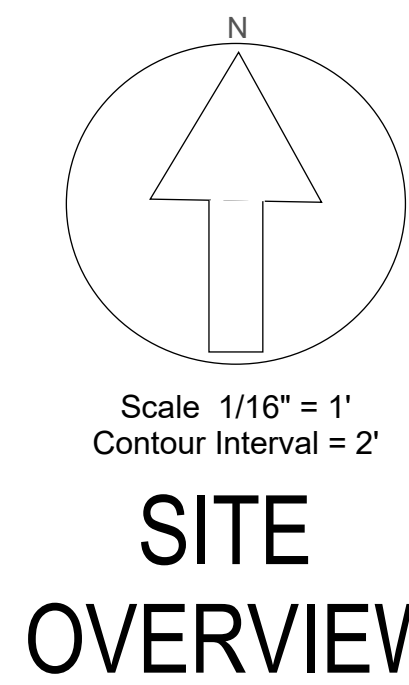
Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project.

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.
2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

This page intentionally left blank



VICINITY MAP



COVERAGE CALCULATIONS

• LOT AREA: 44,040 SF (1.011 ACRE)

• LOT COVERAGE CALCULATIONS

	EXISTING	EXISTING UNPERMITTED	EXISTING TOTAL	PROPOSED ADDITION	PROPOSED REMOVAL	PROPOSED TOTAL
HOUSE	1887	204	2091	937	0	3028
GARAGE	503		503	1058	-503	1058
OVERHANGS >30"	0		0	144		144
TOTALS:	2390	204	2594	2139	-503	4230

• LOT COVERAGE ALLOWED: 6,606 SF (44,040 * 15%)

• LOT COVERAGE PROPOSED: 4,230SF

• PESCADERO COVERAGE CALCULATIONS:

	EXISTING	EXISTING UNPERMITTED	PROPOSED ADDITION	PROPOSED REMOVAL	PROPOSED TOTAL
HOUSE	1887	204	937	0	3028
GARAGE	503		1058	-503	1058
OVERHANGS > 30"	0		144		144
SPA	0		64		64
DRIVEWAY	1550			-224	1326
PAVERS	830		227	-228	829
REAR SIDEWALK	218			-57	161
TOTALS	4988	204	2430	-1012	6610

• PESCADERO COVERAGE ALLOWED: 9,000 SF

• PESCADERO COVERAGE PROPOSED: 6,610 SF

PROJECT INFO

- OWNER:

MARK WEBER
3079 EL TORO ROAD
PEBBLE BEACH, CA 93953
PHONE: 831/217-3800

• PROJECT ADDRESS:

1267 CANTERA CT
PEBBLE BEACH, CA 93953

• APN: 008-234-007

• LEGAL DESCRIPTION: LOT: 10 BLOCK: 57

• PROJECT VALUATION: \$310,000

• ZONING: LDR/1.5-D(CZ)

• YEAR CONSTRUCTED: 1963

• OCCUPANCY: R-3 (RESIDENTIAL), U

• CONSTRUCTION TYPE: V-B

• STORIES: SINGLE

• BUILDING HEIGHT ALLOWED: 30FT

• BUILDING HEIGHT PROPOSED: 19.75FT

• FIRE SPRINKLERS: REQUIRED

• 'WUI' CONSTRUCTION STANDARDS: YES

• WATER SYSTEM: CALAM

• SEWER SYSTEM: PBCSD

• SCHOOL DISTRICT: CARMEL UNIFIED

• 1 MONTERY PINE IN BUILDING FOOTPRINT PREVIOUSLY REMOVED UNDER TRM170345. 3 ADDITIONAL PINES (14", 23", & 19") PROPOSED FOR REMOVAL.

• TOPOGRAPHY: SLOPING DOWN

• GRADING: 345 CY CUT AND FILL

• LANDSCAPING: NO CHANGES PROPOSED. MAINTAIN EXISTING MOSTLY NATURAL LANDSCAPE.

• PROJECT CODE COMPLIANCE:

2019 CAL. RESIDENTIAL CODE (CRC), CAL. BUILDING CODE (CBC), CAL. MECHANICAL CODE (CMC), CAL. PLUMBING CODE(CPC), CAL. ELECTRICAL CODE (CEC), CAL. FIRE CODE (CFC), CAL. GREEN BUILDING CODE, TITLE 24

- 1 72 SQ.FT. KITCHEN ADDITION PLUS ROOF RAISED AND REVERSE SLOPE ON FRONT OF EXISTING KITCHEN.

2 89 SQ.FT. LIVING ROOM ADDITION PLUS RAISED AND SLOPE REVERSED ON FRONT OF EXISTING LIVING ROOM.

3 93 SQ.FT. FRONT BED/BATH ADDITION PLUS ROOF RAISED AND SLOPE REVERSED ON FRONT OF EXISTING BED/BATH.

4 ROOF RAISED AND SLOPE REVERSED ON REAR CORNER OF EXISTING WEST BEDROOM.

5 683 SQ.FT. MASTER BEDROOM/BATHROOM/OFFICE ADDITION.

6 ROOF RAISED AND SLOPE REVERSED ON REAR OF EXISTING LIVING ROOM AREA.

7 EXISTING PATIO COVER REMOVED AND KITCHEN REAR ROOF EXTENDED 29" TO CREATE OVERHANG.

8 REPLACE EXISTING (503SQ.FT.) GARAGE WITH NEW (1058 SQ.FT.)

9 NEW 48" OF RETAINING WALL (MAX 3' HIGH) AND 6' METAL FENCING.

10 FRONT YARD 3' DEEP CUT BEHIND NEW FRONT YARD RETAINING WALL.

11 BACK YARD FILL TO AN AVERAGE DEPTH OF 1 FOOT.

12 NEW BACKYARD SPA AND DECKING



OWNER
MARK WEBER
3079 EL TORO ROAD
PEBBLE BEACH, CA 93953
TEL: 831.217.3800

APN: 008-234-007-000
PROJECT LOCATION
1267 CANTERA CT
PEBBLE BEACH, CA 93953

PROJECT
The "Can"
DOCUMENT NUMBER
1267.01

ISSUE
04.01.2024
DRAWN BY
MARK WEBER

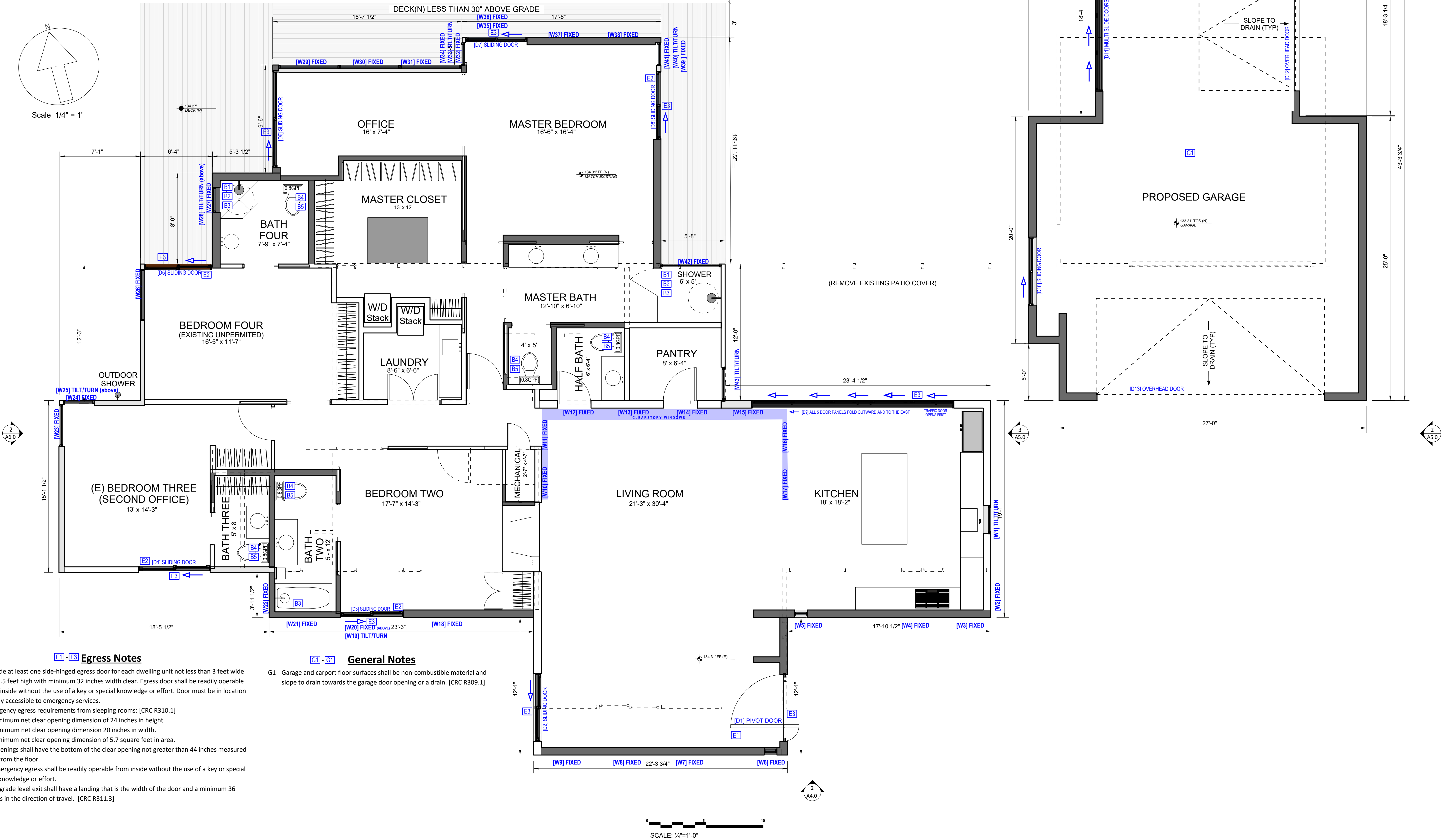
PROJECT OVERVIEW

B1 - B5 Bathroom Notes

- B1 Shower enclosures needs to be at least 1,024 square inches and must be able to encompass 30-inch-diameter circles.
- B2 Shower doors will open outward into the bathroom and maintain unobstructed clearance zones of at least 22 inches in width when open.
- B3 Shower walls shall we water resistant to at least 6 feet above floor level.
- B4 Toilets must a minium of at least 15 inches (measured from the center of the toilet) from any side wall or obstruction, giving at least 30" of clear width.
- B5 There must be at least 24 inches of clear space in front of toilets.

FLOOR PLAN LEGEND

- EXISTING WALL TO REMAIN
- - - EXISTING WALL TO REMOVE
- NEW WALL



E1 - E3 Egress Notes

G1 - G1 General Notes

- E1 Provide at least one side-hinged egress door for each dwelling unit not less than 3 feet wide and 6.5 feet high with minimum 32 inches width clear. Egress door shall be readily operable from inside without the use of a key or special knowledge or effort. Door must be in location readily accessible to emergency services.
- E2 Emergency egress requirements from sleeping rooms: [CRC R310.1]
- a) Minimum net clear opening dimension of 24 inches in height.
- b) Minimum net clear opening dimension 20 inches in width.
- c) Minimum net clear opening dimension of 5.7 square feet in area.
- d) Openings shall have the bottom of the clear opening not greater than 44 inches measured from the floor.
- e) Emergency egress shall be readily operable from inside without the use of a key or special knowledge or effort.
- E3 Each grade level exit shall have a landing that is the width of the door and a minimum 36 inches in the direction of travel. [CRC R311.3]
- G1 Garage and carport floor surfaces shall be non-combustible material and slope to drain towards the garage door opening or a drain. [CRC R309.1]



OWNER
MARK WEBER
3079 EL TORO ROAD
PEBBLE BEACH, CA 93953
TEL: 831.217.3800

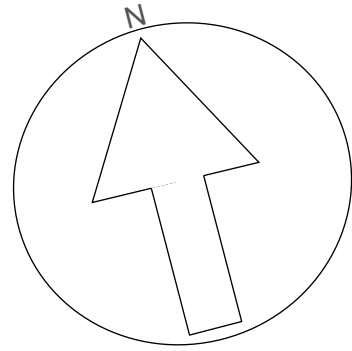
APN: 008-234-007-000
PROJECT LOCATION
1267 CANTERA CT
PEBBLE BEACH, CA 93953

PROJECT
The "Can"
DOCUMENT NUMBER
1267.01

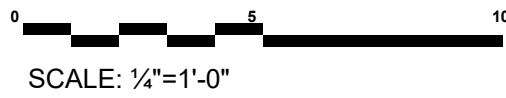
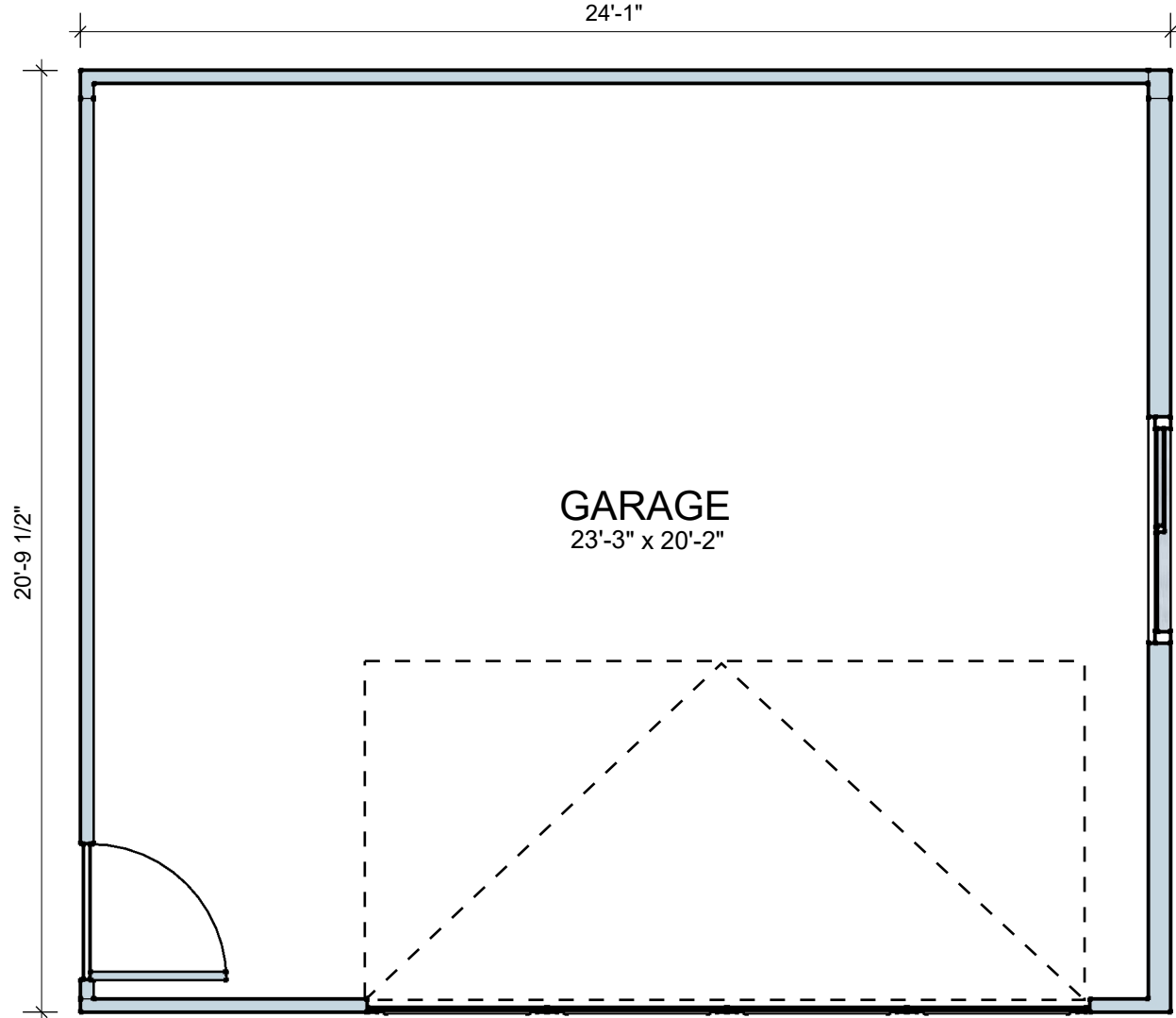
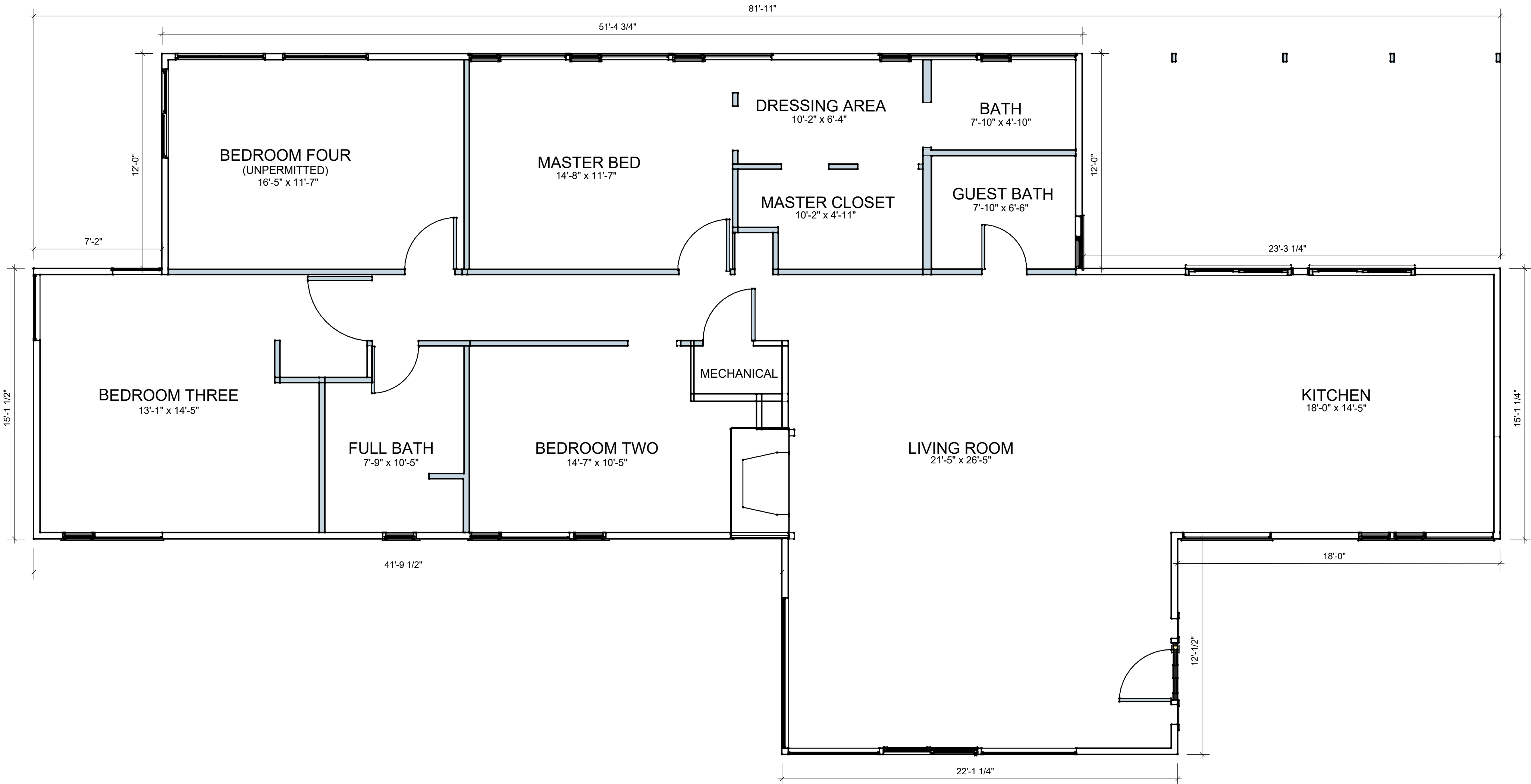
ISSUE
04.01.2024
DRAWN BY
MARK WEBER

PROPOSED FLOOR PLAN

A2.0



Scale 1/4" = 1'



OWNER
MARK WEBER
3079 EL TORO ROAD
PEBBLE BEACH, CA 93953
TEL: 831.217.3800

APN: 008-234-007-000
PROJECT LOCATION
1267 CANTERA CT
PEBBLE BEACH, CA 93953

PROJECT
The "Can"
DOCUMENT NUMBER
1267.01

ISSUE
04.01.2024
DRAWN BY
MARK WEBER

EXISTING FLOOR PLAN

A3.0

① Existing

South (Front) Elevations



② Proposed

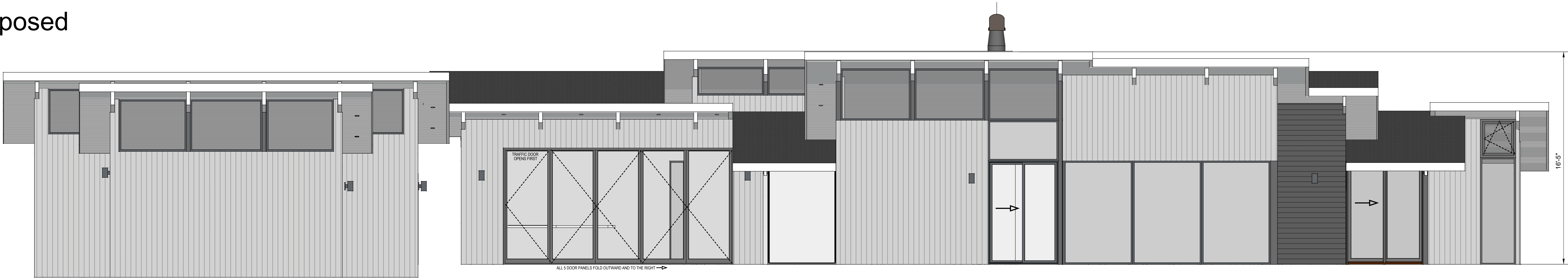


③ Existing

North (Back) Elevations



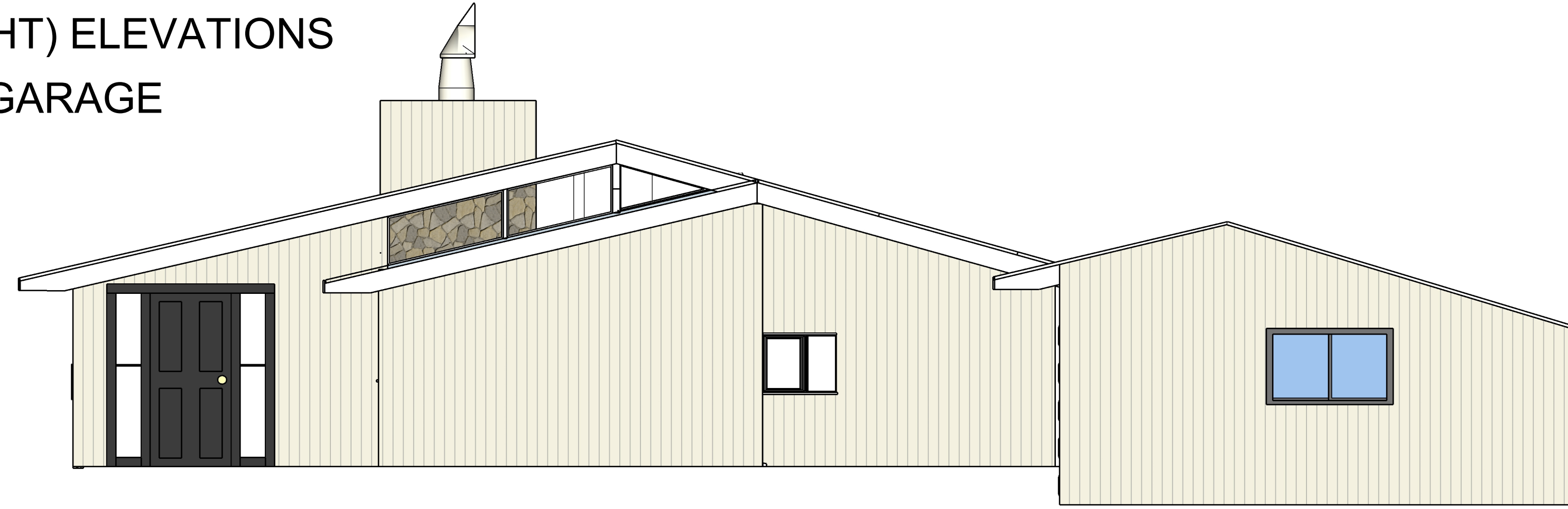
④ Proposed



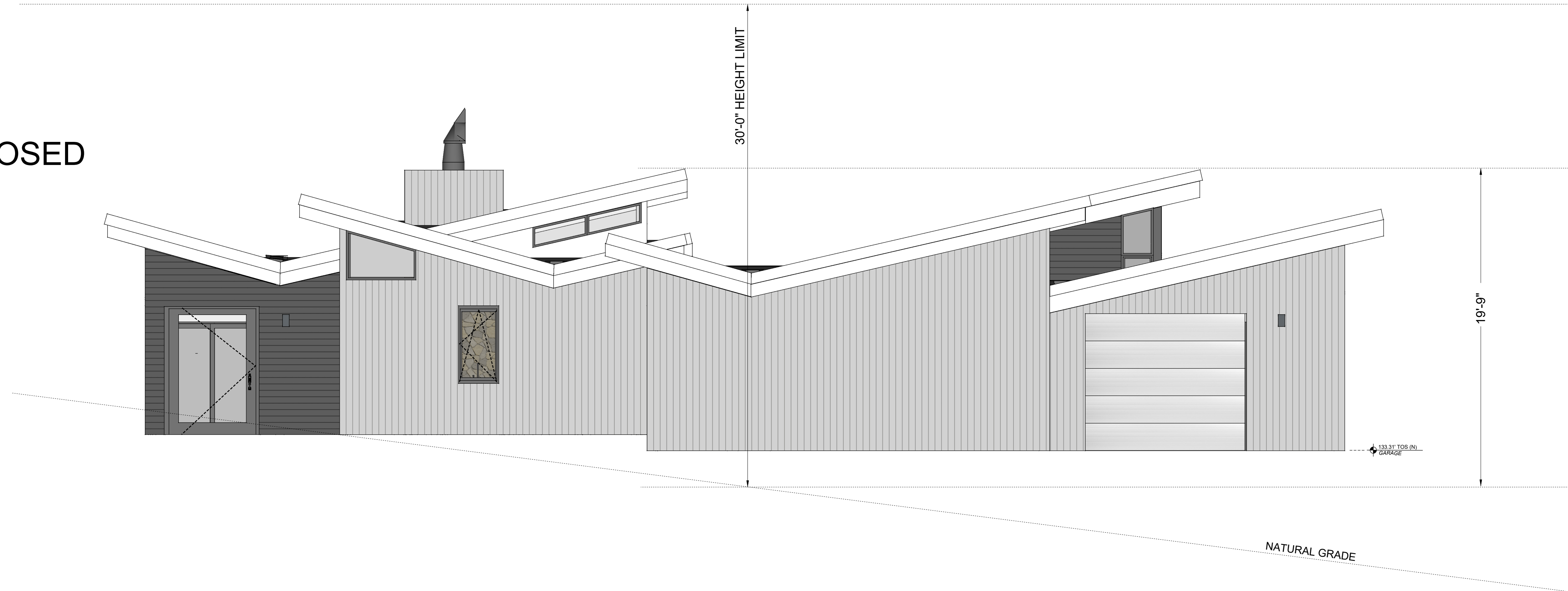
0 5 10
SCALE: 1/4"=1'-0"

EAST (RIGHT) ELEVATIONS
WITH GARAGE

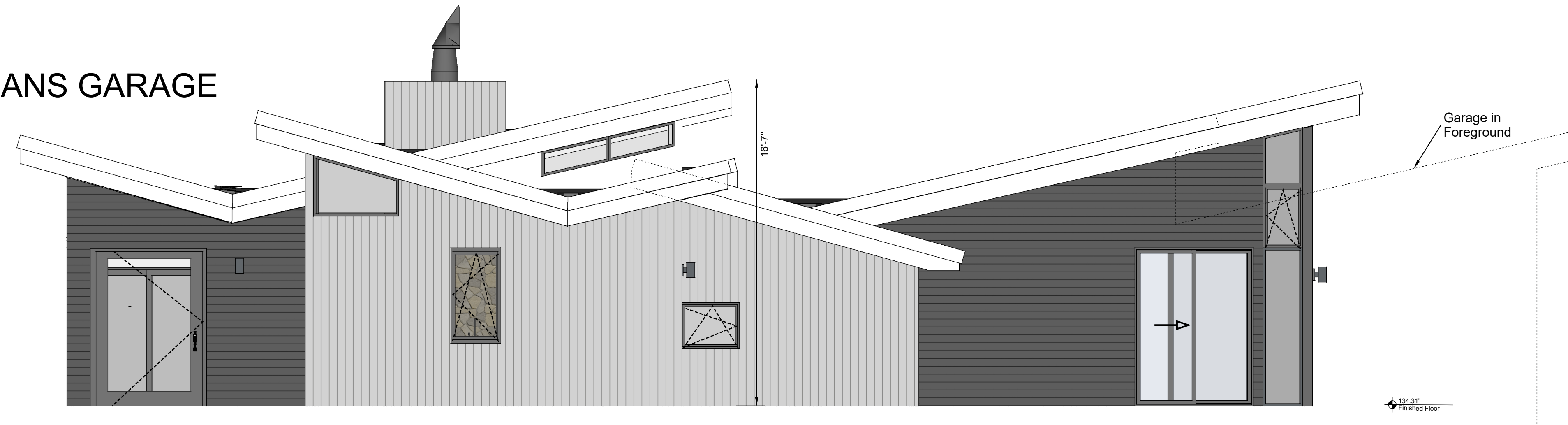
① EXISTING



② PROPOSED



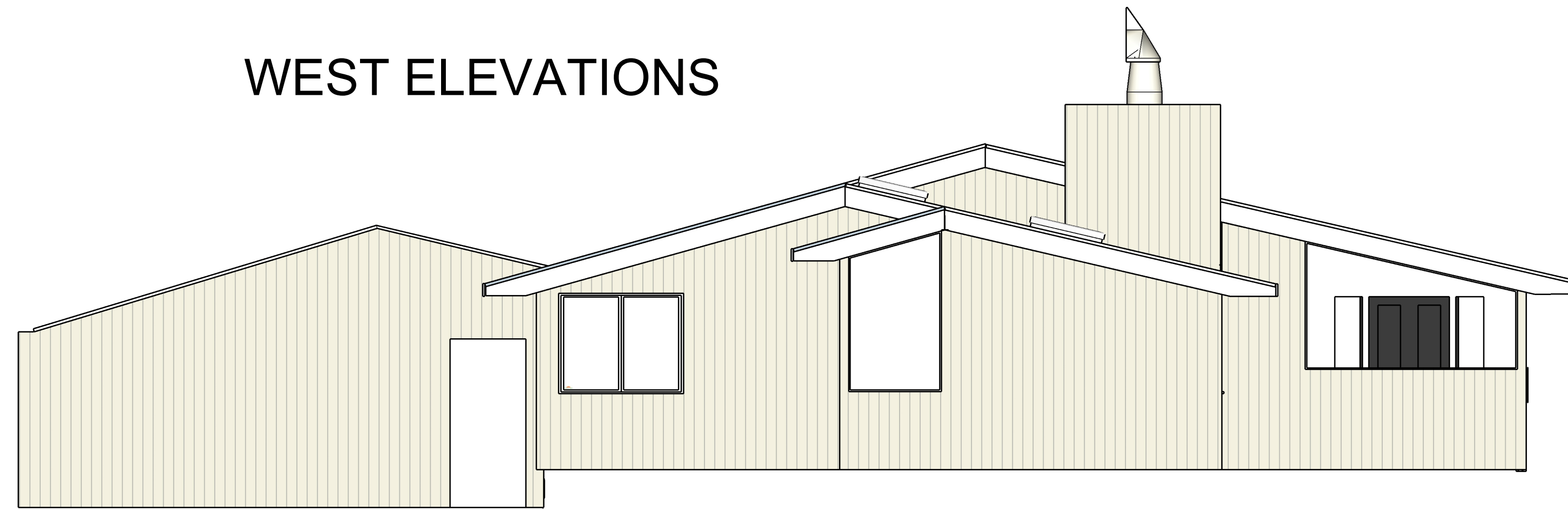
③ PROPOSED
SANS GARAGE



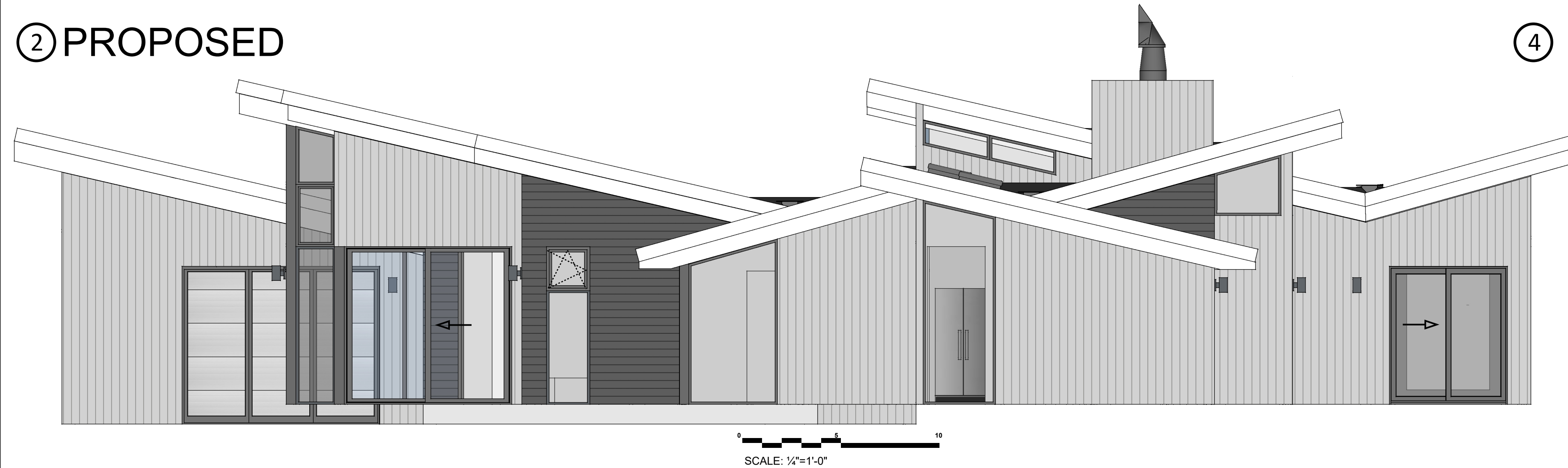
0 5 10
SCALE: 1/4"=1'-0"

WEST ELEVATIONS

① EXISTING



② PROPOSED



③ EXISTING CONDITIONS



④ PROPOSED

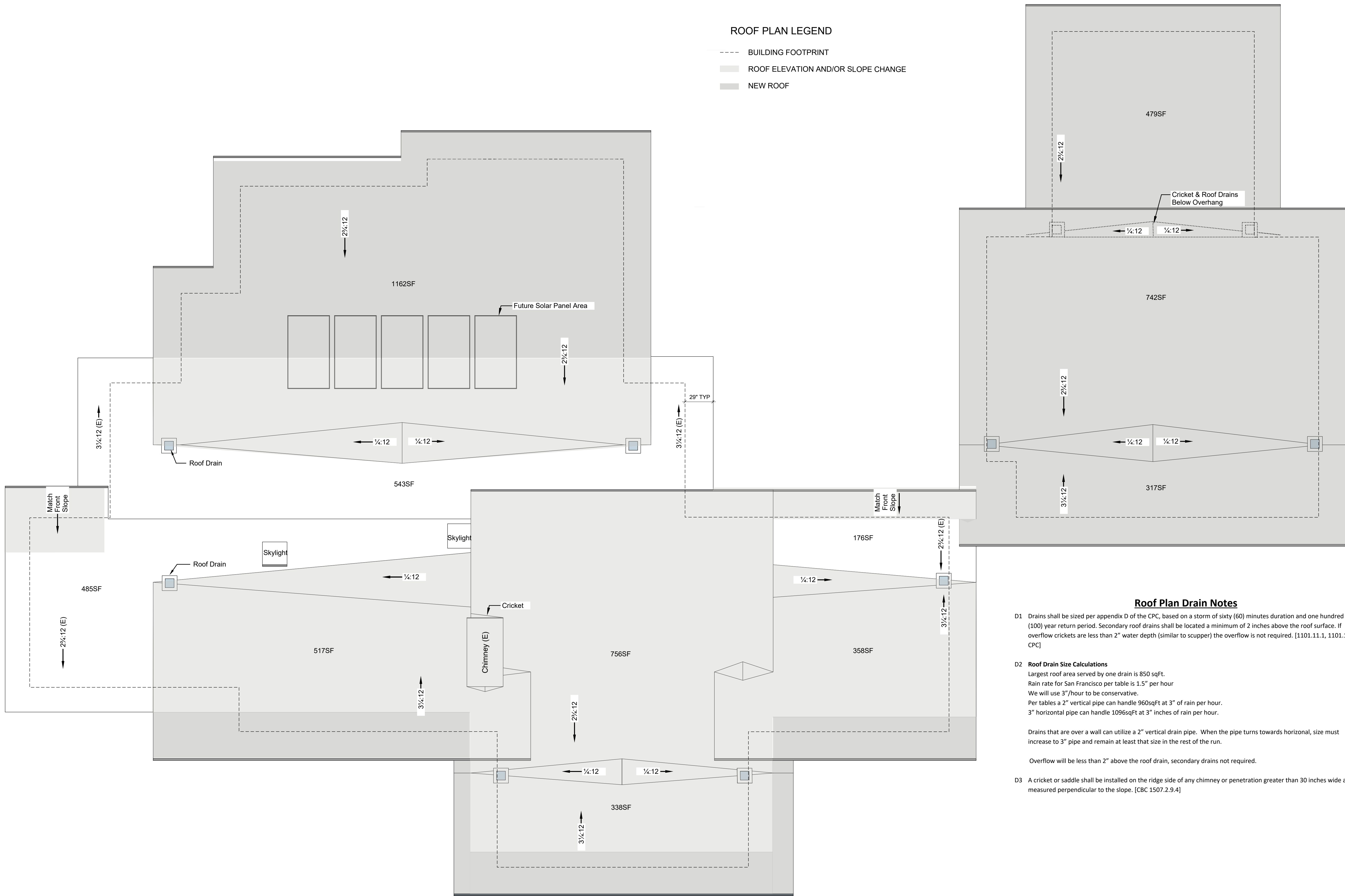


⑤ PROPOSED



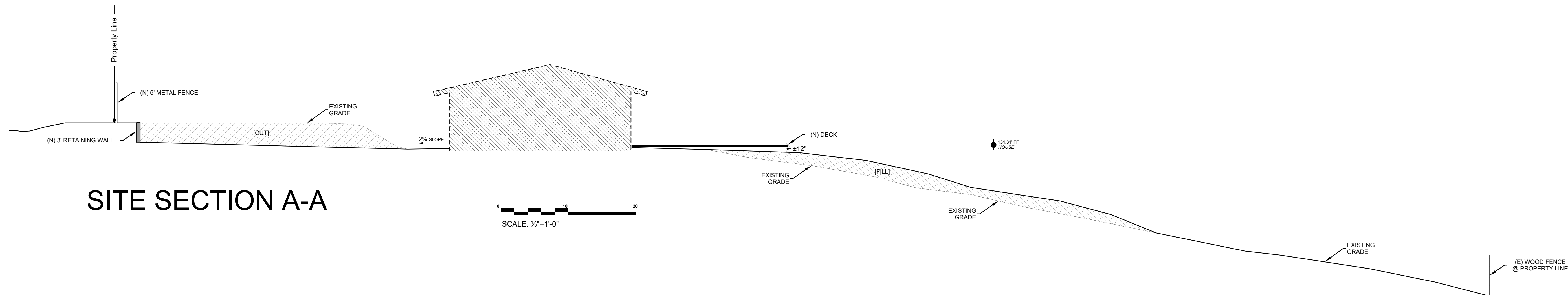
ROOF PLAN LEGEND

- BUILDING FOOTPRINT
- ROOF ELEVATION AND/OR SLOPE CHANGE
- NEW ROOF

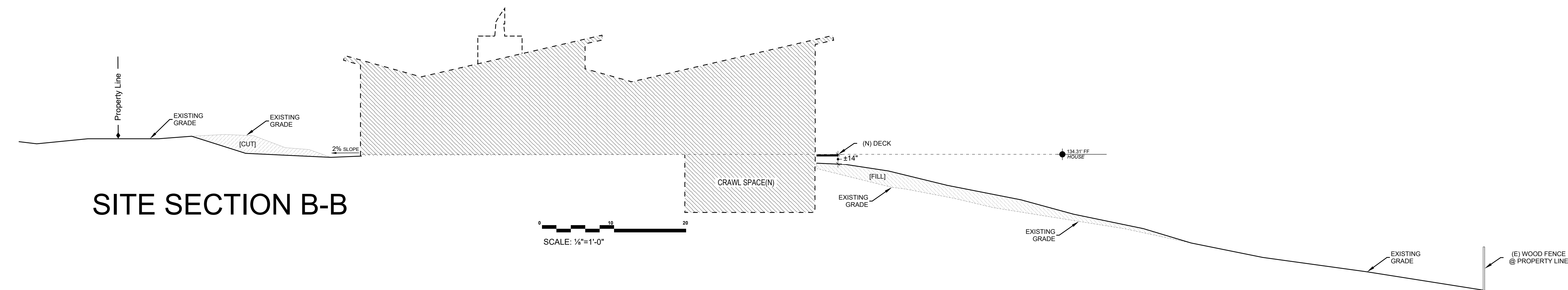


Roof Plan Drain Notes

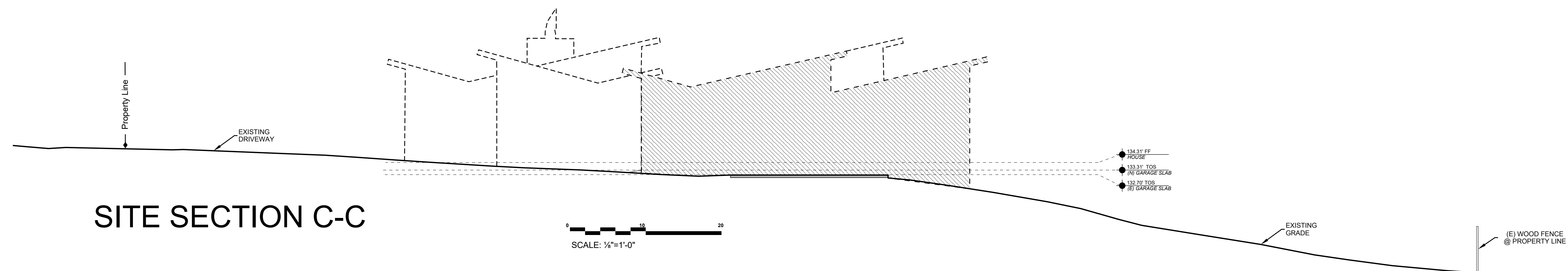
- D1 Drains shall be sized per appendix D of the CPC, based on a storm of sixty (60) minutes duration and one hundred (100) year return period. Secondary roof drains shall be located a minimum of 2 inches above the roof surface. If overflow crickets are less than 2" water depth (similar to scupper) the overflow is not required. [1101.11.1, 1101.11.2 CPC]
- D2 **Roof Drain Size Calculations**
Largest roof area served by one drain is 850 sqFt.
Rain rate for San Francisco per table is 1.5" per hour
We will use 3"/hour to be conservative.
Per tables a 2" vertical pipe can handle 960sqFt at 3" of rain per hour.
3" horizontal pipe can handle 1096sqFt at 3" inches of rain per hour.
- Drains that are over a wall can utilize a 2" vertical drain pipe. When the pipe turns towards horizontal, size must increase to 3" pipe and remain at least that size in the rest of the run.
- Overflow will be less than 2" above the roof drain, secondary drains not required.
- D3 A cricket or saddle shall be installed on the ridge side of any chimney or penetration greater than 30 inches wide as measured perpendicular to the slope. [CBC 1507.2.9.4]



SITE SECTION A-A



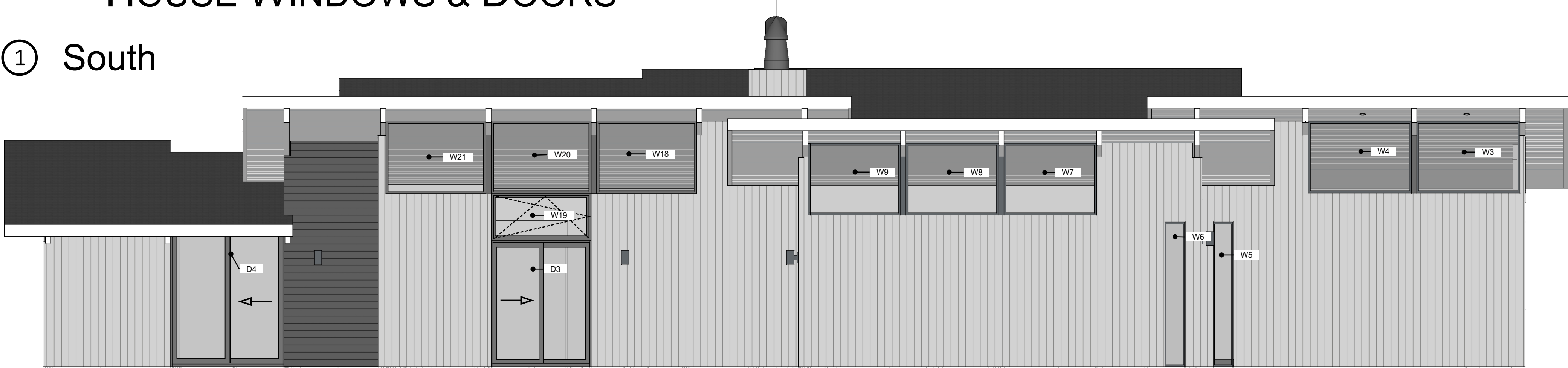
SITE SECTION B-B



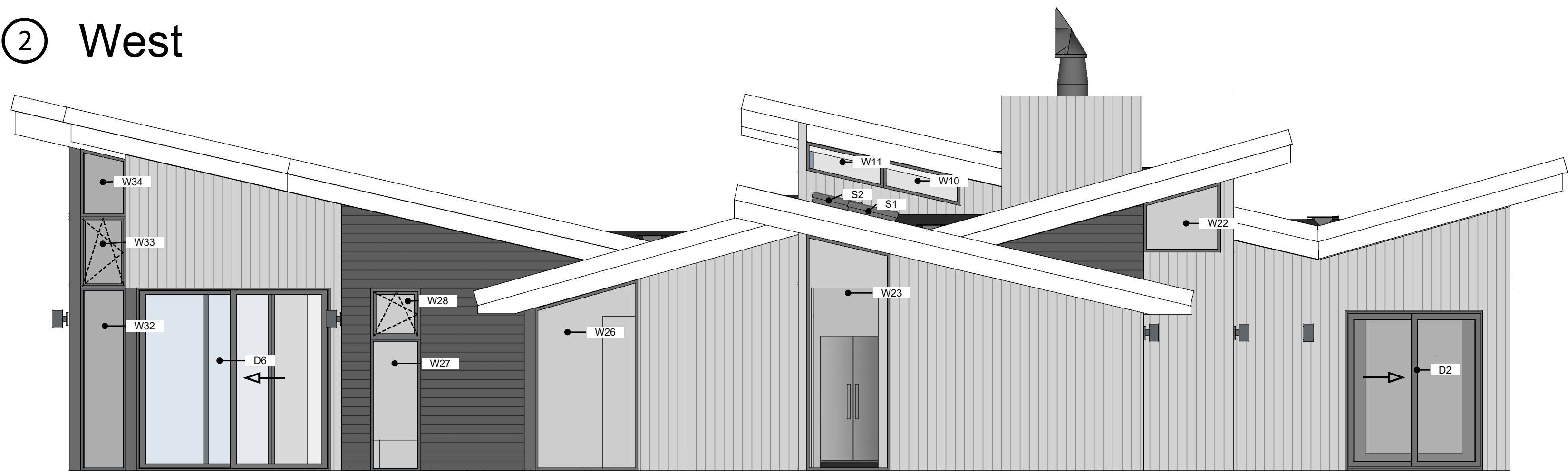
SITE SECTION C-C

HOUSE WINDOWS & DOORS

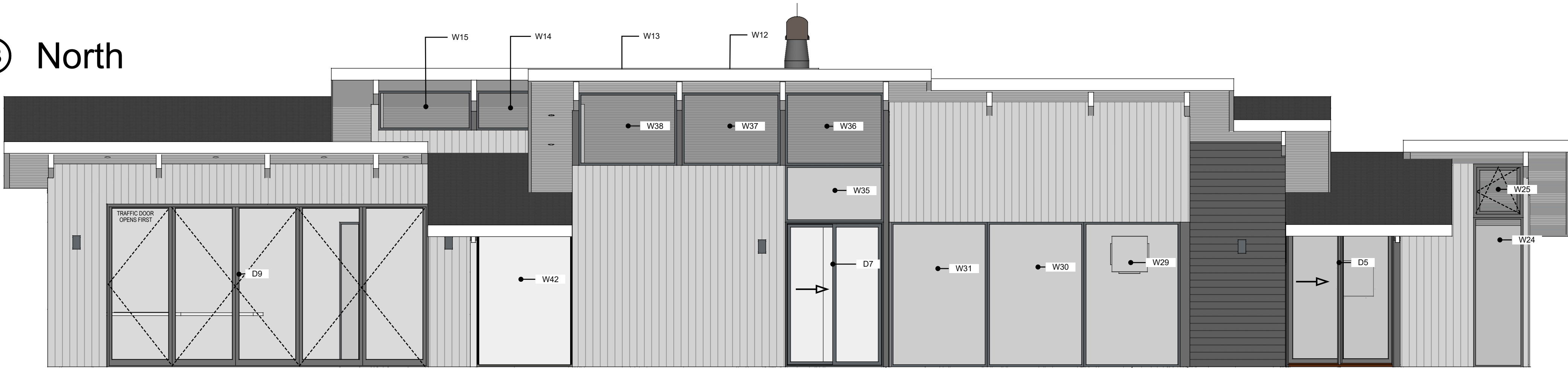
① South



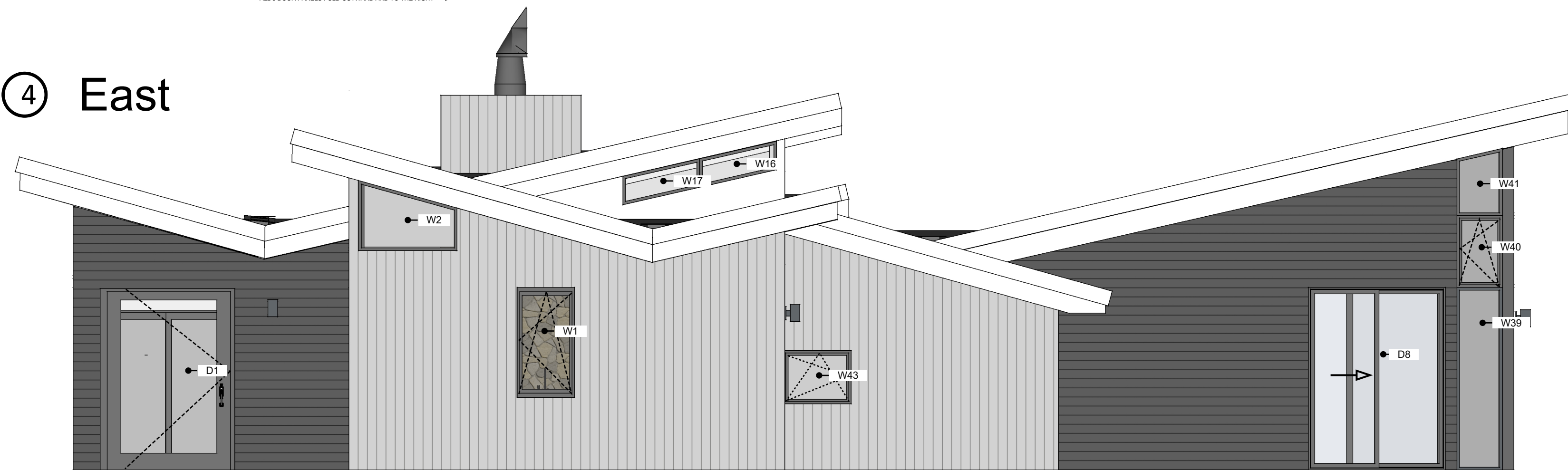
② West



③ North



④ East



0 5 10
SCALE: 1/4"=1'-0"

DOORS

DOOR	ROOM	FACING	WIDTH	HEIGHT	TYPE	TRANSOM WINDOW	NOTES
D1	LIVING	EAST	06-00	08-00	PIVOT		LH INSWING; FROM OUTSIDE HINGES ARE ON LEFT
D2	LIVING	WEST	06-00	07-00	SLIDER		XO - FROM OUTSIDE RIGHT PANEL IS FIXED
D3	BED2	SOUTH	05-06	07-00	SLIDER	W19	XO
D4	BED3	SOUTH	06-04	07-08	SLIDER		OX - FROM OUTSIDE LEFT PANEL FIXED
D5	BED4	NORTH	06-00	07-9.5	SLIDER		XO
D6	OFFICE	WEST	08-06	08-00	SLIDER		OX
D7	BED1	NORTH	05-05	08-00	SLIDER	W35	XO
D8	BED1	EAST	06-00	08-00	SLIDER		XO
D9	KITCHEN	NORTH	17-09	09-00	BIFOLD		5-PANEL OUTSWING; LEFT TRAFFIC DOOR; FOLDS RIGHT
D10	GARAGE	WEST	06-00	07-00	SLIDER		OX
D11	GARAGE	WEST	10-00	08-00	MULISLIDE		OX
D12	GARAGE	EAST	09-11	08-06	ROLLUP		SOLID
D13	GARAGE	SOUTH	20-00	09-00	ROLLUP		ALUMINUM/CLEAR GLASS

GARAGE DOORS ARE ON SHEET:AWS2

ALL GLAZING IN ALL DOORS TO BE TEMPERED

SKYLIGHTS

SKYLIGHT	NUM.	ROOM	FACING	ACROSS	UP	ACTION	NOTES
S1	HALL	NORTH	02-03	02-03	OPERABLE	SOLAR/WIRELESS REMOTE	
S2	HALL	NORTH	02-03	02-03	OPERABLE	SOLAR/WIRELESS REMOTE	

SKYLIGHTS ARE ON SHEET:AWS1 DRAWING:2

ALL SKYLIGHT GLAZING TO BE TEMPERED

WINDOWS

WIN	ROOM	FACING	WIDTH	LEFT	RIGHT	HEIGHT	SILL	ACTION	SHAPE	ENTITY THAT IS				NOTES
NUM.	ROOM	FACING	WIDTH	LEFT	RIGHT	HEIGHT	SILL	ACTION	SHAPE	ABOVE	BELOW	LEFT	RIGHT	NOTES
W1	KITCHEN	EAST	02-06	04-10			03-02	TILT/TURN RH						
W2	KITCHEN	EAST	04-04	03-0.75	01-10.375		09-7.5	FIXED	TRAPIZOID					
W3	KITCHEN	SOUTH	05-08	04-00			09-07	FIXED						
W4	KITCHEN	SOUTH	05-08	04-00			09-07	FIXED						
W5	KITCHEN	SOUTH	01-01	08-00			00-00	FIXED						TEMP
W6	LIVING	SOUTH	01-01	08-00			00-00	FIXED						TEMP
W7	LIVING	SOUTH	05-01	04-00			08-4.5	FIXED						
W8	LIVING	SOUTH	05-01	04-00			08-4.5	FIXED						
W9	LIVING	SOUTH	05-01	04-00			08-4.5	FIXED						
W10	LIVING	WEST	03-4.5	02-0.25	01-03	11-7.5	FIXED	PARALLELOGRAM					W11	
W11	LIVING	WEST	03-4.5	02-0.25	01-03	12-4.5	FIXED	PARALLELOGRAM				W10		
W12	LIVING	NORTH	05-01	02-02		13-01	FIXED							
W13	LIVING	NORTH	05-01	02-02		13-01	FIXED							
W14	LIVING	NORTH	05-01	02-02		13-01	FIXED							
W15	LIVING	NORTH	05-01	02-02		13-01	FIXED							
W16	LIVING	EAST	03-4.5	01-03	02-0.25	12-4.5	FIXED	PARALLELOGRAM					W17	
W17	LIVING	EAST	03-4.5	01-03	02-0.25	11-7.5	FIXED	PARALLELOGRAM					W16	
W18	BED2	SOUTH	05-06	04-00		09-07	FIXED							
W19	BED2	SOUTH	05-06	02-07		07-00	TILT/TURN LH			W20		D3		
W20	BED2	SOUTH	05-06	04-00		09-07	FIXED					W19		
W21	BATH2	SOUTH	05-06	04-00		09-07	FIXED							
W22	BATH2	WEST	03-4.5	02-1.75	03-01	09-6.5	FIXED	TRAPEZOID						
W23	BED3	WEST	03-08	10-4.25	09-5.875	00-00	FIXED	TRAPEZOID						TEMP
W24	BED3	NORTH	02-09	08-03		00-00	FIXED			W25				TEMP
W25	BED3	NORTH	02-09	02-11.5		08-03	TILT/TURN RH				W24			
W26	BED4	WEST	04-06	07-1.25	07-11.5	00-00	FIXED	TRAPEZOID						TEMP
W27	BATH4	WEST	02-02	05-10		00-00	FIXED			W28				TEMP
W28	BATH4	WEST	02-02	02-02		05-09	TILT/TURN LH				W27			TEMP
W29	OFFICE	NORTH	05-04	08-00		00-00	FIXED							TEMP
W30	OFFICE	NORTH	05-04	08-00		00-00	FIXED							TEMP
W31	OFFICE	NORTH	05-04	08-00		00-00	FIXED							TEMP
W32	BED1	WEST	02-00	08-00		00-00	FIXED			W33				TEMP
W33	BED1	WEST	02-00	03-1.75		08-00	TILT/TURN LH			W34		W32		
W34	BED1	WEST	02-00	02-11.5	02-5.75	11-1.5	FIXED	TRAPEZOID				W33		
W35	BED1	NORTH	05-05	03-1.75		08-00	FIXED			W36		D7		
W36	BED1	NORTH	05-05	04-00		11-1.5	FIXED					W35		
W37	BED1	NORTH	05-05	04-00		11-1.5	FIXED							
W38	BED1	NORTH	05-05	04-00		11-1.5	FIXED							
W39	BED1	EAST	02-00	08-00		00-00	FIXED			W40				TEMP
W40	BED1	EAST	02-00	03-1.75		08-00	TILT/TURN RH			W41		W39		
W41	BED1	EAST	02-00	02-5.75	02-11.5	11-1.5	FIXED	TRAPEZOID				W40		
W42	BATH1	NORTH	05-03	07-09		00-00	FIXED							TEMP
W43	PANTRY	EAST	02-11	02-04		02-10.5	TILT/TURN LH							
W44	GARAGE	NORTH	04-10	03-06		10-01	FIXED							
W45	GARAGE	NORTH	05-06	03-06		10-01	FIXED							
W46	GARAGE	NORTH	05-06	03-06		10-01	FIXED							
W47	GARAGE	NORTH	05-06	03-06		10-01	FIXED							
W48	GARAGE	NORTH	04-10	03-06		10-01	FIXED							
W49	GARAGE	NORTH	05-02	04-00		08-09	FIXED							
W50	GARAGE	NORTH	05-06	04-00		08-09	FIXED							
W51	GARAGE	NORTH	05-02	04-00		08-09	FIXED							

GARAGE WINDOWS ARE ON SHEET:AWS2 DRAWING:3

RH-FROM OUTSIDE HINGES ON RIGHT LH-HINGES ON LEFT

NOTES

WILDLAND-URBAN INTERFACE (WUI) - ALL GLAZING REQUIRES AT LEAST ONE TEMPERED PANE.



OWNER
MARK WEBER
3079 EL TORO ROAD
PEBBLE BEACH, CA 93953
TEL: 831.217.3800

APN: 008-234-007-000
PROJECT LOCATION
1267 CANTERA CT
PEBBLE BEACH, CA 93953

PROJECT
The "Can"
DOCUMENT NUMBER
1267.01

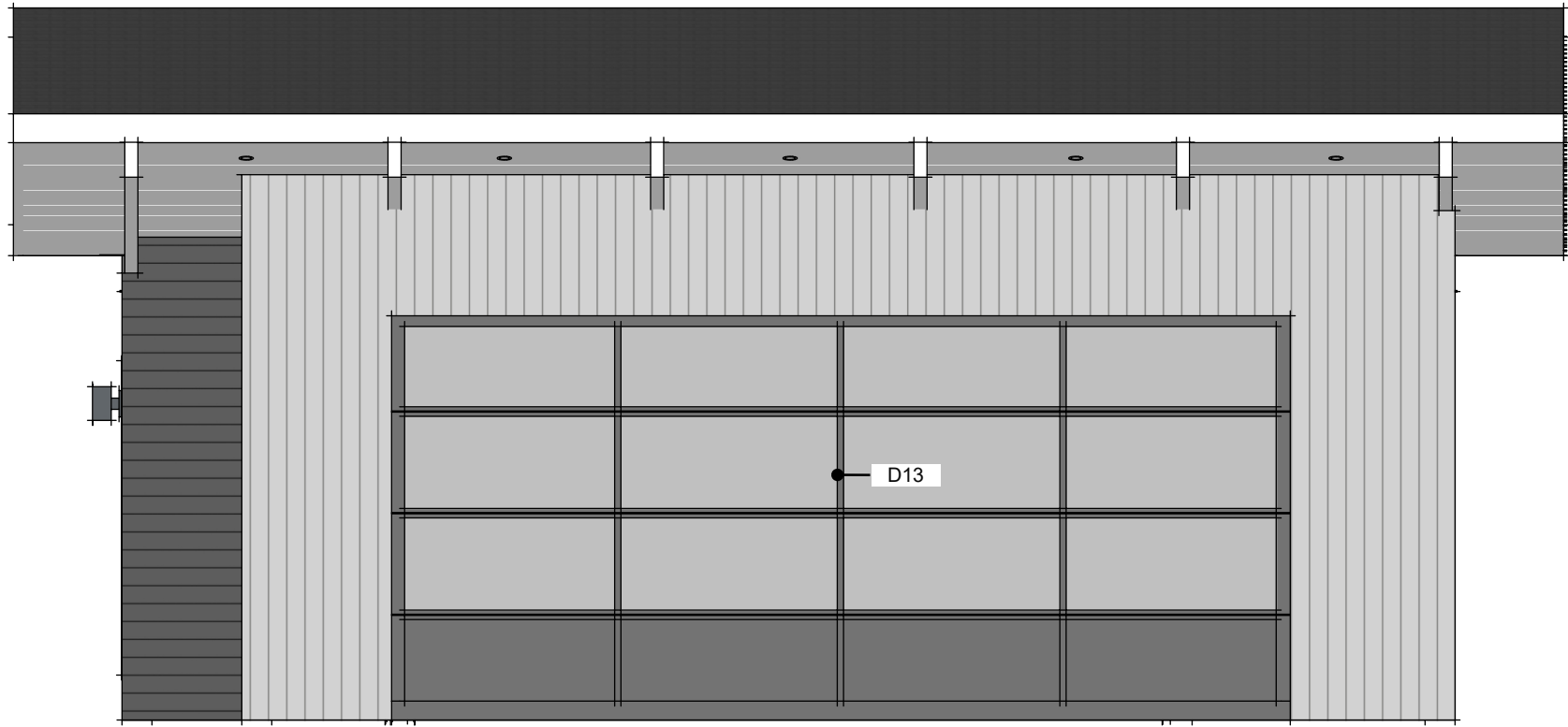
ISSUE
04.01.2024
DRAWN BY
MARK WEBER

WINDOWS & DOORS
HOUSE

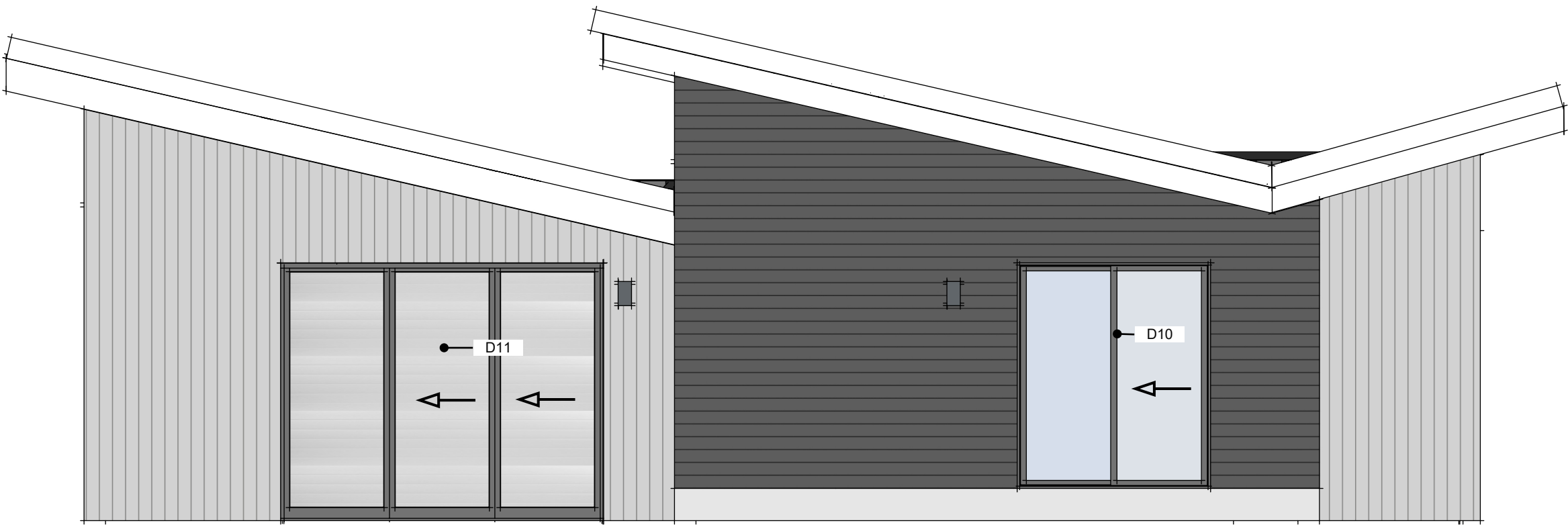
AWS1

GARAGE WINDOWS & DOORS

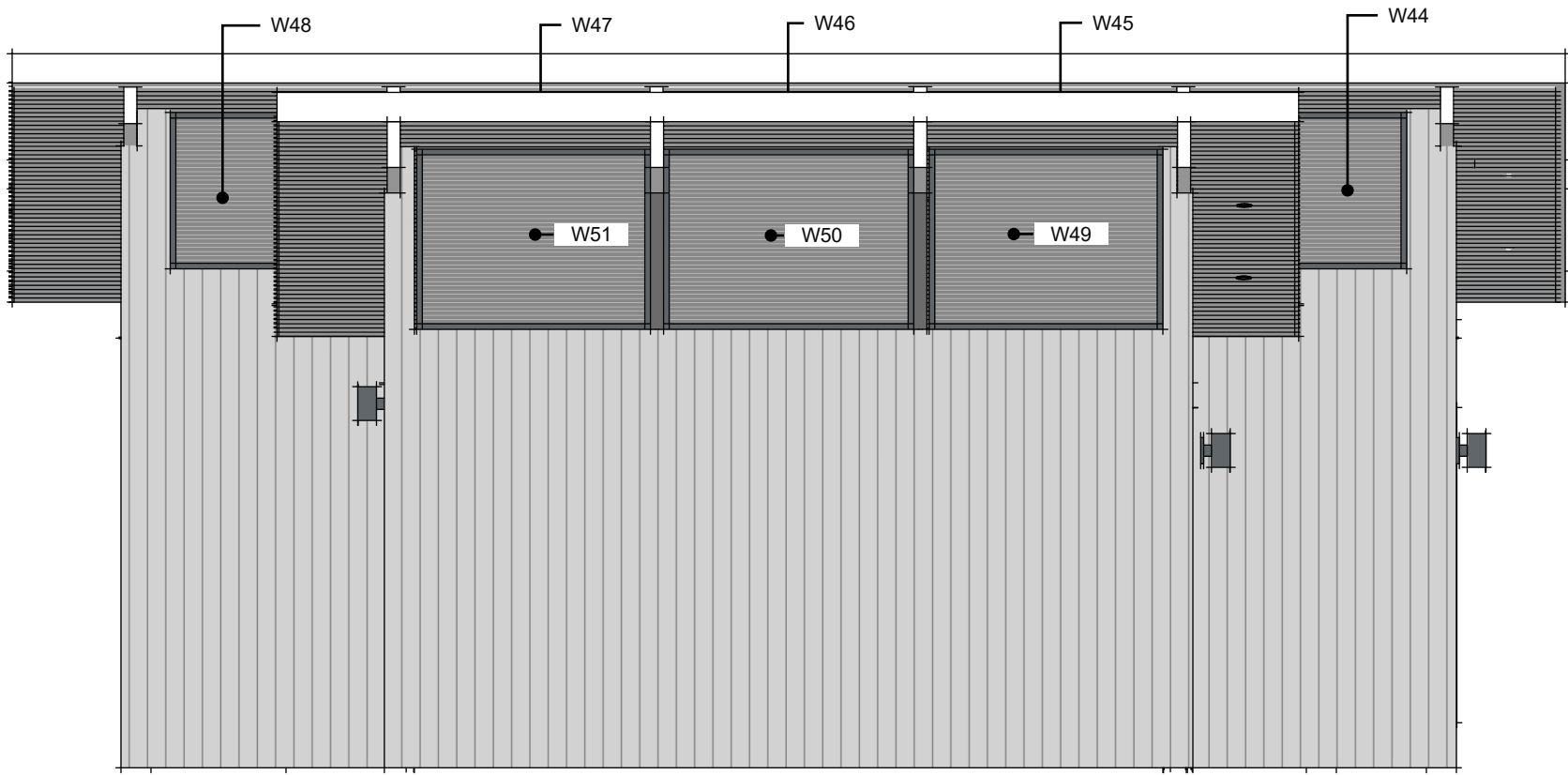
1 South



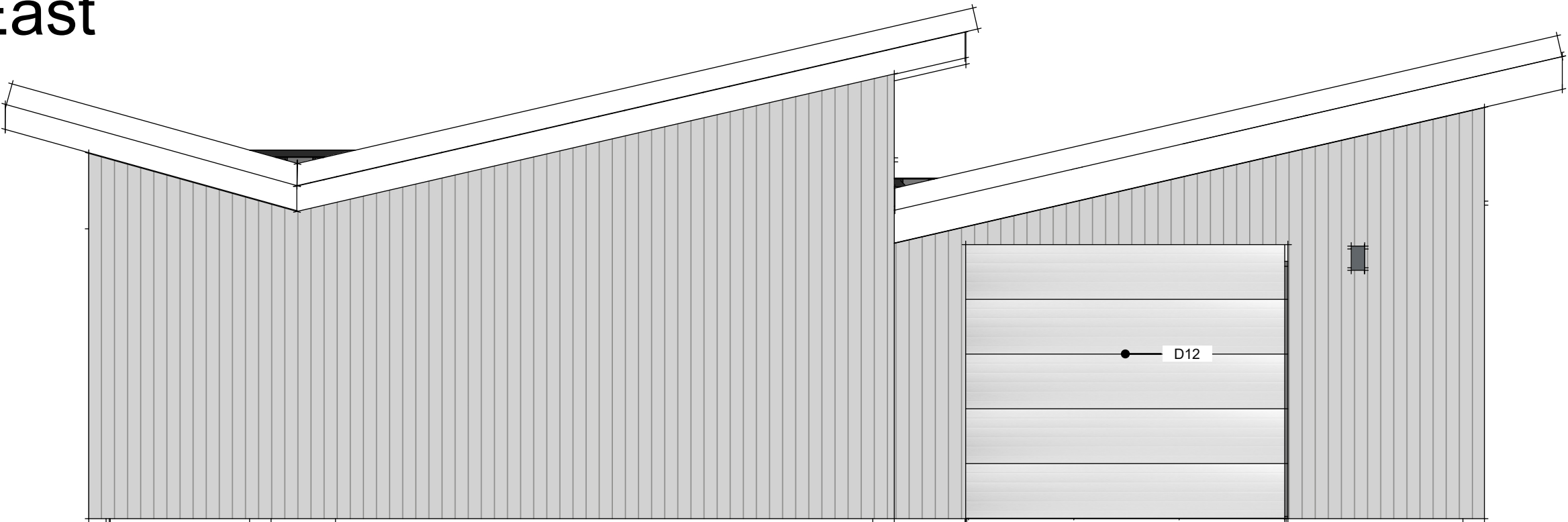
2 West



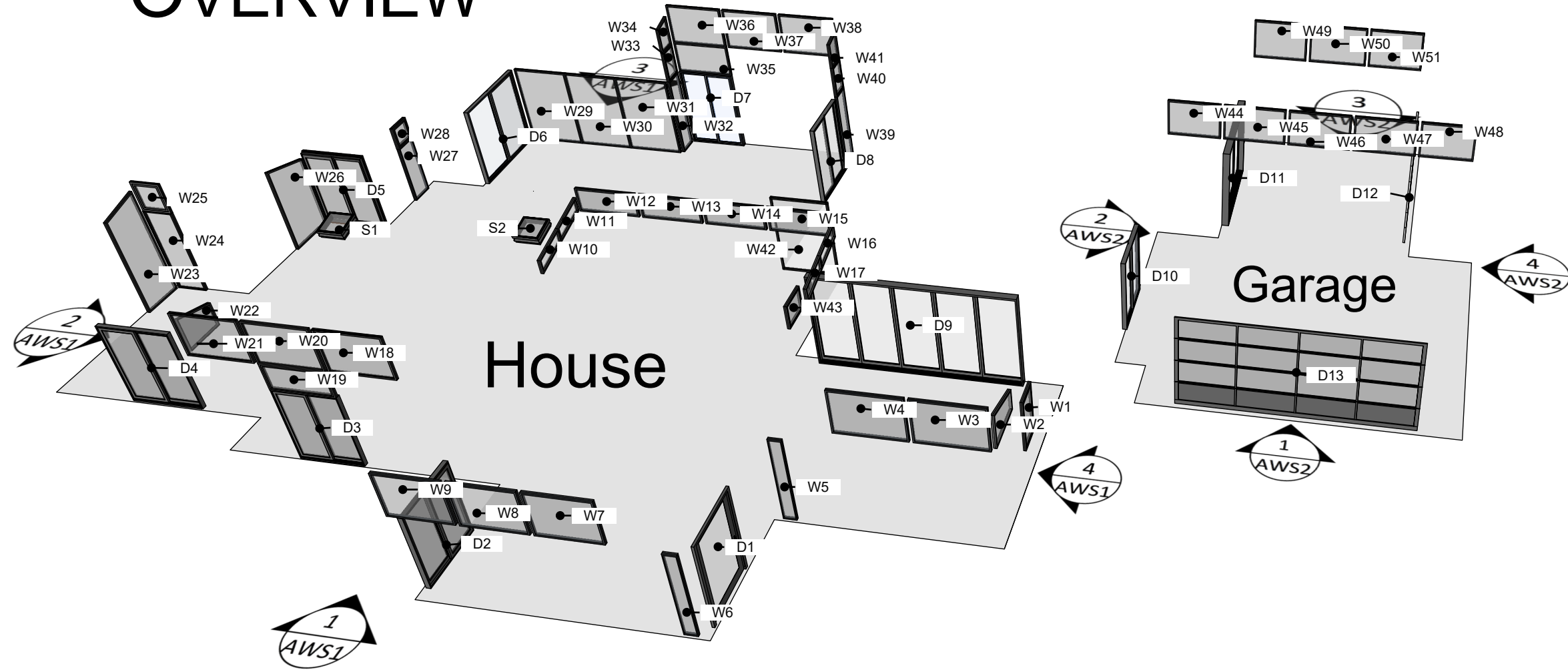
3 North



4 East



OVERVIEW



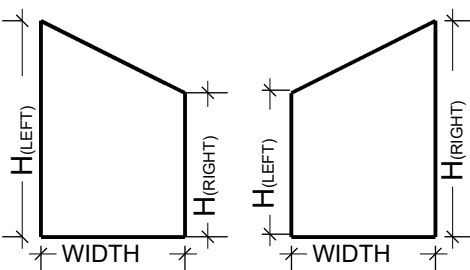
RECTANGULAR
WINDOWS

QTY	ACTION	WIDTH	HEIGHT	NOTES	WINDOW NUMBERS
2	FIXED	02-00	08-00	TEMP	W32, W39
2	FIXED	01-01	08-00	TEMP	W5, W6
1	FIXED	02-02	05-10	TEMP	W27
1	FIXED	02-09	08-03	TEMP	W24
2	FIXED	04-10	03-06		W44, W48
3	FIXED	05-01	04-00		W7, W8, W9
4	FIXED	05-01	02-02		W12, W13, W14, W15
4	FIXED	05-02	04-00		W49, W51
1	FIXED	05-03	07-09	TEMP	W42
1	FIXED	05-06	04-00		W18, W20, W21
3	FIXED	05-04	08-00	TEMP	W29, W30, W31
3	FIXED	05-05	04-00		W36, W37, W38
1	FIXED	05-05	03-1.75		W35
1	FIXED	05-06	04-00		W50
3	FIXED	05-06	03-06		W45, W46, W47
2	FIXED	05-08	04-00		W3, W4
1	TILT/TURN LH	02-00	03-1.75		W33
1	TILT/TURN RH	02-00	03-1.75		W40
1	TILT/TURN LH	02-02	02-02	TEMP	W28
1	TILT/TURN RH	02-06	04-10		W1
1	TILT/TURN RH	02-09	02-11.5		W25
1	TILT/TURN LH	02-11	02-04		W43
1	TILT/TURN LH	05-06	02-07		W19
41	TOTAL QTY				

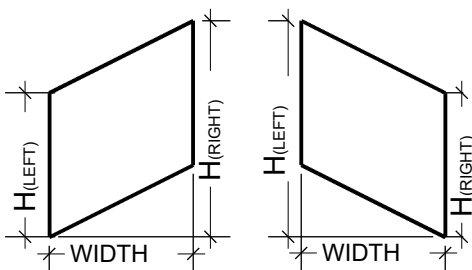
ANGLE WINDOWS

QTY	ACTION	SHAPE	WIDTH	HEIGHT	NOTES	WINDOW NUM.
2	FIXED	PARALLELOGRAM	03-4.5	01-03	02-0.25	W16, W17
2	FIXED	PARALLELOGRAM	03-4.5	02-0.25	01-03	W10, W11
1	FIXED	TRAPEZOID	02-00	02-11.5	02-5.75	W34
1	FIXED	TRAPEZOID	02-00	02-5.75	02-11.5	W41
1	FIXED	TRAPEZOID	04-06	07-1.25	07-11.5	TEMP W26
1	FIXED	TRAPEZOID	03-08	10-4.25	09-5.875	TEMP W23
1	FIXED	TRAPEZOID	03-4.5	02-1.75	03-01	W22
1	FIXED	TRAPIZOID	04-04	03-0.75	01-10.375	W2
10	TOTAL QTY					

TRAPEZOID



PARALLELOGRAM



DOORS

DOOR	ROOM	FACING	WIDTH	HEIGHT	TYPE	TRANSOM WINDOW	NOTES
D1	LIVING	EAST	06-00	08-00	PIVOT		LH INSWING; FROM OUTSIDE HINGES ARE ON LEFT
D2	LIVING	WEST	06-00	07-00	SLIDER		XO - FROM OUTSIDE RIGHT PANEL IS FIXED
D3	BED2	SOUTH	05-06	07-00	SLIDER	W19	XO
D4	BED3	SOUTH	06-04	07-08	SLIDER		OX - FROM OUTSIDE LEFT PANEL FIXED
D5	BED4	NORTH	06-00	07-9.5	SLIDER		XO
D6	OFFICE	WEST	08-06	08-00	SLIDER		OX
D7	BED1	NORTH	05-05	08-00	SLIDER	W35	XO
D8	BED1	EAST	06-00	08-00	SLIDER		XO
D9	KITCHEN	NORTH	17-09	09-00	BIFOLD		S-PANEL OUTSWING; LEFT TRAFFIC DOOR; FOLDS RIGHT
D10	GARAGE	WEST	06-00	07-00	SLIDER		OX
D11	GARAGE	WEST	10-00	08-00	MULISLIDE		OXX
D12	GARAGE	EAST	09-11	08-06	ROLLUP		SOLID
D13	GARAGE	SOUTH	20-00	09-00	ROLLUP		ALUMINUM/CLEAR GLASS

ALL GLAZING IN ALL DOOR TO BE TEMPERED.

0 5 10
SCALE: 1/4"=1'-0"



OWNER
MARK WEBER
3079 EL TORO ROAD
PEBBLE BEACH, CA 93953
TEL: 831.217.3800

APN: 008-234-007-000
PROJECT LOCATION
1267 CANTERA CT
PEBBLE BEACH, CA 93953

PROJECT
The "Can"
DOCUMENT NUMBER
1267.01

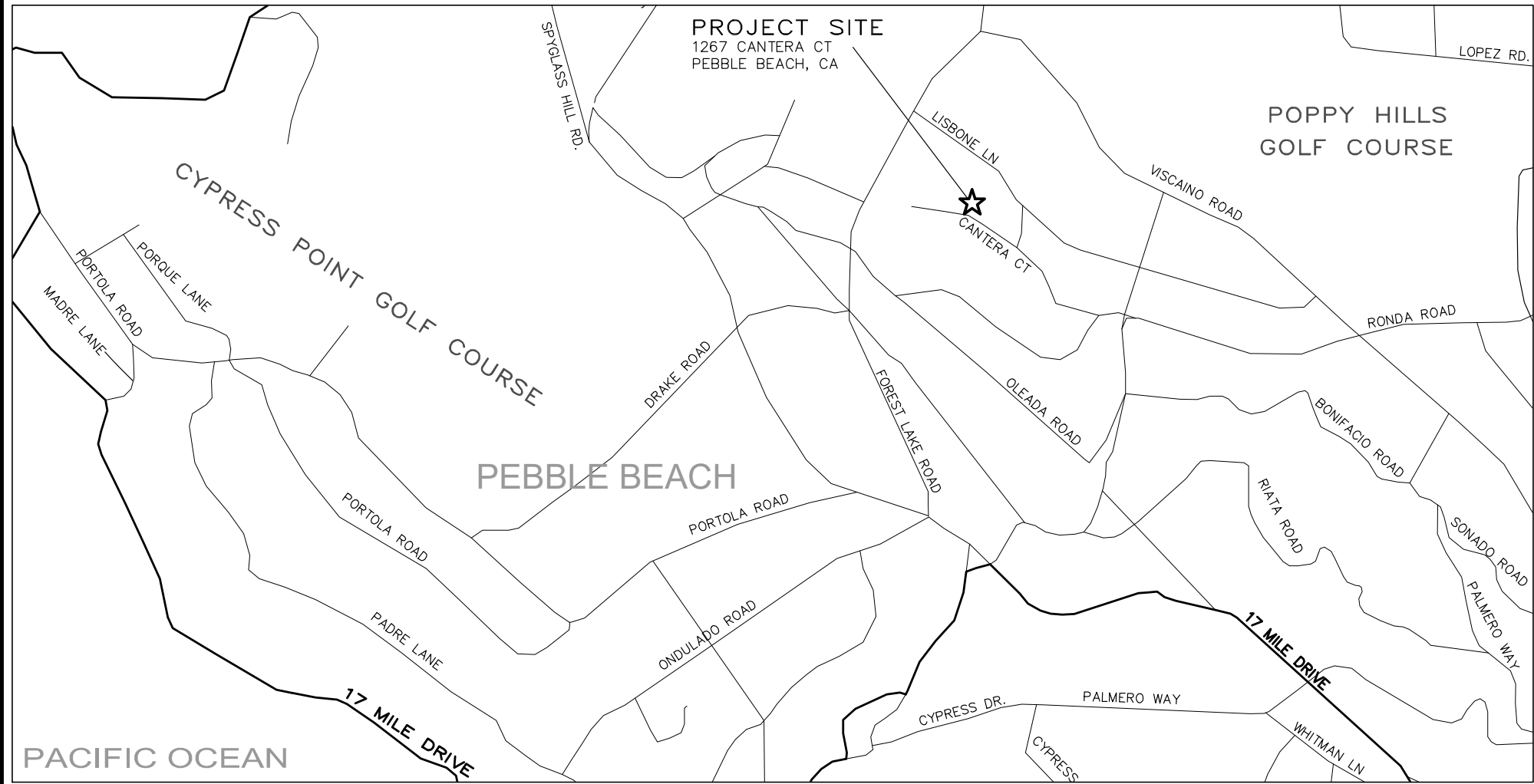
ISSUE
04.01.2024
DRAWN BY
MARK WEBER

WINDOWS & DOORS
GARAGE & SUMMARY

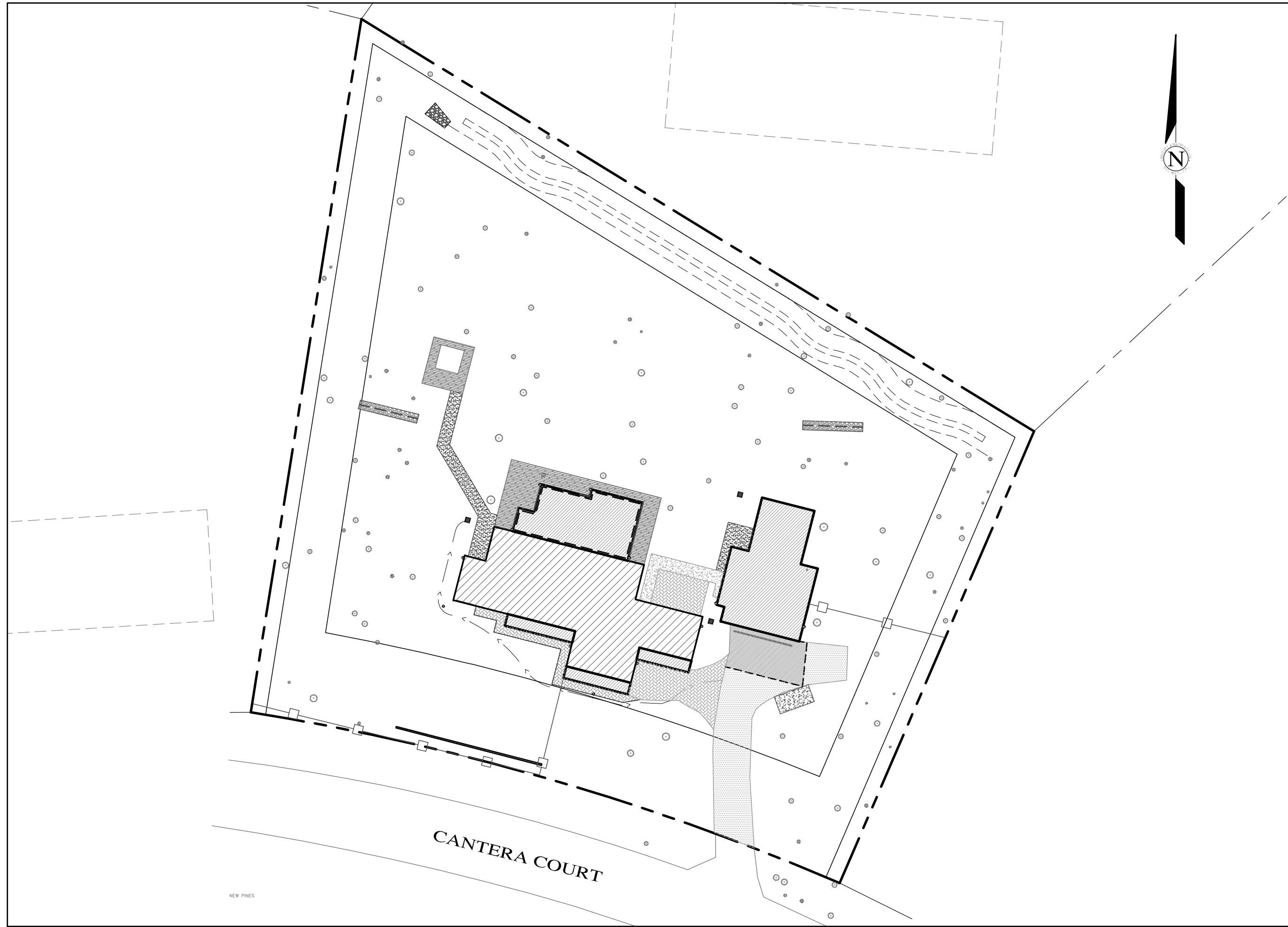
AWS2



GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
WEBER RESIDENCE
APN: 008-234-007
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA



VICINITY MAP
NOT TO SCALE



LOT OVERVIEW
SCALE: 1"=10'

GENERAL NOTES:

- PROJECT DESIGN BASED ON INFORMATION PROVIDED AND SHOWN ON THE PROJECT OVERVIEW PLAN FOR THE WEBER RESIDENCE A1.0 PREPARED BY MARK WEBER, DATED 12/04/22, AND THE BASE TOPOGRAPHIC INFORMATION PREPARED BY EDMUNDSON & ASSOCIATES L.S. ON MAY 6, 2016.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA, PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

GRADING & DRAINAGE NOTES:

- ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE AND EROSION CONTROL ORDINANCE, THE RECOMMENDATIONS FOUND IN THE PROJECT SOIL'S ENGINEERING INVESTIGATION PREPARED BY LANDSET ENGINEERS INC, JOB # 2402-01, DATED DECEMBER 2021, THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS, THE GOVERNING PUBLIC AGENCIES, THE LATEST VERSION OF THE CALIFORNIA BUILDING CODE (CBC) AND THESE PLANS.
- SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL MATERIAL ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- THERE ARE APPROXIMATELY 345 C.Y. OF CUT AND 135 C.Y. OF FILL WITH A SURPLUS OF 210 C.Y. EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION, LANDSCAPE PURPOSES AND/OR HAULED OFF-SITE ON A LEGAL MANNER AND/OR SPREAD OUT ON A SPOILS AREA. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. IS NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOIL'S REPORT AND BE APPROVED BY THE SOILS ENGINEER PRIOR TO PLACEMENT.
- EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MIN. REL. COMPACTION. ALL BASEROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MIN. REL. COMPACTION.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL'S ENGINEER.
- PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10', PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO CONTROL DUST DURING AND FOR GRADING OPERATIONS.
- A COPY OF ALL COMPACTION TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY OF MONTEREY PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10 FEET. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FOOT OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 1% WHERE LOCATED WITHIN 5 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- ROOF DRAINAGE SHALL BE CONTROLLED BY GUTTER AND DOWN SPOUTS CONNECTED INTO RAIN WATER LEADERS WHICH OUTLET INTO CATCH BASIN AND DISCHARGED TO DISPERSION TRENCHES/ENERGY DISSIPATOR. RAIN WATER LEADERS SHALL BE 4" PVC-SDR 35 PIPE, HAVE A MINIMUM SLOPE OF 1% AND A MINIMUM COVER OF 12". THE RAIN WATER LEADER TRENCHES SHOULD HAVE THEIR BEARING SURFACES FOUNDED BELOW AN IMAGINARY 1:1 (HORIZONTAL TO VERTICAL) LANE PROJECTED UPWARD FROM THE BOTTOM EDGE OF THE BUILDING FOOTINGS.
- STORM WATER (SURFACE RUNOFF) SHALL BE COLLECTED BY A COMBINATION OF TRENCH DRAIN AND DRAINAGE SWALES OUTLETTING ONTO DISSIPATORS AS SHOWN ON THE SITE DRAINAGE PLAN.
- SUBSURFACE DRAINAGE FOR RETAINING WALLS IF REQUIRED WILL BE COLLECTED AND PIPED TO DAYLIGHT IN A NON-EROSIVE MANNER.

- THE STORM DRAIN FACILITIES SHALL BE AS SHOWN ON THE PLANS. TRENCH DRAIN AND CLEAN OUTS SHALL BE "NDS" PRODUCTS WITH CAST IRON GRATE/LID OR APPROVED EQUAL. CATCH BASINS SHALL BE "CHRISTY PRODUCTS" WITH CAST IRON GRATE OR APPROVED EQUAL. THE STORM DRAIN PIPE SHALL BE P.V.C. MIN. SDR 35.
- ALL NEW UTILITY AND DISTRIBUTION LINES SHALL BE PLACED UNDERGROUND.
- UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN, IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 95% MIN. RELATIVE COMPACTION. THE TOP 8" OF TRENCH SHALL BE CAPPED WITH NATIVE SOIL. IN NON-PAVED AREAS NATIVE BACKFILL SHALL BE USED AND COMPACTED TO 90% MIN. RELATIVE COMPACTION.
- ALL WORK IS SUBJECT TO APPROVAL BY THE PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.
- NO LAND DISTURBING OR GRADING SHALL OCCUR ON THE SUBJECT PARCEL BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF RMA - BUILDING SERVICES.
- SPECIAL INSPECTIONS, BY A SPECIAL INSPECTOR, ARE REQUIRED DURING FILL PLACEMENT AND THAT PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- THE LOCATION, HEIGHT AND THE PLATE HEIGHTS OF THE NEW STRUCTURE MUST BE CERTIFIED BY A SURVEYOR TO BE IN CONFORMANCE WITH THE APPROVED PLANS.
- IF DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.

STORM WATER CONTROL NOTES:

- THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER No. 2013-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- THE PROJECT IS NOT IN ANY OF THE CONDITIONED AREAS OF THE PEBBLE BEACH COMPANY DRAINAGE REQUIREMENTS AND IS NOT REQUIRED TO ANY SPECIAL STORM WATER FACILITY DESIGN.

TOTAL LOT AREA = 44,040 SQ.FT.
NEW/REPLACE IMPERVIOUS AREA = 4,529 SQ.FT.
TOTAL AREA OF DISTURBANCE = 18,440 SQ.FT.

GRADING QUANTITIES:
CUT = 345 C.Y.
FILL = 135 C.Y.
SPOILS AREA = 210 C.Y.
NET = 0 C.Y. IMPORT/EXPORT

ABBREVIATIONS:

AB	AGGREGATE BASE	MIN	MINIMUM
AC	ASPHALT CONCRETE	(N)	NEW
BLDG	BUILDING	NO.	NUMBER
BRDY	BOUNDARY	NTS	NOT TO SCALE
BOT	BOTTOM	O.C.	ON CENTER
CB	CATCH BASIN	PL P/L	PROPERTY LINE
CL C/L	CENTERLINE	PUE	PUBLIC UTILITIES EASEMENT
CO	CLEAN OUT	PVC	POLYVINYL CHLORIDE
DI	DRAIN INLET	R RAD	RADIUS
DW	DRIVEWAY	R/W	RIGHT OF WAY
ELEV EL	ELEVATION	R.C.	RELATIVE COMPACTION
EP	EDGE OF PAVEMENT	RCF	REINFORCED CONCRETE PIPE
EX (E)	EXISTING	REL	RELATIVE
FD	FACE OF CURB	RET WALL	RETAINING WALL
FD	FACE OF DIKE	S	SLOPE
FF	FINISHED FLOOR	SD	STORM DRAIN
FG	FINISHED GRADE	SHO	SHOULDER
FDC	FIRE DEPARTMENT CONNECTION	SS	SANITARY SEWER
FH	FIRE HYDRANT	SS LAT	SANITARY SEWER LATERAL
FC F/C	FACE OF WALL	SSMH	SANITARY SEWER MANHOLE
FL F/L	FLOW LINE	STA	STATION
FP	FINISHED PAD	S/W	SIDEWALK
FW	FACE OF WALL	TC T/C	TOP OF CURB
GB	GRADE BREAK	TD	TOP OF DIKE
GR	GRATE	TW	TOP OF WALL
HDPE	HIGH DENSITY POLYETHYLENE	TYP	TYPICAL
HP	HIGH POINT	UP	UTILITY POLE
LF	LINEAR FEET	W	WATER
LP	LOW POINT	WS	WATER SERVICE
MAX	MAXIMUM		

LEGEND:

NEW:

---	MAJOR CONTOUR LINE (5' INTERVAL)
- - - -	MINOR CONTOUR LINE (1' INTERVAL)
> >	DRAINAGE SWALE FLOW LINE
---	STORM DRAIN LINE
---	RAIN-WATER LEADER
---	SUBDRAIN PIPE
333.80	SPOT ELEVATION
⊙	ROOF DOWNSPOUT
ASPHALT	ASPHALT CONCRETE SURFACE
PORTLAND	PORTLAND CEMENT CONCRETE SURFACE
PERMEABLE	PERMEABLE CONCRETE PAVER SURFACE
ROCK	ROCK RIP/RAP
DECOMPOSED	DECOMPOSED GRANITE SURFACE
EXISTING	EXISTING MAIN FLOOR HOUSE FOOTPRINT
ADDITION	MAIN FLOOR HOUSE FOOTPRINT ADDITION
WOOD	WOOD DECK

NOTE: PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION.

GEOTECHNICAL INSPECTION SCHEDULE

Inspection item:	Who will conduct the inspection:	When the Inspection is to be completed:	Inspection completed by:	Date completed:
Site stripping and clearing	Soil's Engineer	Beginning of Project		
Subexcavation, fill placement, and compaction	Soil's Engineer	Throughout grading operations		
Foundation Excavations	Soil's Engineer	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage improvements	Soil's Engineer	Prior to trench backfill		
Utility trench compaction	Soil's Engineer	During backfill operations		
Retaining wall backfill compaction	Soil's Engineer	During backfill operations		
Baserock subgrade compaction	Soil's Engineer	Prior to pavement installation		

INDEX TO SHEETS

SHEET C1	COVER SHEET
SHEET C2	GRADING, DRAINAGE & UTILITY PLAN
SHEET C3	GRADING SECTIONS
SHEET C4	STANDARD PLANS & CONSTRUCTION DETAILS
SHEET C5	EROSION & SEDIMENT CONTROL PLAN
SHEET C6	CONSTRUCTION MANAGEMENT PLAN

CONTACT INFORMATION:

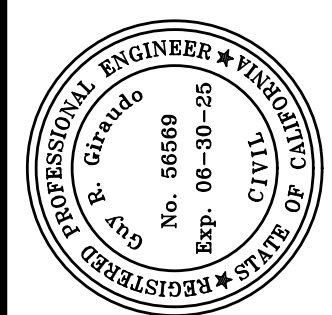
OWNER:
MR. MARK WEBER
3079 EL TORO ROAD
PEBBLE BEACH, CA 93953
PH (831)217-3800

SITE LOCATION:
1267 CANTERA COURT
PEBBLE BEACH, CA 93953

GRADING, DRAINAGE & EROSION CONTROL PLAN

WEBER RESIDENCE
A.P.N.: 008-234-007
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR
MR. MARK WEBER

" COVER SHEET "



APPROVED BY:

GUY R. GIRAUDO

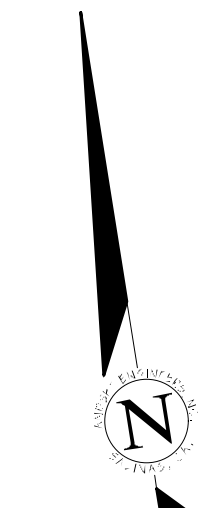
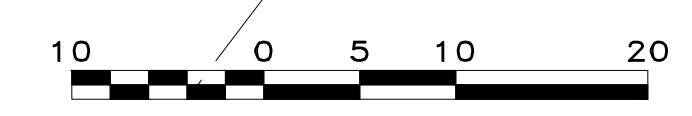
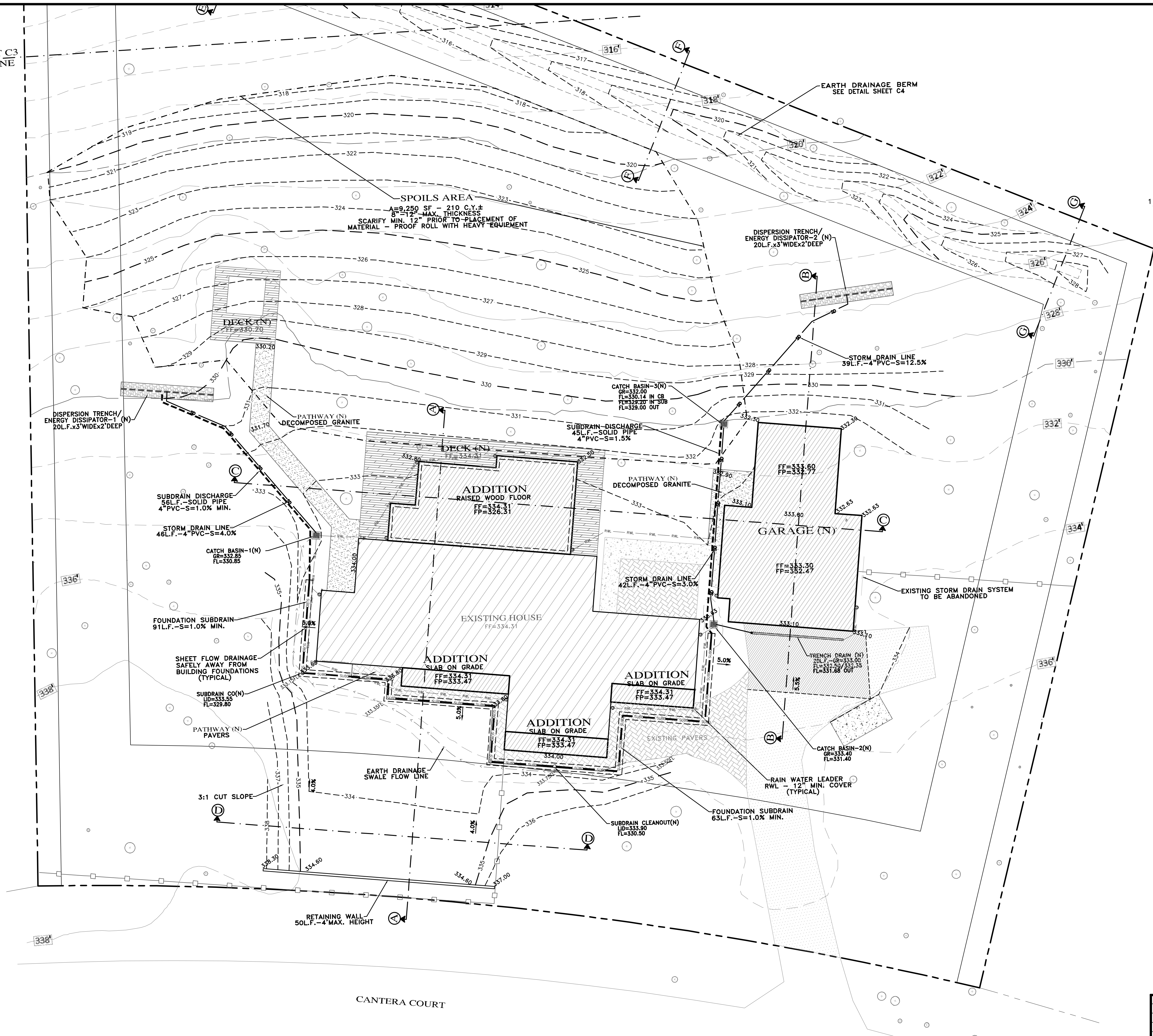


SCALE: AS SHOWN
DATE: NOVEMBER 2023
JOB NO. 2402-02

SHEET C1
OF 6 SHEETS

No.	DATE	BY	REVISION
	11/29/23	AMS	RELEASED TO CLIENT

SEE SHEET C3
MATCH LINE

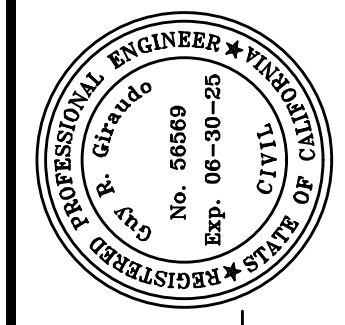


" GRADING, DRAINAGE & UTILITY PLAN "

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF
WEBER RESIDENCE
A.P.N.: 008-234-007
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR
MR. MARK WEBER

LANDSET
ENGINEERS, INC.
520-B Crazy Horse Canyon Road
Salinas, California 93807
Office (831) 443-3801
www.landseteng.com



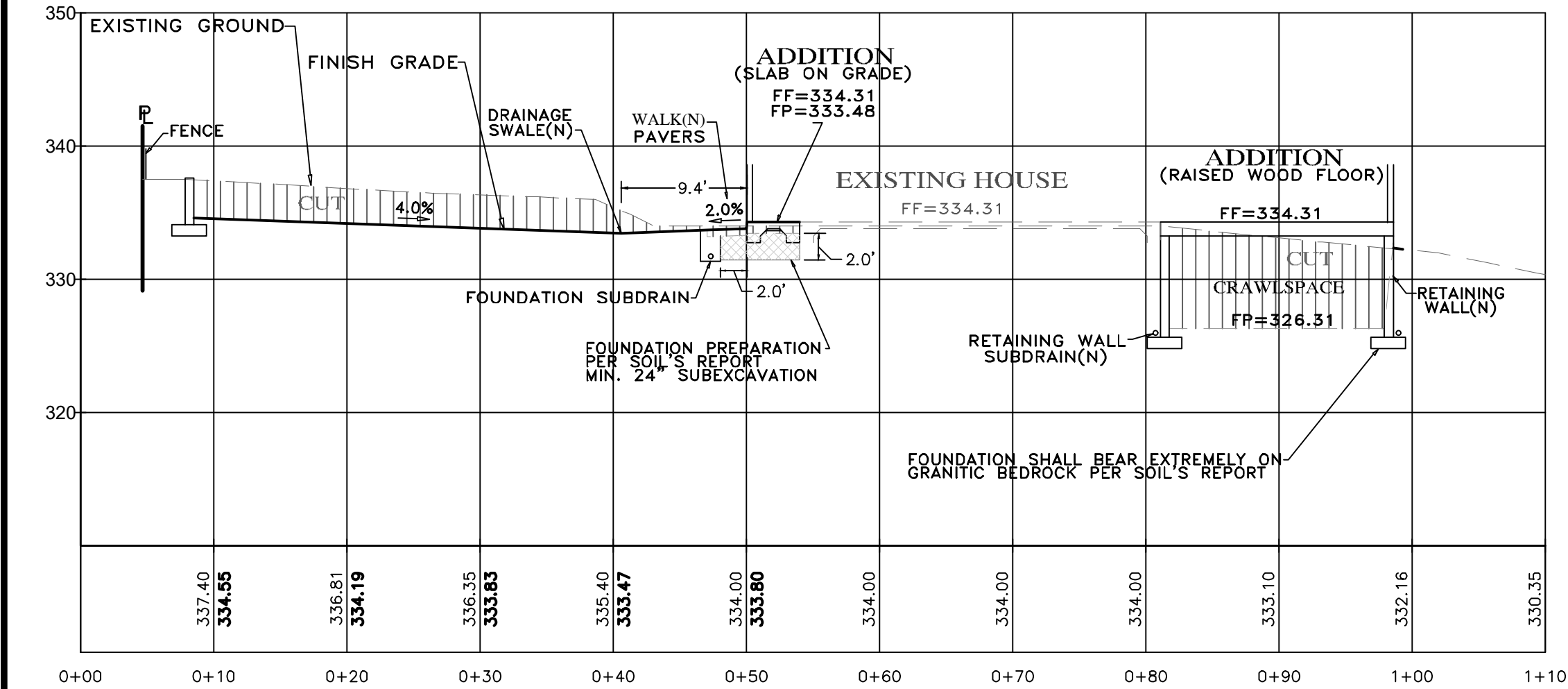
APPROVED BY:

GUY R. GIRAUDO

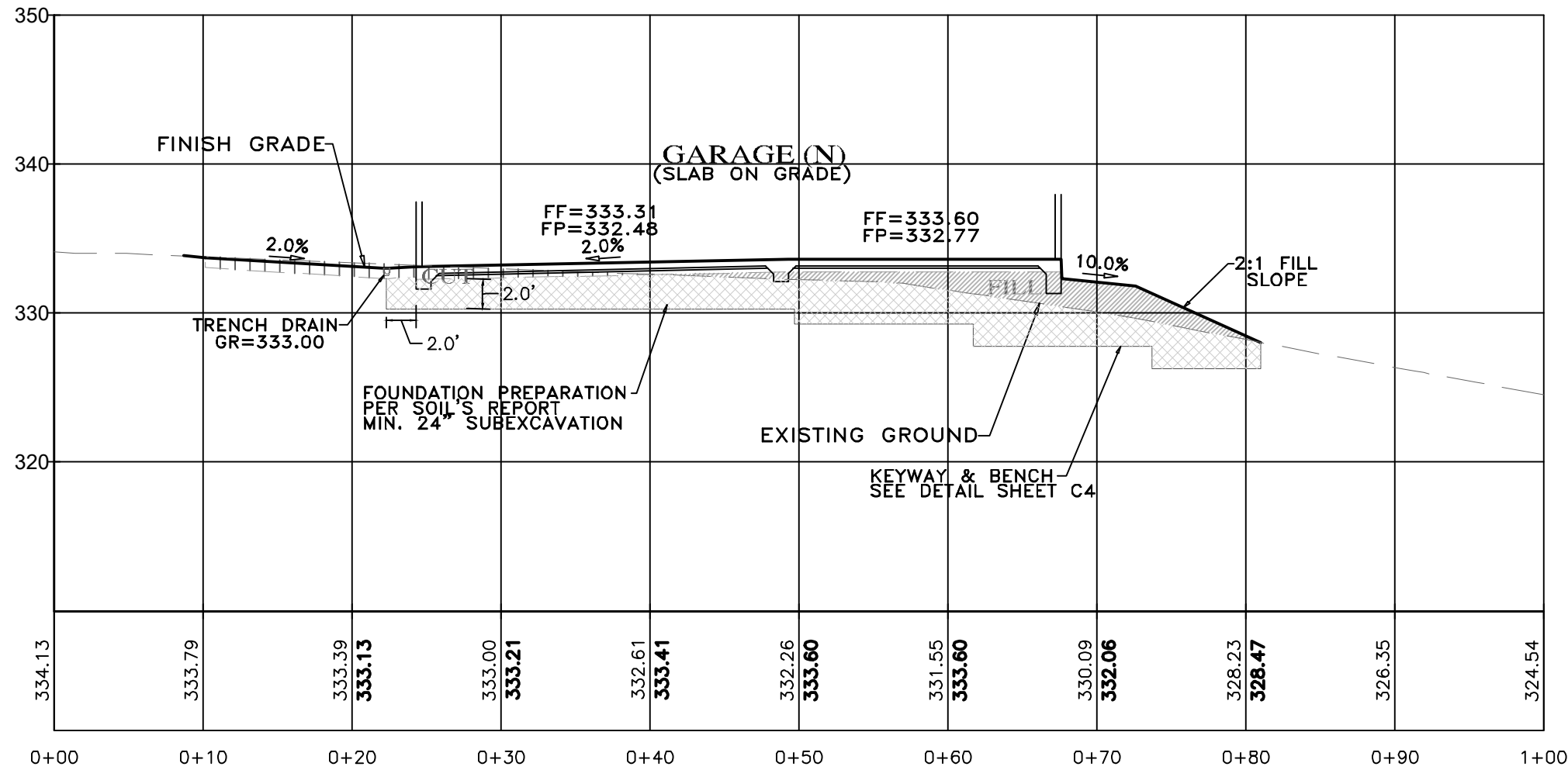
SCALE: 1"=10'
DATE: NOVEMBER 2023
JOB NO. 2402-02

SHEET **C2**
OF 6 SHEETS

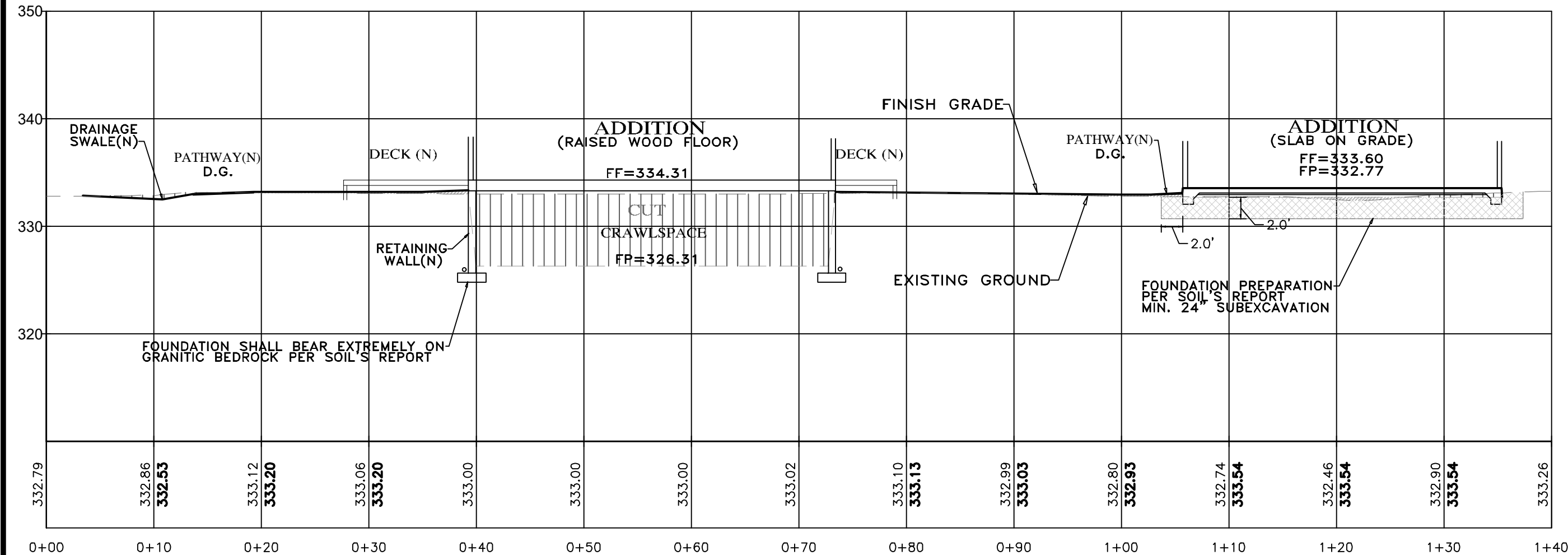
No.	DATE	BY	REVISION



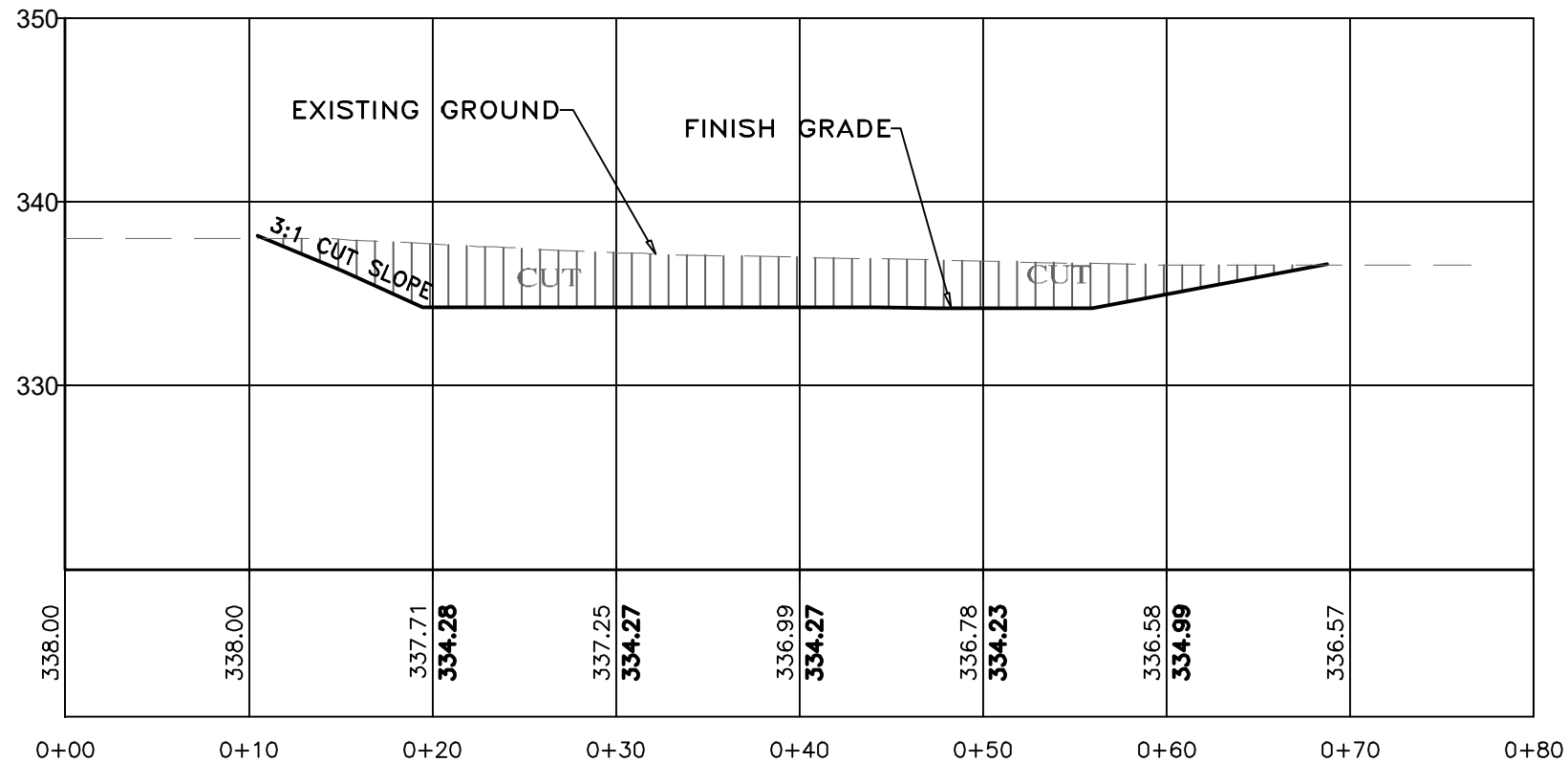
SECTION A-A
SCALE: 1"=10' H&V



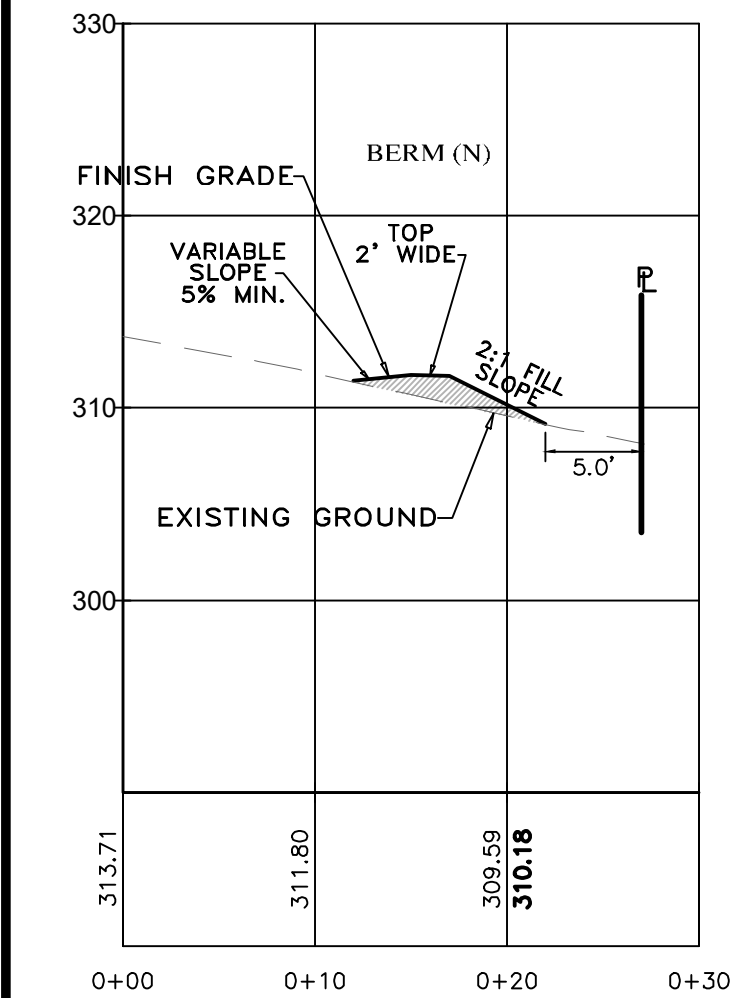
SECTION B-B
SCALE: 1"=10' H&V



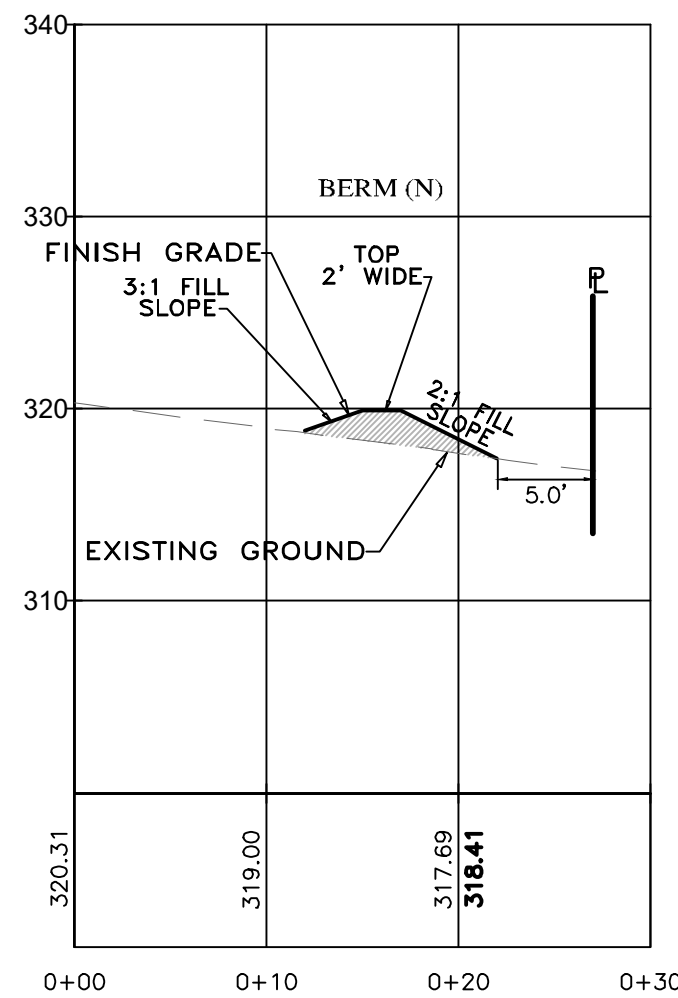
SECTION C-C
SCALE: 1"=10' H&V



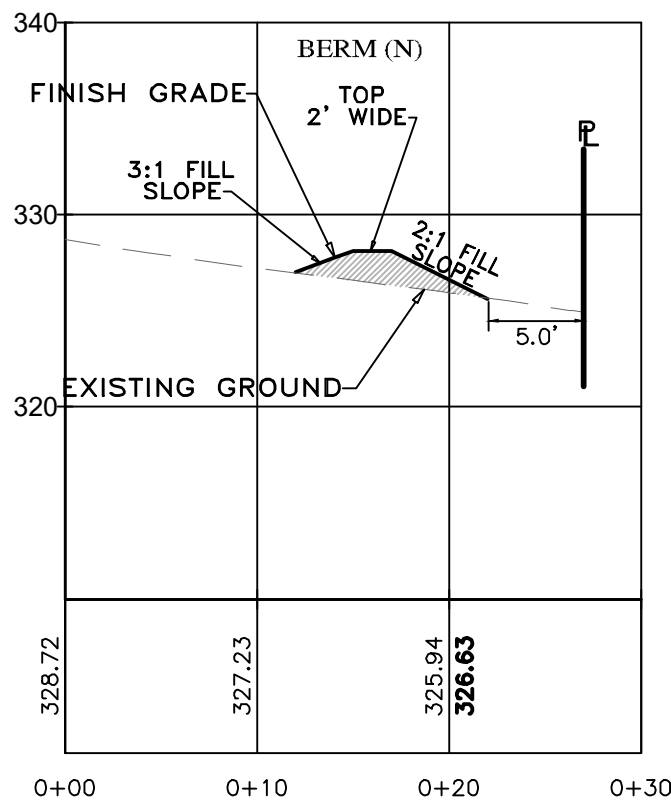
SECTION D-D
SCALE: 1"=10' H&V



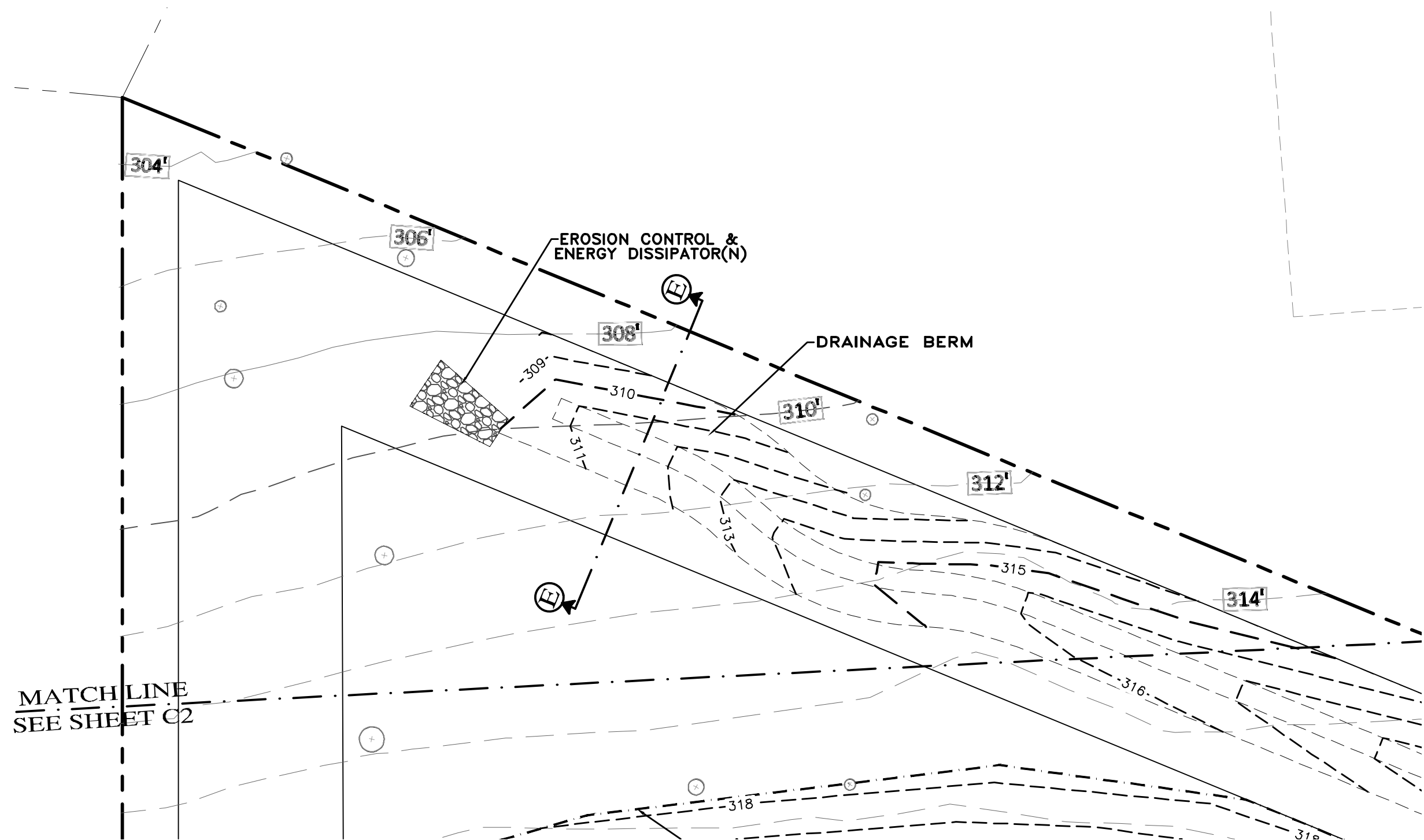
SECTION E-E
SCALE: 1"=10' H&V



SECTION F-F
SCALE: 1"=10' H&V



SECTION G-G
SCALE: 1"=10' H&V



DETAIL
SCALE: 1"=10'

" GRADING SECTIONS "

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF
WEBER RESIDENCE
A.P.N.: 008-234-007
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR
MR. MARK WEBER

SCALE: 1"=10' H&V
DATE: NOVEMBER 2023
JOB NO. 2402-02

SHEET

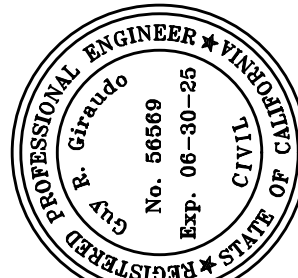
C3

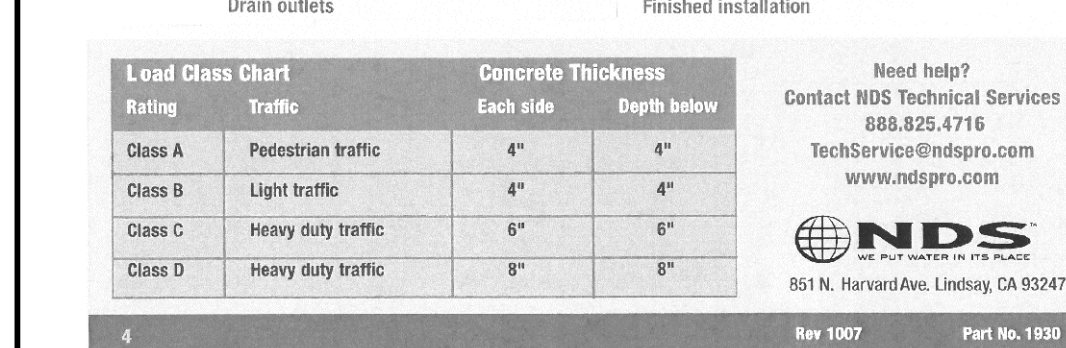
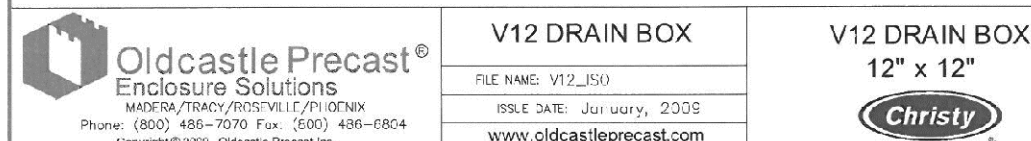
OF 6 SHEETS

LANDSET
ENGINEERS, INC.
520-B Gray Horse Canyon Road
Office (831) 443-6970 Fax (831) 443-3801
www.landseteng.com

APPROVED BY:

GUY R. GIRAUDO





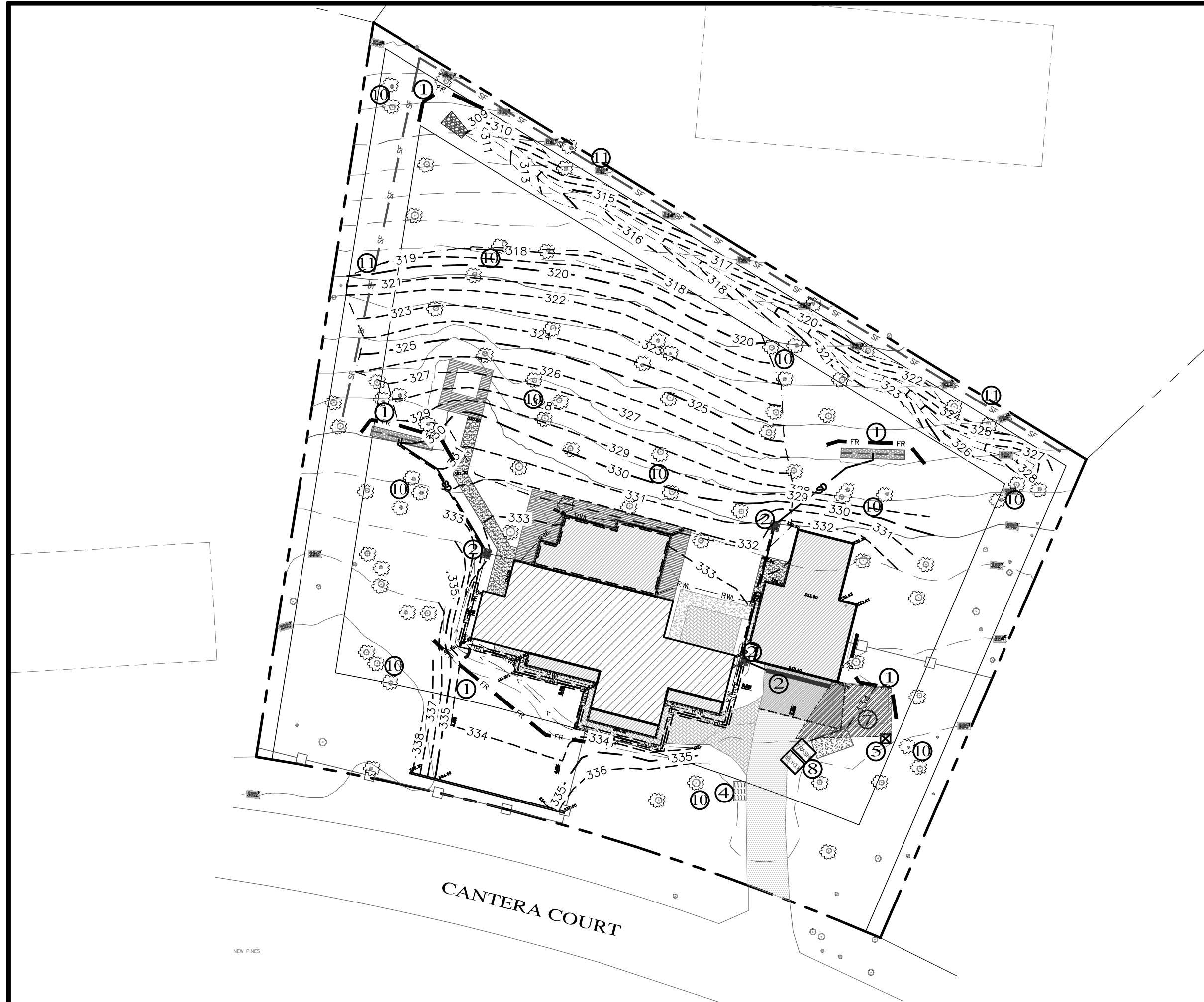
CALCULATIONS



SHEET C4
OF 6 SHEETS

APPROVED BY:

GUY R. GIRAUD



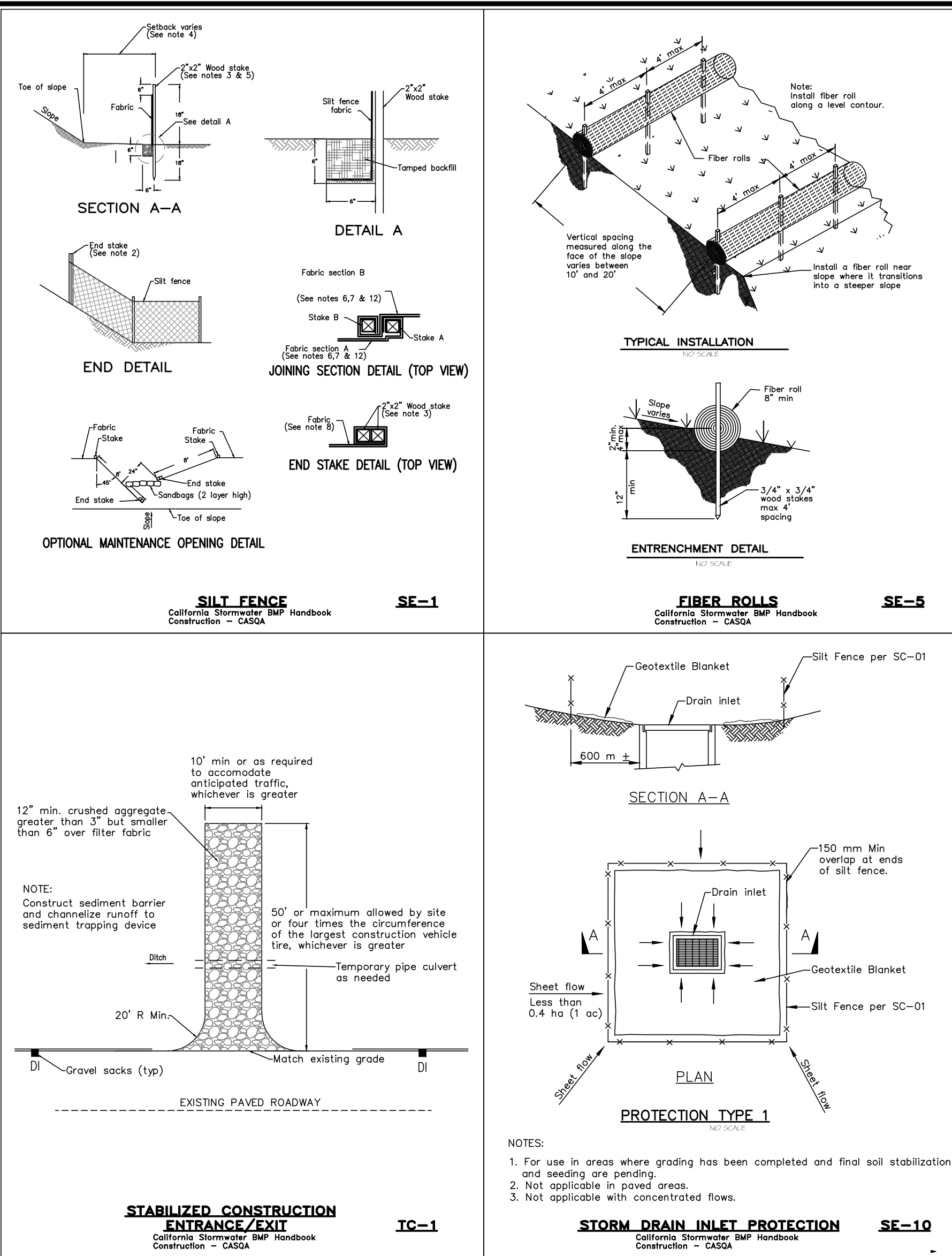
PLAN
SCALE: 1"=30'

LEGEND:

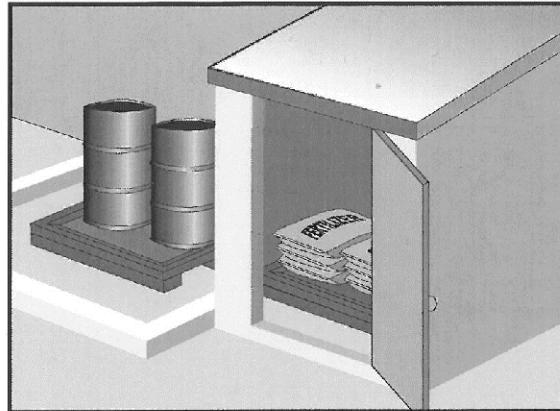
- 1 FR FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ONSITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER). SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
- 2 DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
- 3 FOR INFORMATION ONLY STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
- 4 CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
- 5 SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ONSITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.
- 6 FOR INFORMATION ONLY STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.
- 7 CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
- 8 TRASH RECYCLE WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATER-TIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ONSITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
- 9 GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 3/4" - 1" CRUSHED ROCK, TIGHTLY ABOUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
- 10 TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BE A LICENSED AND CERTIFIED ARBORIST.
- 11 SF SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEYED INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

EROSION & SEDIMENT CONTROL NOTES:

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- 2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- 3) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 4) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 5) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- 6) EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- 7) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- 8) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 9) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- 10) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDED WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 11) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- 12) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDED WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS LAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRA'MOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 13) THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- 14) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO COUNTY RMA-ENVIRONMENTAL SERVICES PRIOR TO BEG. WORK.



Material Delivery and Storage WM-1



Description and Purpose
Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system on stockpiles of soil, soil amendments, sand, paving materials such as portland cement concrete (PCC) rubble, asphalt concrete (AC), asphalt concrete rubble, aggregate base, aggregate sub base or pre-mixed aggregate, asphalt binder (so called "cold mix" asphalt), and pressure treated wood.

This best management practice covers only material delivery and storage. For other information on materials, see WM-2, Material Use, or WM-4, Spill Prevention and Control. For information on wastes, see the waste management BMPs in this section.

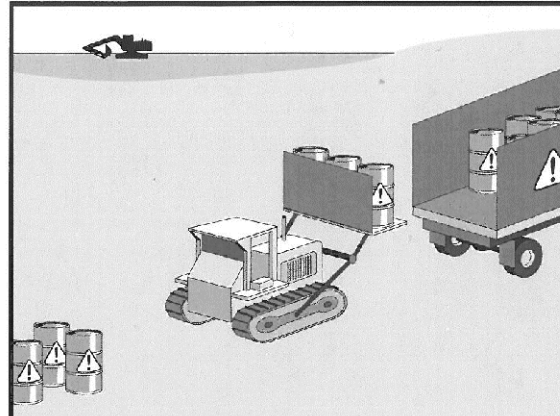
Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control

Legend:	
<input checked="" type="checkbox"/>	Primary Category
<input type="checkbox"/>	Secondary Category

Targeted Constituents	
Sediment	<input checked="" type="checkbox"/>
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>

Potential Alternatives	
None	<input type="checkbox"/>

Hazardous Waste Management WM-6



Description and Purpose
Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

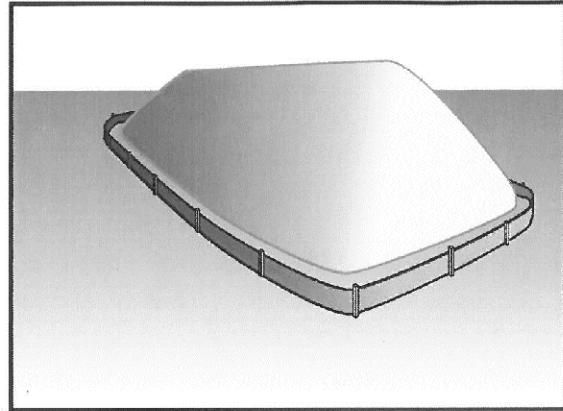
Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control

Legend:	
<input checked="" type="checkbox"/>	Primary Objective
<input type="checkbox"/>	Secondary Objective

Targeted Constituents	
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>

Potential Alternatives	
None	<input type="checkbox"/>

Stockpile Management WM-3



Description and Purpose
Stockpile management procedures and practices are designed to reduce or eliminate air and stormwater pollution from stockpiles of soil, soil amendments, sand, paving materials such as portland cement concrete (PCC) rubble, asphalt concrete (AC), asphalt concrete rubble, aggregate base, aggregate sub base or pre-mixed aggregate, asphalt binder (so called "cold mix" asphalt), and pressure treated wood.

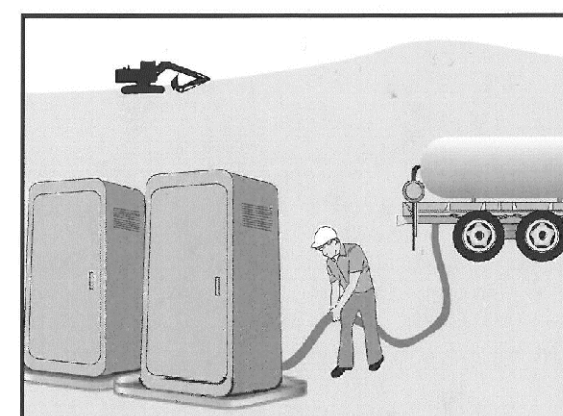
Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control

Legend:	
<input checked="" type="checkbox"/>	Primary Category
<input type="checkbox"/>	Secondary Category

Targeted Constituents	
Sediment	<input checked="" type="checkbox"/>
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>

Potential Alternatives	
None	<input type="checkbox"/>

Sanitary/Septic Waste Management WM-9



Description and Purpose
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

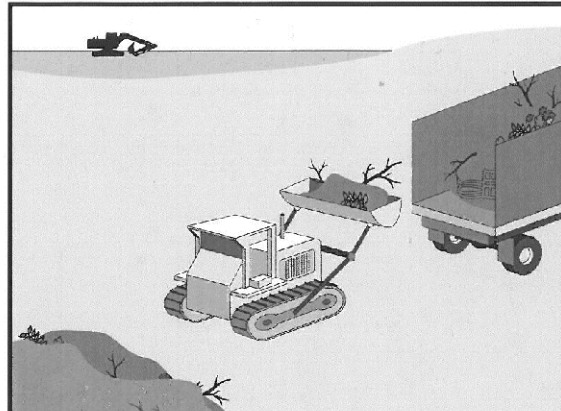
Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control

Legend:	
<input checked="" type="checkbox"/>	Primary Category
<input type="checkbox"/>	Secondary Category

Targeted Constituents	
Sediment	<input checked="" type="checkbox"/>
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>

Potential Alternatives	
None	<input type="checkbox"/>

Solid Waste Management WM-5



Description and Purpose
Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

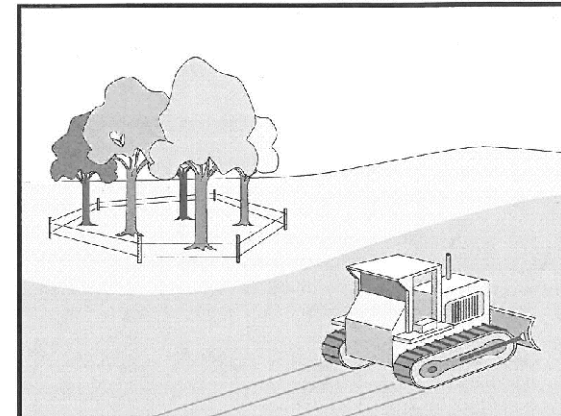
Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control

Legend:	
<input checked="" type="checkbox"/>	Primary Objective
<input type="checkbox"/>	Secondary Objective

Targeted Constituents	
Sediment	<input checked="" type="checkbox"/>
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>

Potential Alternatives	
None	<input type="checkbox"/>

Preservation Of Existing Vegetation EC-2



Description and Purpose
Carefully planned preservation of existing vegetation minimizes the potential of removing or injuring existing trees, vines, shrubs, and grasses that protect soil from erosion.

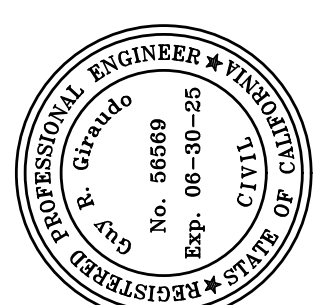
Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control

Legend:	
<input checked="" type="checkbox"/>	Primary Objective
<input type="checkbox"/>	Secondary Objective

Targeted Constituents	
Sediment	<input checked="" type="checkbox"/>
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>

Potential Alternatives	
None	<input type="checkbox"/>

" EROSION & SEDIMENT CONTROL PLAN "



APPROVED BY:

GUY R. GIRAUDO



GRADING, DRAINAGE & EROSION CONTROL PLAN

WEBER RESIDENCE
A.P.N.: 008-234-007
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR MR. MARK WEBER

SCALE: AS SHOWN

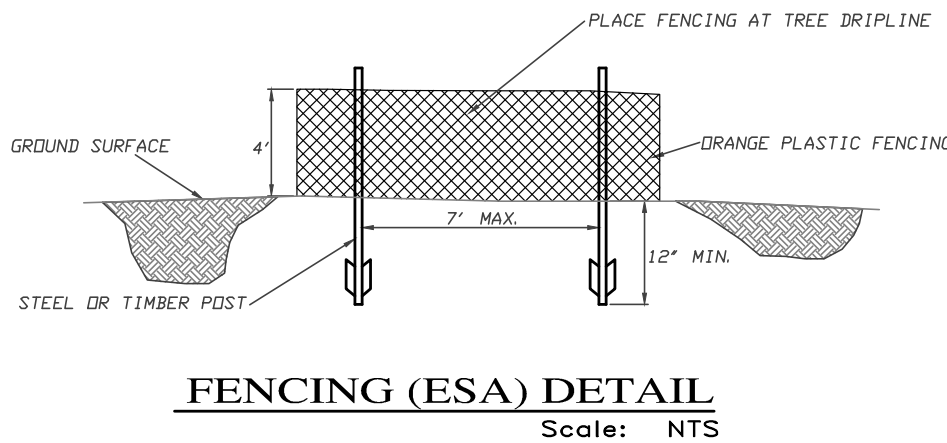
JOB DATE: NOVEMBER 2023

JOB NO. 2402-02

SHEET C5

OF 6 SHEETS

DATE		BY		REVISION	
11/29/23		AMS		RELEASED TO CLIENT	
No.	DATE	BY	REVISION		



EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.:
345 CY CUT
135 CY FILL

CONSTRUCTION STAGING:
DEMOLISH EXISTING GARAGE & PART OF DRIVEWAY AND OFFHAUL DEBRIS: EXISTING DRIVEWAY TO BE USED FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREA.

PERFORM GRADING, CONSTRUCT STRUCTURE ADDITIONS, AND INSTALL UNDERGROUND UTILITIES:
EXISTING MOTOR COURT AREA TO BE USED FOR MATERIAL AND EQUIPMENT STAGING.

INSTALL NEW ASPHALT DRIVEWAY, PAVER WALKWAYS AND LANDSCAPING.

SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON CANTERA COURT AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

HAUL ROUTES:
THE HAUL ROUTE TO THE SITE IS FROM 17 MILE DRIVE TO SUNRIDGE ROAD TO RONDA ROAD TO CANTERA COURT. (HAUL TRUCKS EXIT IN THE SAME FASHION). VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE (IF NECESSARY) ON CANTERA COURT. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

MATERIAL DELIVERIES:
IN THE EVENT THAT MATERIAL DELIVERIES CAUSE ANY STREETS ALONG THE HAUL ROUTE TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY/CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE HAUL ROUTE AND SURROUNDING STREETS.

EMPLOYEE PARKING:
LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING LOTS AND CARPOOL TO JOBSITE IF POSSIBLE. ON-SITE PARKING SHALL BE IN THE EXISTING MOTOR COURT AND IN LEGAL SPACES ALONG CANTERA COURT, OBEYING ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

TRUCK TRIP GENERATION CHART:

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION	4	3
GRADING & SOIL REMOVAL (EXPORT)	1	1
ENGINEERING MATERIALS (IMPORT)	2	1
TOTALS	7	5

TRUCK TRIP GENERATION NOTES:

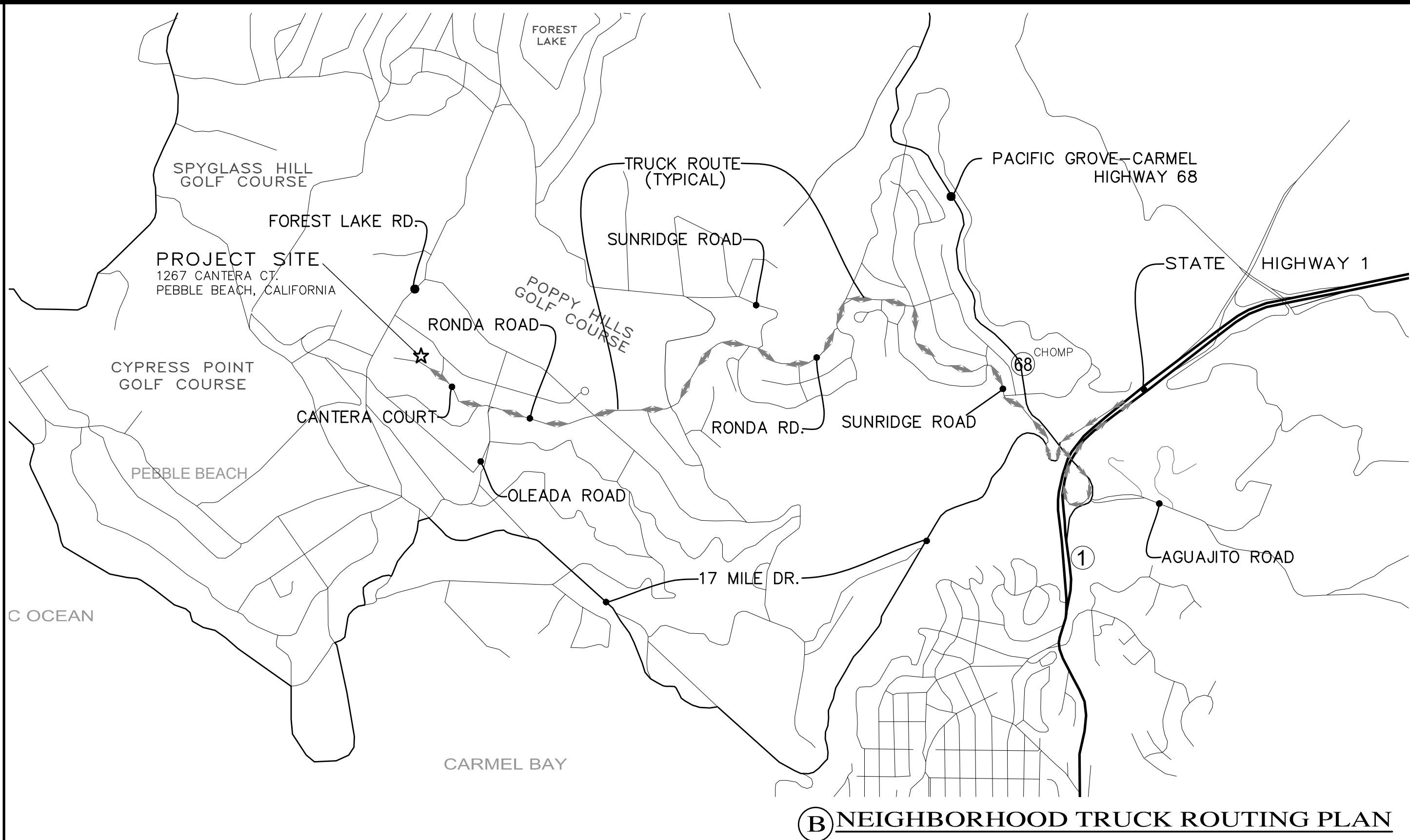
- TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 8 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 5 TRUCK LOADS PER DAY.
- THERE ARE 210 C.Y. OF SURPLUS SOIL MATERIAL THAT WILL BE SPREAD OUT ON THE DESIGNATED SPOILS AREA.
- GRADING OPERATIONS SHALL TAKE APPROXIMATELY 7 WORKING DAYS TO COMPLETE.
- THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 120 CUBIC YARDS.

NUMBER OF EMPLOYEES/DAY: 6-10

HOURS OF OPERATION/DAY: 8

PROJECT SCHEDULING: PROJECTED START DATE 8 JANUARY 2024, 5 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.

A CONSTRUCTION STAGING PLAN
SCALE: 1"=30'



OVERALL TRUCK ROUTING PLAN
NOT TO SCALE

No.	DATE	BY	REVISION
11/29/23	AMS	RELEASED TO CLIENT	

CONSTRUCTION MANAGEMENT PLAN "C"

GRADING, DRAINAGE & EROSION CONTROL PLAN

WEBER RESIDENCE
A.P.N.: 008-234-007
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA

MR. MARK WEBER

SCALE: AS SHOWN
DATE: NOVEMBER 2023
JOB NO. 2402-02

SHEET C6
OF 6 SHEETS

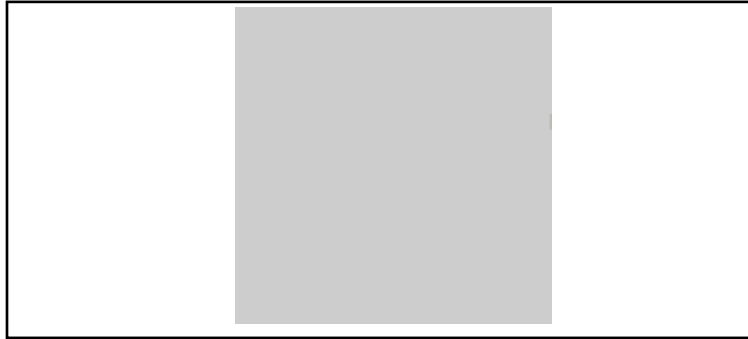
APPROVED BY:
GUY R. GIRAUDO

LANDSET ENGINEERS, INC.
520-B Crazy Horse Canyon Road
Salinas, California 93907
Office (831) 443-6970 Fax (831) 443-3801
www.landseteng.com

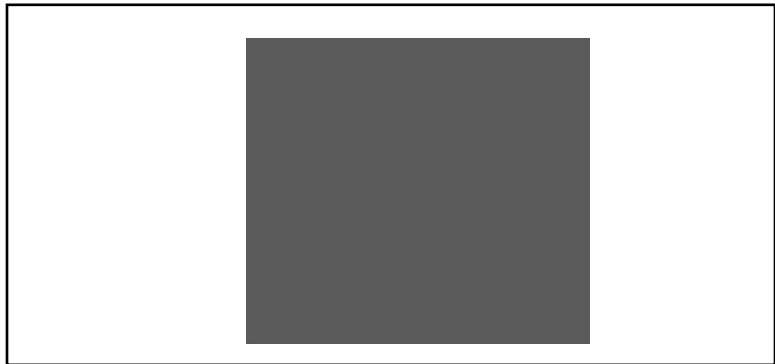
PROFESSIONAL ENGINEER
CIVIL
No. 56660
Exp. 08-30-25
STATE OF CALIFORNIA

This page intentionally left blank

COLOR SAMPLES FOR PROJECT FILE NO. _____



Materials: House paint Colors: Light Grey
Description: _____

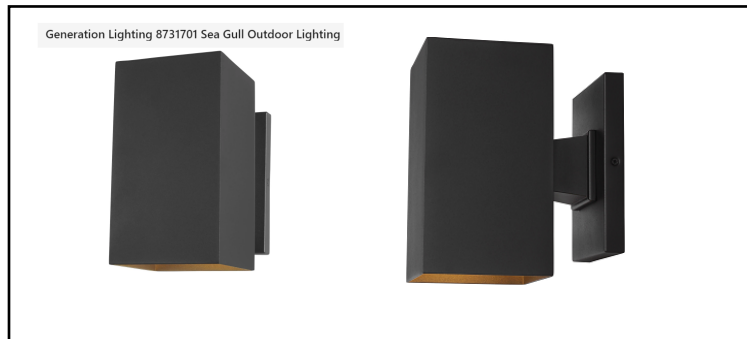


Materials: _____ Colors: Charcoal
Description: House Paint

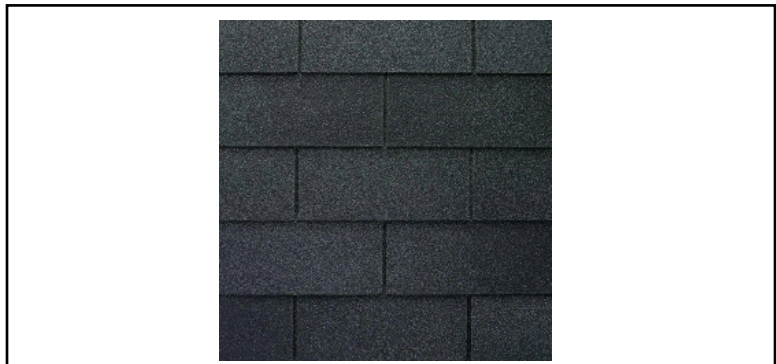


Materials: _____ Colors: _____
Description: _____

COLOR SAMPLES FOR PROJECT FILE NO. _____



Materials: EXTERIOR WALL SCONCE Colors: BLACK
Description: GENERATION LIGHTING OR EQUAL



Materials: Shingles to match existing Colors: with color change to charcoal
Description: _____

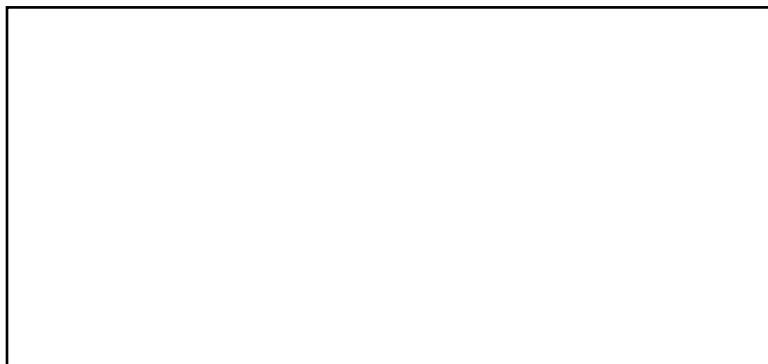


Materials: METAL EXTERIOR DOOR & WINDOWS Colors: ONYX
Description: KOLBY VISTALUXE OR EQUAL

COLOR SAMPLES FOR PROJECT FILE NO. _____



Materials: _____ Colors: _____
Description: _____



Materials: _____ Colors: _____
Description: _____



Materials: _____ Colors: _____
Description: _____

This page intentionally left blank