

Exhibit A

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DRAFT RESOLUTION

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

CASTLEMAN MICHAEL S JR & CAROL K ET AL (PLN250071)

RESOLUTION NO. 25-

Resolution by the County of Monterey Zoning
Administrator:

- 1) Find that the project qualifies as a Class 2 Categorical Exemption pursuant to Section 15302 of the CEQA Guidelines and there are no exceptions pursuant to Section 15300.2; and
- 2) Approve a Design Approval to allow demolition of a 1,870 square foot single-family dwelling and construction of a 4,705 square foot two-story single-family dwelling with attached garage, and associated site improvements.

1012 San Carlos Road, Pebble Beach, Greater Monterey Peninsula Area Plan (APN: 007-282-004-000)

The CASTLEMAN MICHAEL S JR & CAROL K ET AL application (PLN250071) came on for a public hearing before the County of Monterey Zoning Administrator on August 28, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

RECITALS:

WHEREAS, the proposed project PLN250071, located at 1012 San Carlos Road, Pebble Beach, Greater Monterey Peninsula Area Plan (APN: 007-282-004-000), is consistent with the policies of the Monterey County 2010 General Plan, Greater Monterey Peninsula Area Plan, and the Monterey County Zoning Ordinance (Title 21);

WHEREAS, the subject parcel is zoned Medium Density Residential, with Building Site – 6, Design Control, and Recreational Equipment Storage zoning overlays (“MDR/B-6-D-RES”) which allows for the construction of the first single family dwelling on a legal lot of record subject to the granting of a Design Approval;

WHEREAS, as the proposed, the project consists of the demolition of a 1,870 square foot single-family dwelling and construction of a 4,705 square foot two-story single-family dwelling with attached garage, and associated site improvements. Site improvements include an 85 square foot covered entry, 305 square foot covered terrace, rear fire pit/patio area, walkways, internal fences, replacement paver driveway, roof-mounted photovoltaic system, and grading consisting of 75 cubic yards cut and 140 cubic yards of fill.;

WHEREAS, as detailed in the attached plans, the proposed project meets all requirement development standards established in Monterey County Code (MCC) Section 21.12.060 and 2010 General Plan Policy LU-2.33(a);

WHEREAS, the proposed colors and materials, and bulk and mass blend with the surrounding environment, are consistent with the surrounding residential neighborhood character, and other dwellings in the neighborhood;

WHEREAS, as sited, designed, and conditioned, the proposed project is not located in an area of high visual sensitivity, will not result in adverse visual impacts, and the project is consistent with the applicable scenic resource policies of the 2010 General Plan and the Greater Monterey Peninsula Area Plan;

WHEREAS, in accordance with 2010 General Plan Policy and MCC Section 21.66.050, a Phase I Archaeological Report was prepared by Susan Morley, dated February 2022 and January 2023 (County of Monterey Library No. LIB2500057). The developed site has undergone moderate to high use, resulting in moderate to high ground disturbance from at least 1955 to the present. No precontact site indicators were observed within the project area. The project Archaeologist found that “[p]ursuant to public resources code 15064.5(c)(4), the results of the Phase I assessment indicate the proposed Project will have no effect on archaeological resources, resulting in no impact on the environment.” Therefore, the potential for inadvertent impacts to cultural resources is limited and will be controlled by application of the County’s standard project condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during demolition or construction;

WHEREAS, the prepared Phase I Historical Report (County of Monterey Library No. LIB250059) found that the existing 1955-circa residence, slated for demolition, does not retain any historical significance;

WHEREAS, the subject property (0.31 acres) is identified as Lot 16 of Block 216 of the Monterey Peninsula Country Club #2, as shown on Page 29, Volume 3 of Cities and Towns, and is therefore recognized by the County as a legal lot of record;

WHEREAS, Monterey County HCD-Planning and HCD-Building Services records were reviewed, and the County is not aware of any violations existing on the subject property;

WHEREAS, the project was referred to the Del Monte Forest Land Use Advisory Committee pursuant to Board of Supervisors' adopted LUAC Guidelines, at which the LUAC on August 21, 2025 voted unanimously to support the project as proposed;

WHEREAS, California Environmental Quality Act (CEQA) Guidelines Section 15302 categorically exempts replacement or reconstruction of existing structures where the new structure(s) will be located on the same site as the structure(s) replaced and will have substantially the same purpose and capacity as the structure(s) replaced. The project involves the construction of a replacement single family dwelling (same capacity and purpose), and therefore, the proposed development is consistent with CEQA Guidelines Section 15302, and none of the exceptions under CEQA Guidelines Section 15300.2 apply to this project; and

WHEREAS, pursuant to MCC Section 21.80.040.B, the Planning Commission shall consider appeals from the discretionary decisions of the Zoning Administrator and the decision of the Planning Commission would be final and may not be appealed.

NOW, THEREFORE BE IT RESOLVED, based on the above recitals, the County of Monterey Zoning Administrator does hereby:

- 3) Find that the project qualifies as a Class 2 Categorical Exemption pursuant to Section 15302 of the CEQA Guidelines and there are no exceptions pursuant to Section 15300.2; and
- 4) Approve a Design Approval to allow demolition of a 1,870 square foot single-family dwelling and construction of a 4,705 square foot two-story single-family dwelling with attached garage, and associated site improvements.

PASSED AND ADOPTED this 28th day of August 2023.

Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.
2. Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

3. Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN250071

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Design Approval allows demolition of a 1,870 square foot single family dwelling and construction of a 4,705 square foot two-story single family dwelling with attached garage, and associated site improvements. The property is located at 1012 San Carlos Road, Pebble Beach (Assessor's Parcel Number 007-282-004-000), Greater Monterey Peninsula Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Design Approval (Resolution Number _____) was approved by County of Monterey Zoning Administrator for Assessor's Parcel Number 007-282-004-000 on August 28, 2025. The permit was granted subject to 7 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

5. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning . A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

6. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

7. PD041 - HEIGHT VERIFICATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (HCD - Planning and HCD - Building Services)

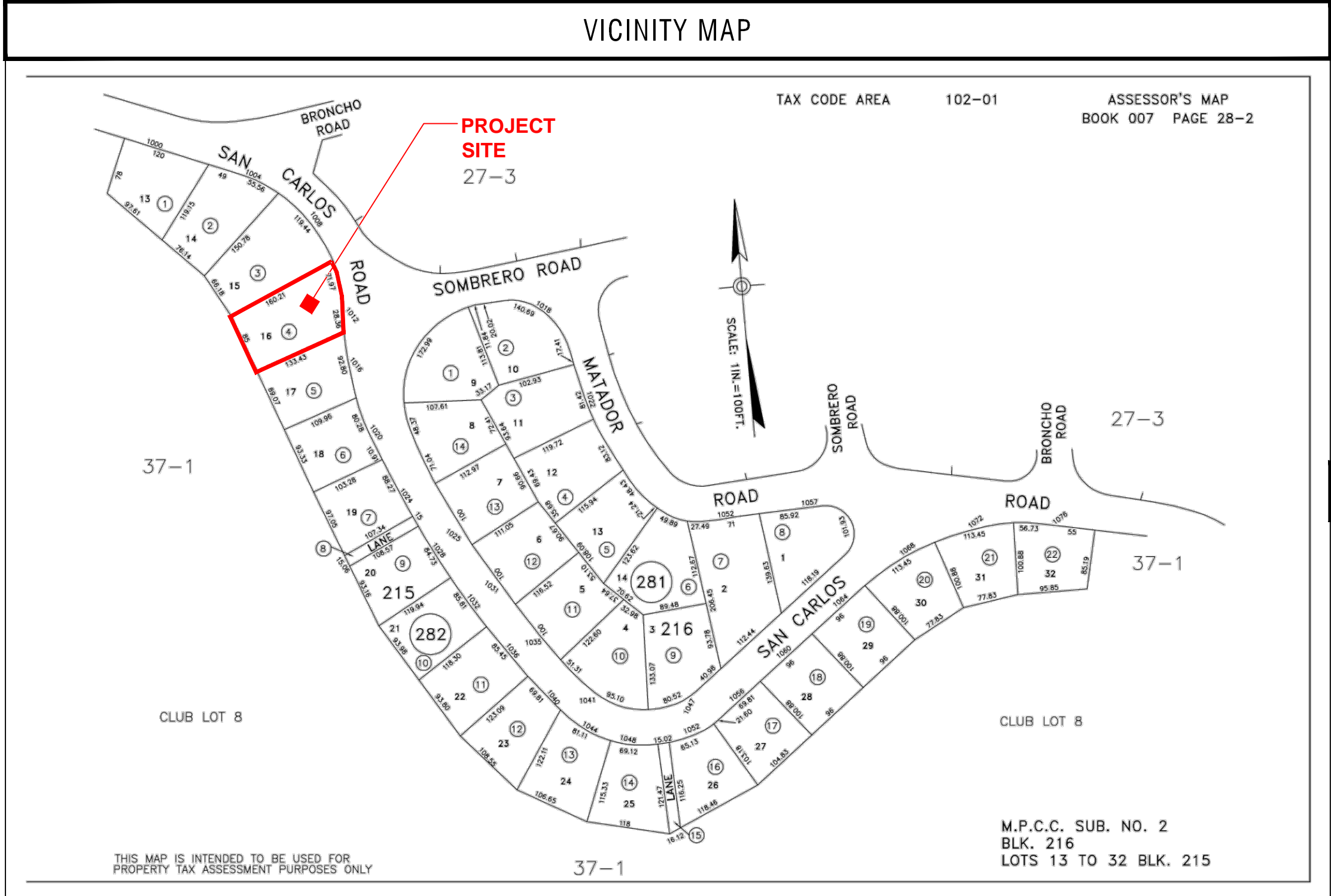
Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

GENERAL CONDITIONS	
1.	Examination of the site and portions thereof which will affect this work shall be made immediately by the contractor, who shall compare it with the drawings and satisfy himself to conditions under which work is to be performed. He shall at such time ascertain and check locations of the existing structures and equipment which may affect his work.
2.	Contractor shall provide a complete cost breakdown and schedule of construction for this project for owner approval prior to commencement of work.
3.	Contractor shall be responsible to obtain and all necessary permits inspections, certificates, lien releases, final inspections, etc. Contractor to coordinate payment of permits with owner.
4.	Contractor shall protect owner's area, new and/or existing materials and finishes from damage which may occur from construction, demolition, dust, water, etc., and shall provide and maintain temporary barricades, closure walls, etc., as required to protect the public and owner during the period of construction. Damage to new and existing materials, finishes, structures, and equipment shall be repaired or replaced. Contractor shall coordinate temporary barricades with owner prior to commencement of work as necessary.
5.	Materials that are specified by their brand names establish standards of quality and performance. any request for substitution shall be submitted to Moore Design llc and owner for review for equal quality and performance and shall not be purchased or installed without their written approval. All non-specified products shall conform to requirements set forth by code compliance or industry standards and contractor shall submit a list of products and manufacturers being used for review by the designer prior to purchase or installation.
6.	All construction work, architectural, mechanical, plumbing, electrical, etc., as may be required, shall conform to the latest edition of the California Building Code/ California Residential Code and the latest edition of all governing codes and regulations as adopted by the governing jurisdiction. All work shall be done in a thorough, workmanlike manner and equal to the best standards of the practice.
7.	All dimensions on constructions drawings are face of stud (f.o.s.), face of cmu, unless otherwise noted to be the center line of mullion, partition, or column, etc.
8.	All dimensions take precedence over scale. Any discrepancies shall be brought immediately to the attention of Moore Design. Contractors shall not scale drawings. Questions regarding dimensions shall be brought to the designer or owner prior to any start of work.
9.	All construction documents are complementary, and what is called for by any will be binding as if called for by all. Any work shown or referred to on any construction documents shall be provided as though on all related documents. Discrepancies shall be brought immediately to the attention of the designer for clarification.
10.	All work listed, shown or implied on any construction document shall be supplied and installed by the contractor except where noted. The contractor shall closely coordinate his work with that of other contractors or vendors to assure that all schedules are met and that all work is done in conformance with manufacturer's requirements. Work required under this contract shall include all labor, materials, equipment, etc. necessary to complete this project. All materials shall be new and unused, unless specifically noted and be a quality acceptable by industry standards.
11.	The use of the word 'provide' in connection with any item specified is intended to mean that such shall be furnished, installed, and connected where so required, except as noted.
12.	The contractor shall submit shop drawings for fabricated items, cut sheets of all fixtures and equipment, and samples of all finishes called for by the designer and owner for approval prior to construction and/or installation.
13.	The contractor shall maintain a current and complete set of construction documents on the job site during all phases of construction for use of all trades and shall provide all subcontractors with current construction documents as required. The contractor, in assuming responsibility for the work indicated, shall comply with the spirit as well as with the letter in which they were drawn.
14.	The contractor shall remove all rubbish and waste materials of all subcontractors and trades on a regular basis, and shall exercise strict control over job cleaning to prevent any dirt, debris or dust from affecting, in any way, finished areas in or outside the job site.
15.	The construction documents are provided to illustrate the design and general type of construction desired and imply the finest quality of construction, material and workmanship throughout.
16.	All electrical, mechanical, and plumbing work and materials shall be in full accordance with the latest rules and regulations of the national board of fire underwriters, the state fire marshal, the safety orders of the division of industrial safety, and any applicable state or local laws and ordinances. Nothing on these drawings is to be construed to permit work not conforming to these codes.
17.	Work which is obviously required to be performed in order to provide a completely operable installation within the limits and scope of work, but which may not be specifically included in the plans, shall be performed by contractor and included in his bid.
18.	All work shall be guaranteed against defects in design, installation and material for a minimum period of one year from date of completion.
19.	Contractor shall personally supervise and direct the work or shall keep a competent employee, authorized to receive instructions and act on the contractor's behalf, continuously on site during working hours.
20.	Trees adjacent to structures and over driveways shall be trimmed to clear structures and provide 15' clearance over drives. Protect other trees during construction (see forest mgmt. plan). No tree shall be removed unless called for in the plans and a permit is first issued by the local jurisdiction.

ABBREVIATIONS AND SYMBOLS	
APPROX. APPROXIMATE BLK BLOCK CLO. CLOSET CONC. CONCRETE CONT. CONTINUOUS DS DOWNSPOUT DW DSHWASHER (D) EXISTING F.O.C. FACE OF CONCRETE F.O.S. FACE OF STUD GALV. GALVANIZED GYP. GYPSUM G.W.B. GYPSUM WALLBOARD FLR FLOOR HDWD HARDWOOD N.I.C. NOT IN CONTRACT N.T.S. NOT TO SCALE	O.C. ON CENTER O.D. OUTSIDE DIAMETER PLYWD PLYWOOD REF REFRIGERATOR R.O. ROUGH OPENING SHWR SHOWER SM SIMILAR SL SKYLIGHT TK& TONGUE AND GROOVE T.O.P. TOP OF PLATE TYP. TYPICAL U.O.N. UNLESS OTHERWISE NOTED WP WATERPROOF W/ WITH W/O WITHOUT W.I.C. WALK IN CLOSET



THE CASTLEMAN RESIDENCE

PEBBLE BEACH, CA



PROJECT NAME:

CASTLEMAN RESIDENCE

1012 SAN CARLOS ROAD
PEBBLE BEACH, CA 93953
APN: 007-282-004-000

MOORE DESIGN INC.
RESIDENTIAL PLANNING &
CONSTRUCTION ADMINISTRATION

550 FIGUEROA STREET, SUITE B
MONTEREY CA. 93940
831.642.9732 FAX 831.401.3292
john@mooredesign.org

DRAWING RECORD

DESCRIPTION	ISSUED
PLN SUBMIT	3/12/2025
PLN RE-SUBMIT	5/14/2025

PRINT DATE: 5/14/2025

MEMBER

A I B D

AMERICAN INSTITUTE of BUILDING DESIGN

All ideas, designs, arrangements and plans indicated by this drawing are owned by, and the property of MOORE DESIGN INC. The use of these plans and specifications is restricted to the original site for which they were prepared, and publication thereof is expressly limited to such use. Re-use, reproduction or publication by any method in whole or in part is prohibited. Title to the plans and specifications remains with MOORE DESIGN INC., and visual contact with them constitutes prima facie evidence of the acceptance of the restrictions.

Drawings are not to be scaled. Written dimensions on these drawings shall have precedence over scale dimensions.

SHEET TITLE:

COVER SHEET / PROJECT INFO

SHEET NUMBER:

A0.1

CASTLEMAN
RESIDENCE

1012 SAN CARLOS
ROAD
PEBBLE BEACH, CA
93953
APN: 007-282-004-000



DRAWING RECORD	
DESCRIPTION	ISSUED
PLN SUBMIT	3/12/2025
PLN RE-SUBMIT	5/14/2025

MEMBER.

A	I
B	D

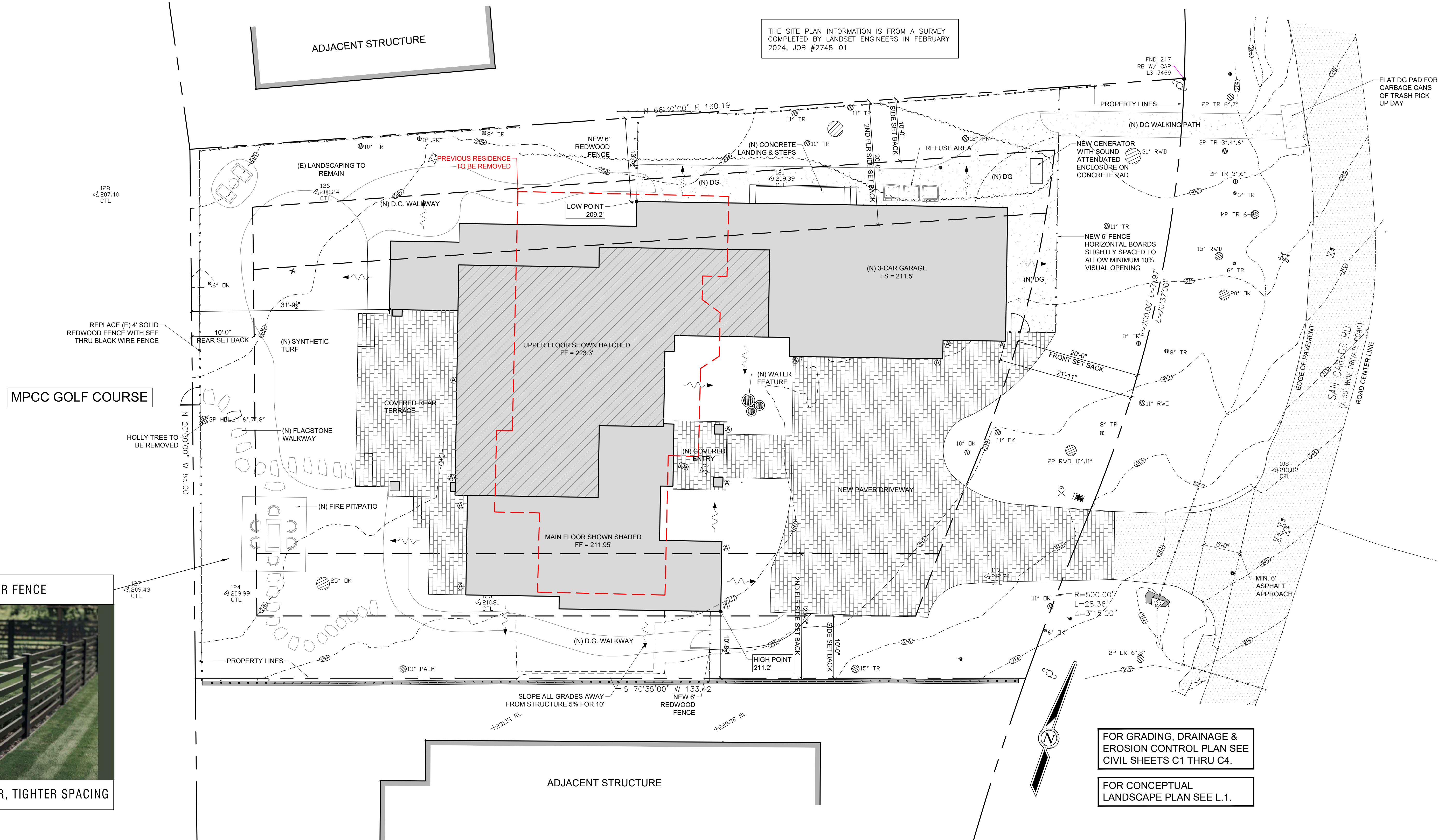
AMERICAN INSTITUTE *of*
BUILDING DESIGN

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SITE PLAN

A1.1



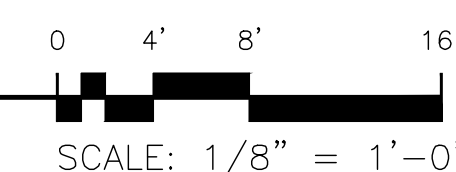
FOR GRADING, DRAINAGE &
EROSION CONTROL PLAN SEE
CIVIL SHEETS C1 THRU C4.

FOR CONCEPTUAL
LANDSCAPE PLAN SEE L.1.

 SITE NOTES

1. No person must dip into any fire hydrant other than fire suppression or emergency aid, without first obtaining written approval from the water purveyor supplying water to the hydrant and from the monterey county health department.
2. All hoses used in connection with any construction activities shall be equipped with a nozzle shut-off, when an automatic shut-off nozzle can be purchased or otherwise obtained for the size or type of hose in use, the nozzle shall be an automatic shut-off nozzle.
3. No potable water may be used for compaction or dust control purposes in construction activities where there is a reasonably available source of reclaimed or other sub-potable water approved by the monterey county health department and appropriate for such use.
4. The use of solders containing more than 21/10ths of 1% lead in making joints on private or public water supply systems is prohibited (SB 164).
5. Provide non-removable backflow devices at all hosebibs.
6. Slope all grades away from the structure for a min 5% for 10'-0".
7. Contractor is to verify the location and height of the nearest upstream manhole cover. If the flood level rims are less than 2' above this elevation, the sewer system shall be protected with an approved sewer relief valve.

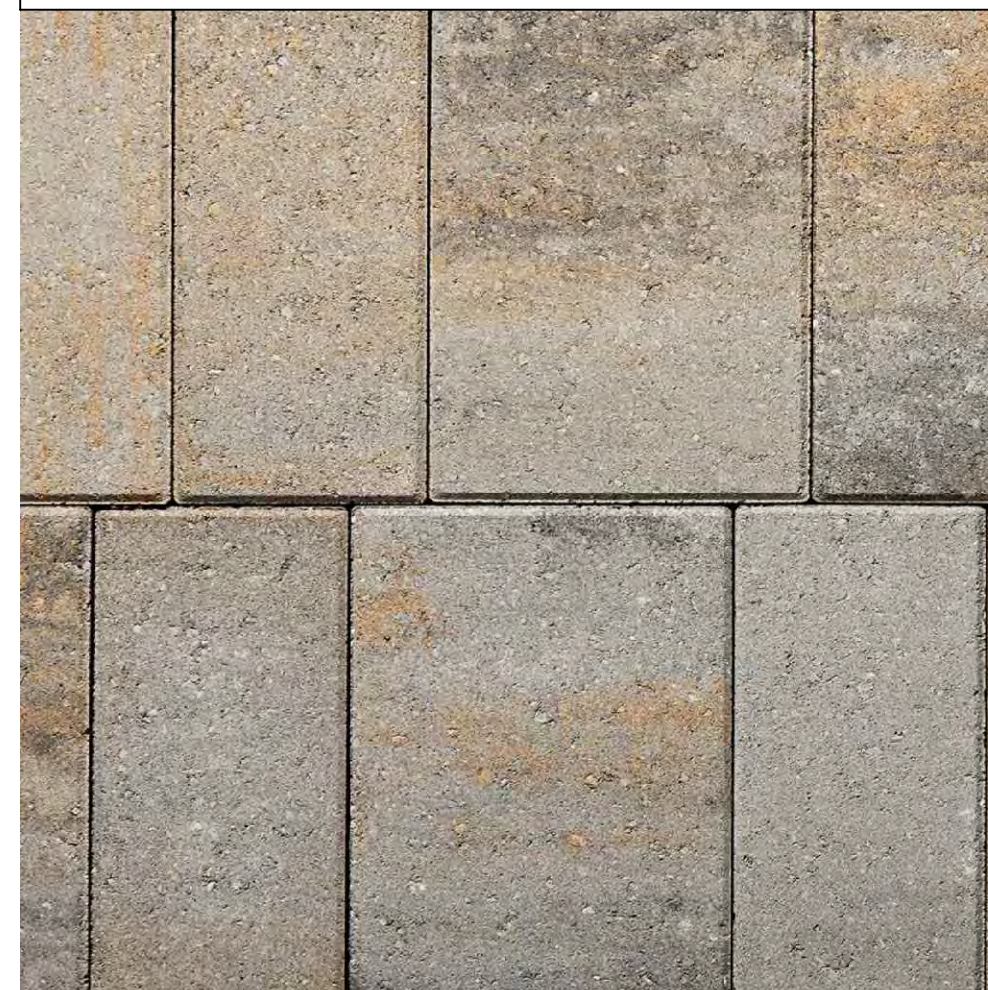
PROPOSED SITE PLAN

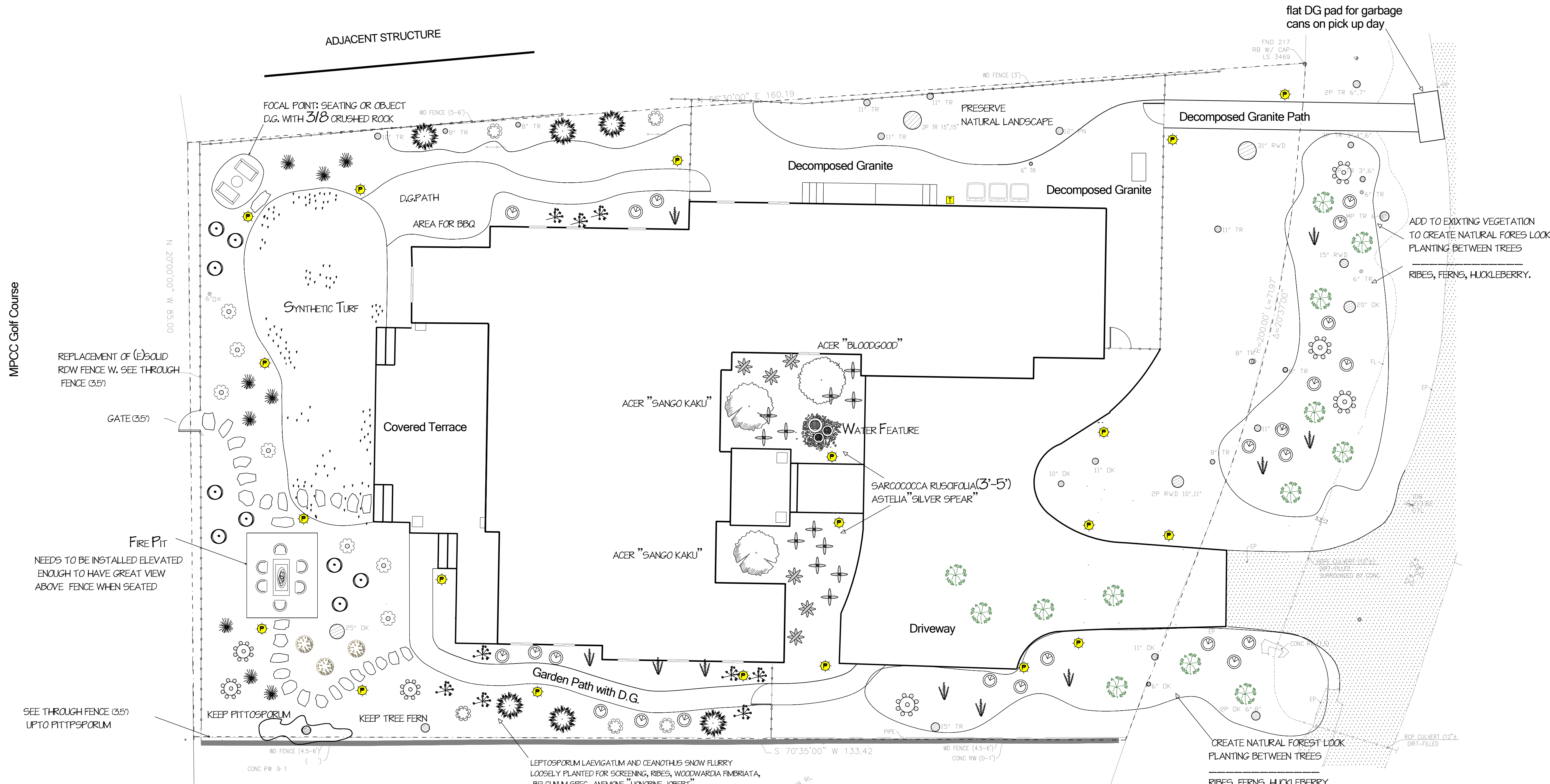


EXTERIOR FIXTURE (A)



BELGARD CATALINA GRANA PAVER VICTORIAN





PLANT LEGEND		
SYMBOL	BOTANICAL NAME	COMMON NAME
	Acer Sango Kaku	Coral Bark Japanese Maple
	Acer palmatum Bloodgood	Bloodgood Japanese Maple
	Anemone j. Horine Jobert	White Japanese Anemone
	Astelia Silver Spear	Silver Spear Astelia
	Blechnum spicant	Deer Fern
	Carex divulsa	Berkeley Sedge
	Ceanothus Centennial	Centennial Ceanothus
	Ceanothus Snow Flurry	White California Lilac
	Leptospermum laevigatum	Costal Tea Tree
	Muhlenbergia rigens	Deer Grass
	Ribes sanguineum	Red flowering Currant
	Rhododendron Anah Kruschke	Purple Rododendron
	Sarcococca confusa	Sweet Box
	Vaccinium ovatum	Evergreen Huckleberry
	Woodwardia fimbriata	Giant Chain Fern

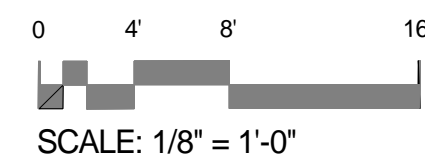
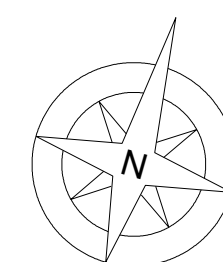
NOTES ON PATH:
THIS IS A PLANTED PATH MEANT TO MERGE INTO THE
VIEWSHED OF MASTER BEDROOM AND BATH

LOW VOLTAGE LIGHTING LEGEND		
SYMBOL	DESCRIPTION	QUANTITY
	Path light by FX Luminaire SP-A-LED-20-W12R-BZ	20
	Transformer, FX Luminaire EX 150	1



SP/SP-A Path Light SPECIFICATIONS	
Output	LED20W
Total Lumens	25
Input Voltage	11 to 15V
Input Power (W)	1.2
VA	1.7
Efficacy (Lumens/Watt)	30
Color Rendering Index (CRI)	80+
Dimming	Photo
Lumen Consistency	Use Laser Cube (LCM-CF)
20 Option	Use Laser Cube (LCM-CF)
Minimum Rated Life (L70)	33,000 Hrs

- IRRIGATION NOTES
- IRRIGATION SHALL HAVE AUTOMATIC CONTROLLERS AND MUST USE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA AND UTILIZE A RAIN SENSOR
 - IRRIGATION CONTROLLERS SHALL BE OF TYPE WHICH DOES NOT LOSE PROGRAMMING DATA IN THE EVENT THE PRIMARY POWER SOURCE IS INTERRUPTED
 - PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE THE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURERS RECOMMENDATION PRESSURE RANGE.
 - MANUAL SHUT-OFF VALVES SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION TO THE WATER SUPPLY.
 - ALL IRRIGATION EMISSION DEVICES MUST MEET THE REQUIREMENTS SET IN THE ANSI STANDARD, ASABE/ICC 802-2014 "LANDSCAPE IRRIGATION SPRINKLER AND Emitter STANDARD". ALL SPRINKLER HEADS INSTALLED IN THE LANDSCAPE MUST DOCUMENT A DISTRIBUTION UNIFORMITY LOW QUARTER OF 0.65 OR HIGHER USING THE PROTOCOL DEFINED IN ASABE/ICC 802-2014.
 - AREAS LESS THAN TEN FEET (10') IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY.



CAPRIOLA & MITCHELL
LANDSCAPE DESIGN SERVICES

NINA CAPRIOLA
831.595.7053
NINACAPRIOLADESIGN.COM

DORIS MITCHELL
831.595.5205
CSCL # 1117798

Client/Project :

Castleman Residence

Landscaping

Project address :

1012 San Carlos Road
Pebble Beach
CA, 93953

APN: 007-282-004-000

Sheet Title:

Landscape/
Lighting Plan

Sheet Number: L.1

Date: 05/12/2025

Scale: 1/8"= 1'-0"

Drawn by: NC, DM

Maintain a defensible space of 100 feet around structures (PRC 4291)

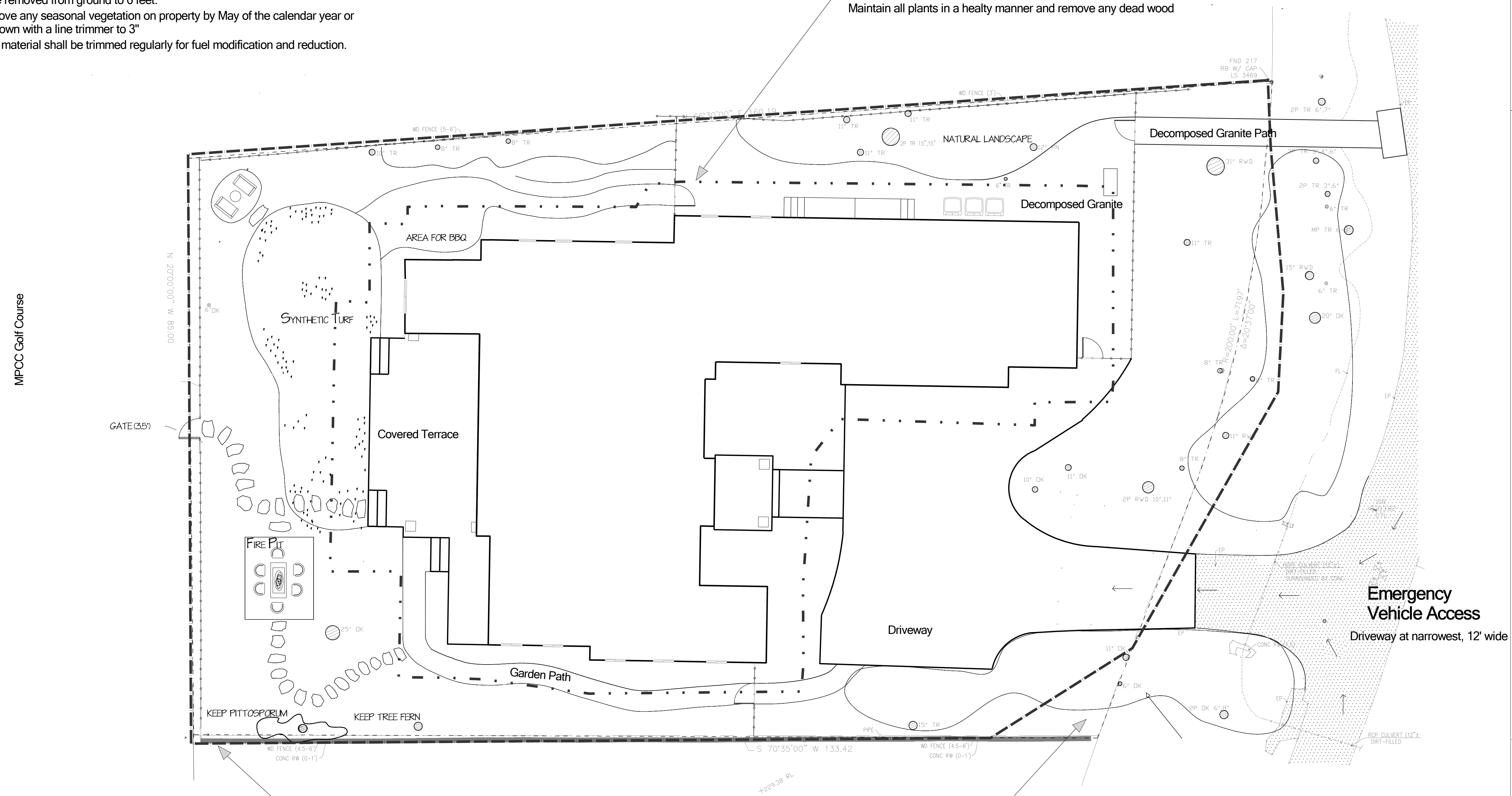
1. No flammable materials within 5 feet of the building (Zone 0)
 2. Remove flammable vegetation within 30 feet of building.
Maintain all plants in a healthy manner and remove any dead wood
 3. All lower tree branches of trees within 100' of the building
to be removed from ground to 6 feet.
 4. Remove any seasonal vegetation on property by May of the calendar year or
cut down with a line trimmer to 3'
- Plant material shall be trimmed regularly for fuel modification and reduction.

30 feet permimeter line

— • • 5 feet permimeter line

5 feet from structure

No flammable materials within 5 feet of the building (Zone 0)
Maintain all plants in a healthy manner and remove any dead wood



30 feet from structure

Remove flammable vegetation within 30 feet of building.
Maintain all plants in a healthy manner and remove any dead wood
Singel specimens of trees or other vegetation may be retained,
provided they are well spaced and well pruned.

100 feet from structure



All lower tree branches of trees within 100' of the building to be removed from ground to 6 feet.

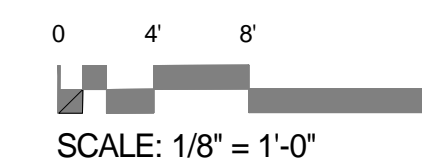
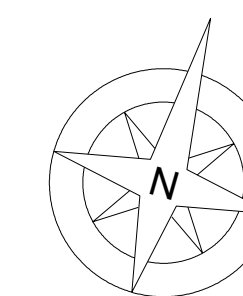
Plant material shall be trimmed regularly for fuel modification and reduction.

Remove any seasonal vegetation on property by May of the calendar year or cut down with a line trimmer to 3"

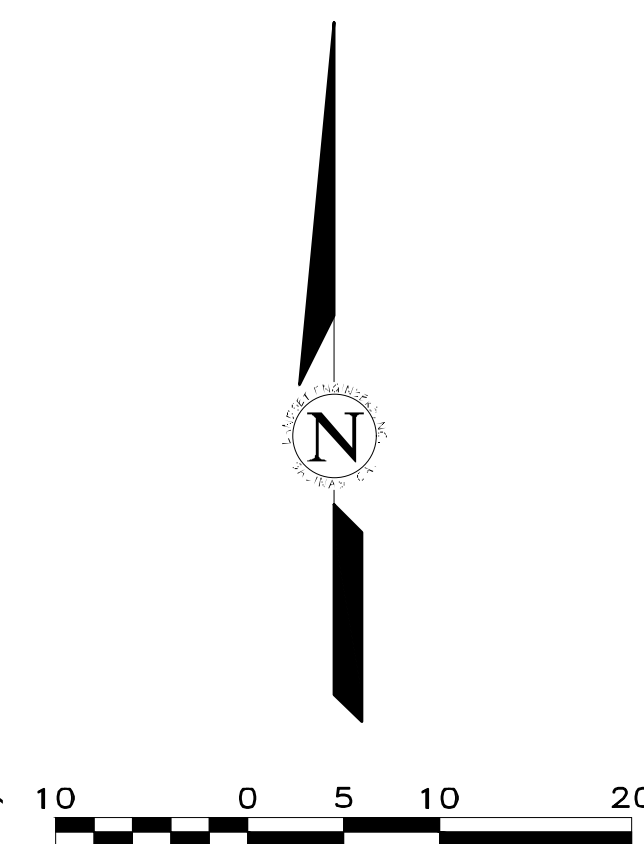
Existing Trees (No trees will be removed)

Symbol	Name
--------	------

 DK Coast Live Oak (*Quercus agrifolia*)
 TR Monterey Pine (*Pinus radiata*)



Drawn by: DM



- 1) THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER No. 2013-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- 2) THE PROJECT IS NOT IN ANY OF THE CONDITIONED AREAS OF THE PEBBLE BEACH COMPANY DRAINAGE REQUIREMENTS AND IS NOT REQUIRED TO ANY SPECIAL STORM WATER FACILITY DESIGN.

GRADING QUANTITIES:
CUT = 75 C.Y.
FILL = 140 C.Y.
NET = 65 C.Y. EXPORT

CONTACT INFORMATION:

PRIMARY: OWNER
MR. & MRS. MIKE & CAROL CASTLEMAN
1012 SAN CARLOS ROAD
PEBBLE BEACH, CA 93953

SECONDARY: ARCHITECT
MOORE DESIGN INC.
ATTN: MR. JOHN MOORE
550 FIGUEROA STREET, SUITE B
MONTEREY, CA 93940
PH (831)642-9732

SITE LOCATION:
1012 SAN CARLOS ROAD
PEBBLE BEACH, CA 93953

	02/27/25	AMS	RELEASED TO CLIENT
	02/14/25	AMS	RELEASED TO CLIENT
No.	DATE	BY	REVISION

GRADING, DRAINAGE & EROSION CONTROL PLAN

MANAGEMENT & EROSION CONTROL
OF
CASTLEMAN RESIDENCE
A.P.N.: 007-282-004

FOR
MR. & MRS. MIKE & CAROL CASTLEMAN

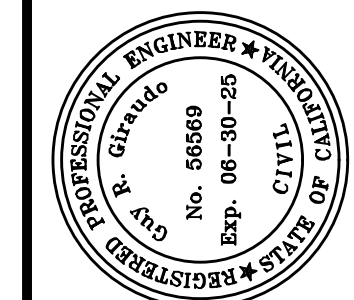
FOR
MR. & MRS. MIKE & CAROL CASTLEMAN

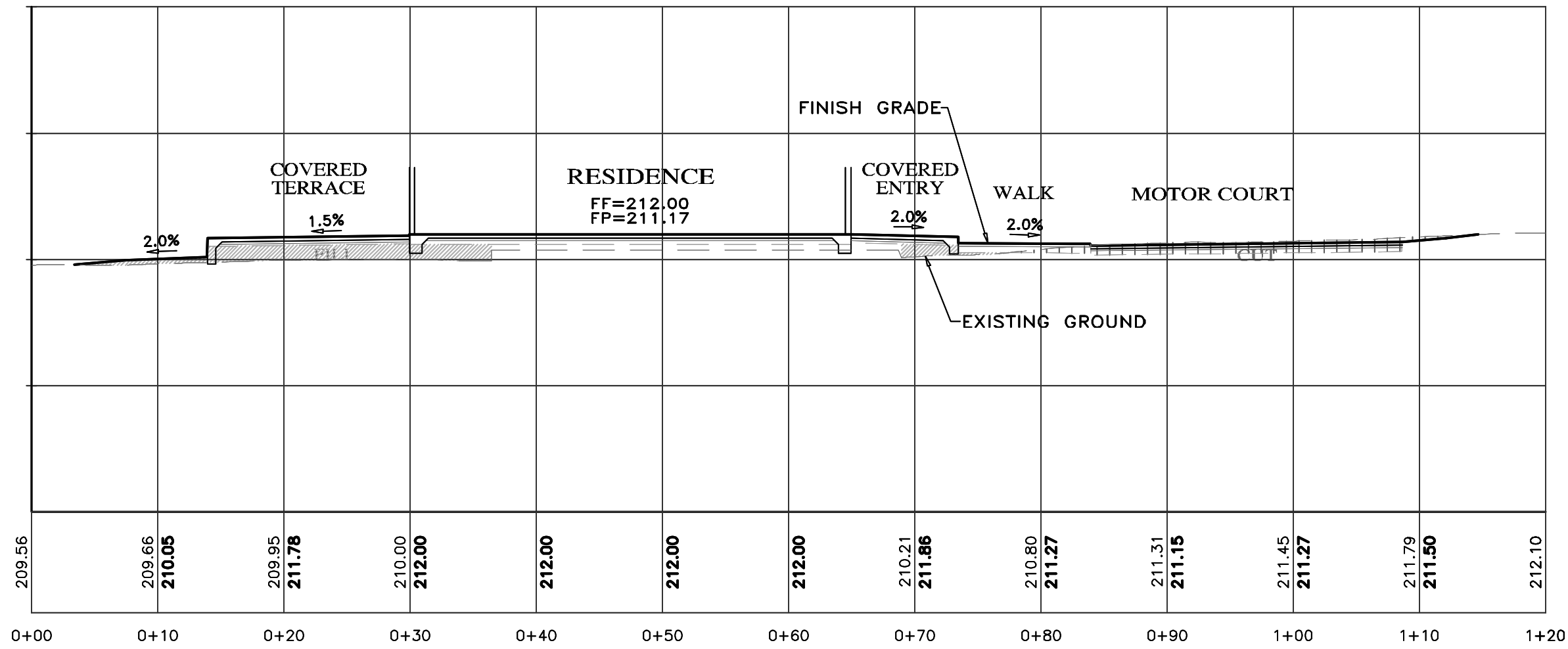


LANDSET
ENGINEERS, INC.
520-B Crazy Horse Canyon Road
Salinas, California 93907
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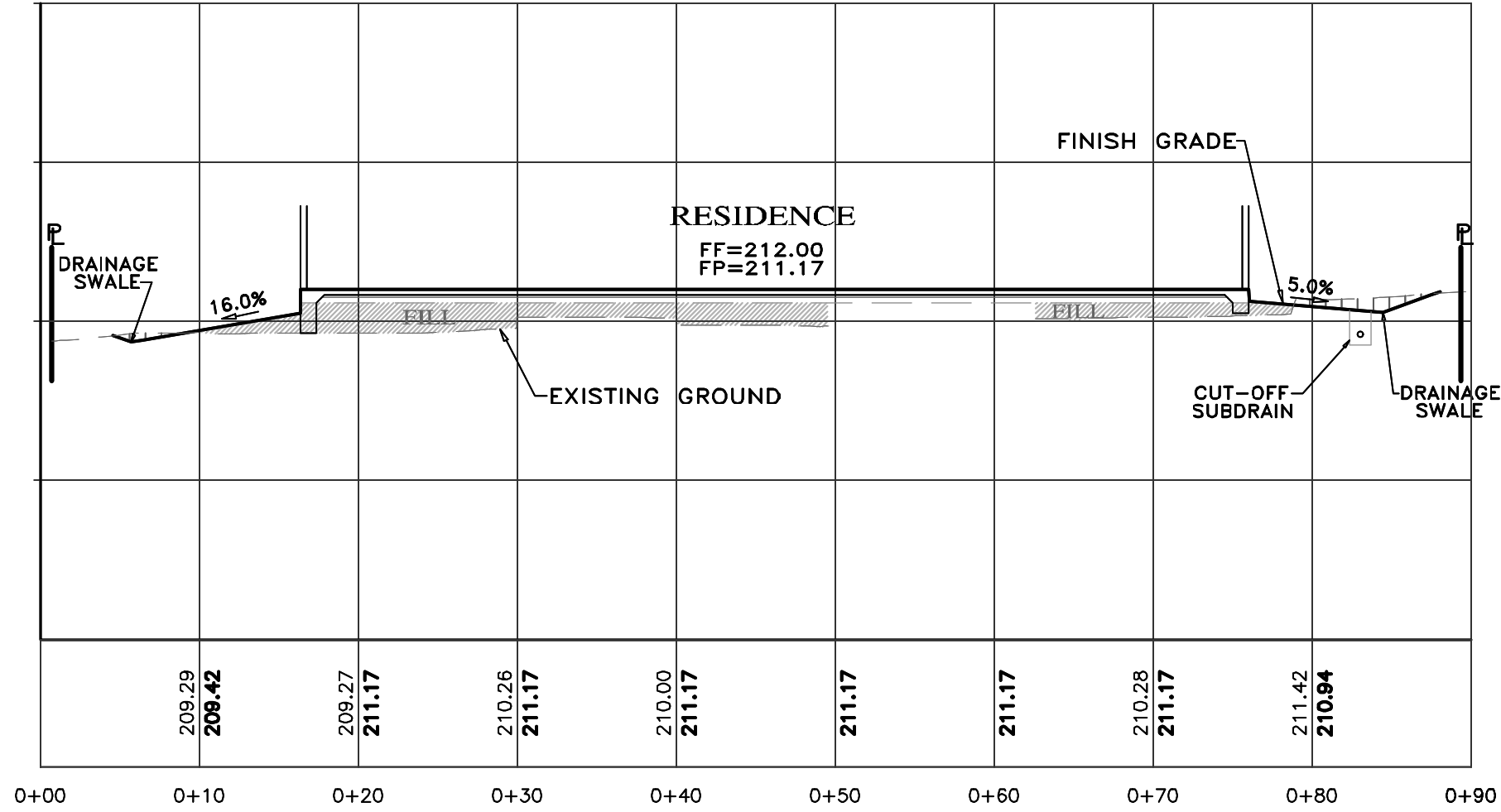
APPROVED BY:

July 15
GUY R. GIRAUDDO

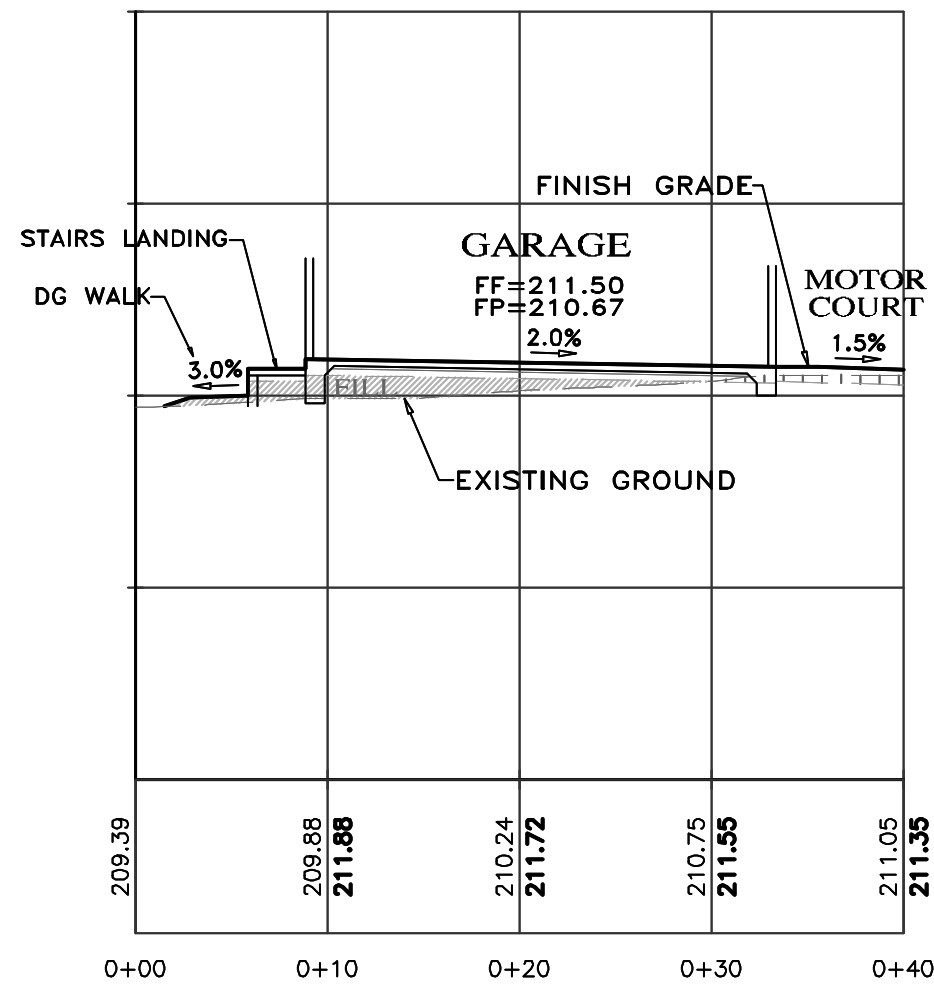




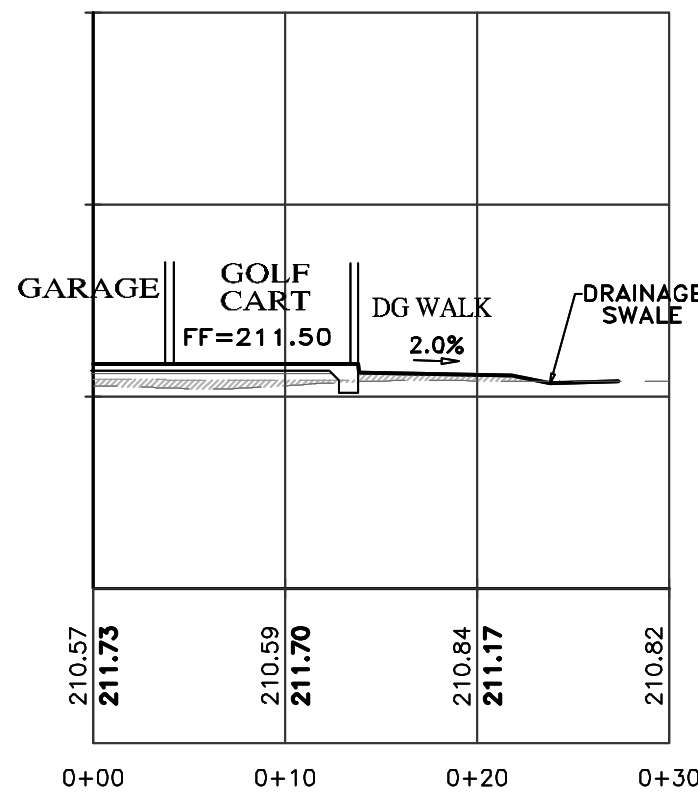
SECTION A-A
SCALE: 1"=10' H&V



SECTION B-B
SCALE: 1"=10' H&V



SECTION C-C
SCALE: 1"=10' H&V



SECTION D-D
SCALE: 1"=10' H&V

- NOTES:
- ALL FILL MATERIAL SHALL BE STRUCTURAL FILL PER SOIL'S ENGINEERING INVESTIGATION REPORT
 - SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR LAYOUT OF FOUNDATION COMPONENTS
 - OVEREXCAVATION ON BUILDING AREAS PER SOILS ENGINEERING INVESTIGATION REPORT
 - FOR SECTION LOCATIONS, SEE SHEET C3 "GRADING, DRAINAGE & UTILITY PLAN".

" GRADING SECTIONS "

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF
CASTLEMAN RESIDENCE
A.P.N.: 007-282-004
FOR
MR. & MRS. MIKE & CAROL CASTLEMAN

SCALE: 1"=10' H&V
DATE: FEBRUARY 2025
JOB NO. 2748-02

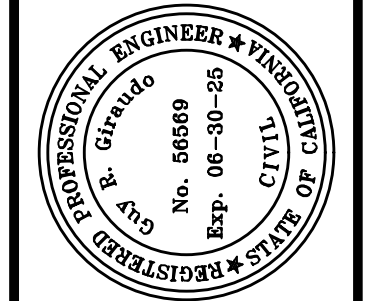
SHEET C2
OF 4 SHEETS

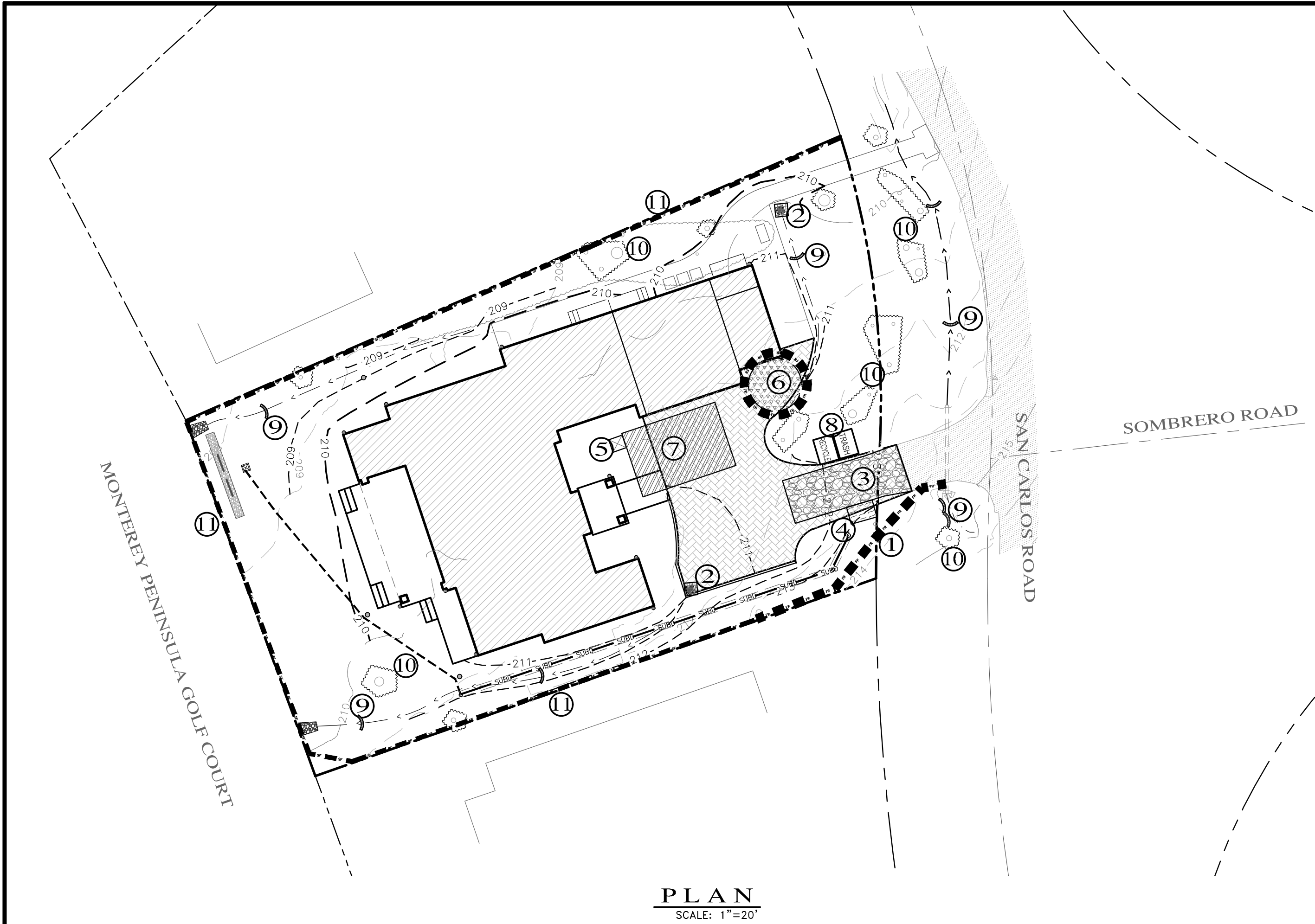
No.	DATE	BY	REVISION
02/27/25	AMS		RELEASED TO CLIENT
02/14/25	AMS		RELEASED TO CLIENT

LANDSET
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www.landseteng.com

APPROVED BY:

GUY R. GIRARDO
274805





LEGEND:

- 1 FR FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ONSITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER). SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
- 2 DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
- 3 STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
- 4 CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
- 5 SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ONSITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.
- 6 STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.
- 7 CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
- 8 WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATER-TIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
- 9 GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 1/4" - 1" CRUSHED ROCK. TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
- 10 TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BE A LICENSED AND CERTIFIED ARBORIST.
- 11 SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEYED INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

TABLE 1706.6 REQUIRED VERIFICATION AND INSPECTION OF SOILS

VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
1. Verify material below shallow foundations are adequate to achieve the design bearing capacity	--	X
2. Verify excavations are extended to proper depth and have reached proper material	--	X
3. Perform classification and testing of compacted fill materials	--	X
4. Verify use of proper materials, densities and lift sicknesses during placement and compaction of compacted fill.	X	--
5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly.	--	X

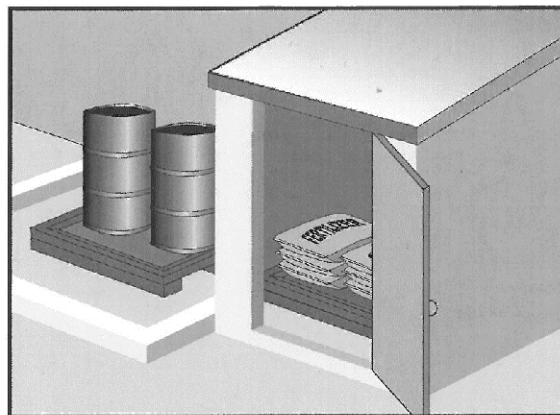
CONSTRUCTION INSPECTION REQUIREMENTS

- A-PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- B-DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- C-PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

EROSION & SEDIMENT CONTROL NOTES:

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- 2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- 3) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 4) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 5) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- 6) EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- 7) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- 8) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 9) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- 10) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDED WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 11) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- 12) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDED WITH THE FOLLOWING EROSION CONTROL MIX: *BROMUS CARINATUS* (CALIFORNIA BROME), *VULPIA MICROSTACHYS* (NUTTALL'S FESCUE), *ELYMUS LAUCUS* (BLUE WILD RYE), *HORDEUM BRACHYANTHERUM* (MEADOW BARLEY), *FESTUCA RUNRMOLATE* BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 13) THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- 14) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO COUNTY RMA-ENVIRONMENTAL SERVICES PRIOR TO BEG. WORK.

Material Delivery and Storage WM-1



Description and Purpose
Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or watercourses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

This best management practice covers only material delivery and storage. For other information on materials, see WM-2, Material Use, or WM-4, Spill Prevention and Control. For information on wastes, see the waste management BMP's in this section.

Categories

- EC Erosion Control
SE Sediment Control
TC Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Management and Materials Pollution Control

- Legend:
Primary Category
Secondary Category

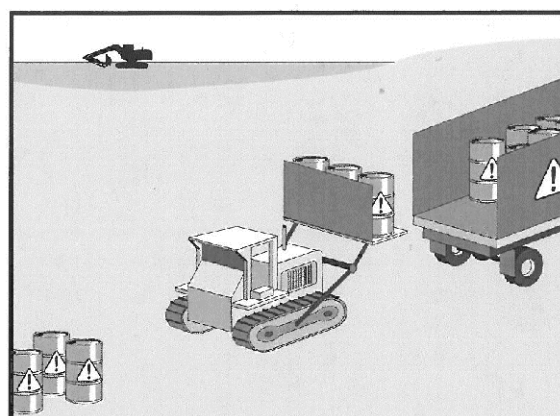
Targeted Constituents

- Sediment
Nutrients
Trash
Metals
Bacteria
Oil and Grease
Organics

Potential Alternatives

None

Hazardous Waste Management WM-6



Description and Purpose
Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

Categories

- EC Erosion Control
SE Sediment Control
TC Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Management and Materials Pollution Control

- Legend:
Primary Objective
Secondary Objective

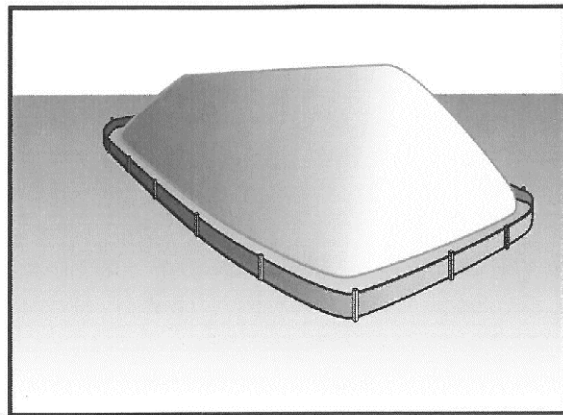
Targeted Constituents

- Nutrients
Trash
Metals
Bacteria
Oil and Grease
Organics

Potential Alternatives

None

Stockpile Management WM-3



Description and Purpose
Stockpile management procedures and practices are designed to reduce or eliminate air and stormwater pollution from stockpiles of soil, soil amendments, sand, paving materials such as portland cement concrete (PCC) rubble, asphalt concrete (AC), asphalt concrete rubble, aggregate base, aggregate sub base or pre-mixed aggregate, asphalt binder (so called "cold mix" asphalt), and pressure treated wood.

Categories

- EC Erosion Control
SE Sediment Control
TC Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Management and Materials Pollution Control

- Legend:
Primary Category
Secondary Category

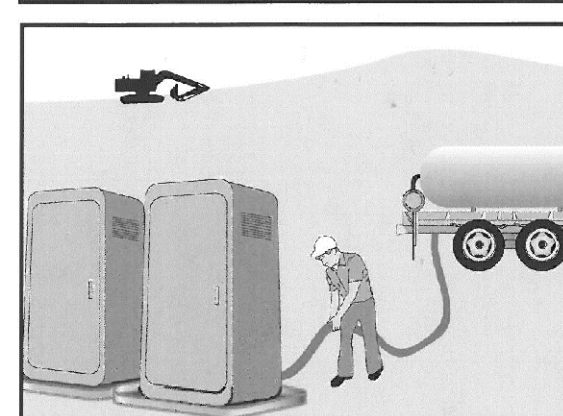
Targeted Constituents

- Sediment
Nutrients
Trash
Metals
Bacteria
Oil and Grease
Organics

Potential Alternatives

None

Sanitary/Septic Waste Management WM-9



Description and Purpose
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

Categories

- EC Erosion Control
SE Sediment Control
TC Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Management and Materials Pollution Control

- Legend:
Primary Category
Secondary Category

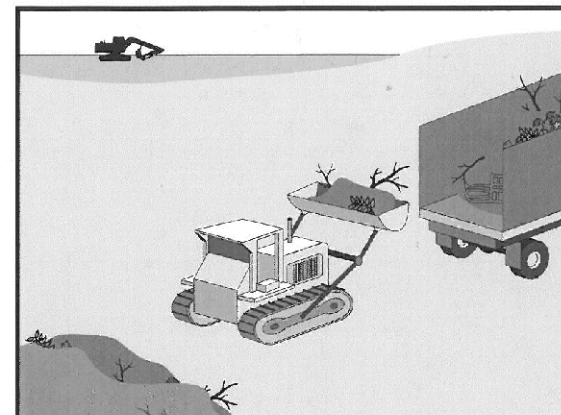
Targeted Constituents

- Sediment
Nutrients
Trash
Metals
Bacteria
Oil and Grease
Organics

Potential Alternatives

None

Solid Waste Management WM-5



Description and Purpose
Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

Categories

- EC Erosion Control
SE Sediment Control
TC Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Management and Materials Pollution Control

- Legend:
Primary Objective
Secondary Objective

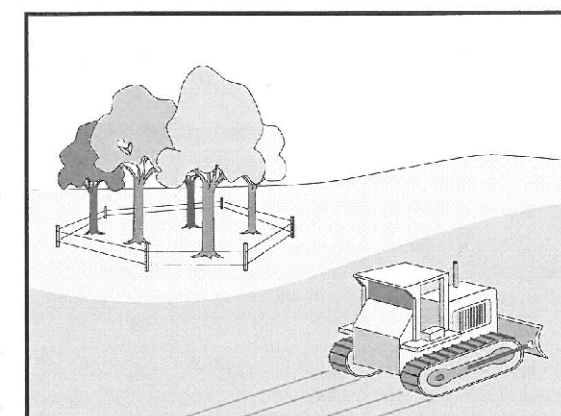
Targeted Constituents

- Sediment
Nutrients
Trash
Metals
Bacteria
Oil and Grease
Organics

Potential Alternatives

None

Preservation Of Existing Vegetation EC-2



Description and Purpose
Carefully planned preservation of existing vegetation minimizes the potential of removing or injuring existing trees, vines, shrubs, and grasses that protect soil from erosion.

Categories

- EC Erosion Control
SE Sediment Control
TC Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Management and Materials Pollution Control

- Legend:
Primary Objective
Secondary Objective

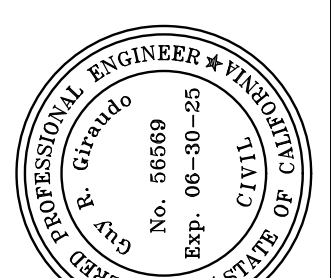
Targeted Constituents

- Sediment
Nutrients
Trash
Metals
Bacteria
Oil and Grease
Organics

Potential Alternatives

None

" EROSION & SEDIMENT CONTROL PLAN "



APPROVED BY:
GUY R. GIRA, P.E.
CIVIL
No. 66666
Exp. 06-30-25

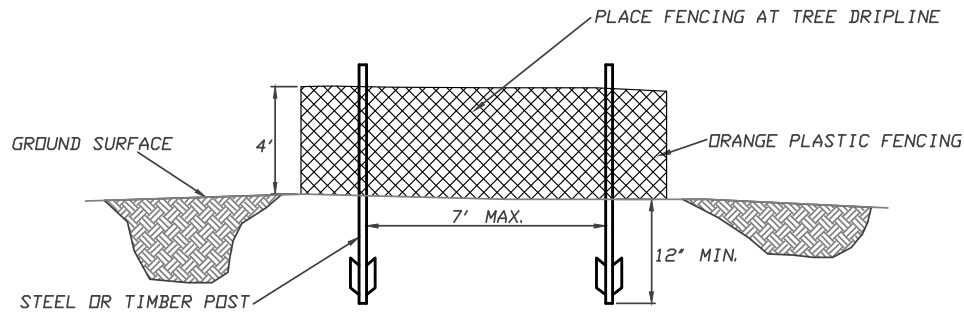
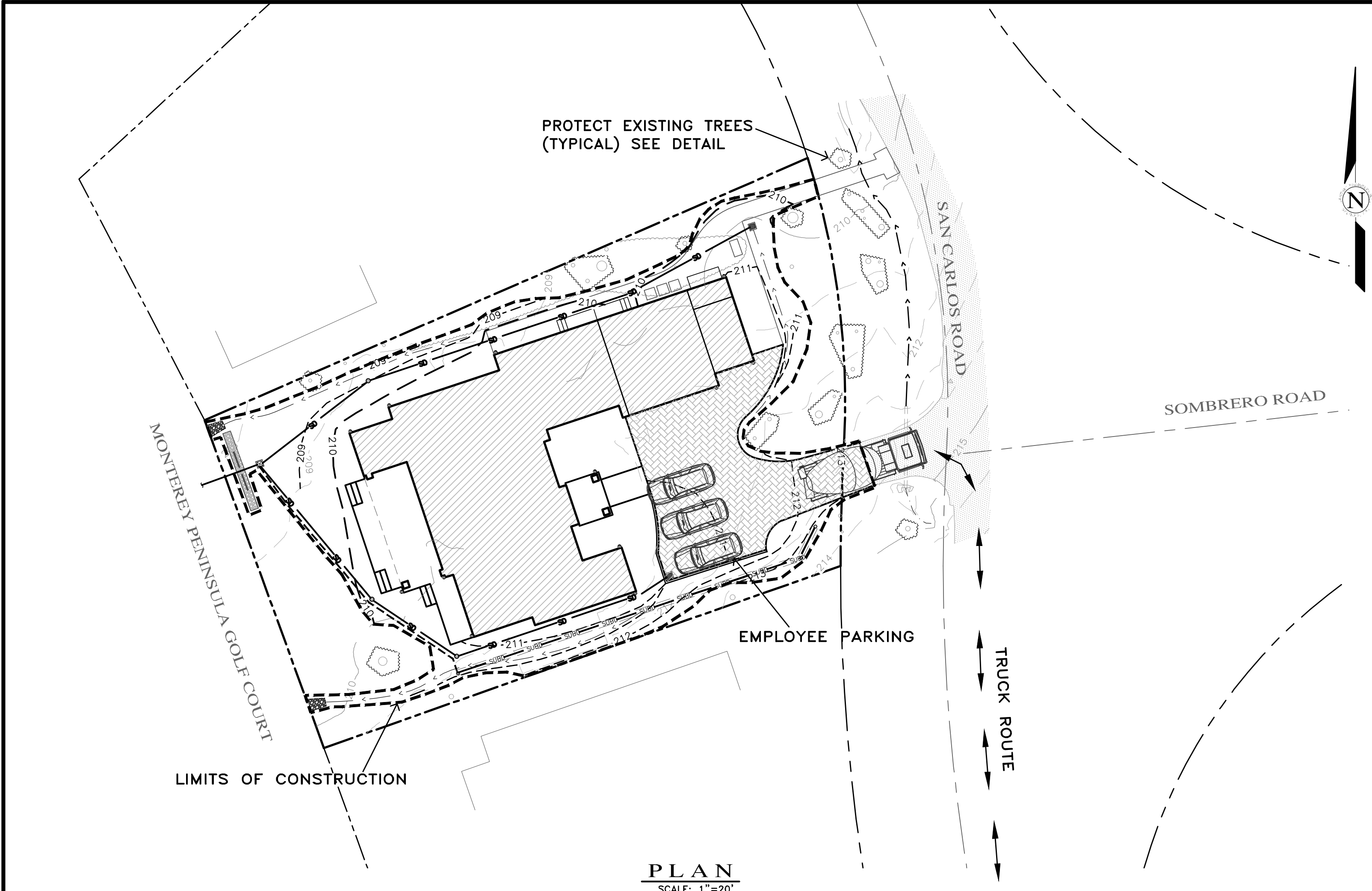


CASTLEMAN RESIDENCE
OF
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
A.P.N.: 007-282-004
FOR MR. & MRS. MIKE & CAROL CASTLEMAN

SCALE: AS SHOWN
DATE: FEBRUARY 2025
JOB NO. 2748-02

SHEET C3

OF 4 SHEETS



EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.:
75 CY CUT
140 CY FILL

CONSTRUCTION STAGING:
DEMOLISH EXISTING HARDSCAPE AND OFFHAUL DEBRIS. EXISTING DRIVEWAY TO BE USED FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREA.

PERFORM GRADING, CONSTRUCT STRUCTURES, AND INSTALL UNDERGROUND UTILITIES. PROPOSED NEW MOTOR COURT AREA TO BE USED FOR MATERIAL AND EQUIPMENT STAGING.

INSTALL NEW PERVIOUS PAVERS DRIVEWAY AND LANDSCAPING.

SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES. CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON SAN CARLOS ROAD AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

HAUL ROUTES:
THE HAUL ROUTE TO THE SITE IS FROM HIGHWAY 68 TO MORSE DRIVE TO CONGRESS ROAD TO BIRD ROCK ROAD TO STEVENSON ROAD TO SAN CARLOS ROAD. (HAUL TRUCKS EXIT IN THE SAME FASHION.) VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE (IF NECESSARY) ON SAN CARLOS ROAD. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

MATERIAL DELIVERIES:
IN THE EVENT THAT MATERIAL DELIVERIES CAUSE ANY STREETS ALONG THE HAUL ROUTE TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY/ CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE HAUL ROUTE AND SURROUNDING STREETS.

EMPLOYEE PARKING:
LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING LOTS AND CARPOOL TO JOBSITE IF POSSIBLE. ON-SITE PARKING SHALL BE IN PROPOSED NEW MOTOR COURT AREA AND IN LEGAL SPACES ALONG SAN CARLOS ROAD, OBEYING ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

TRUCK TRIP GENERATION CHART:

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION/CLKEARING	3	2
GRADING & SOIL REMOVAL (EXPORT)	1	1
ENGINEERING MATERIALS (IMPORT)	4	2
TOTALS	8	5

TRUCK TRIP GENERATION NOTES:

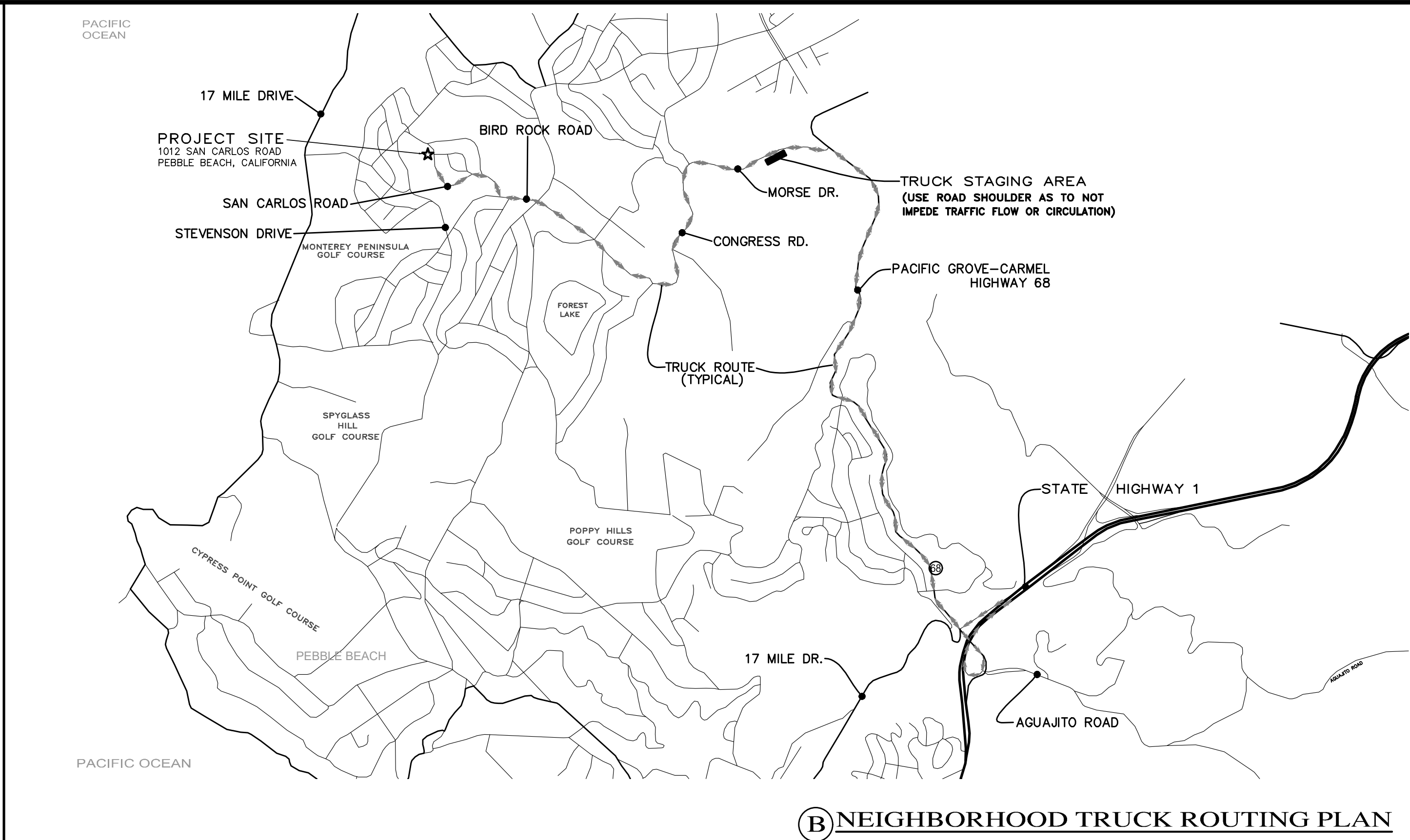
1. TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 5 TRUCK LOADS PER DAY.
2. THERE ARE 65 C.Y. OF SOIL MATERIAL THAT WILL BE IMPORTED TO THE SITE.
3. GRADING OPERATIONS SHALL TAKE APPROXIMATELY 5 WORKING DAYS TO COMPLETE.
4. THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 120 CUBIC YARDS.

NUMBER OF EMPLOYEES/DAY: 6-10

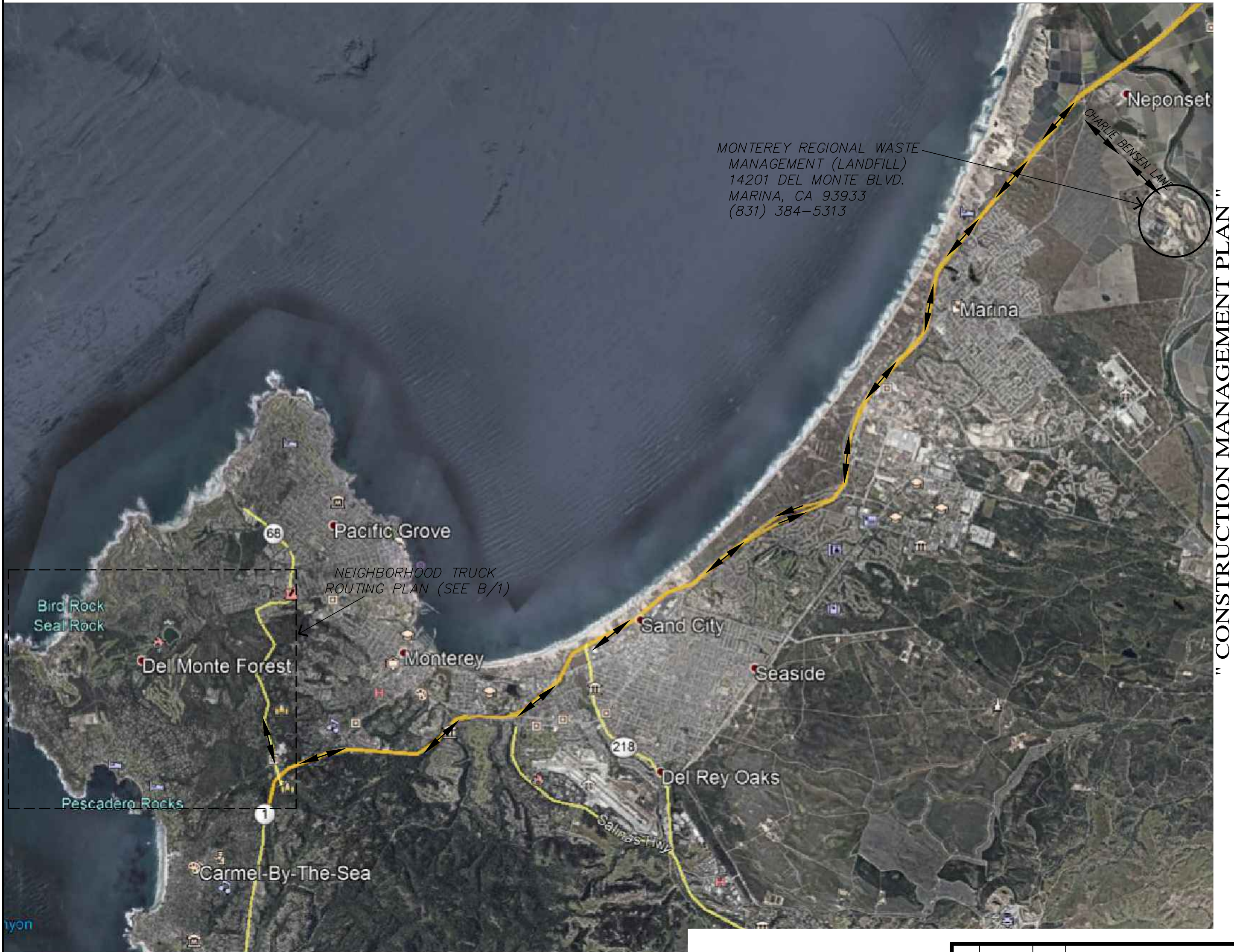
HOURS OF OPERATION/DAY: 8

PROJECT SCHEDULING: PROJECTED START DATE 18 MARCH 2025, 5 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.

A CONSTRUCTION STAGING PLAN



B NEIGHBORHOOD TRUCK ROUTING PLAN



OVERALL TRUCK ROUTING PLAN
NOT TO SCALE

No.	DATE	BY	REVISION
	02/27/25	AMS	RELEASED TO CLIENT
	02/14/25	AMS	RELEASED TO CLIENT

CONSTRUCTION MANAGEMENT PLAN "

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF CASTLEMAN RESIDENCE

A.P.N.: 007-282-004

PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA

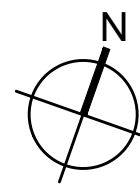
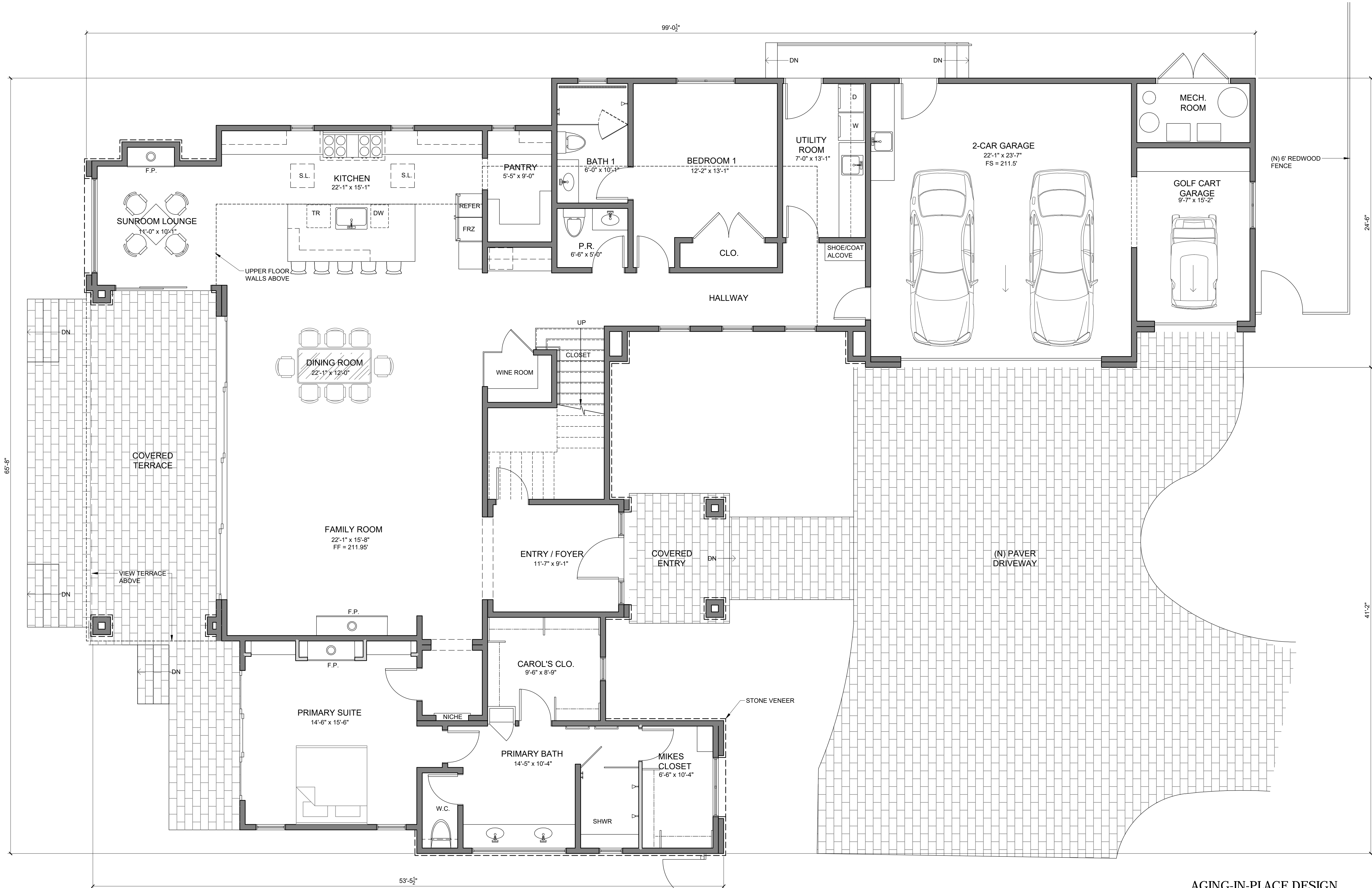
MR. & MRS. MIKE & CAROL CASTLEMAN

SCALE: AS SHOWN
DATE: FEBRUARY 2025
JOB NO. 2748-02

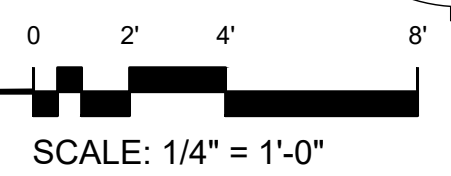
SHEET **C4**
OF 4 SHEETS

APPROVED BY:
GUY R. GIRAUDO
2/28/25
PROFESSIONAL ENGINEER
CIVIL
No. 56680
Exp. 06-30-26
LANDSET ENGINEERS, INC.
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www.landseteng.com





PROPOSED MAIN FLOOR PLAN
1/4" = 1'-0"



WALL LEGEND

NEW 2x6 WALLS

- EXTERIOR WALLS- 2x6 STUDS @ 16" OC U.O.N. CEMENT PLASTER ON EXTERIOR FACE WITH 5/8" TYPE 'X' GWB ON THE INTERIOR.
- INTERIOR WALL- 2x4 STUDS @ 16" OC WITH 5/8" TYPE 'X' GWB ON BOTH SIDES.
- SHOWER AND TUB WALLS SHALL HAVE FLOOR TO CEILING GLASS MAT GYPSUM PANELS, FIBER REINFORCED GYPSUM PANELS, NON-ASBESTOS FIBER-CEMENT BACKER BOARD, OR NON-ASBESTOS FIBER-CEMENT REINFORCED CEMENTITIOUS BACKER UNITS INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS[R702.4.2]
- ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- CONTRACTOR TO SEE ARCHITECTURAL & STRUCTURAL WALL DETAILS FOR ADDITIONAL NOTES REGARDING INSULATION, SHEAR, SOUND, ETC.
- SEE BUILDING SECTIONS SHEET FOR INSULATION SCHEDULE.
- PROVIDE BLOCKING AND/OR BACKING AT ALL TOWEL BAR LOCATIONS.

AGING-IN-PLACE DESIGN & FALL PREVENTION

- IN NEW CONSTRUCTION
- PROVIDE REINFORCING FOR FUTURE GRAB BARS IN AT LEAST ONE RESTROOM ON THE ENTRY LEVEL. [R327.1.1] REINFORCEMENT SHALL BE NOT LESS THAN 2X8 BLOCKING LOCATED BETWEEN 32" AND 39-1/4" ABOVE FINISHED FLOOR, FLUSH WITH THE WALL FRAMING. [R327.1.1 #2]
 - ALL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS SHALL BE NO MORE THAN 48" ABOVE FINISHED FLOOR AND NO LESS THAN 15" ABOVE FINISHED FLOOR. [R327.1.2]
 - AT LEAST ONE BATHROOM AND ONE BEDROOM ON THE ENTRY LEVEL SHALL PROVIDE A NET CLEAR OPENING OF NOT LESS THAN 32" MEASURED WITH THE DOOR POSITION AT AN ANGLE OF 90 DEGREES FROM THE CLOSED POSITION.
 - DOORBELL BUTTONS, WHEN INSTALLED, SHALL EXCEED MORE THAN 48" ABOVE THE EXTERIOR FLOOR OR LANDING. [R327.1.4]

PROJECT NAME:

CASTLEMAN RESIDENCE

1012 SAN CARLOS ROAD
PEBBLE BEACH, CA 93953
APN: 007-282-004-000

MOORE DESIGN Inc.
RESIDENTIAL PLANNING & CONSTRUCTION ADMINISTRATION
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john@mooredesign.org

DRAWING RECORD

DESCRIPTION	ISSUED
PLN SUBMIT	3/12/2025
PLN RE-SUBMIT	5/14/2025

PRINT DATE: 5/14/2025

MEMBER

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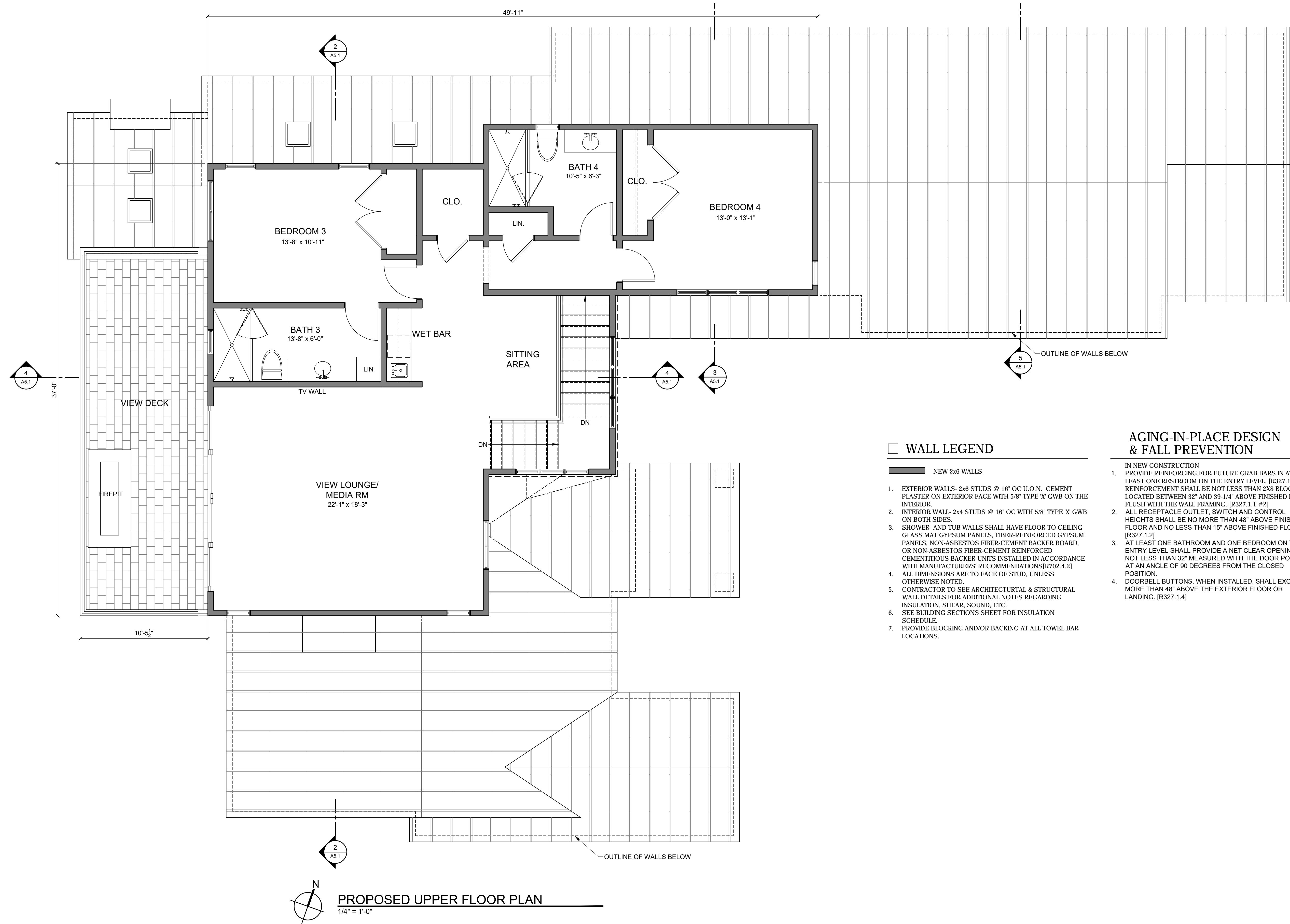
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SHEET TITLE:

MAIN FLOOR PLAN

SHEET NUMBER:

A2.1



PROJECT NAME:
**CASTLEMAN
RESIDENCE**

1012 SAN CARLOS
ROAD
PEBBLE BEACH, CA
93953
APN: 007-282-004-000

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SHEET TITLE:
**UPPER FLOOR
PLAN**

SHEET NUMBER:
A2.2

CASTLEMAN
RESIDENCE



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SHEET TITLE:
ROOF PLAN

SHEET NUMBER:
A2.3



1. Roof Material = Western States Burnished Slate Standing Seam Metal Roof
2. Field verify with owner and/or Designer color and/or blend of roofing units prior to installation
3. Roof Slope = Varies - see roof plan on sheet A2.3
4. Overhang = 6" unless otherwise noted
5. Ogee gutters with 3" round downspouts
6. Gang all vent stacks to minimize quantity of roof jacks and locate roof jacks in least visible location
7. SPARK ARRESTER: Net free area of spark arrester shall not be less than four times the net free outlet of the chimney flue it serves, arrester screen shall have heat and corrosion resistance equal to 12 gauge wire, 19 gauge galvanized steel or 24 gauge stainless steel (CRC R1003.9.1).
7. CHIMNEY TERMINATION: Chimneys shall extend a least 2' higher than any portion of a building within 10' horizontally, but shall not be less than 3' above the highest point where the chimney passes through the roof (CRC R1003.9).
8. Masonry or concrete chimneys shall be anchored at each floor, ceiling or roof line more than 6' above grade with (2) 3/16" x 1" metal straps around the outer bars and extend 6' beyond the bend. Each strap shall be fastened to not less than four floor ceiling or roof joists or rafters with two 1/2-inch bolts per CRC R1001.4.1



CONCEPTUAL FRONT ELEVATION

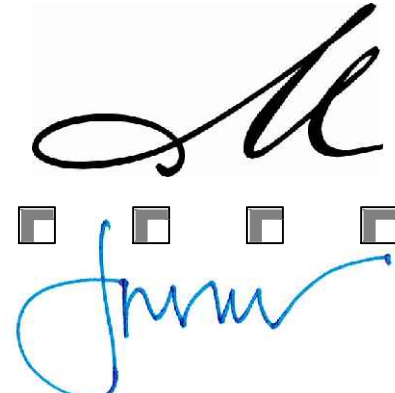


CONCEPTUAL REAR ELEVATION

PROJECT NAME:

**CASTLEMAN
RESIDENCE**

1012 SAN CARLOS
ROAD
PEBBLE BEACH, CA
93953
APN: 007-282-004-000


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SHEET TITLE:

**COLOR
RENDERINGS**

SHEET NUMBER:

A4.0

PROJECT NAME:
**CASTLEMAN
RESIDENCE**

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SHEET TITLE:
ELEVATIONS

SHEET NUMBER:
A4.1



1 PROPOSED EAST ELEVATION
1/4" = 1'-0"

0 2' 4' 8'
SCALE: 1/4" = 1'-0"

SHEET NOTES

1. ROOF - WESTERN STATES BURNISHED SLATE STANDING SEAM METAL ROOF
2. WALLS - TWO COATS EXTERIOR PAINT (BODY COLOR - SHERWIN WILLIAMS USEFUL GRAY SW7050), (TRIM COLOR - SHERWIN WILLIAMS SEALSKIN SW7675) OVER 7/8" CEM. PLASTER W/ EXP. METAL LATH & PLASTESIZER ADDITIVE (3 COAT PER CBC 2508.1) 0/2 LAYERS GRADE 'D' BLDG. PAPER.
3. WINDOWS - QUARTZ NEW DARK BRONZE WOOD CLAD DOUBLE PANE WINDOWS.
4. GUTTERS - OGEE GUTTERS WITH 3" ROUND DOWNSPOUTS.
5. GUARDRAIL/ WINDSCREEN - STARPHIRE ULTRA CLEAR GLASS PANELS.
6. STONE VENEER - U.S. STONE SAINT CLERE
7. SKYLIGHT - FLAT DARK ANODIZED
8. EXTERIOR LIGHTS - HINKLEY ROK WALL MOUNT BLACK LANTERN (1788SK-LL)



2 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

0 2' 4' 8'
SCALE: 1/4" = 1'-0"

PROJECT NAME:

CASTLEMAN
RESIDENCE

1012 SAN CARLOS
ROAD
PEBBLE BEACH, CA
93953
APN: 007-282-004-000

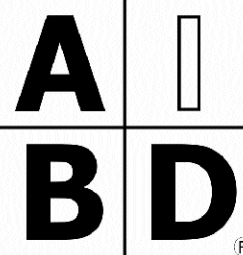

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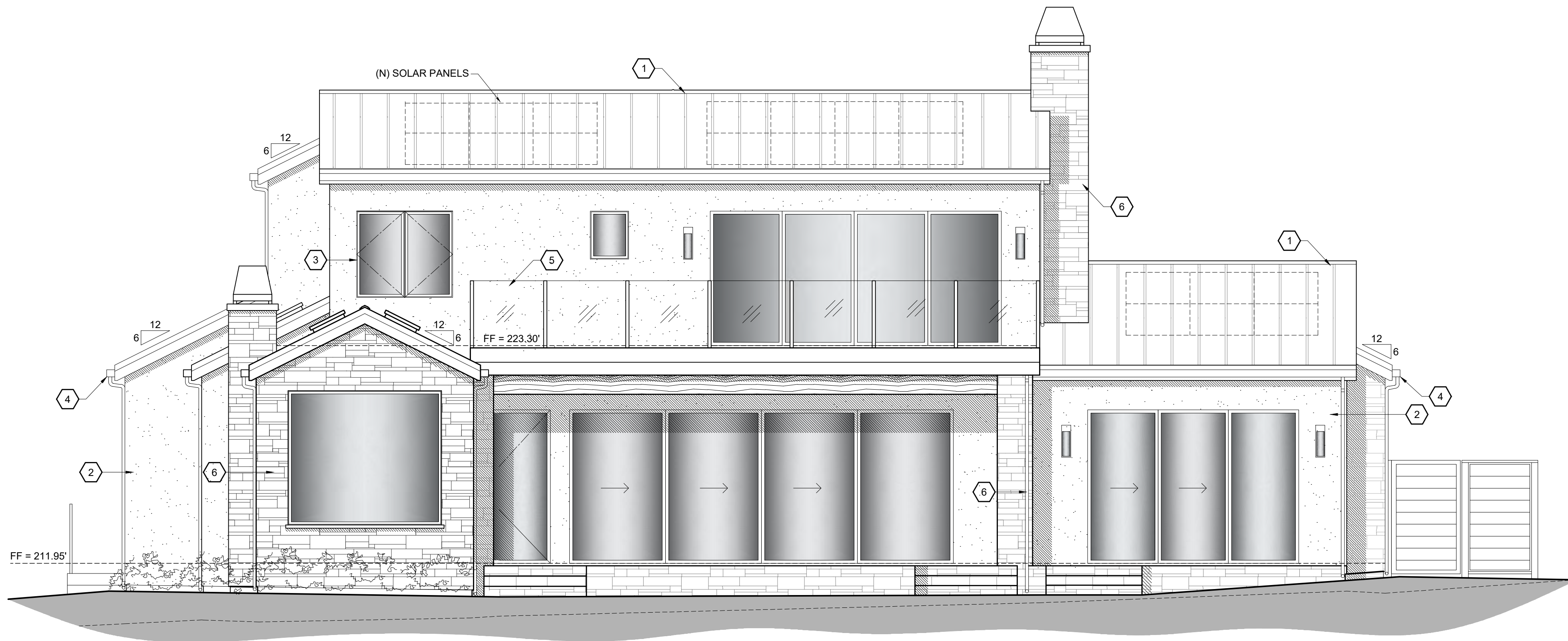
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SHEET TITLE:

ELEVATIONS

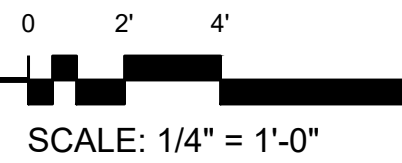
SHEET NUMBER:

A4.2



3 PROPOSED WEST ELEVATION

1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

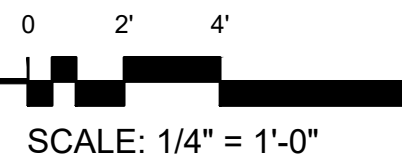
SHEET NOTES

1. ROOF - WESTERN STATES BURNISHED SLATE STANDING SEAM METAL ROOF
2. WALLS - TWO COATS EXTERIOR PAINT (BODY COLOR - SHERWIN WILLIAMS USEFUL GRAY SW7050). (TRIM COLOR - SHERWIN WILLIAMS SEALSKIN SW7675) OVER 7/8" CEM. PLASTER W/ EXP. METAL LATH & PLASTESIZER ADDITIVE (3 COAT PER CBC 2508.1) 0/2 LAYERS GRADE 'D' BLDG. PAPER.
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5. GUARDRAIL/ WINDSCREEN - STARPHIRE ULTRA CLEAR GLASS PANELS.
6. STONE VENEER - U.S. STONE SAINT CLERE
7. SKYLIGHT - FLAT DARK ANODIZED
8. EXTERIOR LIGHTS - HINKLEY ROOK WALL MOUNT BLACK LANTERN (1788SK-LL)



4 PROPOSED NORTH ELEVATION

1/4" = 1'-0"



SCALE: 1/4" = 1'-0"