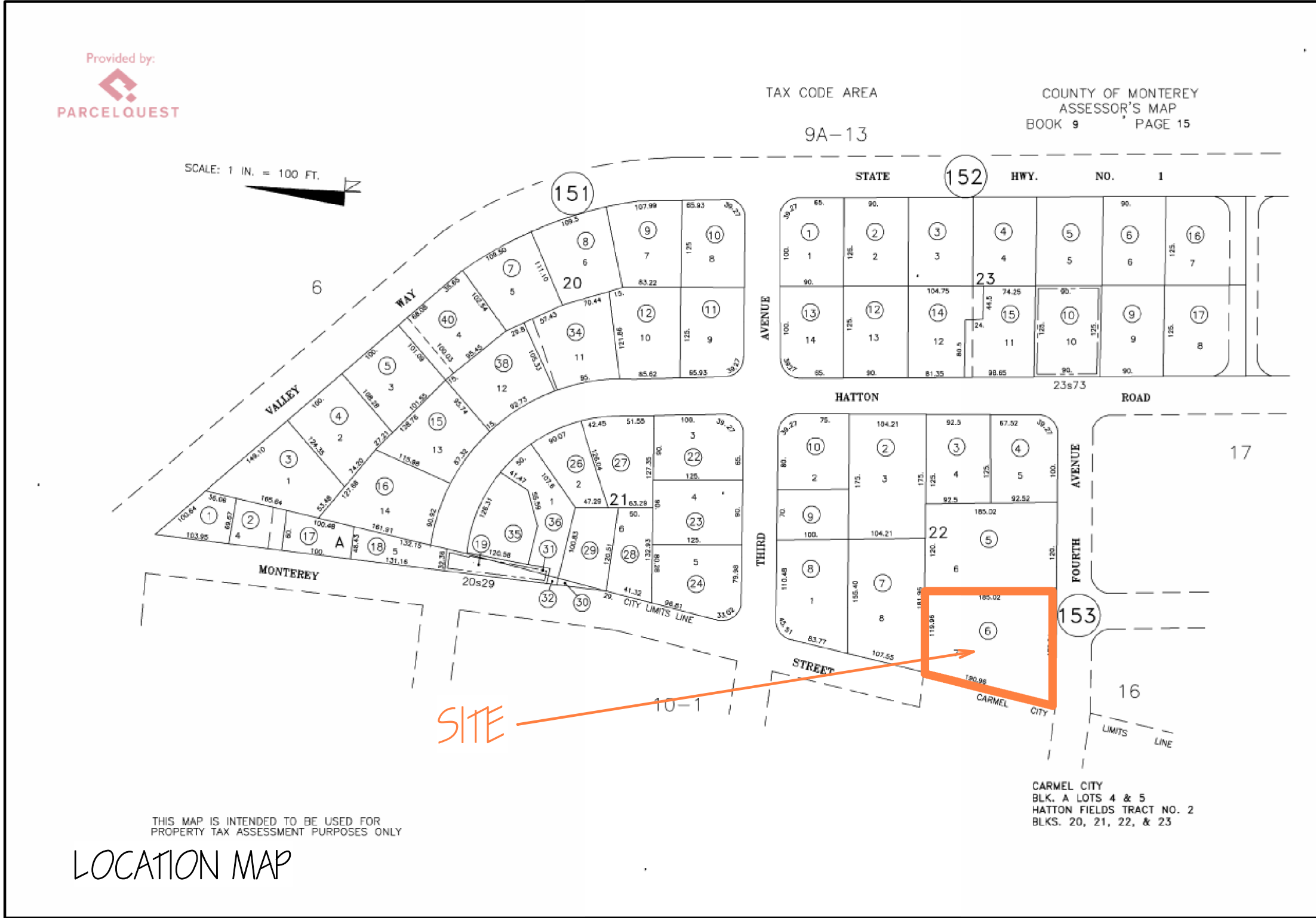


## Exhibit B

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PROJECT SUMMARY: INCLUDES AN 1122 SQ/ FT ADDITION AT THE BACKYARD (NORTHERN) SIDE OF AN EXISTING RESIDENCE AND A 2900 SQ/ FT 'INTERIOR' REMODEL, WITH NEW ELECTRICAL SERVICE AND WIRING, NEW PLUMBING, HVAC AND INSULATION (@ OLD & NEW).

LOT SIZE: 25,700 SQ/ FT.

EXISTING:	PROPOSED:
GROSS FLOOR AREA:	GROSS FLOOR AREA:
MAIN FLOOR: 2,482 SQ/ FT.	MAIN FLOOR: 2,939 SQ/ FT.
SECOND FLOOR: 883 SQ/ FT.	SECOND FLOOR: 1,548 SQ/ FT.
TOWER FLOOR: 69 SQ/ FT.	TOWER FLOOR: 69 SQ/ FT.
DETACHED GARAGE: 435 SQ/ FT.	DETACHED GARAGE 435 SQ/ FT.
TOTAL FAR: 3,869 SQ/ FT. - 15.6%	TOTAL FAR: 4,991 SQ/ FT. - 19.4%

BUILDING/ SITE COVERAGE:  
EXISTING: 2917 = 11.4% PROPOSED 3374 = 13%

APN: 009-153-006-000  
ADDRESS: 3377 4TH AVE., CARMEL, CA 93923

COMMUNITY: CARMEL UNINCORPORATED / (CITY)  
PLANNING AREA: CARMEL LUP  
ZONING: MDR/ 2-DC CZ)  
SUBDIVISION: HATTON FEILDS TRACT #2  
FIRE DISTRICT: CYPRESS FPD

TREE REMOVAL: NONE  
GRADING: 0 CUBIC YD.  
OCCUPANCY: R-3/ U  
SLOPE DEVELOPMENT: NONE  
CONSTRUCTION TYPE: V3  
STORIES: THREE

OWNERSHIP: NITZBERG WILLIAM J & URBAN ANNE G  
ADDRESS: 3377 4TH AVE., CARMEL, CA 93923  
PHONE: 650-533-8366  
EMAIL: AGURBAN@GMAIL.COM

APPLICABLE CODES: 2022 CRC, CBC, CEC, CMC, CPC, 2022 CAL GREEN, 2022 CFC, 2022 CA ENERGY CODE

WALL COUNT:	
(E) EXISTING WALLS:	931' - 10"
(P) DEMOLISHED WALLS:	399' - 2"
NEW WALLS:	566' - 8"
TOTAL:	965' - 10" - 103.5%
SPRINKLERS REQUIRED	YES

- GENERAL NOTES:
- VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE SITE; CONFIRM ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
  - CONSTRUCTION DETAILS NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/ OR MANUFACTURERS SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
  - ALL CONSTRUCTION ( MATERIALS, WORKMANSHIP & MEATHODS) SHALL COMPLY WITH TITLE 24 AND THE 2022 CALIFORNIA RESIDENTIAL BUILDING CODE (CBC) ; CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE, FIRE CODE, AND CALGREEN; AND ALL LOCAL AMENDMENTS AS ADOPTED BY COUNTY ORDNANCE.
  - THE OWNER-CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND MUST ADHERE TO ALL FEDERAL, STATE, LOCAL, AND O.S.H.A. SAFETY REGULATIONS.
  - DEMOLITION: CONFIRM ALL DEMOLITION REQUIREMENTS WITH THE OWNER. VERIFY WITH OWNER WITH ITEMS, IF ANY, HE/ SHE WISHES TO RETAIN FOR HIS/ HER USE. ALL OTHER ITEMS TO BECOME PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES. SEE DEMOLITION PLANS FOR ADDITIONAL INFORMATION.
  - THE OWNER CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
  - DO NOT STORE CONSTRUCTION MATERIALS OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.
  - IF DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONT-OLOGIAL RESOURCES ARE UNCOVERED AT THE SITE ( SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (150 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHEOLOGICALCAN EVALUATE IT. MONTEREY COUNTY - RMA PLANNING AND A QUALIFIED ARCHEOLOGIST (I.E. AN ARCHEOLOGIST REGISTERED WITH THE REGISTER OF PROFESSIONAL ARCHAEOLOGISTS; SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.
  - THE CONTRACTOR SHALL COMPLY WITH THE CALGREEN CODE AND THE LOCAL CONSTRUCTION WASTE MANAGEMENT PLAN REQUIREMENTS. THIS INCLUDES TRACKING AND DOCUMENTING THAT 65% OF CONSTRUCTION WASTE MUST BE RECYCLED IN ACCORDANCE WITH THE CALGREEN CODE AND LOCAL REQUIREMENTS.

FIRE DEPARTMENT NOTES  
FIRE DEPARTMENT: CYPRESS FIRE DEPARTMENT

FIRE019 - DEFENSIBLE SPACE REQUIREMENTS - ( STANDARD)  
Remove combustible vegetation from within a minimum of 30 feet of structures. Limb trees 6 feet up from ground. Remove limbs within 10 feet of chimneys. Additional and/ or alternate fire protection or firebreaks approved by the fire authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection.

FIRE024 - FIRE ALARM SYSTEM - ( SINGLE FAMILY DWELLING)  
The residence shall be fully protected with an approved household fire warning system as defined by NFPA Standard 72. Plans and specifications for the household fire warning system shall be submitted by a California licensed C-10 contractor and approved prior to installation. Household fire warning systems installed in lieu of single-station smoke alarms required by the Uniform Building Code shall be required to be placarded as permanent building equipment.

FIRE025 - SMOKE ALARMS - ( SINGLE FAMILY DWELLING)  
Where a household fire warning system or combination fire/ burglar alarm system is installed in lieu of single-station smoke alarms required by the Uniform Building Code the alarm panel shall be required to be placarded as permanent building equipment.

FIRE011 - ADDRESSES FOR BUILDINGS  
All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241.  
Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/ 2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be visible and legible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance.

## SHEET INDEX:

1. INFORMATION SHEET
2. A - 1 PROPOSED SITE PLAN
3. A - 2 SURVEY OF PROPERTY
4. A - 3 EXISTING FLOOR PLANS/ DEMO PLAN
5. A - 4 EXISTING ELEVATIONS
6. A - 5 PROPOSED 1ST FLOOR PLAN
7. A - 6 PROPOSED 2ND FLOOR PLAN W/TOWER
8. A - 7 PROPOSED SOUTHERN ELEVATION
9. A - 8 PROPOSED NORTHERN ELEVATION
10. A - 9 PROPOSED EASTERN ELEVATION
11. A - 10 PROPOSED WESTERN ELEVATION
12. A - 11 TRUE PERSPECTIVES OF PROPOSED
13. A - 12 IMAGES OF EXISTING
14. A -13 PROPOSED MATERIALS

NOTE: REVISED  
SHEET = A - 13.



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ERIC WYNKOOP

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DRAWN BY:  
ADAM MORRISON

PROJECT MANAGER

## REVISION 2

URBAN/ NITZBERG  
RESIDENCE

INFORMATION

6/15/2025

INFO





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ADAM MORRISON

PROJECT MANAGER

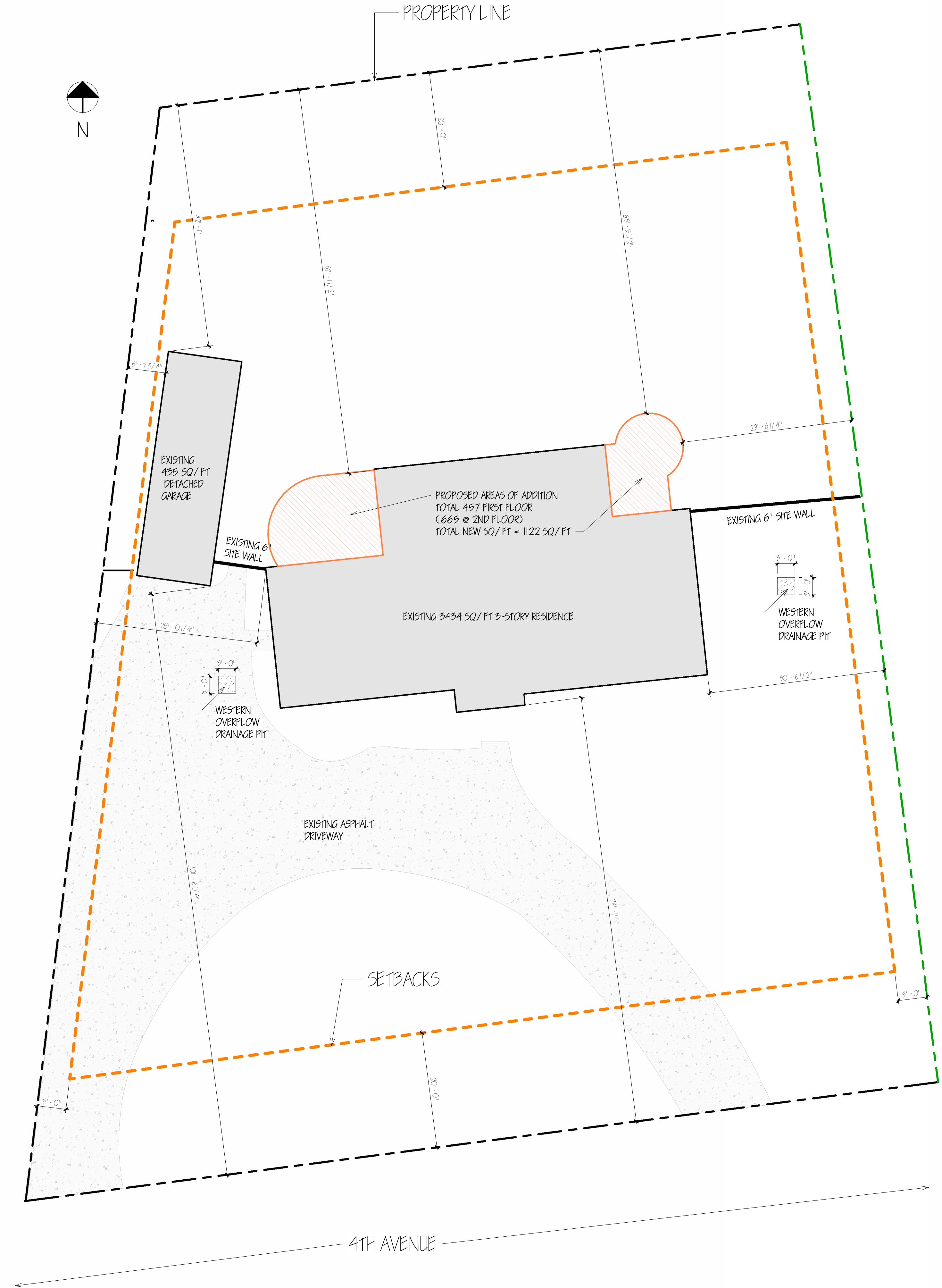
URBAN/ NITZBERG  
RESIDENCE

PROPOSED SITE  
PLAN

6/5/2025

A - 1

NOTE: PLEASE SEE SURVEY  
ON SHEET A - 2 FOR TOPO  
& EXISTING TREE LOCATIONS



② PROPOSED SITE PLAN  
3/32" = 1'-0"



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RESIDENCE

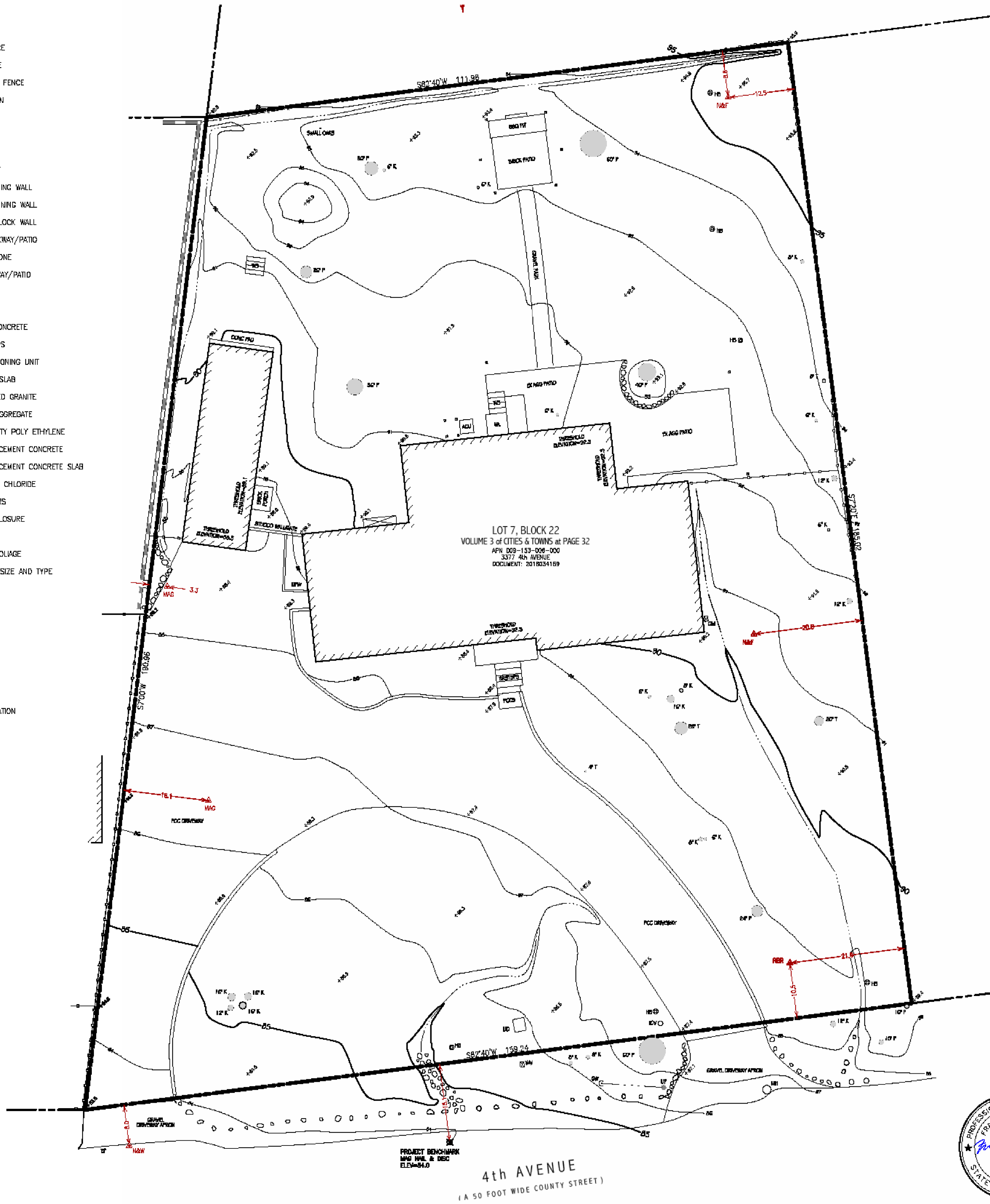
TOPOGRAPHIC SURVEY

6/5/2025

A - 2

LEGEND:

RECORD BOUNDARY	WOOD FENCE
RECORD RIGHT OF WAY	WIRE FENCE
RECORD LOT LINE	CHAIN LINK FENCE
RECORD CENTERLINE	STREET SIGN
RECORD EASEMENT LINE	SIGN POST
RECORD SETBACK	MAIL BOX
OLD RECORD LINE	BOLLARD
PROJECT BENCHMARK	WOOD POST
50' CONTOUR (MAJOR)	PCC RETAINING WALL
40' CONTOUR (MINOR)	ROCK RETAINING WALL
60' GRADEBREAK	STACKED BLOCK WALL
17' EDGE OF PAVEMENT	BRICK WALKWAY/PATIO
LIP OF GUTTER	CARMEL STONE
FACE OF CURB	PCC WALKWAY/PATIO
BACK OF CURB	
BACK OF SIDEWALK	
EDGE OF DRIVEWAY	
FLOWLINE	
APPROXIMATE BUILDING OUTLINE	
CHIMNEY	
APPROXIMATE FLOOR ELEVATION	
DECK	
CONCRETE PAD	
STEP	
PLANTER	
WATER LINE	
WATER VALVE	
WATER METER	
FIRE HYDRANT	
HOSE BIB	
IRRIGATION CONTROL VALVE	
SANITARY SEWER LINE	
SANITARY SEWER MANHOLE	
SANITARY SEWER CLEAN-OUT	
STORM DRAIN	
STORM DRAIN MANHOLE	
AREA DRAIN	
STORM DRAIN CATCH BASIN	
ELECTRIC LINE	
UTILITY POLE	
GUY WIRE	
ELECTRIC VAULT	
UTILITY VAULT	
ELECTRIC METER	
STREET LIGHT	
LAMP POST	
GAS LINE	
GAS METER	
TELEPHONE LINE	
TELEPHONE STANDARD	
CABLE TELEVISION LINE	
CABLE TELEVISION BOX	
FENCE STAKING CONTROL POINT	
NAIL & FEATHER	
1/4" REDHAT & CAP	
NAIL & WASHER	
MAGNETIC NAIL	



**BENCHMARK:**  
ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM. AN ELEVATION OF 84.0 HAS BEEN ASSIGNED TO A MAG NAIL & DISC SET IN THE PAVEMENT NEAR THE SOUTHERLY BOUNDARY OF THE SUBJECT PROPERTY AS SHOWN HEREON.

**NOTES:**

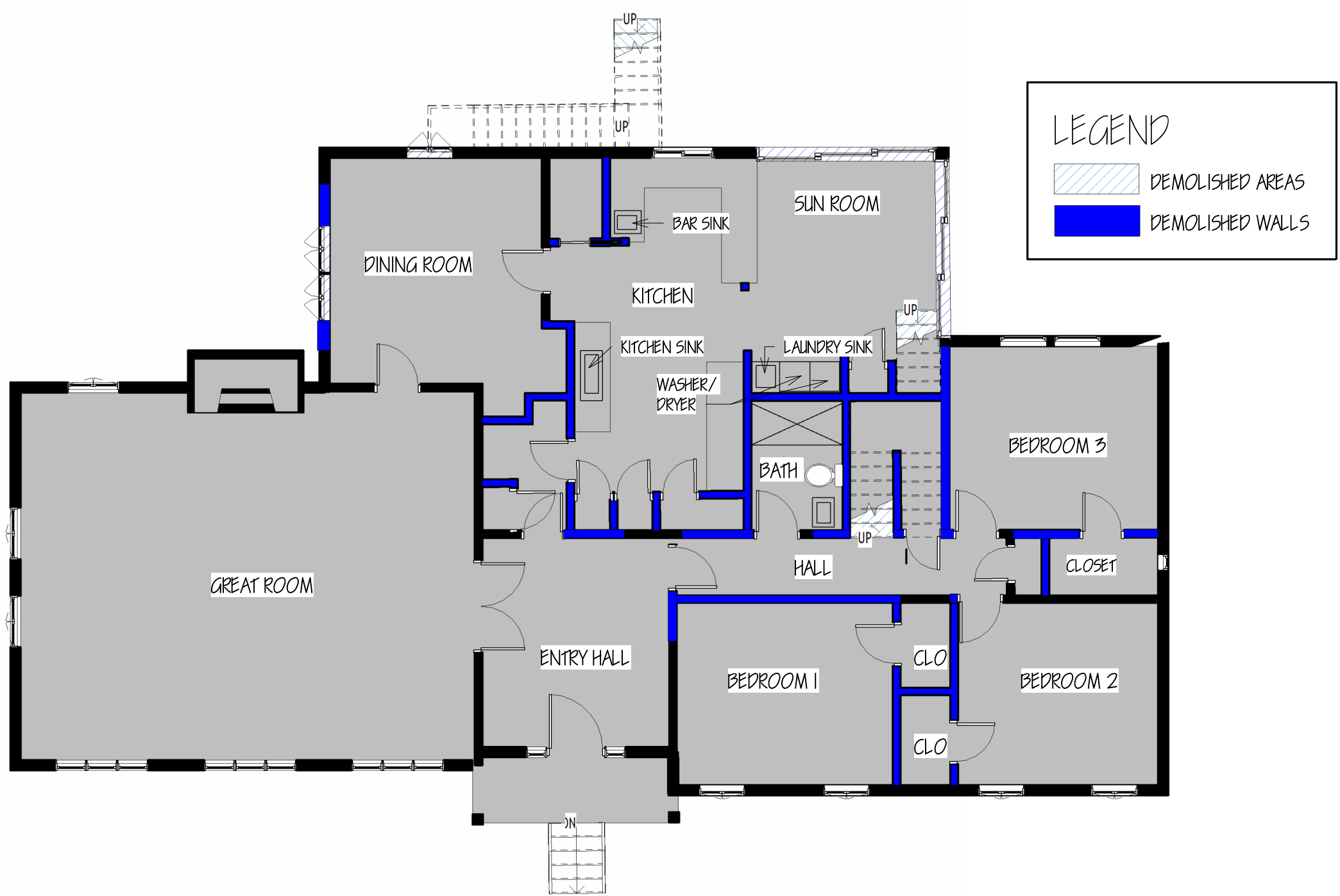
- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS, AND IS SHOWN APPROXIMATE ONLY - NOT FOR CONSTRUCTION. THIS IS NOT A BOUNDARY SURVEY.
- ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
- DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
- CONTOUR INTERVAL = ONE FOOT.
- TREE TYPES ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY, TO BE VERIFIED BY AN APPROVED ARBORIST PROVIDED BY OTHERS, PER AGREEMENT WITH THE SURVEYOR. TREES SMALLER THAN 6" IN DIAMETER MAY NOT BE NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
- POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS, FENCES AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS, IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC.
- NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
- THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN APRIL 2022.

FENCE STAKING SHEET  
**TOPOGRAPHIC SITE SURVEY**  
OF  
3377 4th Avenue  
per  
DOCUMENT: 2018034169  
Records of Monterey County  
PREPARED FOR  
Anne Urban

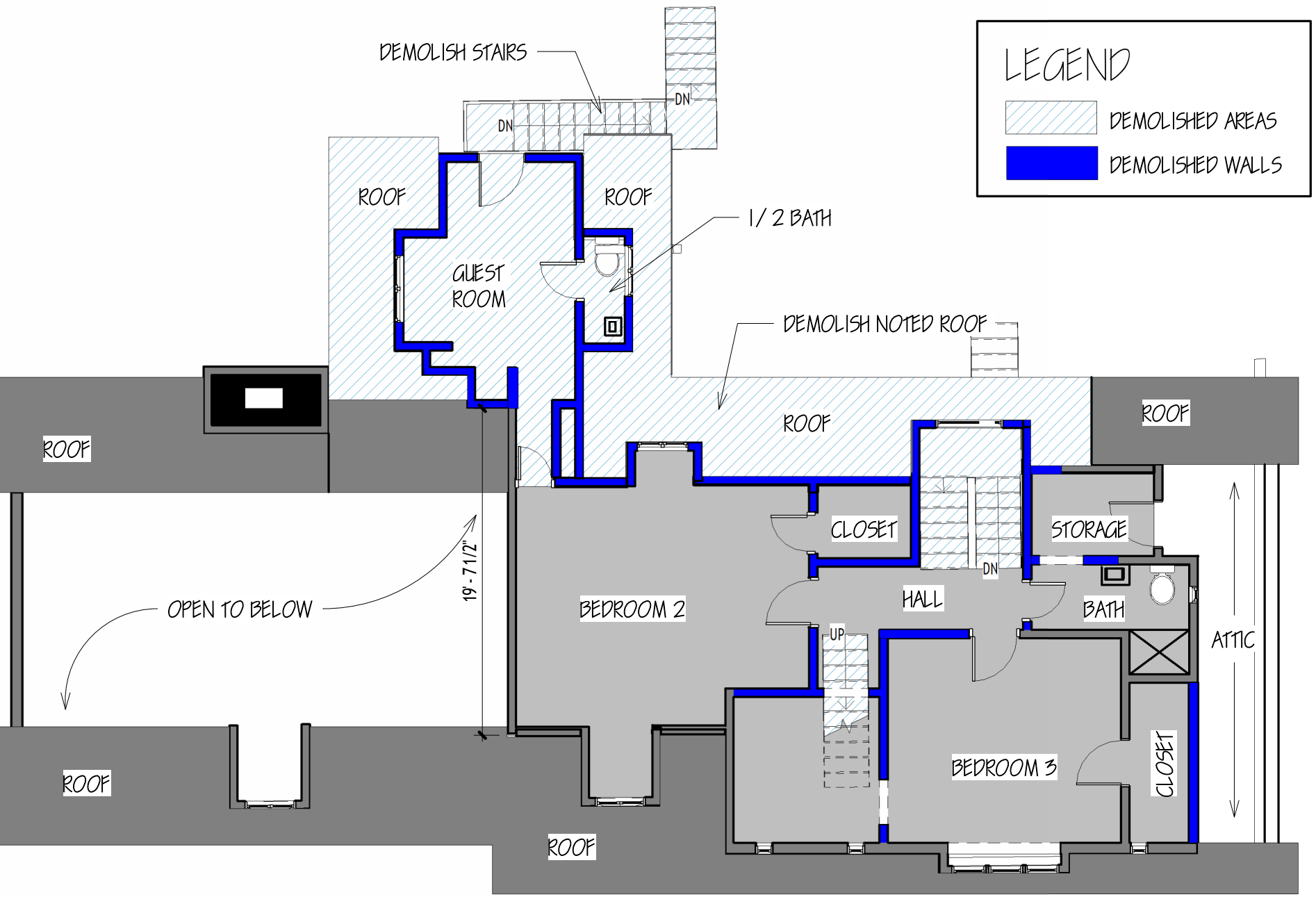
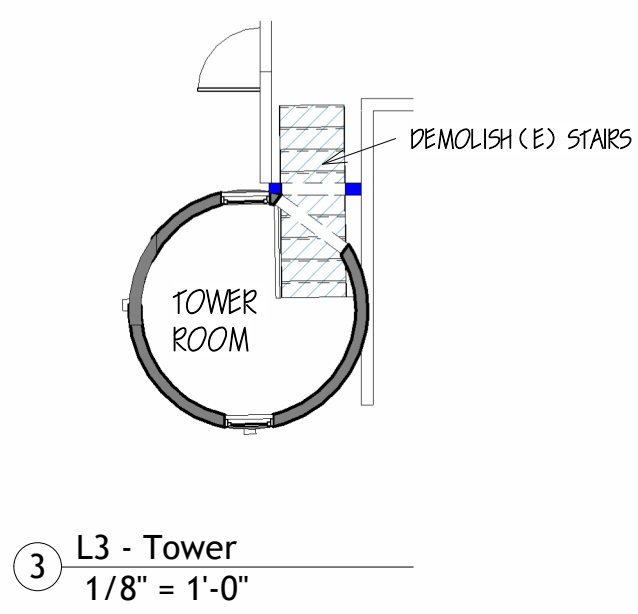
BY  
**LUCIDO SURVEYORS**  
Boundary and Construction Surveys - Topographic and Planimetric Mapping  
ALTA Surveys and GIS Database Management - Land Planning and Consulting  
2 Saucito Avenue  
DEL REY OAKS, CALIFORNIA 93940  
info@lucidosurveyors.com  
(831) 620-5032  
SCALE: 1"=10'  
PROJECT No. 2598  
MARCH 2022  
ENVIRONS OF CARMEL COUNTY OF MONTEREY STATE OF CALIFORNIA







① First Floor Architectural Plan  
1/8" = 1'-0"



② Second Floor Architectural Plan  
1/8" = 1'-0"



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URBAN/ NITZBERG  
RESIDENCE

EXISTING  
FLOOR PLANS

6/5/2025

A - 3



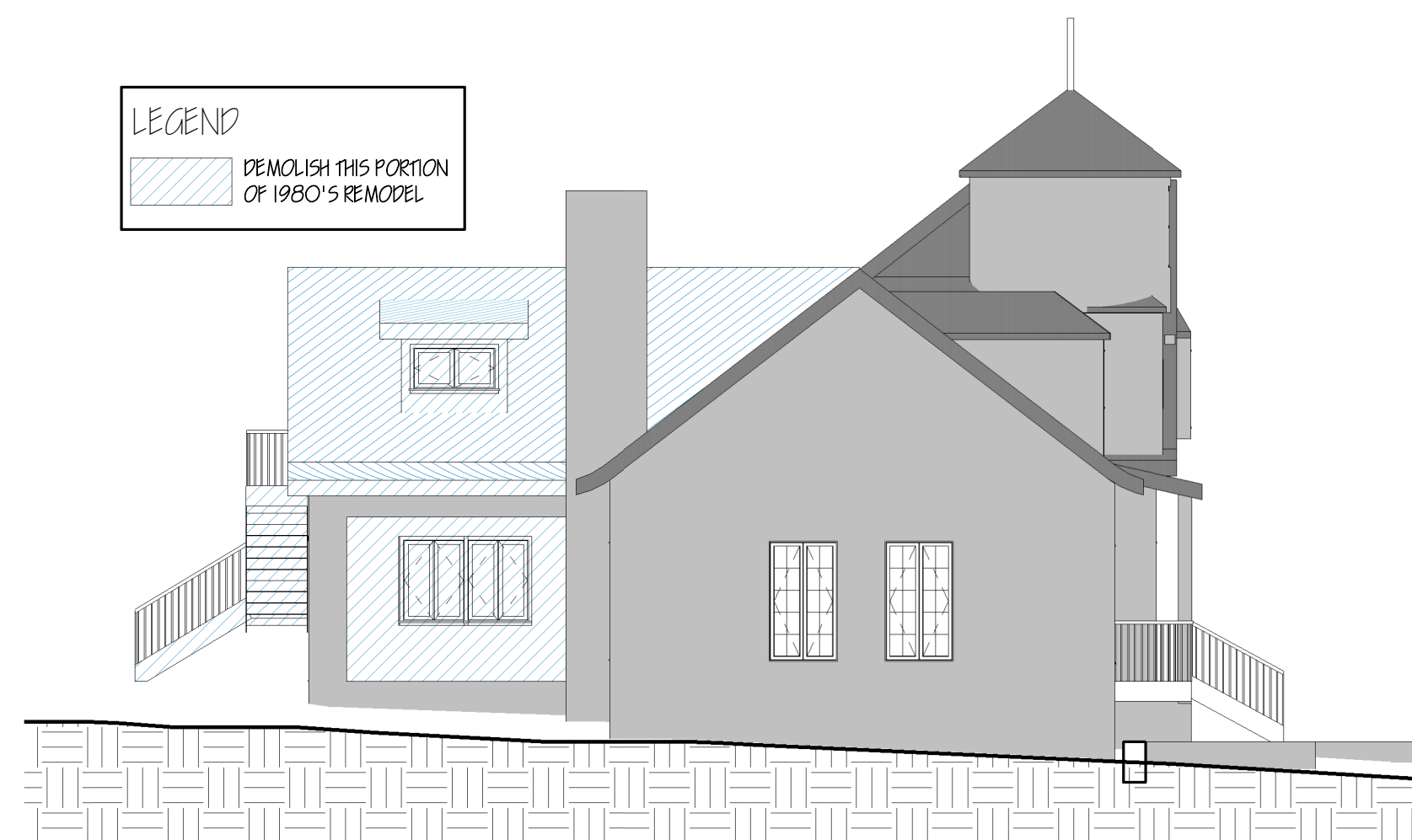
EXISTING EASTERN ELEVATION

① EXISTING EASTERN ELEVATION  
1/8" = 1'-0"



EXISTING SOUTHERN ( STREET ) ELEVATION

③ EXISTING SOUTHERN ELEVATION  
1/8" = 1'-0"



EXISTING WESTERN ELEVATION

④ EXISTING WESTERN ELEVATION  
1/8" = 1'-0"



EXISTING NORTHERN ELEVATION

② EXISTING NORTHERN ELEVATION  
1/8" = 1'-0"



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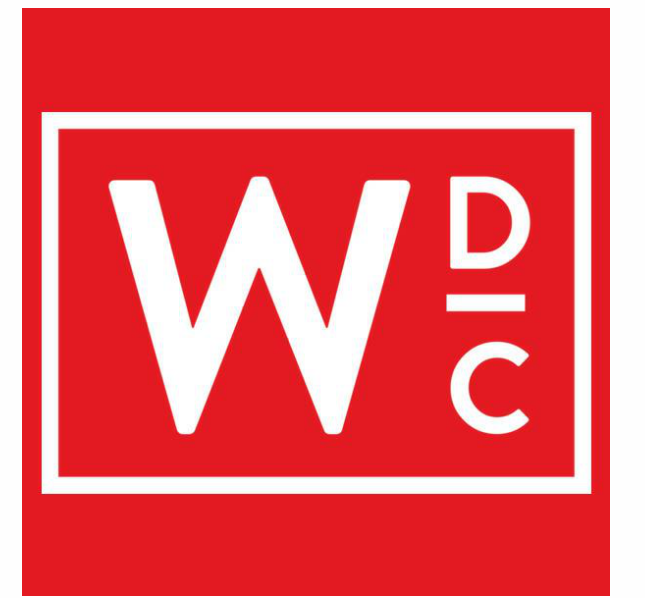
URBAN/ NITZBERG  
RESIDENCE

EXISTING  
ELEVATIONS

6/5/2025

A - 4





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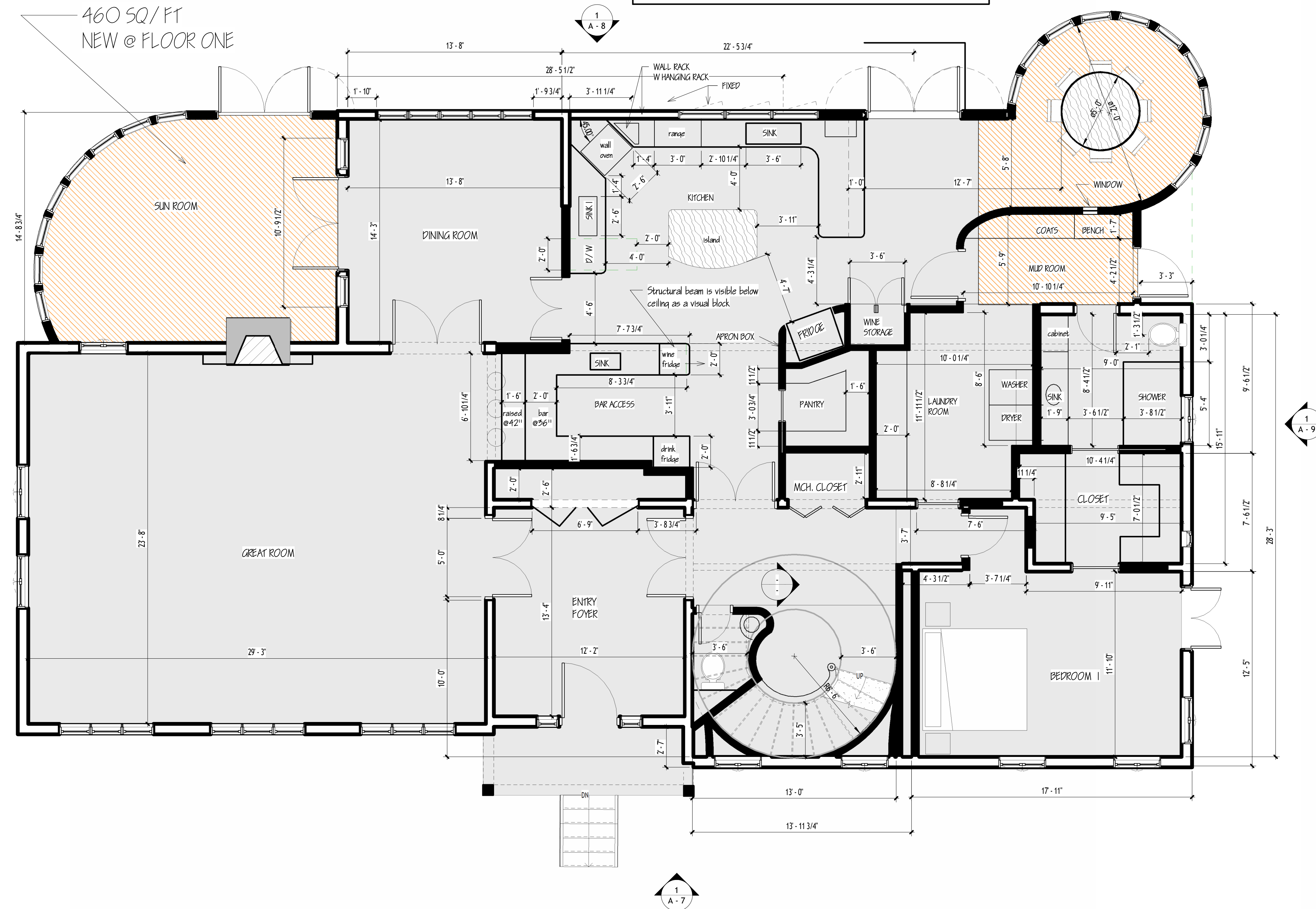
PROPOSED  
1ST FLOOR PLAN

6/5/2025

A - 5

## LEGEND

	NEW WALLS
	EXISTING WALLS
	NEW SQUARE FOOTAGE
	EXISTING SQ/ FT



1 First Floor Architectural Plan  
1/4" = 1'-0"





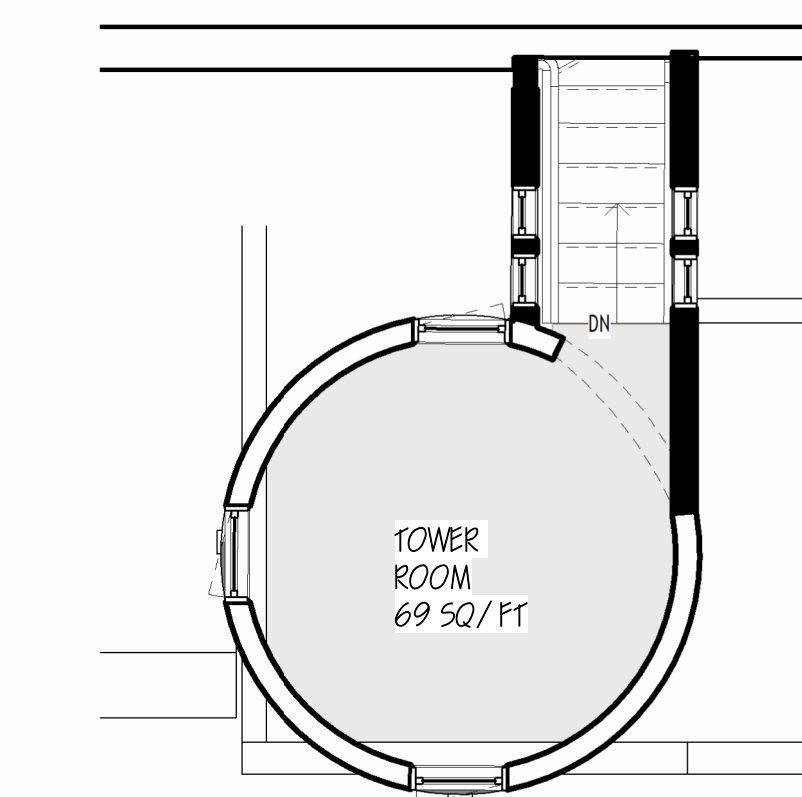
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CORPORATION  
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URBAN/ NITZBERG  
RESIDENCE

PROPOSED  
SECOND FLOOR  
& TOWER ROOM

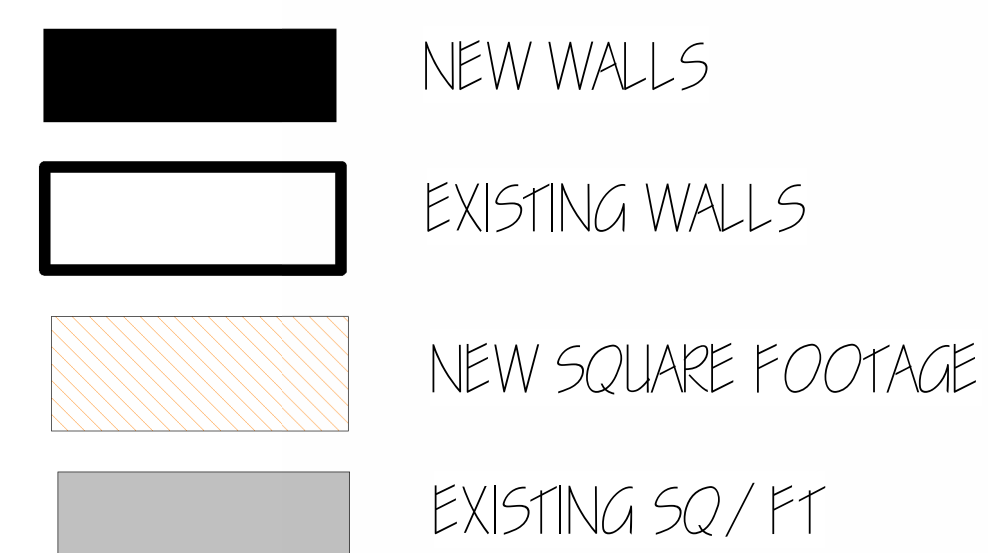
6/5/2025

A - 6

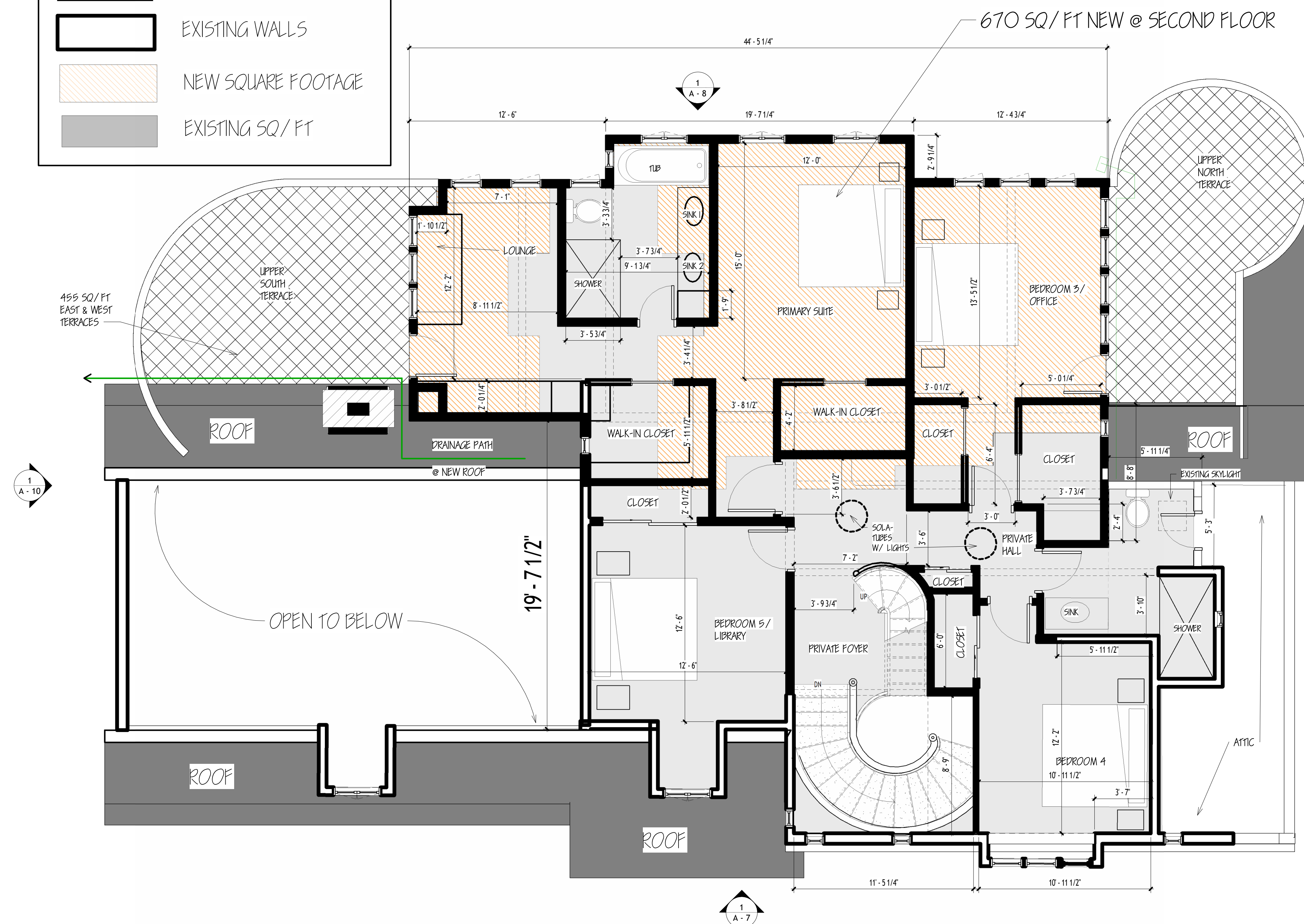


② L3 - Tower  
1/4" = 1'-0"

## LEGEND



— 670 SQ/ FT NEW @ SECOND FLOOR



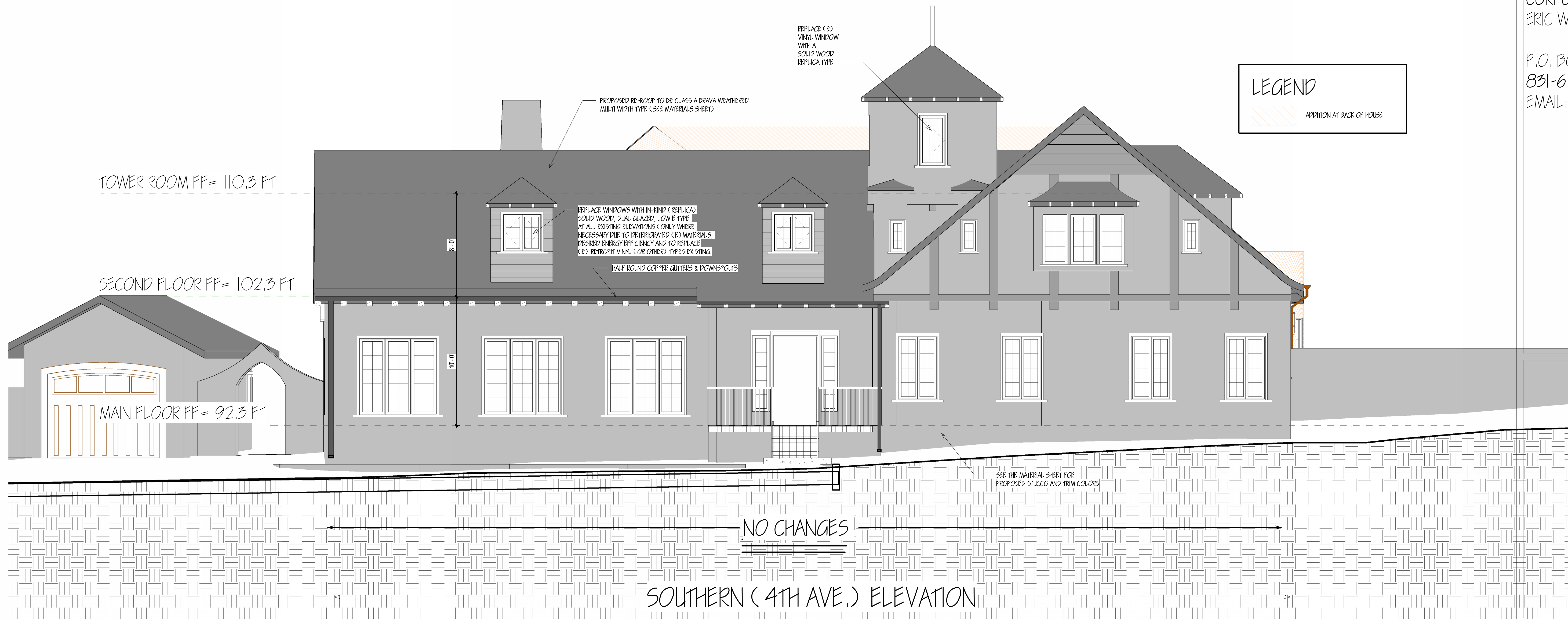
1 Second Floor Architectural Plan  
1/4" = 1'-0"



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1 Southern Elevation  
1/4" = 1'-0"

URBAN/ NITZBERG  
RESIDENCE

PROPOSED  
SOUTHERN ELEVATION

6/5/2025

A - 1





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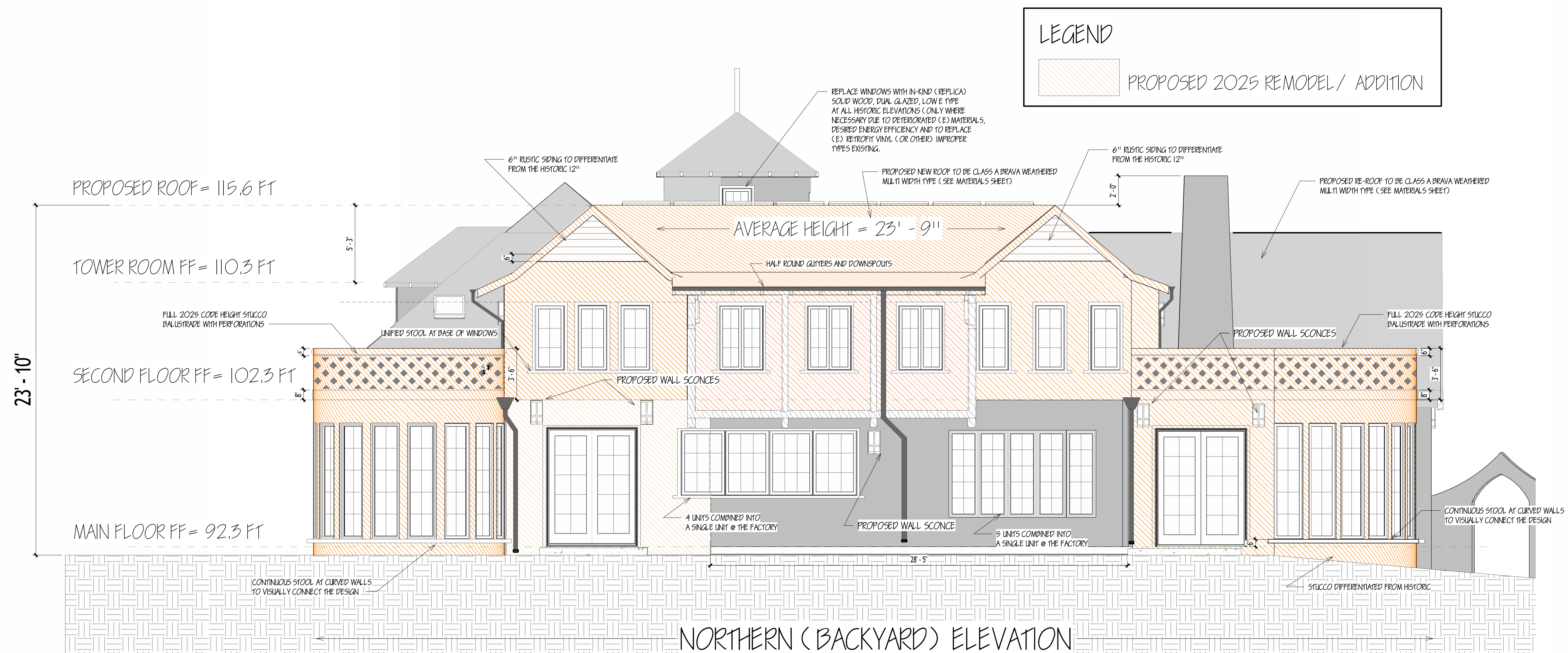
REVISÉD

URBAN/ NITZBERG  
RESIDENCE

PROPOSED  
NORTHERN ELEVATION

6/15/2025

A - 8



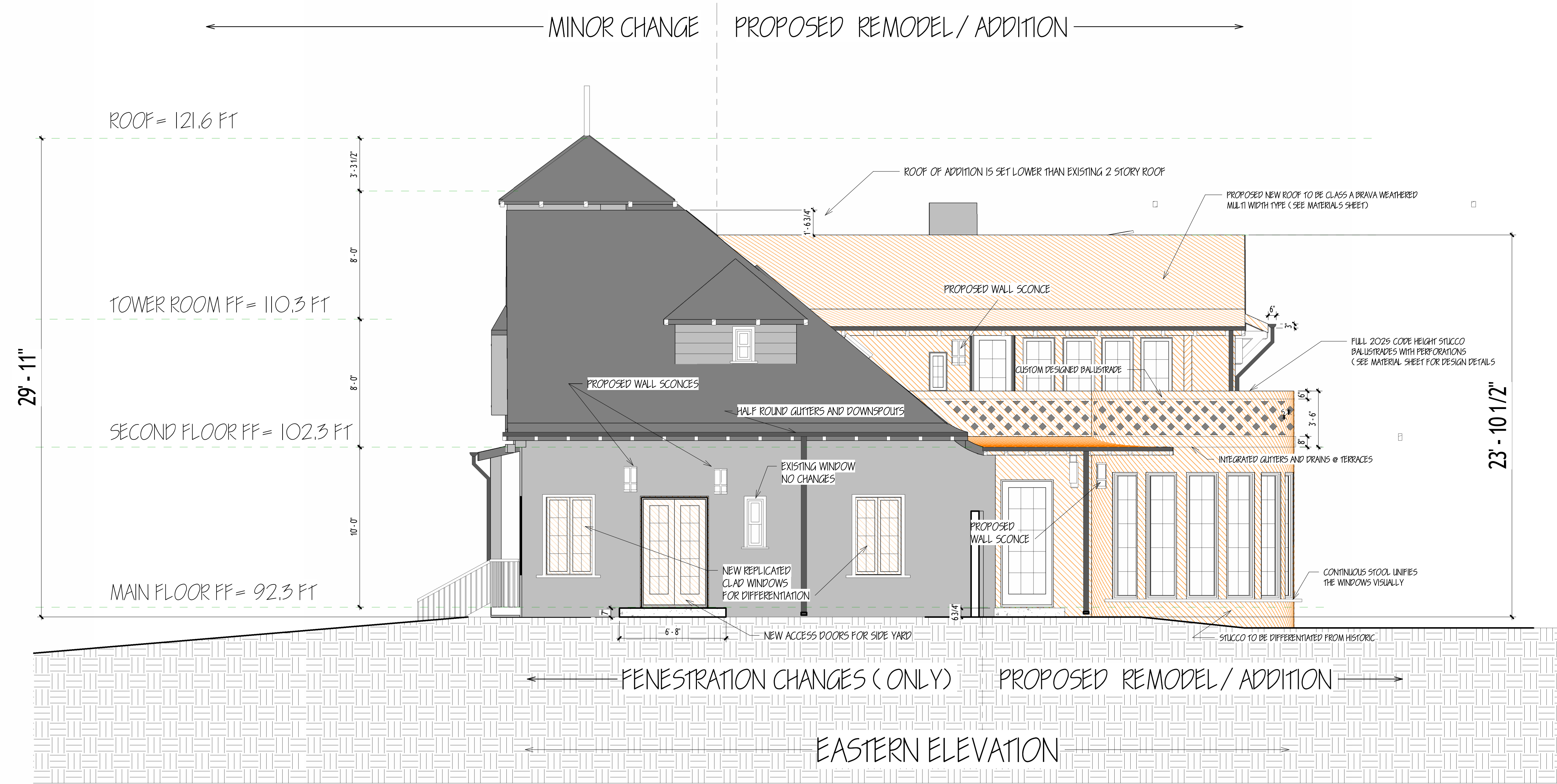
1 Proposed Northern Elevation  
1/4" = 1'-0"





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1 Proposed Eastern Elevation  
1/4" = 1'-0"

REVISED

URBAN/ NITZBERG  
RESIDENCE

PROPOSED  
EASTERN ELEVATION

6/15/2025

A - 9





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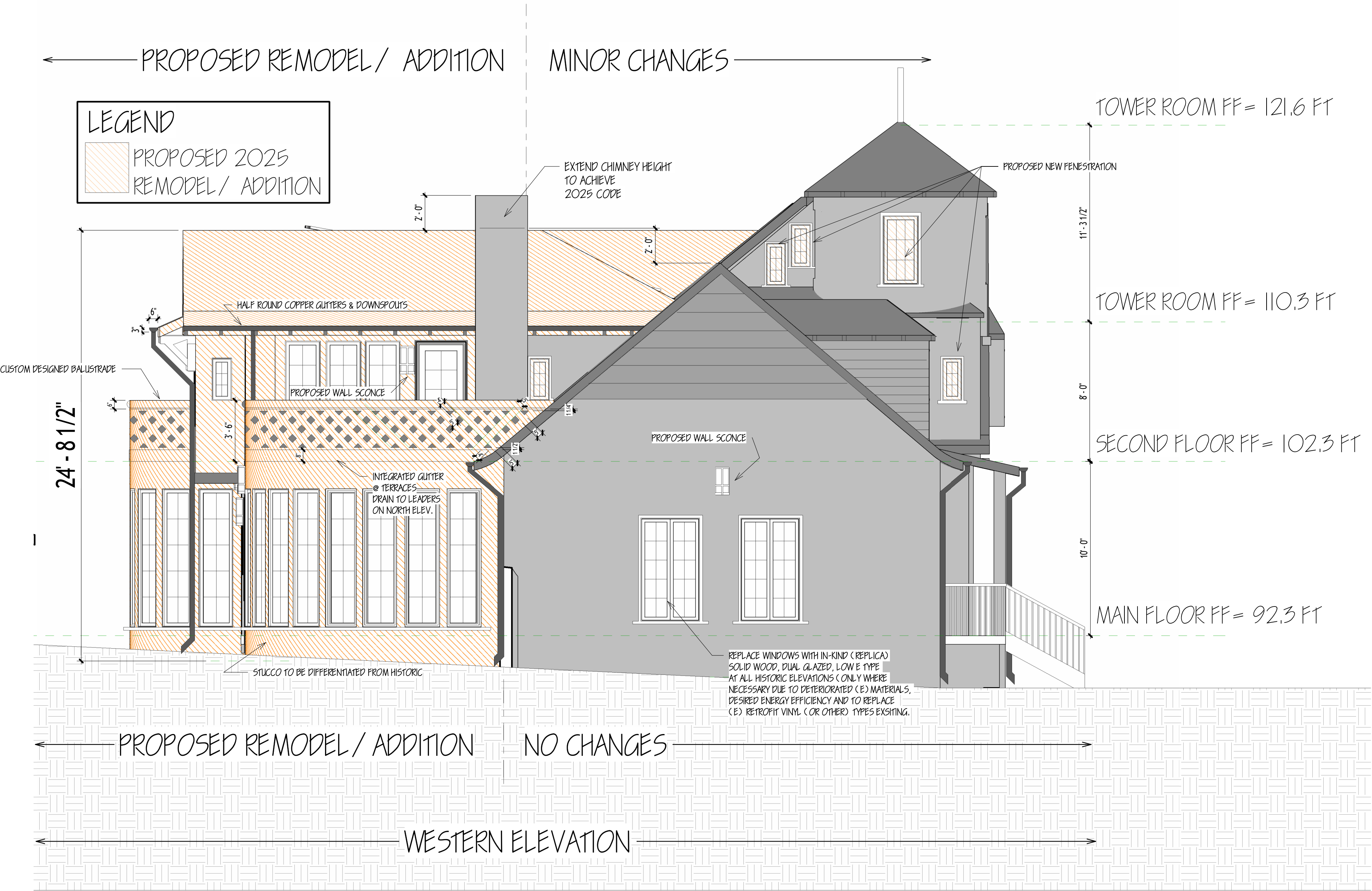
REVISED

URBAN/ NITZBERG  
RESIDENCE

PROPOSED  
WESTERN ELEVATION

6/15/2025

A - 10



Proposed Western Elevation

1/4" = 1'-0"



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URBAN/ NITZBERG  
RESIDENCE

TRUE PERSPECTIVES  
OF PROPOSED

6/5/2025

A - 11

NOTE: MAJORITY OF ALL PROPOSED CHANGES ARE  
NOT VISIBLE AT THE STREET VIEW



3

TRUE PERSPECTIVE FROM THE STREET

NOTE: REVISE TOPO HERE FOR PROPOSED  
WITH BUILDING DOCUMENTS



2

TRUE PERSPECTIVE AT NORTH ELEVATION





EXISTING NORTHERN ELEVATION ( 4TH AVENUE/ STREET ELEVATION) NO ARCHITECTURAL CHANGES PROPOSED



EXISTING WESTERN ELEVATION - NO CHANGES PROPOSED TO THIS ELEVATION



EXISTING EASTERN ELEVATION - ONLY FENESTRATION CHANGES ARE PROPOSED TO THIS ELEVATION



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RESIDENCE

IMAGES OF EXISTING  
SOUTH/ EAST & WEST

6/5/2025

A - 12A





NORTHERN ELEVATION AND EXISTING CONDITIONS: SEE NOTES



EXISTING BLEND OF STYLES, ADDITIONS AND ARCHITECTURAL FEATURES,  
PROPOSED TO BE REPLACED WITH NEW ADDITION/ REMODEL



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DETAILS OF  
PREVIOUSLY  
ALTERED  
NORTHERN  
PORTION OF THE  
HOUSE

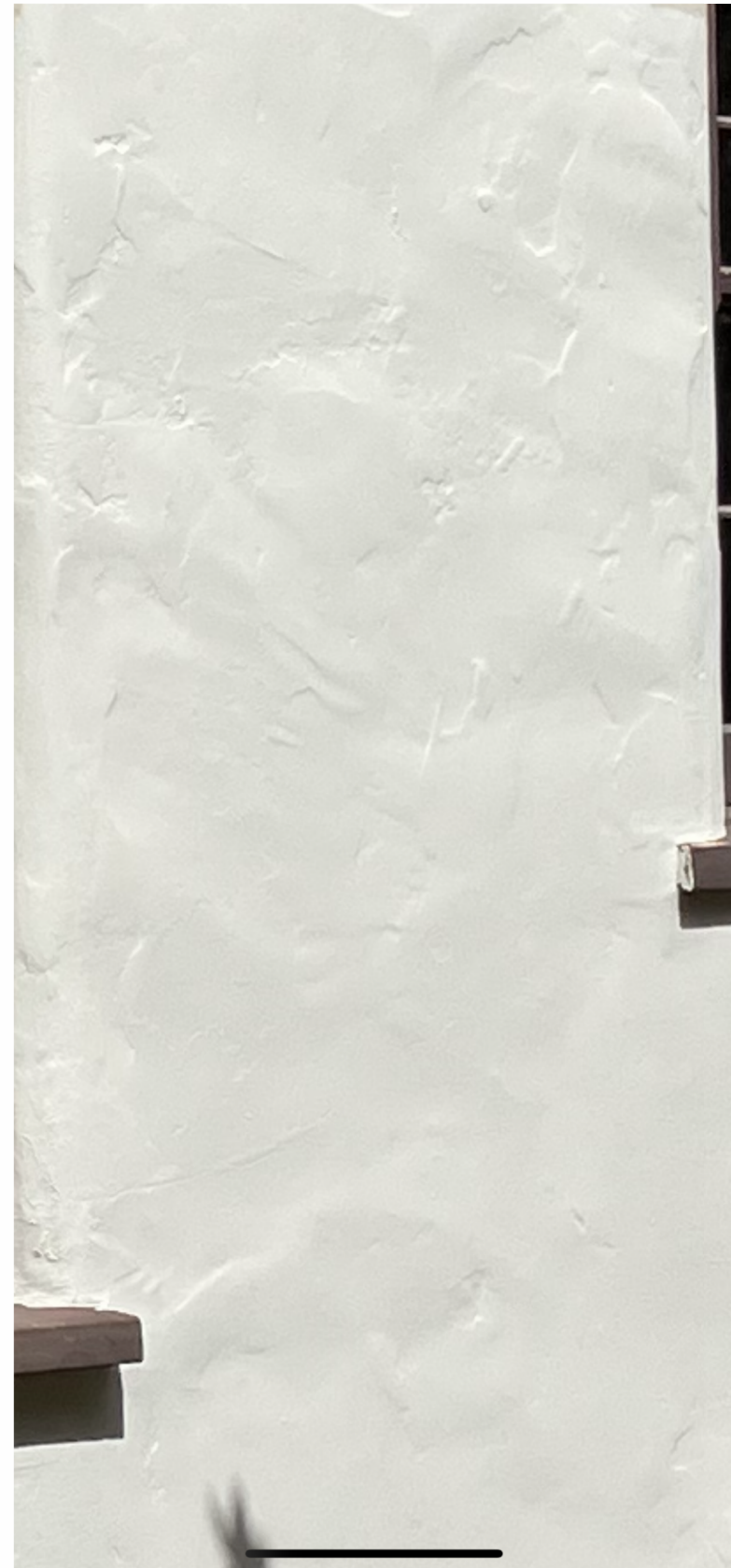
URBAN/ NITZBERG  
RESIDENCE

IMAGES OF EXISTING  
NORTHERN ELEVATION

6/5/2025

A - 12B





PROPOSED TRIM/ SIDING COLOR  
FARROW AND BALL EGGSHELL FINISH



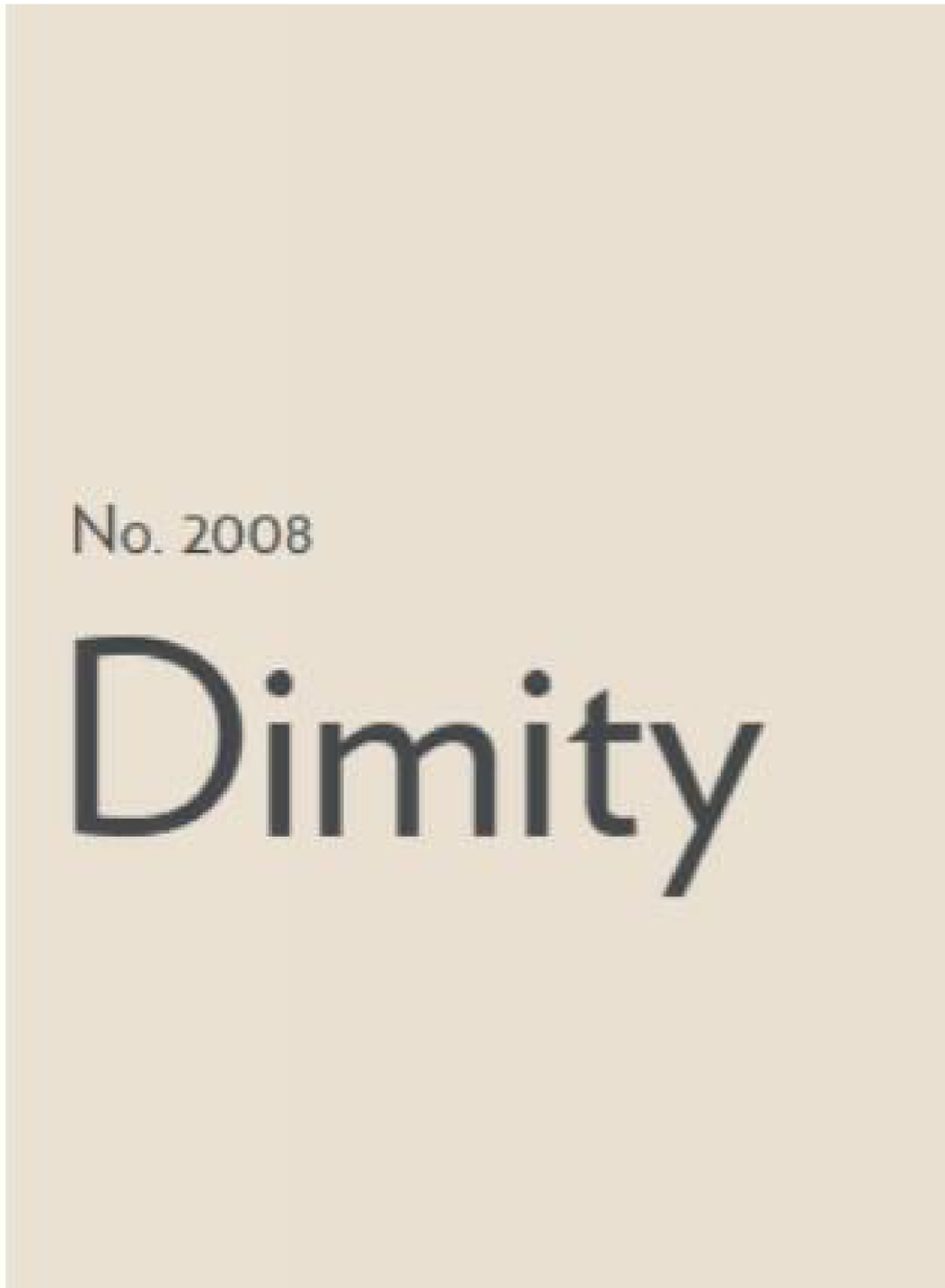
PROPOSED EXTERIOR LIGHTING:  
MAXIM LIGHTING: SANTA BARBARA ,  
DARK SKY MODEL #3314MOSE



PROPOSED NEW ROOFING TYPE CLASS A FIRE RESISTANT  
BRAVA MIXED SIZE WEATHERED ( COLOR) SYNTHETIC SHAKE



PROPOSED STUCCO FOR NEW



PROPOSED WALL PAINT COLOR ( 2 STUCCO  
OLD AND NEW) FARROW AND BALL DEEP  
FLAT FINISH



PROPOSED WINDOW TYPE ( MATCH ( E ) AT  
EXISTING AND ALUMINUM CLAD AT THE NEW  
ADDITION/ REMODEL



PROPOSED COPPER GUTTER TYPE



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REVISED

URBAN/ NITZBERG  
RESIDENCE

PROPOSED  
MATERIALS

7-31-2025

A - 13



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