

Exhibit A

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DRAFT RESOLUTION

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

**SCHMIDT RICHARD A & ANGELLA TRS
(PLN230342) RESOLUTION NO. 26-**

Resolution by the County of Monterey Zoning Administrator:

- 1) Finding the project Categorical Exempt pursuant to CEQA Guidelines section 15301, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Combined Development Permit consisting of an:
 - a. Coastal Administrative Permit and Design Approval for the construction of a 411 square foot addition to an existing 2,295 square foot two-story single-family dwelling with an attached garage; and
 - b. Variance to allow the reduction of the required side (south) setback from 20 feet to 11 feet 9 inches;

[PLN230342 SCHMIDT RICHARD A & ANGELLA TRS, 96 Oak Way, Carmel, Monterey, 93940, Carmel Land Use Plan, Coastal Zone (Assessor's Parcel Number 241-131-017-000)]

The SCHMIDT RICHARD A & ANGELLA TRS application (PLN230342) came on for a public hearing before the County of Monterey Zoning Administrator on April 9, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the County of Monterey Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan;
 - Carmel Area Land Use Plan (LUP);
 - Monterey County Coastal Implementation Plan (CIP), Part 4; and
 - the Monterey County Zoning Ordinance (Title 20).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Project Scope. The project consists of constructing a 411 square foot second-story addition to an existing legal nonconforming 2,295 square foot two-story single-family dwelling with an attached garage and associated site improvements. Associated site improvements include demolition of the roof over the existing garage for the second-story addition, grading of 10.8 cubic yards of cut, a 41-square-foot balcony, and a new roof.
- c) Allowed Use. The property is located at 96 Oak Way, Carmel, in the Carmel Area Land Use Plan. The parcel is zoned Low Density Residential with a density of 1 unit per acre with a Design Control Overlay in the Coastal Zone, or “LDR/1-D(CZ)”, which allows for the establishment of the first single-family dwelling record and attached accessory structures such as garages as a principally allowed uses subject to the granting of a Coastal Administrative Permit pursuant to Title 20 sections 20.14.040.A and 20.14.040.F. Therefore, the proposed development is subject to the granting of a Coastal Administrative Permit in this case. Therefore, the project is an allowed land use for this site.
- d) Lot Legality. The subject property (8,567 square feet, or 0.197 acres), APN:241-131-017-000, is depicted in its current configuration in “Licensed Surveyor’s Map of Tompkins Property at Carmel Highlands, California” (Volume 3 of Surveys, Page 118), recorded on April 14th, 1927. Therefore, the County recognizes the property as a legal lot of record.
- e) Design/Neighborhood and Community Character. The subject parcel and surrounding area are designated as a Design Control overlay zoning district (“D” zoning overlay), and pursuant to Title 20 Chapter 20.44, the location, size, configuration, materials, and colors of structures and fences are regulated to assure the protection of the neighborhood character. The neighborhood of the subject property is located within the Tompkins Subdivision within the Carmel Highlands. The surrounding neighborhood has architectural variety, ranging from rustic cottages, Mediterranean and Spanish revival, to coastal modern and vernacular styles, etcetera.

The existing single-family dwelling is a wood-framed vernacular-style home with painted brick veneer, board siding, and cross gable roofing steeply sloped, with architectural detailing including French doors and multi-paned windows. The addition will be a shorter height than the existing dwelling, creating transitions in height and orientation, which will create a varied roof form similar to the other residences in the neighborhood. In accordance with the Carmel Area CIP section 20.146.030.C.1.c, the proposed colors and materials will match the existing residence and give the general appearance of natural materials, including warm light golden-brown trim, aged cedar composite shingles, and beige siding for the exterior walls. Due to the distance,

topography, vegetation, and intervening development, the project would not be visible from the scenic highway. These finishes are unobtrusive and consistent with the surrounding rural environment and neighborhood character.

- f) Development Standards. Development Standards for the base RDR zoning district are found in Title 20 Section 20.12.060. The project meets the maximum allowable structure height, maximum allowable, front setback minimum, northeastern side setback minimum, and rear setback minimum. The required setbacks for in the RDR zoning district for main structures are 30 feet (front), 20 feet (side), and 20 feet (rear). The proposed second-story addition to the existing single-family dwelling will continue to meet the following setbacks at around 34 feet (front), 20 feet (northeastern side), and 30 feet (rear). The proposed addition will be within the same footprint above the garage with the southwestern side setback at 11 feet 9 inches; accordingly, the existing single-family dwelling does not comply with the current required 20 feet side setback. The maximum allowable height structure height is 30 feet, and the proposed addition to the home is 22 feet 6 inches, in comparison to the existing single-family dwelling height of 24 feet 3 inches. The Findings necessary to grant variances to reduce the southwestern side setback can be met. See Findings No. 5 – 7 and supporting evidence. The existing gross floor area is 2,295 square feet, and the proposed gross floor area is 2,706 square feet. The proposed development would increase the internal floor area by approximately 17.9%. Therefore, with the granting of this Variance, the project complies with applicable site development standards.
- g) Legal Non-Conforming Building Site Coverage & Setbacks- The existing single-family dwelling was built in 1962 and zoned R-1, prior to the adoption of existing site development standards for the LDR zoning district. In 1955, the required setbacks for main structures in the R-1 zoning district were 20 feet (front), 6 feet (side), and 10 feet (rear), while the maximum building site coverage allowed was 35%. The existing residence complies with the setback and building site coverage requirements of the 1955 R-1 zoning district. However, the northern portion of the existing residence and the southern portion of the existing garage do not conform to the current Low Density Residential side setbacks for main structures (20 feet) and building site coverage of 15% as identified in Title 20 section 21.14.060, thereby making the site legal nonconforming as to building site coverage and setbacks.

Title 20.78.040 identifies the circumstances in which a Variance may be justified and/or granted meeting the criteria of the following findings; special circumstances involving the size, shape, topography, location, or surroundings to the subject property, that the granting would not grant special privileges inconsistent with said properties limitations, and that a variance is not granted for use not authorized by the governing zoning district. Modification to structures nonconforming as to setback must comply with current zoning district requirements, unless a variance is granted. The project scope includes construction of a 411 square foot

addition to an existing 2,295 square foot two-story single-family dwelling with an attached garage, and associated site improvements. This work would not change the existing site coverage and would maintain the existing setback, subject to the granting of this Variance. See Finding No. 5, 6, and 7 and supporting evidence.

- h) Cultural Resources. According to the Monterey County Geographic Information System (GIS), the subject property is within an area of high archaeological sensitivity. In accordance with CIP section 20.146.090, any new development being proposed within high sensitivity zones, or within 150 feet of a known recorded archaeological and/or cultural site, shall complete a Phase One Archaeological survey. According to the prepared Phase One Archaeological Survey (County of Monterey Library No. LIB250275), no cultural resources or indications of archaeological resources were identified during the Project Archaeologist's pedestrian survey of the project site. Minimal ground disturbance is proposed (10.8 cubic yards). The potential for inadvertent impacts to cultural resources is limited and will be controlled by use of the County's standard condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction.
- i) Historical Resources. The property contains an existing structure over 50 years of age that was constructed in 1962, after the land was sold by noted author Elizabeth Knight Tompkins and subdivided for development. A Phase One Historical Assessment Evaluation (County of Monterey Library No. LIB250205) was conducted. The assessment deemed that the subject property is not considered a historic resource as defined by the California Environmental Quality Act (CEQA). Therefore, the project will not impact any historical resources.
- j) Geologic Hazards. The project site is in an area of known geological hazard. According to the prepared Geologic Hazards Assessment (County of Monterey Library Nos LIB250206 and LIB250207), this site is suitable for the residential use this project proposes; there are no geological or seismic hazards that would preclude this property from being developed. See Finding 2, evidence "c".
- k) Land Use Advisory Committee (LUAC) Review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application warranted referral to the LUAC because the project involves a Design Approval subject to review by the Zoning Administrator. The project was referred to the Carmel Highlands Land Use Advisory Committee (LUAC) for review. The LUAC reviewed the project at a duly noticed public meeting on April 6th, 2026.
- l) The project planner conducted a site inspection on March 27, 2026, and reviewed aerial and street view imagery (Google maps and Monterey County GIS) to verify that the project on the subject parcel conforms to the plans listed above.
- m) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230342.

2. FINDING: SITE SUITABILITY – The site is physically suitable for the proposed development and use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Carmel Highlands FPD. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) In order to address historical resources, archaeological resources, geological hazards, and the geotechnical suitability of the site, the following reports were prepared:
 - “Phase I Archaeological Assessment in Support of the 96 Oak Way, Carmel Highlands” (County of Monterey Library No. LIB250275) prepared by Susan Morley M.A., Marina, CA 93933.
 - “Historic Evaluation of 96 Oak Way, Carmel Highlands, California” (County of Monterey Library No. LIB250205) prepared by Margaret E. Clovis M.A., Salinas, CA, November 2024.
 - “Geologic Hazards Assessment Schmidt Residence Renovation 96 Oak Way” (County of Monterey Library No. LIB250206) prepared by Craig S. Harwood, Ben Lomond, CA, December 2024.
 - “Geotechnical Report” (County of Monterey Library No. LIB250207) prepared by Belinda Taluban P.E., Salinas, CA, April 2025.

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

- c) Staff conducted a site inspection on March 27, 2026, to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230342.

3. FINDING: HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Carmel Highlands FPD. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.

- b) Potable water will continue to be provided through Cal Am and managed through the Monterey Peninsula Water Management District. The fixture count has been reduced from the existing single-family dwelling. EHB has reviewed the application and confirmed that this service is suitable for the project development.
- c) The property will continue to be served by an Onsite Wastewater Treatment System (OWTS). EHB has reviewed the application and confirmed that the OWTS is suitable for the project development.
- d) The project is located in a neighborhood where parking is limited. To minimize the overall construction impact on the neighborhood, a Construction Management Plan is required (Condition No. 5).
- e) Geological Hazards. According to Monterey County GIS, the subject property is located in both a high erosion hazard area and within 660 feet of active or potentially active faults. Pursuant to Carmel CIP section 20.146.080.1.B, both a Geological Hazards Assessment and a Geotechnical Report (County of Monterey Library Nos LIB250206 and LIB250207) were prepared to evaluate the geotechnical suitability of the site for the proposed development. Per the geologist's research, site reconnaissance, review of previous subsurface data, and review of stereo aerial photography and LiDAR imagery, there was no evidence indicative of active faults at or immediately adjacent to the building footprint areas. The report states the nearest fault line is the Malpas Fault, approximately 550 feet southeast of the project site. Additionally, the project site did not reveal any surface features, including a fault rupture that has occurred at the site. The existing structures, driveways, and roads do not reveal any strain, which would be attributable to subsurface, lateral, or vertical displacement, resulting from a fault slip. Therefore, surface rupture from fault activity across the site is considered improbable. Further, the project site is underlain by relatively strong soils and bedrock at a shallow depth. These materials are considered resistant to collateral spreading and as such, surface rupture from lateral spreading is considered improbable. The report concluded that the site was suitable for the development, provided all recommendations of the Geological Hazards Assessment and Geotechnical Report shall be incorporated into final construction plans pursuant to Title 16, section 16.08.110.D.
- f) Geotechnical Hazards. All recommendations of the Geological Hazards Assessment and Geotechnical Report shall be incorporated into final construction plans pursuant to Title 16 section 16.08.110. D. The geotechnical report identified loose fill soils overlying the native topsoil along the north of the proposed development area. The fill soils were identified as a potential source of structural settlement, particularly hydraulic loading, and the report recommended excavating the loose fill and processing it as engineered fill, as well as building a pad area, extending a minimum of five feet in each direction past the foundation footings, placing engineered fill, or finishing the subgrade for the new building pad. The overall area where the soil would be removed and re-compacted as engineered fill is 2000 p.s.f. for non-retaining footings, as well as 250 p.s.f. for lateral soil passive pressure. These materials are

considered resistant to collateral spreading and as such, surface rupture from lateral spreading is considered improbable. According to the prepared Geologic Hazards Assessment (County of Monterey Library No LIB250207), this site is suitable for the residential use this project proposes. All recommendations of the Geological Hazards Assessment and Geotechnical Report shall be incorporated into final construction plans pursuant to Title 16 section 16.08.110. D.

- g) Staff conducted a site inspection on March 27, 2026, to verify that the site is suitable for this use.
- h) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230342.

4. FINDING: **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on March 27, 2026, and researched County records to assess if any violation exists on the subject property.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230342.

5. FINDING: **VARIANCE (Special Circumstances, Side Setback)** – Because of special circumstances applicable to subject property, including size, shape, topography, location or surroundings, the strict application of the Inland Zoning Ordinance (Title 21) is found to deprive subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification.

- EVIDENCE:**
- a) Due to the narrow width of the property and relatively small lot size, the applicant has requested a side setback variance to reduce the south side setback from 20 feet to 11 feet 9 inches (an 8-foot-3-inch reduction).
 - b) There are 145 residential lots total within the Tompkins Subdivision, with 13 residential lots located along Oak Way. Four of these lots are considered through lots with two front setbacks facing both Oak Way and other neighboring roadways (Pine Way or Cypress Way). The remaining nine lots front Oak Way. The width of these properties, as bisected by Saddle Road, was approximated using Monterey County GIS. The properties range from approximately 64.4 feet to 240.2 feet in width. The average lot width was estimated to be 117.4 feet. With an average width of 83 feet, the subject property is one of the narrowest of these properties and is 34.4 feet narrower than the average lot width.
 - c) Of the 145 residential lots in the surrounding area, the subject property (0.19 acres; 8,567 square feet) is the fourth smallest lot. The surrounding neighborhood, according GIS, has an average lot size of 37,277 square feet in the LDR zoning. At 8,567 square feet, the subject property is less than 23% of the size of what is typical for this zoning in

this neighborhood. Further limiting the property is that the setbacks encumber 73% of the lot unbuildable (6265 square feet of the total 8567 square feet). This means only 2,302 square feet of the property is developable because of the setbacks.

- d) The property's narrow width and small size restrict the ability of the property owner to design additions to their home in a comparable manner to those other properties along Oak Way with an identical zoning classification. Furthermore, the property's existing non-conforming requires any addition to the residence to be constructed over existing structures. The proposed second-story addition is constructed directly over the existing garage, but proposes to maintain the existing non-conforming setback to allow a functional master bedroom size.
- e) While the applicant could redesign the proposed addition to comply with current setbacks, it would limit the size of the proposed master bedroom. Further, siting the development in the front or rear of the property would intensify the legal nonconforming status of the building site coverage. Neighboring residences have a similar number of bedrooms, as well as a similar amount of massing in comparison to their parcel's square footage. The current proposed addition to being located on top of the existing garage would avoid any intensification of the legal nonconforming status and not increase impervious surface on the subject property.
- f) Staff conducted a site visit on March 27, 2026, to verify the special circumstances related to the property.
- g) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230342.

6. FINDING: VARIANCE (Special Privilege, Side Setback) – the south side setback variance does not constitute a grant of special privileges inconsistent with the limitations upon other property in the vicinity and zone in which such property is situated.

- EVIDENCE:**
- a) The granting of the side setback variance would not constitute a special privilege, as this property is uniquely narrow.
 - b) The property is surrounded by second-story single-family dwellings. Other homes in the neighborhood are larger. The average square footage of all neighboring homes that are located on LDR zoned parcels is 2,276square feet, whereas the existing residence home is 1,668 square feet, making it 26.71% smaller than that of similar homes in the surrounding area. Introduction of the 411 square foot addition will result in a residence that is of comparable size to others, but still smaller than the average residence in this neighborhood.
 - c) Within the immediate neighborhood, seven variances to reduce the side or front have been granted. These variances recognize the unique topography, irregular lot size, or small lot size. HCD-Planning File Nos. ZA-3674 and ZA-6133 approved variances to allow additions to be constructed over existing structures that encroached into the required setback and cited topography (steep slopes) as a unique constraint that limited other design alternatives. Therefore, the granting of this

variance, which would allow a second-story addition over an existing garage with legal non-conforming setbacks on a small, irregularly shaped lot, would not constitute a grant of special privileges inconsistent with the limitations upon other property in the vicinity and zone in which such property is situated.

- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File PLN230342.

7. FINDING: VARIANCE (Use) – Approval of the front and side setback variances does not authorize a use or activity which is not otherwise expressly authorized by the zone regularly governing the parcel of property.

- EVIDENCE:**
- a) As indicated in Finding No. 1, the parcel is zoned Low Density Residential with a density of 1 unit per acre with a Design Control Overlay in the Coastal Zone or “LDR/1-D(CZ)”, which allows the first single-family dwelling on a legal lot of record and attached accessory structures, including garages (Title 20 Sections 20.14.040.A. and 20.14.040.F., respectively). Therefore, the proposed addition is an allowed land use for this site.
 - b) Staff conducted a site visit on March 27, 2026, and there was no indication that the approval of the requested variances would grant a land use that would otherwise not be authorized by the zoning.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230342.

8. FINDING: CEQA (Exempt) – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15301, categorically exempts minor alterations of existing public or private structures that will not result in an increase of more than 2,500 square feet.
 - b) The project consists of the construction of a second-story addition to an existing single-family dwelling. Therefore, the project qualifies for a Class 1 exemption.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project.
 - d) The project is not in an area where a mapped environmental resource of hazardous or critical concern has been mapped.
 - e) The project consists of an addition to an existing single-family home on a property zoned to allow such uses and would not result in any potentially significant environmental affects and would therefore not contribute to a potentially significant cumulative impact.
 - f) There are no unusual circumstances that would create a reasonable possibility that the project would have a significant effect.
 - g) The project would not damage any scenic resources such as trees, rock outcroppings, or historical structures, within view of a State Scenic Highway.

- h) The project is not located on a hazardous waste site compiled pursuant to 65962.5 of the Government Code.
- i) The project does not involve any identified historical resources.
- j) No adverse environmental effects were identified during staff review of the development application during a site visit on March 27, 2026.
- k) See supporting Finding Nos. 1, 2 and 12. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230342.

9. FINDING: PUBLIC ACCESS – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Carmel CIP Section 20.146.130, can be demonstrated.
 - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - c) The subject property is described as an area outside of where the Local Coastal Program requires physical public access (Figure 3, Local Coastal Program Public Access, in the Carmel LUP).
 - d) The subject project site is identified as an area where the Local Coastal Program requires visual public access (Map A- Local Coastal Program General Viewshed, in the Carmel LUP). Based on the project location, and its topographical relationship to visual public access points in the area, the development proposal will not interfere with visual access along Highway 1. Consistent with Carmel LUP Policy 5.3.2.4, the proposed development will not block significant public views toward the ocean and will not adversely impact the public viewshed or scenic character in the project vicinity.
 - e) The project planner completed a site inspection on March 27, 2026, to verify that the proposed project would not impact public access. The project planner also reviewed plans to verify that the proposed development will not impact public access or visual resources/access. See evidence “d” above. See also Finding No. 1 and supporting evidence.
 - f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230342.

10. FINDING: APPEALABILITY – The decision on this project may be appealed to the Board of Supervisors.

- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Title 20 section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) Coastal Commission. Pursuant to Title 20 section 20.86.080.A, the project is not subject to appeal by/to the California Coastal Commission.

This Variance is not appealable pursuant to Title 20 section 20.78.050.E as it is a variance to required setbacks.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find the project, as the construction of a single-family dwelling and associated site improvements, qualifies for a Class 1 Categorical Exemption Pursuant to 15301 of the CEQA Guidelines; and
2. Approve a Combined Development Permit consisting of an:
 - a. Coastal Administrative Permit and Design Approval for the construction of a 411 square foot addition to an existing 2,295 square foot two-story single-family dwelling with an attached garage;
 - b. Variance to allow the reduction of the required side setback from 20 feet to 11 feet 9 inches.

All of which are in general conformance with the attached project plans and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 9th day of April, 2026:

Mike Novo, Zoning Administrator, AICP

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230342

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Combined Development Permit (PLN230342) allows: 1) Coastal Administrative Permit and Design Approval for the construction of a 411 square foot addition to an existing 2,295 square foot two-story single-family dwelling with an attached garage; and 2) Variance to allow the reduction of required side setback from 20 feet to 11 feet 9 inches. The property is located at 96 Oak Way, Carmel, CA 93923 (Assessor's Parcel Number 421-131-017-000), Carmel Area Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Combined Development Permit (Resolution Number _____) was approved by the Zoning Administrator for Assessor's Parcel Number 421-131-017-000 on April 9th, 2026. The permit was granted subject to 5 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

5. PD055 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall submit a site-specific Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval that describes how the site will be managed during construction to protect onsite and nearby sensitive resources, avoid construction nuisance impacts to nearby properties, and reduce congesting/circulation impacts to the local transportation network. The applicant shall be required to adhere to the approved CMP. The Construction Management Plan shall include the following (as applicable):

- Names and contact information (primary and secondary) of parties responsible for project during construction.
- Summary table including:
 - Types of construction vehicles and number of trucks and/or vehicle trips/day.
 - Quantity and extent (acreage) of grading per day (Air Quality Management District Standards).
 - Hours of operation.
 - Project scheduling (dates) and duration of construction.
- Map illustrating:
 - Location of project (vicinity map).
 - Proposed route for hauling material.
 - Location of Sensitive Receptors (schools, hospitals, etc) along haul route.
 - Location of stockpiles and parking for construction vehicles.
 - Sensitive areas (tree protection zones, drainage, environmentally sensitive habitat, slopes, etc) where no parking, stockpiling, construction will occur.
- The CMP shall:
 - Prescribe measures to reduce traffic impacts including but not limited to scheduling hauling and material deliveries off-peak hours and encouraging carpooling
 - Prohibit blocking of access roads or driveways.
 - Avoid impacting access to private properties by not parking on neighboring properties or impinging on the travel lane of access roads. Construction vehicles shall be encouraged to not park directly in-front of neighboring properties.
 - Ensure pedestrian paths of travel are not impeded or that alternative paths of travel are provided.
 - Provide adequate storage and staging areas. Staging and storage areas shall be on-site to the maximum extent possible to reduce potential noise, dust, glare, and other impacts to neighboring property.
 - If on-site storage and staging areas cannot be accommodated, appropriate best management practices shall be implemented to ensure that off-site storage and staging do not adversely impact access or cause excessive noise, dust, or lighting for neighboring properties.
 - The Applicant/Owner may need to obtain separate authorization to utilize off-site storage and staging areas. The owner/applicant shall be responsible for securing this authorization prior to approval of the CMP.
 - Prior to the commencement of construction activities, the applicant shall post a publicly visible sign that outlines the specifics of the construction management plan, the telephone number of the on-site contractor, and the telephone number of the person to contact regarding complaints. This contact person shall respond to complaints and take corrective action within 24 hours.
 - Recommendations from the project biologist, arborist, archaeologist, and/or other qualified professionals relating to construction activities shall be included in the CMP.

(HCD - Planning)

- Compliance or Monitoring Action to be Performed:**
1. Prior to issuance of a construction permit, the Owner/Applicant/Contractor shall prepare and submit a CMP meeting the requirements of this condition to HCD-Planning and HCD-Engineering Services for review and approval.
 2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase yes, they of the project.

SCHMIDT RESIDENCE

**96 OAK WAY
CARMEL HIGHLANDS, CA 93923**

de sola.barnes
architects
PO BOX 223386
CARMEL, CA 93922
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PHOTOS-EXISTING CONDITIONS



VIEW FROM STREET (WEST ELEVATION)



VIEW FROM NORTH EAST CORNER OF PROPERTY



MAIN ENTRY (WEST ELEVATION)



VIEW FROM BACK OF PROPERTY (EAST ELEVATION)



SECONDARY ENTRANCE. SOUTH -WEST ELEVATIONS



VIEW FROM SOUTH EAST CORNER OF PROPERTY

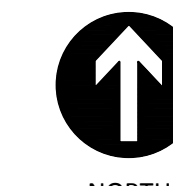
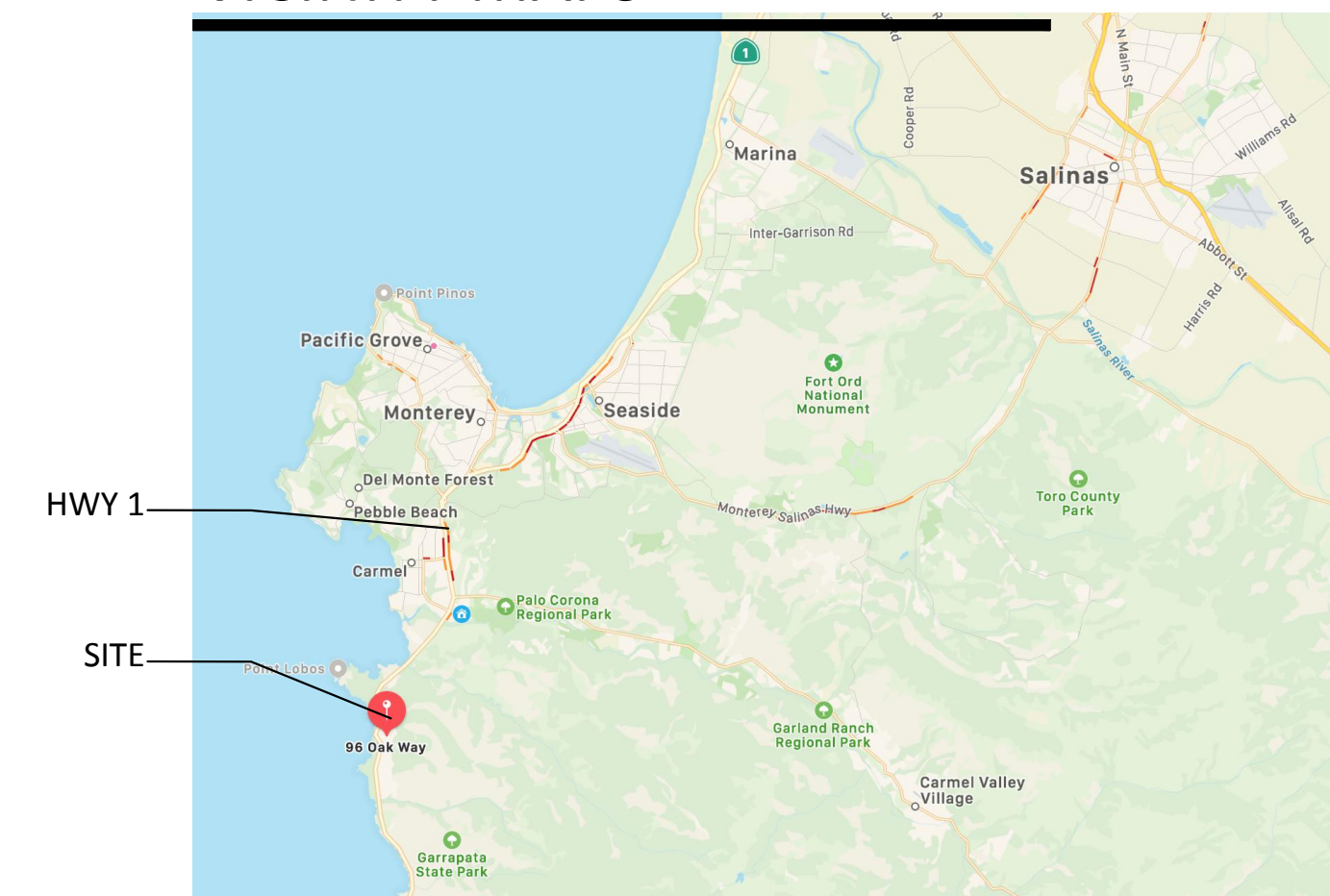
DRAWING LIST

- A0.0 PROJECT DATA
- A1.0 SITE PLAN
- A2.0 EXISTING & PROPOSED - 1ST FLOOR PLAN
- A2.1 EXISTING & PROPOSED - 2ND FLOOR PLAN
- A2.2 EXISTING & PROPOSED - ROOF PLAN
- A3.0 EXISTING & PROPOSED -EXTERIOR ELEVATIONS
- A3.1 EXISTING & PROPOSED -EXTERIOR ELEVATIONS

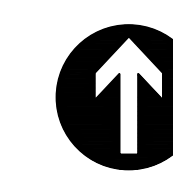
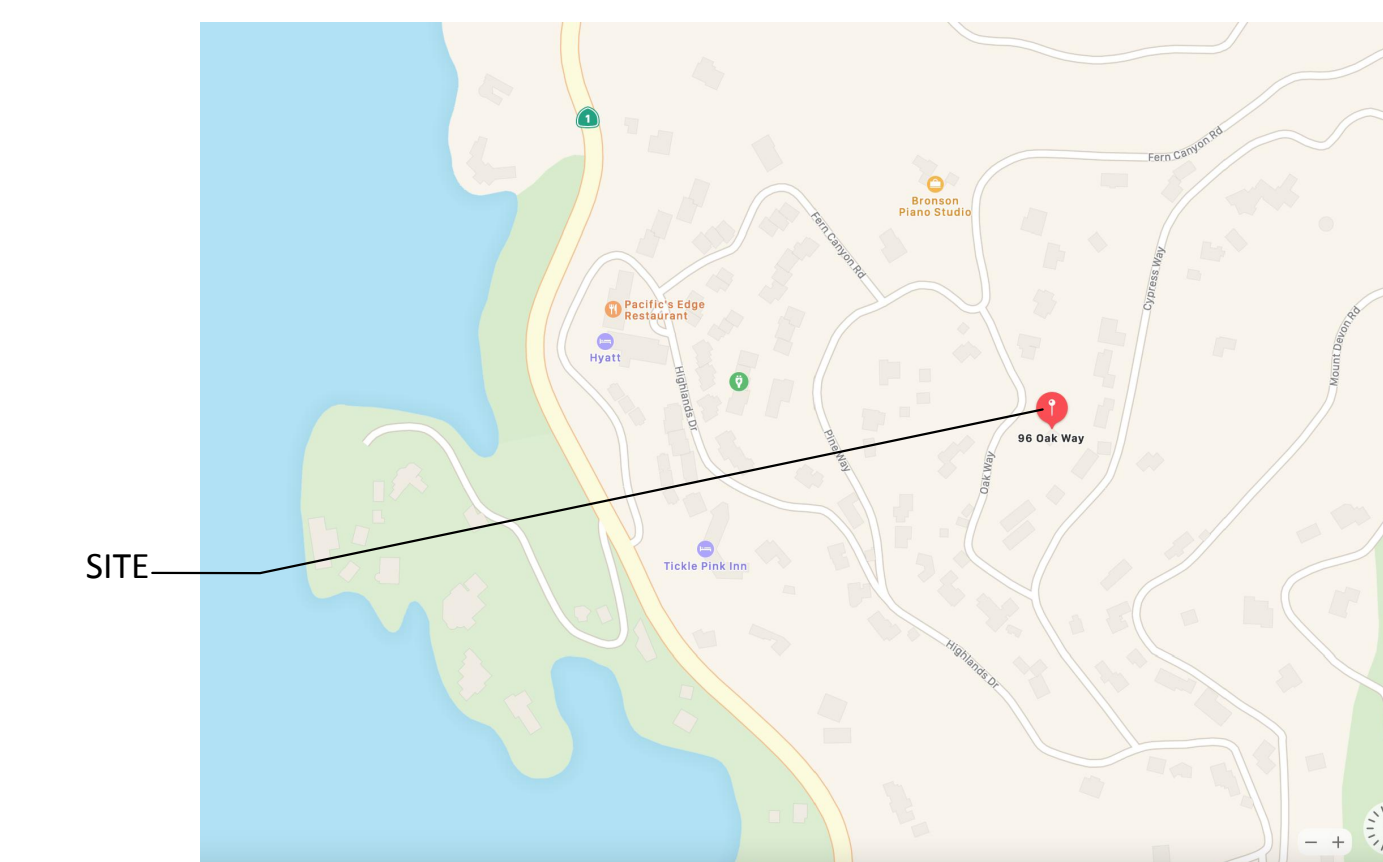
SCOPE OF WORK

1. ADD 413 SF MAIN BEDROOM AND BATH TO EXISTING SECOND STORY DIRECTLY OVER EXISTING GARAGE. EXTERIOR WALL FINISH AND WINDOWS TO MATCH EXISTING. NEW ROOF TO BE CLASS "A" COMPOSITE SHINGLE BY ENVIROSHAKE. COLOR: WEATHERED AGED-CEDAR
2. ADD 41 SQ. FT. BALCONY @ PROPOSED MAIN BEDROOM.
3. DEMOLISH ROOF OF EXISTING GARAGE.
4. REPLACE BATHTUB WITH WALK-IN SHOWER @ EXISTING BATHROOM IN 1ST FLOOR.
5. REPLACE EXISTING ROOF W/ SAME AS WHAT IS LISTED ON ITEM 1.
6. NO INCREASE IN BUILDING FOOTPRINT/LOT COVERAGE.
7. 10.8 CU. YARDS OF GRADING CUT FOR GARAGE FOUNDATION UNDERPINNING

VICINITY MAPS



NORTH



NORTH

PROJECT DATA

OWNER	Richard and Angella Schmidt 28 Campbell Place Danville CA 94526 Phone: 925-785-6032 email: schmidtr276@gmail.com
ARCHITECT	de sola.barnes LLP P.O. Box 223386, Carmel, CA 93922 Phone: 831-238-2310 Contact: Daniela de Sola email: dani@desolabarnes.com
PROPERTY ADDRESS	96 OAK WAY CARMEL HIGHLANDS CA 93023
APN	241-131-017
ZONING	LDR/1-D(CZ)
TYPE OF CONSTRUCTION	TYPE VB
OCCUPANCY TYPE	SINGLE FAMILY RESIDENCE
LOT SIZE	0.197 AC NET- 8581 SQ. FT.

EXISTING LOT COVERAGE:	
HOUSE+ATTACHED GARAGE	1379 SF
TOTAL	1379 SF
PROPOSED LOT COVERAGE: (15% ALLOWED)	
8567 SQ. FT. X .15=	1285 SF
ACTUAL	1379 SF

EXISTING GROSS FLOOR AREA:	
LEVEL 1 + (GARAGE)	1379 SF
LEVEL 2	916 SF
TOTAL	2295 SF
PROPOSED GROSS FLOOR AREA:	
LEVEL 1 + (GARAGE)	1379 SF
LEVEL 2	916 SF
LEVEL 2 ADDITION	411 SF
TOTAL	2706 SF

IMPERVIOUS AREAS AREA	NO CHANGES TO IMPERVIOUS AREA
NEW SITE WALLS	NONE
WATER SOURCE	CALIFORNIA AMERICAN WATER
SEWER SYSTEM	(E) 1500 GALLON SEPTIC TANK AND LEACH FIELD
TREES TO BE REMOVED	0
GRADING ESTIMATES	10.8 CUBIC YARDS CUT
FRONT YARD SETBACK	30'
SIDE YARD SETBACK	20'
REAR YARD SETBACK	20'
HEIGHT LIMIT	30' ABOVE AV. NAT. GRADE

SCHMIDT RESIDENCE

96 OAK WAY
CARMEL HIGHLANDS
CALIFORNIA 93923

APN: 241-131-017

proj. no: 2202
drawn by: DDS

submittals date

APPLICATION REQUEST 05-14-25

APPLICATION REVISION 08-11-25

sheet title

PROJECT DATA
& VICINITY MAPS

scale AS NOTED
sheet number

A0.0

08-11-2025

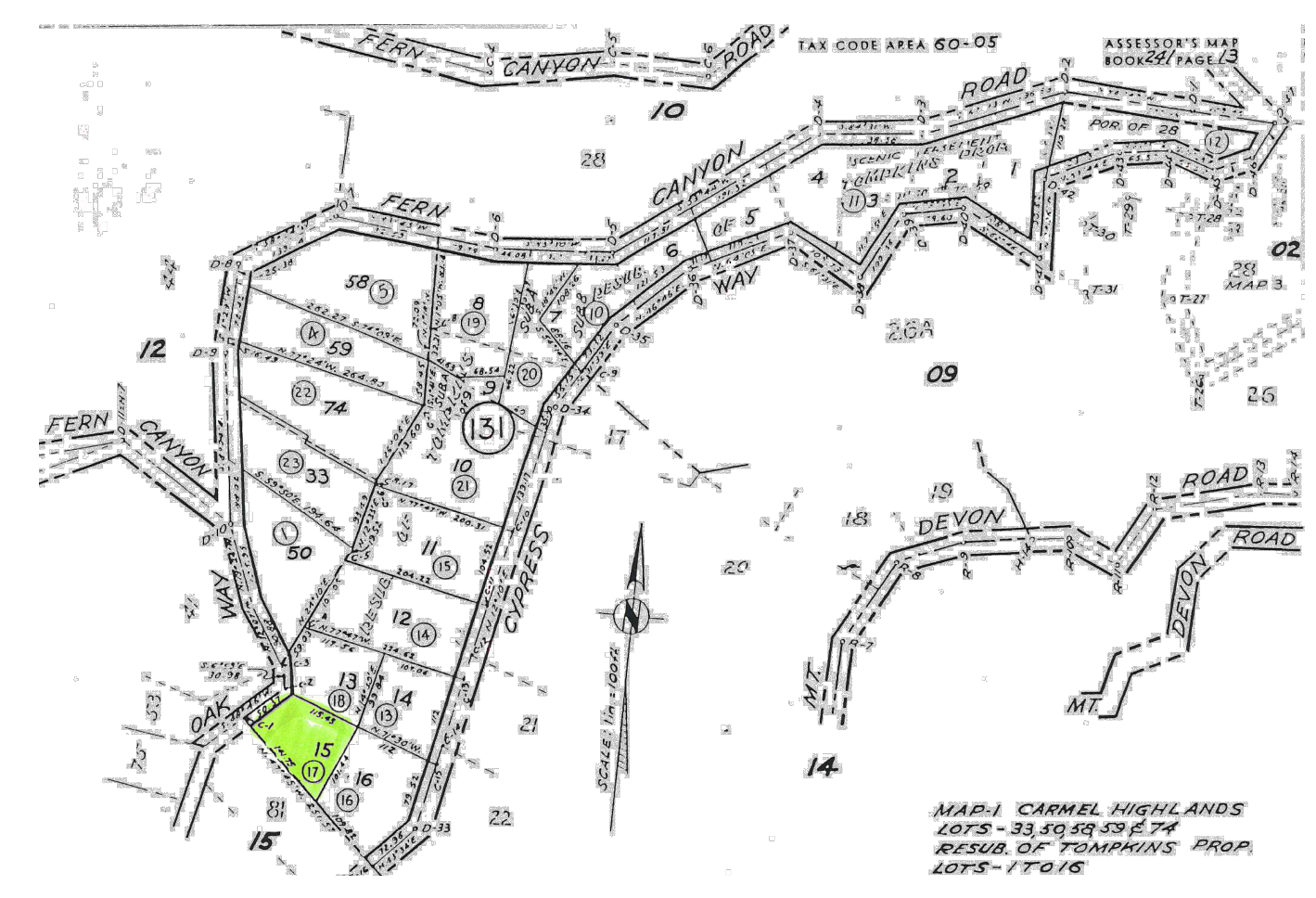
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LEGEND

	PROPERTY BOUNDARY		CONDUIT		GAS LINE		GAS METER		FOUND MONUMENT - TYPE NOTED
	ADJACENT PROPERTY BOUNDARY		PIPE		TELEPHONE SERVICE		WATER METER		SURVEY H&V CONTROL POINT
	ORIGINAL PROPERTY BOUNDARY		CLEANOUT		UNKNOWN UTILITY		PGE BOX		SPOT ELEVATION
	EASEMENT (TYPE AS SHOWN)		DOWNSPOUT		FUSE BOX		UTILITY HUB		X100.00 RL
	ROADWAY CENTERLINE		HOSEBIB		ELECTRICAL OUTLET		TELEPHONE BOX		X100.00 FF
	MAJOR CONTOUR LINE (5' INTERVAL)		WATER SERVICE		UTILITY POLE		ELECTRICAL HUB		X100.00 TH
	MINOR CONTOUR LINE (1' INTERVAL)		IRRIGATION BOX		GUY WIRE		ELECTRICAL PANEL		TREE (TYPE AND SIZE AS MARKED) CENTER OF SYMBOL IS APPROX. CENTER OF TREE
	FENCE (TYPE AS MARKED)		IRRIGATION CONTROL VALVE		MAILBOX		ELECTRICAL METER		TWO-PRONGED TREE (2P)
	EXISTING STRUCTURES		WATER VALVE		AREA DRAIN		SANITARY SEWER MANHOLE		THREE-PRONGED TREE (3P)
	ASPHALT CONCRETE		DRAIN LINE		HYDRANT		STORM DRAIN MANHOLE		MULTIPRONGED TREE (MP)
	PORTLAND CEMENT CONCRETE		STREET LIGHT		SIGN				
	BRICK								
	STONE								
	NATURAL GROUND SURFACE/LANDSCAPED AREA								
	GREATER THAN 30% SLOPE								

- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY H&V CONTROL POINT #100, A MAGNETIC NAIL LOCATED APPROXIMATELY 28' NORTHEASTERLY OF THE NORTHERLY CORNER OF THAT CERTAIN PARCEL DESCRIBED IN DOC. NO. 2020050144 (STA. C-2), ELEVATION = 291.78' AS SHOWN.
 - NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
 - TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3" ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
 - THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (11/23/20) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
 - BUILDING CORNERS SHOWN WERE LOCATED AT THE OUTERMOST FACE OF TRIM. DIMENSIONS SHOWN REPRESENT THE BUILDING AT GROUND LEVEL. SQUARE FOOTAGE WAS CALCULATED USING THE OUTERMOST BUILDING FOOTPRINT AS MEASURED. BUILDING OVERHANG(S) ARE NOT SHOWN.
 - THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.
- CE = CEDAR PA = PALM
 CW = COTTON WOOD PE = PEPPER
 CYP = CYPRESS P = PINE
 E = EUCALYPTUS R = REDWOOD
 H = HOLLY TR = TREE
 O = OAK W = WILLOW

2 FEMA MAP
N.T.S.

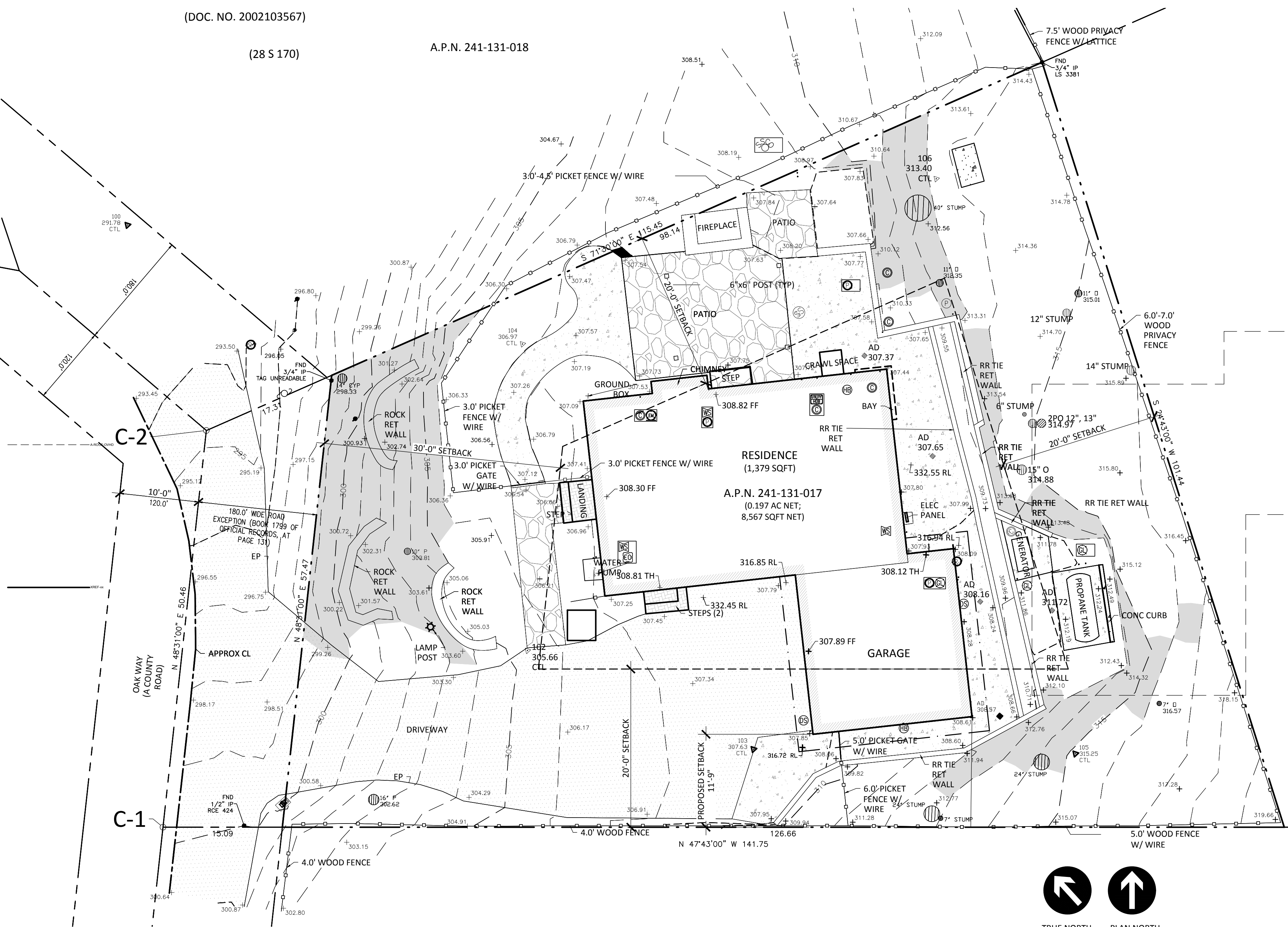


3 PARCEL MAP
N.T.S.

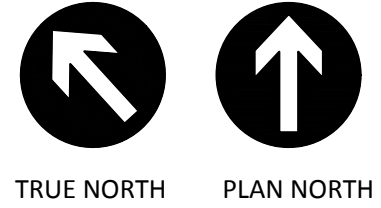


NOTES

- SITE PLAN SHOWS FOOTPRINT OF STRUCTURES
- CONTOURS AT 1' INTERVALS, U.O.N.
- SITE PLAN BASED ON SURVEY LANDSET ENGINEERS DATED 12.01.2020



1 EXISTING SITE PLAN
1/8"=1'-0"



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CMP PROJECT DATA

ADDRESS	96 OAK WAY CARMEL HIGHLANDS, CA 93923
SITE CONTACT	STEVE VADEN PHONE: +1 (831) 917-7016 EMAIL: VADENFORGE@GMAIL.COM
PROJECTED START DATE	2025
PROJECTED END DATE	2026
HOURS OF OPERATION	8AM TO 5PM MONDAY - FRIDAY
AMOUNT OF GRADING	20 CUBIC YARDS MAX PER DAY
CONSTRUCTION VEHICLE TYPE	DUMP TRUCK
NUMBER OF TRUCK TRIPS GENERATED	2 MAX. PER DAY
NUMBER OF CONSTRUCTION WORKERS	8 MAX AT ANY TIME

DEMOLITION & DECONSTRUCTION NOTES:

- SUFFICIENTLY WET THE STRUCTURE PRIOR TO DECONSTRUCTION OR DEMOLITION. CONTINUE WETTING AS NECESSARY DURING ACTIVE DECONSTRUCTION OR DEMOLITION AND THE DEBRIS.
- DEMOLISH THE STRUCTURE INWARD TOWARD THE BUILDING PAD, LAY DOWN ROOF AND WALLS (MARKED AT TBR) SO THAT THEY FALL INWARD AND NOT AWAY FROM THE BUILDING.
- COMMENCEMENT OF DECONSTRUCTION OR DEMOLITION ACTIVITIES SHALL BE PROHIBITED WHEN THE PEAK WIND SPEED EXCEEDS 15 MILES PER HOUR. ALL AIR DISTRICT STANDARDS SHALL BE ENFORCED BY THE AIR DISTRICT.
- DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. THE OWNER OR CONTRACTOR MAY BE REQUIRED TO KEEP ADEQUATE EQUIPMENT ON THE GRADING SITE TO PREVENT DUST PROBLEMS.
- IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITTEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM AN ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION.

CONSTRUCTION STAGING NOTES:

- IF JOB TRAILER IS TO BE UTILIZED, IT MUST BE LOCATED WITHIN THE PROPERTY OUTSIDE OF THE BUILDING SETBACKS.
- IF STORAGE UNIT OR DUMPSTER IS TO BE UTILIZED, IT MUST BE LOCATED WITHIN THE PROPERTY OUTSIDE OF THE BUILDING SETBACKS.
- CONSTRUCTION FENCING WILL ONLY BE UTILIZED FOR TREE PROTECTION.
- THERE SHALL BE NO DELIVERIES OR RUNNING OF EQUIPMENT PRIOR TO 8:00 AM. FAILURE TO COMPLY WITH CONSTRUCTION HOURS MAY RESULT IN A STOP WORK NOTICE.
- AT NOT TIME SHALL THE STREET BE CLOSED OR BLOCKED. FLAGMEN SHALL BE USED AT ALL TIMES WHEN DELIVERIES OR CONSTRUCTION RESTRICT ANY PORTION OF THE RIGHT OF WAY.

HAUL ROUTE NOTE:

HAUL TRUCKS SHALL ENTER THE SITE BY BACKING UP INTO DRIVEWAY FROM RIGHT OF WAY. HAUL TRUCKS SHALL EXIT SITE IN THE SAME PATH. VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE ON STREET. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAIL 2 ON THIS SHEET FOR TRUCK ROUTING PLANS.

WORKER PARKING NOTE:

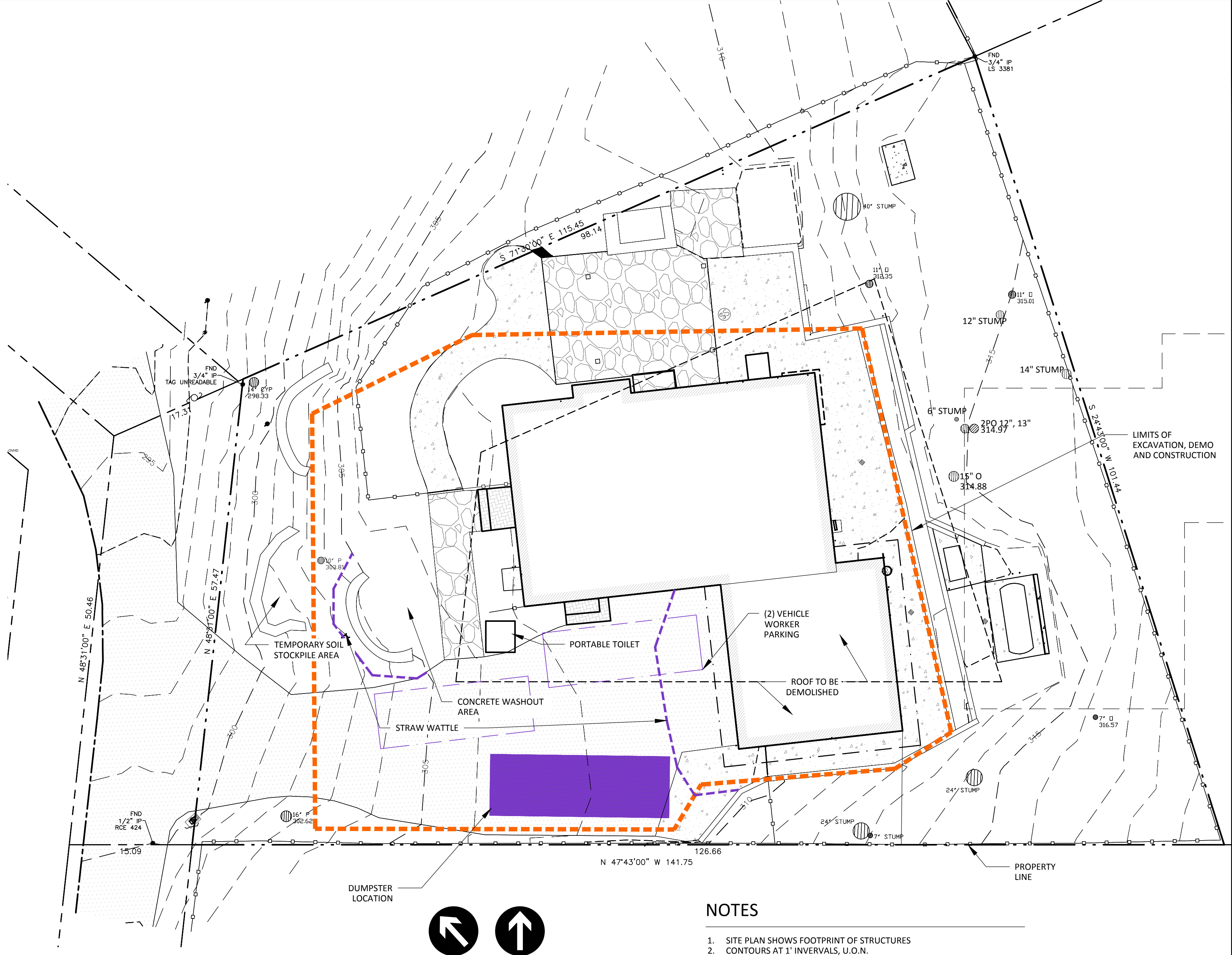
IF ONSITE PARKING FOR WORKERS IS LIMITED, WORKERS SHALL PARK IN THE PUBLIC RIGHT OF WAY ALONG OAK WAY AS NECESSARY. OBEY ALL PARKING LAWS. ON-STREET VEHICLE PARKING SHALL BE LIMITED TO ONE SIDE OF STREET. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION:

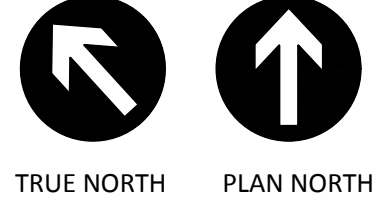
ALL CONSTRUCTION SHALL STAY WITHIN THE BOUNDARY SHOWN. PROTECT TREES AND VEGETATION THAT ARE TO REMAIN.

DEMOLITION STAGING:

DEMOLISH ROOF OF EXISTING GARAGE. USE OPEN PARKING SPACE FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREA.

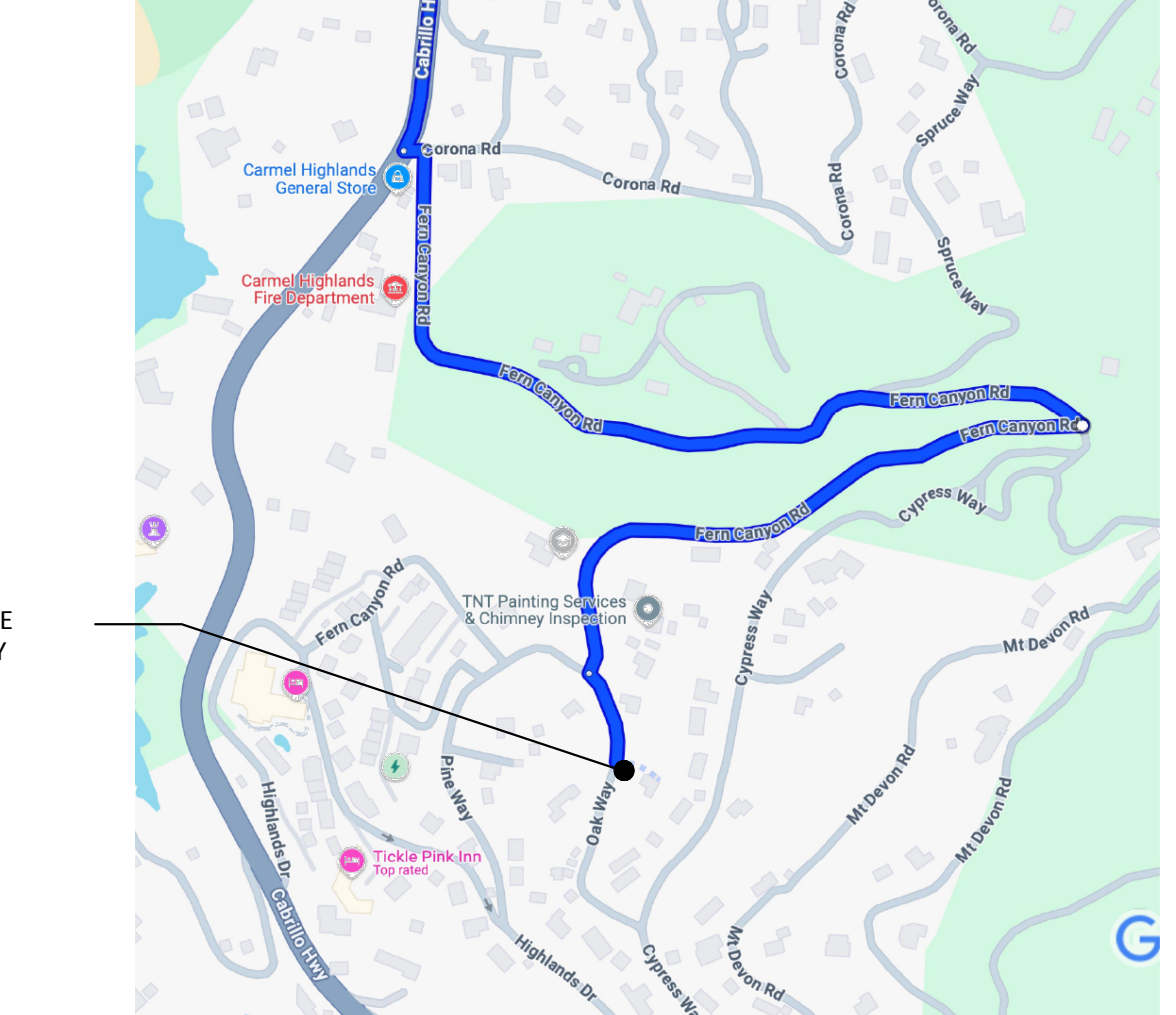


1 CONSTRUCTION MANAGEMENT PLAN
1/8"=1'-0"



NOTES

- SITE PLAN SHOWS FOOTPRINT OF STRUCTURES
- CONTOURS AT 1' INTERVALS, U.O.N.
- SITE PLAN BASED ON SURVEY LANDSET ENGINEERS DATED 12.01.2020



3 LOCAL ROUTE TRUCK PLAN
N.T.S.



2 OVERALL ROUTE TRUCK PLAN
N.T.S.

SCHMIDT RESIDENCE

96 OAK WAY
CARMEL HIGHLANDS
CALIFORNIA 93923
APN: 241-131-017

proj. no: 2202	drawn by: DDS
submittals	date
APPLICATION REQUEST	05-14-25
APPLICATION REVISION	08-11-25

CONSTRUCTION MANAGEMENT PLAN

scale AS NOTED
sheet number

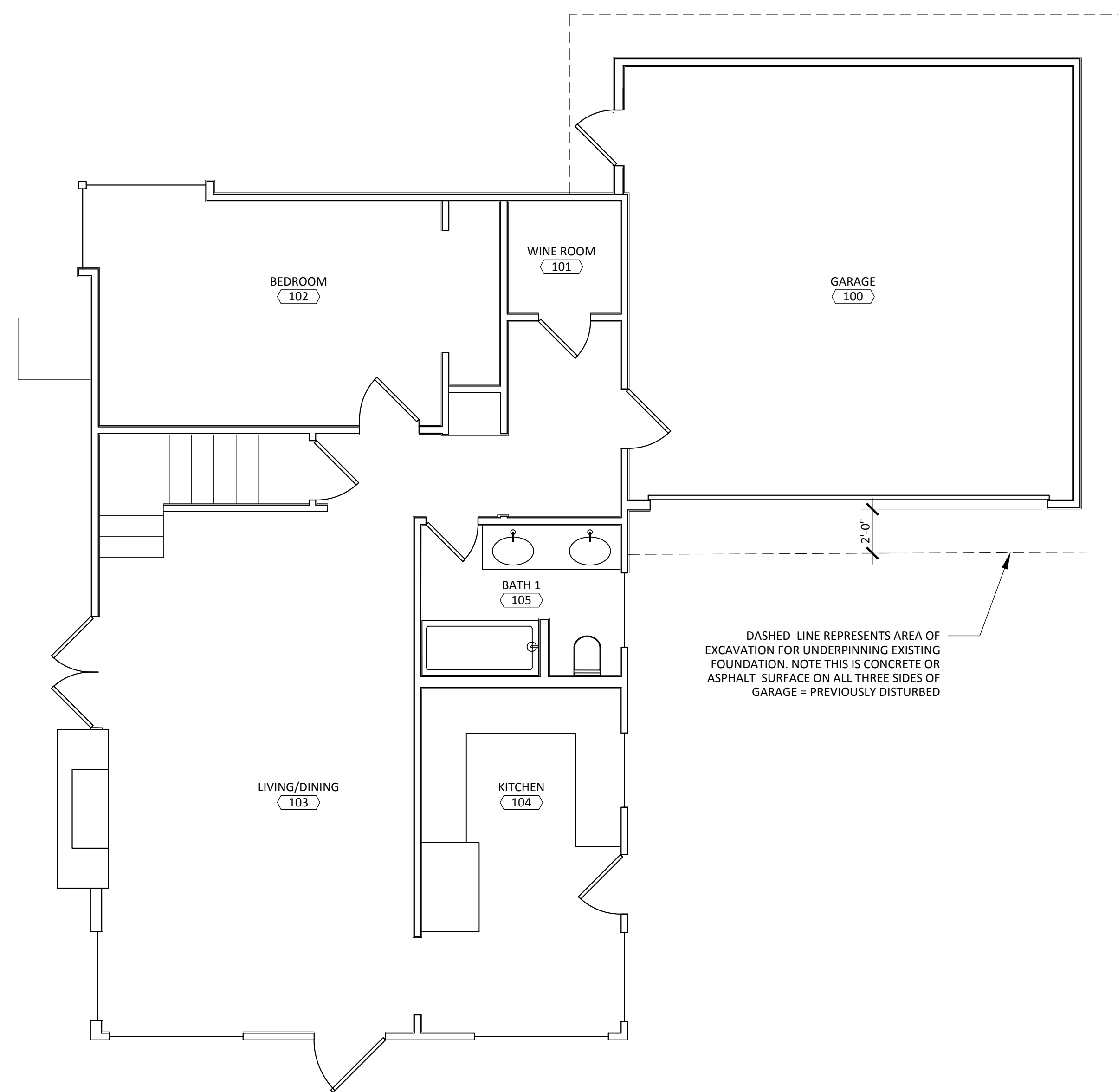
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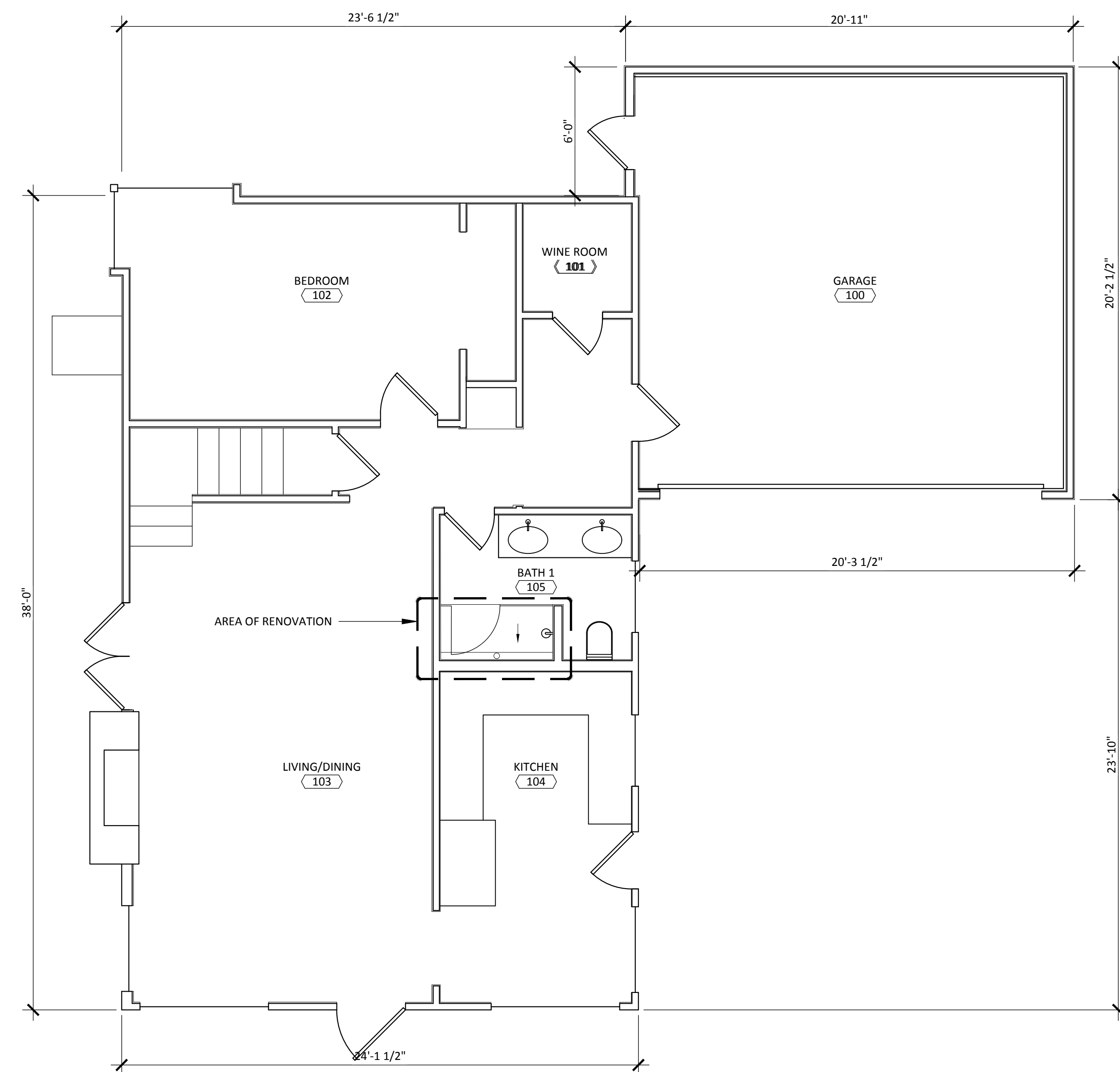
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LEGEND

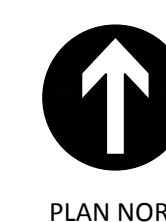
- EXISTING 2 X FRAMING CONSTRUCTION
- NEW 2 X FRAMING CONSTRUCTION
- CEILING OR ROOF ARTICULATION, TYP.
- TO BE REMOVED



1 1ST FLOOR- EXISTING PLAN
1/4"=1'-0"



2 1ST FLOOR- PROPOSED PLAN
1/4"=1'-0"



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sheet title

EXISTING &
PROPOSED
1ST FLOOR PLANS

scale AS NOTED

sheet number

A2.0

05-15-2025

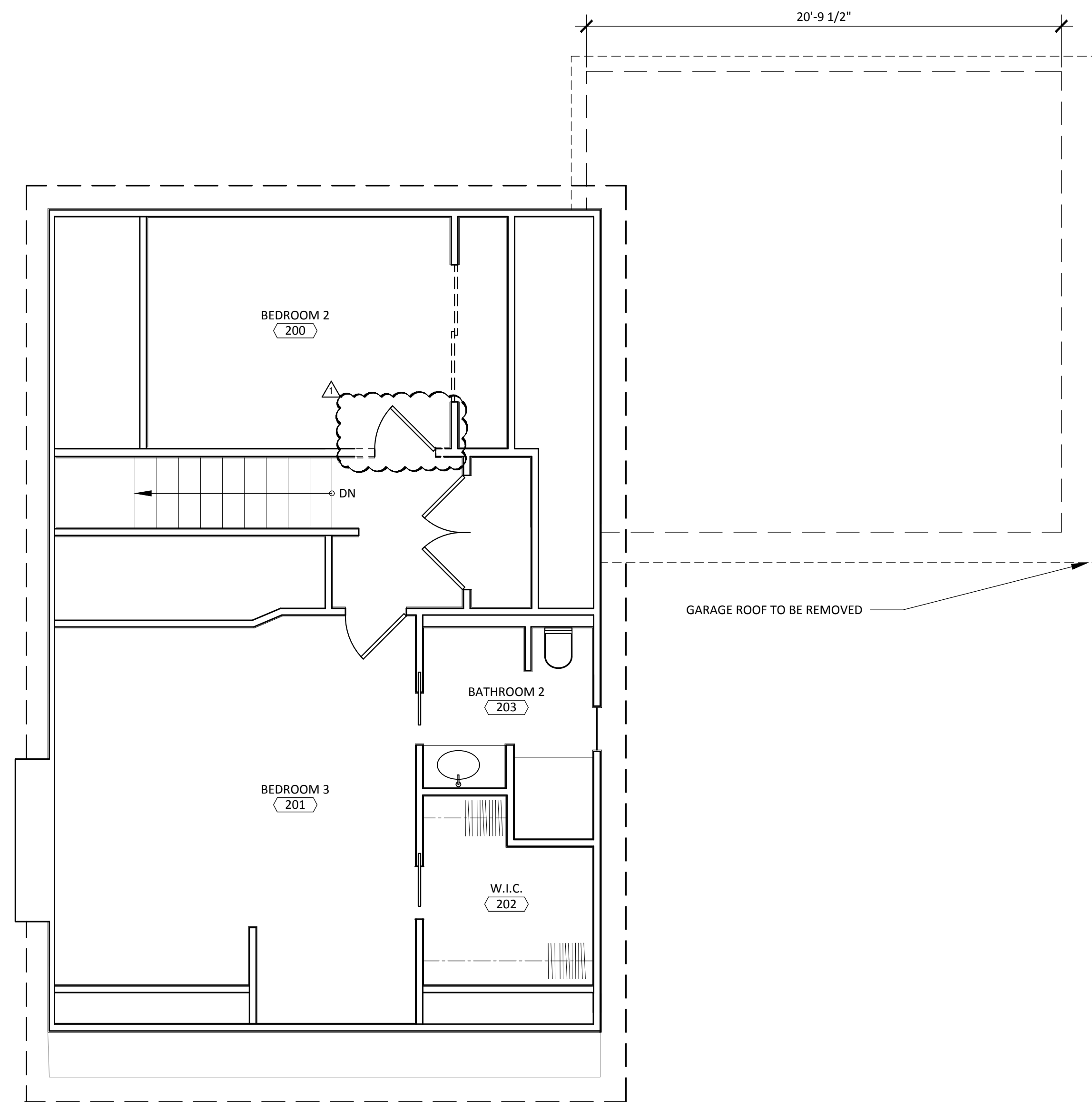
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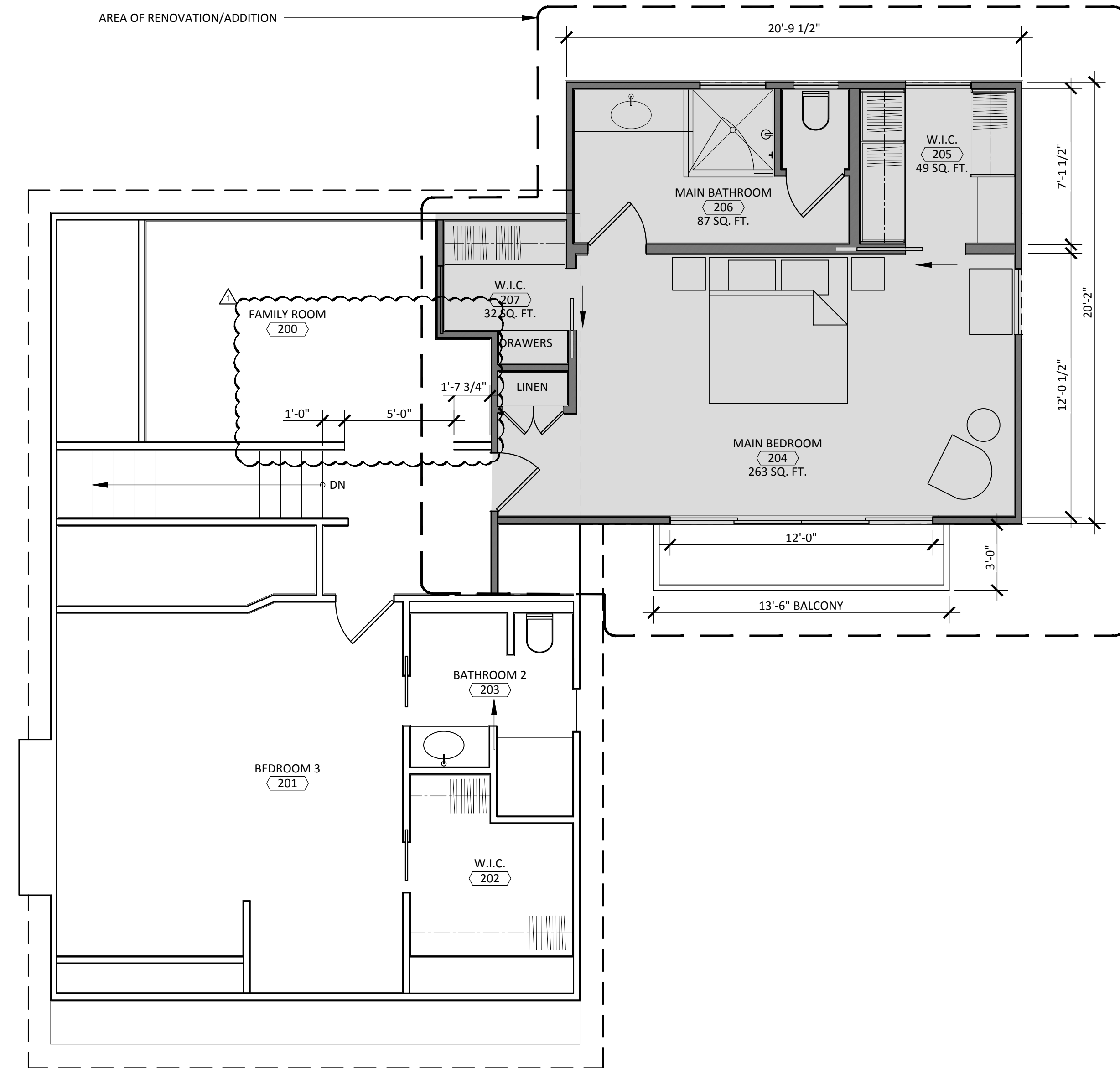
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CARMEL, CA 93922
831-624-2165

LEGEND

- EXISTING 2 X FRAMING CONSTRUCTION
- NEW 2 X FRAMING CONSTRUCTION
- AREA OF NEW CONSTRUCTION
- CEILING OR ROOF ARTICULATION, TYP.
- TO BE REMOVED



1 2ND FLOOR- EXISTING PLAN
1/4"=1'-0"



2 2ND FLOOR- PROPOSED PLAN
1/4"=1'-0"



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EXISTING &
PROPOSED
2ND FLOOR PLANS

scale AS NOTED
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SIDING AND WINDOW STYLE
MATERIAL, COLORS AND STYLE TO MATCH EXISTING



CLASS "A" COMPOSITE SHINGLE BY ENVIROSHAKE
COLOR: AGED CEDAR, WEATHERED



3 EXISTING ELEVATION- WEST
1/4"=1'-0"



1 EXISTING ELEVATION- EAST
1/4"=1'-0"



4 PROPOSED ELEVATION-WEST
1/4"=1'-0"



2 PROPOSED ELEVATION- EAST
1/4"=1'-0"

24'-3 1/2"
+307.65'
AV. NAT. GRADE

EXISTING MAX RIDGE HEIGHT
1'-9"
PROPOSED MAX RIDGE HEIGHT
13'-1 1/2"
24'-3 1/2"
LEVEL 2 F.F.
8'-9 1/4"
+308.30' HOUSE F.F.
+307.65'
AV. NAT. GRADE

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EXISTING & PROPOSED ELEVATIONS

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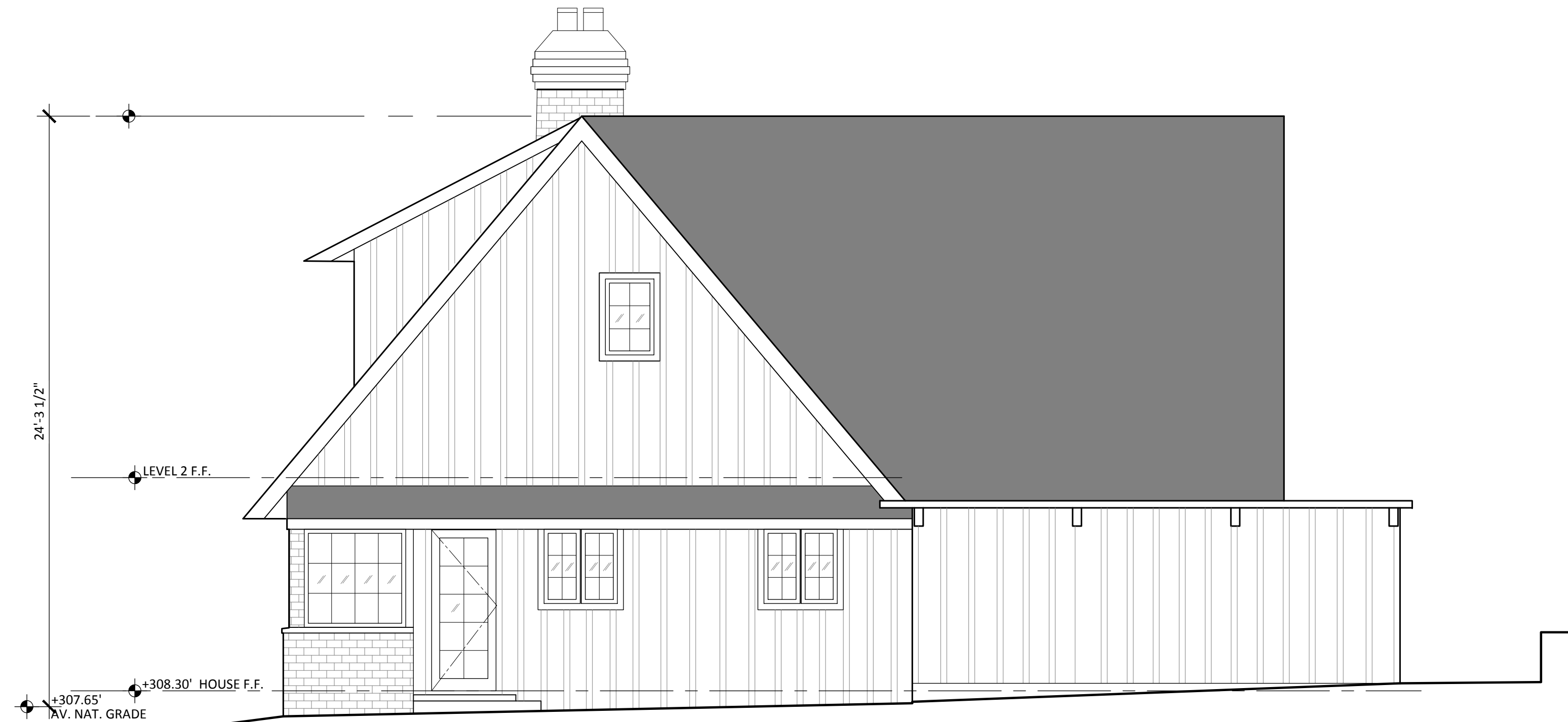
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3 EXISTING ELEVATION- NORTH
1/4"=1'-0"



1 EXISTING ELEVATION- SOUTH
1/4"=1'-0"



4 PROPOSED ELEVATION-NORTH
1/4"=1'-0"



2 PROPOSED ELEVATION- SOUTH
1/4"=1'-0"



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**SCHMIDT
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