

Exhibit A

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DRAFT RESOLUTION

Before the Housing and Community Development Chief of Planning in and for the County of Monterey, State of California

In the matter of the application of:

KASTIGAR ROBERT & CLEARY SIMONE (PLN230221)

RESOLUTION NO. --

Resolution by the County of Monterey Chief of
Planning:

- 1) Finding the project Categorical Exempt pursuant to CEQA Guidelines section 15301, Existing Facilities, and no exceptions pursuant to section 15300.2 can be made; and
- 2) Approving a Coastal Administrative Permit and Design Approval to allow major renovation of an existing 1,305 square foot residence; partial demolition of existing 201 square foot studio, laundry room and decks; construction of a new two-story 786 square foot addition to the existing single family; repair an existing 164 square foot attached garage; and other site improvements including the removal of one non-protected tree.

[PLN230221, KASTIGAR ROBERT & CLEARY SIMONE, 24524 Castro Lane, Carmel, Carmel Area Land Use Plan, Coastal Zone (APN: 009-091-004-000)]

The KASTIGAR ROBERT & CLEARY SIMONE application (PLN230221) came on for an administrative hearing before the County of Monterey HCD Chief of Planning on October 2, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, written testimony, and other evidence presented, the Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - 1982 Monterey County General Plan;
 - Carmel Area Land Use Plan (Carmel Area LUP);
 - County of Monterey Coastal Implementation Plan, Part 1, Zoning Ordinance (Title 20); and
 - County of Monterey Coastal Implementation Plan, Part 4,

Regulations for Development in the Carmel Area Land Use Plan Area (Carmel Area CIP).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Allowed Use. The property is located at 24524 Castro Lane (Assessor's Parcel Number [APN]: 009-091-004-000), Carmel, within the Carmel Area Land Use Plan in the Coastal Zone. The parcel is zoned Medium Density Residential, 2 units per acre with a Design Control overlay district in the Coastal Zone or "MDR/2-D(CZ)," which allows for the construction of the first single-family dwelling on a legal lot of record, subject to the granting of a Coastal Administrative Permit in each case (Title 20 section 20.14.040). The project consists of renovation of an existing 1,305 square foot residence, partial demolition of existing 201 square foot studio, laundry room & decks, construction of a new two-story 786 square foot second story addition to the existing single-family dwelling, repair an existing 164 square foot attached garage, and other site improvements including the removal of one tree. Therefore, the project is an allowed land use for this site.
- c) Site Inspection. The project planner conducted a site inspection on April 15, 2024, to verify that the project on the subject parcel conforms to the plans listed above.
- d) Lot Legality. The subject property (0.09 acres in size), APN: 009-091-004-000, is identified as Lot 13, in Block 165, of the First Addition to Carmel Woods, in Volume 3, Page 22, in Maps of Cities and Towns, filed May 7, 1923. It is shown in its current configuration and under separate ownership in both the 1964 and 1972 Assessor's Parcel Map Book 9 Page 9. The subject property was developed with a single-family dwelling in 1948, which is the same structure currently standing. Therefore, the County recognizes it as a legal lot of record.
- e) Design/Neighborhood and Community Character. The property is subject to the Design Control "D" overlay zoning district regulations contained in Title 20 Chapter 20.44, which requires design review of proposed development to assure protection of the public viewshed and neighborhood character. The proposed development will substantially match the existing colors and materials by using the same dove white painted horizontal redwood slat siding, and aluminum clad windows and doors. The roofs on the single-family dwelling and garage will be upgraded with a medium bronze standing seam metal roof. The proposed materials and colors are comparable to residences in the vicinity, the neighborhood character, and the natural setting of the surrounding area. The proposed development will not be visible from any public viewing area and will not block any views of the ocean. The neighborhood has an eclectic array of architectural styles, as such the Kastigar/Cleary residence contributes to the unique neighborhood character. Condition No. 4 has been applied to ensure that additional exterior lighting is down-lit, unobtrusive, and harmonious with the local area.
- f) Legal Non-Conforming/Development Standards. Pursuant to Title 20

section 20.12.060, the MDR zoning district establishes main structure setbacks of 20 feet for the front, side setbacks of 5 feet, and a rear setback of 10 feet. The eastern portion, or front of the single-family dwelling, encroaches less than 1 foot into the required front setback, and therefore is legal nonconforming as to the front setback. County records indicate that the existing single-family dwelling and attached garage were constructed in 1948 and have undergone a number of renovations, including re-roofing in 2016 under Building Permit No. 16CP01083. Therefore, although no other records can be found for the construction of the single-family dwelling and garage in 1948, the County recognizes the single-family dwelling and garage as legally established structures through the granting of the previously approved planning and building permits. Pursuant to Title 20 section 20.62.040.K, the MDR zoning district states any accessory structure structurally attached to the main structure shall be subject to the same setback requirements as the main structure. The garage is attached to the existing single-family dwelling and meets or exceeds the setback requirements listed in Title 20 section 20.12.060 referenced above. The proposed development is consistent with applicable development standards. Since the addition is located on the rear half of the existing structure, the garage renovation will occur on the northern side setback, and no structural alterations will occur within the non-conforming section of the dwelling (work is limited to window changes), the front setback will not be affected. The proposed addition will extend west and conform to the required 10 foot rear setback and 5 foot side setbacks. The two-story addition will have a height of 22 feet and 3 and 1/4 inches from the Average Natural Grade, which is below the maximum allowed height of 30 feet for main structures. The garage renovation will not change the existing coverage, floor area, height, or setbacks, all of which are in conformance to applicable site development standards. The height will remain approximately 11 feet 5 inches, which is below the maximum allowed height of 30 feet for accessory structures attached to main structures pursuant to Title 20 section 20.62.030.D. The maximum allowed building site coverage in the MDR/2 zoning district is 35% (1,517 square feet). The proposed site coverage is 34.5% (1,497 square feet). The MDR/2 zoning district establishes a maximum floor area ratio of 45% (1,950 square feet), and as proposed, the development would increase the existing single-family dwelling's floor area ratio to 45% (1,950 square feet). Therefore, the project meets all the applicable site development standards.

- g) Cultural Resources. The subject parcel is located in an area of moderate archaeological sensitivity and is less than 0.12 acres in size. Section 20.146.090.B of the Carmel Area CIP states an archaeological survey report shall be required for any development project 2.5 acres or larger located within areas of moderate sensitivity. The property is not located within 750 feet of a known archaeological resource, nor is it in an area of suspected archaeological resources. Based on this information, an Archaeological Report Waiver was submitted and approved. Therefore, the preparation of an archaeological report was not warranted. The

County's standard condition of approval (Condition No. 3) has been added to ensure work will be halted if any potential archaeological resources, or indicators of resources, are unearthed during construction.

- h) Historical Resources. The existing single-family dwelling was constructed over 70 years ago in 1948; therefore, a historic report (LIB240112) was prepared to address the potential historical significance of the structure. The report concluded that the existing property does not meet the criteria to be considered historic because it lacks particularly strong artistic merit, any historic or associative significance or association with a noted architect or builder. Therefore, no historic resources will be impacted by the proposed project.
- i) Environmentally Sensitive Habitat Area. The subject property is located within the vicinity of Pescadero Canyon. An Environmentally Sensitive Habitat Area (ESHA) assessment (LIB240200) was requested to identify, if any, impacts would occur to ESHA. A pre-construction ecological assessment was submitted by Thompson Wildland Management dated June 18, 2024, which found areas that have the potential of supporting ESHA are situated approximately 300 feet from the subject parcel. The property is enclosed by fences and separated from Pescadero Canyon by Pescadero Road. There are native oak trees on neighboring parcels, but they showed no indication of supporting ESHA and are expected to be unaffected by construction. The assessment concluded that there is no indication or evidence that protected special status species, sensitive habitat and/or ESHA is occurring on the subject property or within 100 feet of proposed construction activities.
- j) Tree Removal. One 20-inch multi-trunk Scouler's Willow will be removed in preparation for project activities. This specie of willow is not protected by the County of Monterey in the Coastal Zone and does not require a discretionary permit. Condition No. 6 has been applied so that all other trees on the property will be protected from construction.
- k) The application, project plans, and related supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN230221.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, Cypress Fire Protection District, HCD-Environmental Services and Environmental Health Bureau. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to potentially historical, environmental, and tree resources. The following reports have been prepared:
 - "Historic Assessment" (LIB240112) prepared by Kent L. Seavey, Pacific Grove, California, February 8, 2022.

- “Geotechnical Investigation – Design Phase” (LIB230257) prepared by Greg Bloom and C. Scott Clark, Watsonville, California, August 5, 2024.
- “ESHA impact assessment letter for 24524 Castro Lane in Carmel” (LIB240200) prepared by Rob Thompson, Monterey, California, June 18, 2024.
- “Tree impact assessment for 24524 Castro Lane in Carmel” (LIB240111) prepared by Rob Thompson, Monterey, California, November 2, 2023.

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions.

- c) Staff conducted a site inspection on April 15, 2024 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD-Planning for the proposed development found in Project File PLN230221.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use; or be detrimental or injurious to property and improvements in the neighborhood; or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, Cypress Fire Protection District, HCD-Environmental Services and Environmental Health Bureau. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Domestic water service is currently and will continue to be provided by California American Water.
 - c) The property currently receives sewage services from Carmel Area Wastewater District and will continue to be supported after the proposed development is complete.
 - d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD-Planning for the proposed development found in Project File PLN230221.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff conducted a site inspection on April 15, 2024 and reviewed Monterey County HCD-Planning and Building Services Department records and is not aware of any violations existing on subject property.

- b) Staff reviewed aerial footage of the site and researched County records to assess if any violation exists on the subject property.
- c) The application, plans and supporting materials submitted by the project applicant to Monterey County HDC-Planning for the proposed development are found in Project File PLN230221.

5. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines section 15301 categorically exempts interior and exterior alterations and additions to existing structures provided the addition will not result in an increase of 50% of the floor area or 2,500 square feet, whichever is less.
 - b) This project qualifies for a Class 1 Categorical Exemption because it is an addition to an existing single-family dwelling which does not increase the floor area by 50% or 2,500 square feet. The existing floor area is 1,305 square feet, and the proposed floor area is 1,950 square feet. After the demolition, the proposed addition increase the floor area by 645 square feet, or approximately 49% of the original floor area. The project also includes an interior remodel and minor exterior modifications to an existing structure and therefore meets the requirements of the Class 1 Categorical Exemption.
 - c) None of the exceptions under CEQA Guidelines section 15300.2 apply to this project:
 - The location of a project site is not considered for Class 1 Categorical Exemption;
 - Successive projects of the same type and in the same place (additions to a single-family dwelling on this lot) would not contribute to a significant cumulative impact;
 - There are no unusual circumstances regarding this project that would cause a significant effect to the environment (see Findings 1 and 2, and supporting evidence);
 - The project site is not visible from any scenic highways, and the proposed development would not result in damages to scenic resources; and
 - The project site is not located on or near any hazardous waste sites listed in Section 65962.5 of the Government Code.
 - d) Staff conducted a site inspection on April 15, 2024 to verify that the site and proposed project meet the criteria for an exemption.
 - e) The application, plans and supporting materials submitted by the project applicant to Monterey County HDC-Planning for the proposed development are found in Project File PLN230221.

6. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors.

- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Title 20 section 20.86.020, an aggrieved party may appeal a decision of the Chief of Planning to the Board of Supervisors.
 - b) California Coastal Commission. Pursuant to Title 20 section 20.86.080, this project is not appealable to the California Coastal Commission

(CCC) because it is not located within 300 feet of any beach or mean high tide line, between the first public road and the sea, within 100 feet of a wetland or 300 feet of a coastal bluff, the project does not include an underlying conditional use nor is not considered a major public works project.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the HCD Chief of Planning does hereby:

1. Find the project Categorically Exempt pursuant to CEQA Guidelines section 15301, Existing Facilities, and no exceptions pursuant to section 15300.2 can be made; and
2. Approve a Coastal Administrative Permit and Design Approval to allow major renovation of an existing 1,305 square foot residence; partial demolition of existing 201 square foot studio, laundry room and decks; construction of a new two-story 786 square foot addition to the existing single family; repair an existing 164 square foot attached garage; and other site improvements including the removal of one non-protected tree.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 2nd day of October 2024:

 Melanie Beretti, AICP
 HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON _____

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE BOARD OF SUPERVISORS ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230221

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Coastal Administrative Permit and Design Approval (PLN230221) allows the renovation of an existing 1,305 square foot residence, partial demolition of existing 201 square foot studio, laundry room & decks, construction of a new two-story 786 square foot addition to the existing single-family dwelling, repair an existing 164 square foot attached garage, and other site improvements including the removal of one tree. The property is located at 24524 Castro Lane, Carmel (Assessor's Parcel Number 009-091-004-000), Carmel Area Land Use Plan, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Coastal Administrative Permit and Design Approval (Resolution Number _____) was approved by the Chief of Planning for Assessor's Parcel Number 009-091-004-000 on October 2, 2024. The permit was granted subject to 5 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

5. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project. (Public Works)

Compliance or Monitoring Action to be Performed: 1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

6. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

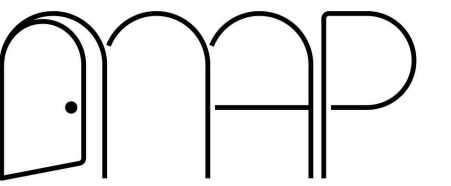
CASTRO LANE ADDITION & REMODEL

24524 CASTRO LANE, CARMEL

PROJECT:
CASTRO LANE
REMODEL
24524 CASTRO LANE
CARMEL, CA 93923

OWNER:
SIMONE CLEARY & ROBERT
KASTIGAR

PROJECT NO: 0078



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ABBREVIATIONS

∠ AND ANGLE	DBL DOUBLE DEPARTMENT	H.B. HOSE BIB	O/S OVER OBSURE	SM SHLAD SHLAD
⊕ AT CENTERLINE	DEM DEMOLITION OR DEMOLISH	H.C. HOLLOW CORE	O.C. ON CENTER	SS STAINLESS STEEL
□ PLATE	DF DOUGLASS FIR	HDS HEADER	O.D. OUTSIDE DIAMETER	SM SHEET METAL
∅ DIAMETER OR ROUND	D.H. DOUBLE HUNG	HDWR HARDWOOD	OFF OFFICE	SM.S SHEET METAL SCREW
∠ PERPENDICULAR	DIAG. DIAGONAL	HM HOLLOW METAL	O.H.M.S. OVALHEAD MACHINE SCREW	SPCS SPECIFICATIONS
// PARALLEL	DIA. DIAMETER	HORIZ HORIZONTAL	O.H.W.S. OVALHEAD WOOD SCREW	SO SQUARE
# POUND OR NUMBER	DIMEN DIMENSION	HGT. HEIGHT	ORNG ORNGING	STL STEEL
(E) EXISTING	DISP. DISPENSER	HTG. HEATING	OPP OPPOSITE	STD. STANDARD
A.B. ANCHOR BOLT	DN. DOWN	H.W. HOT WATER	O.S.B. ORIENTED STRAND BOARD	STAG. STAGGERED
A.B.S. ACRYLONITRILE BUTADIENE STYRENE	DRWG. DRAWING	HVAC HEATING, VENTILATING, AND AIR CONDITIONING	P.A.F. POWDER ACTUATED FASTENER	STOR. STORAGE
A.C. ASPHALTIC CONCRETE	DWR. DRAWER	I.C.B.O. INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS	PART. BO. PARTICLE BOARD	STRUC. STRUCTURAL
ACOUS. ACOUSTICAL	EA. EAST	ID. INSIDE DIAMETER	P.F. PERF. PERFORATED	STRY STRY SUSP. SUSPENDED
ADJ. ADJUSTABLE, ADJACENT	EACH	INCL. INCLUDED, INCLUDING	PL. PROPERTY LINE	SYM SYMMETRICAL
AGGR. AGGREGATE	ELEV. ELEVATION, ELEVATOR	INSUL. INSULATION	PL.L. PLASTIC LAMINATE	SYS. SYSTEM
ALUM. ALUMINUM	ELEC. ELECTRIC (ALL)	INT. INTERIOR	PLAS. PLASTER	T. TREAD (S)
ANOD. ANODIZED	EMER. EMERGENCY	INV. INVERT	PLY. PLYWOOD	T.B. TOWEL BAR
A.P.A. AMERICAN PLYWOOD ASSOCIATION	ENCL. ENCLOSURE	JAN. JANITOR	PAIR PAIR	T.C. TOP OF CURB
APPROX. APPROXIMATE	EQUIP. EQUIPMENT	J.H. JOIST HANGER	P.S.F. POUNDS PER SQUARE FOOT	TEL. TELEPHONE
ARCH. ARCHITECT (URAL)	EXST. EXISTING	J.T. JOINT	P.T. POUNDS PER SQUARE INCH	TEMP. TEMPERED
	EXT. EXTERIOR	KIT. KITCHEN	P.T. POUND TREADED PARTITION	TE.N. TYPICAL EDGE NAILING
			P.T.D. PAPER TOWEL DISPENSER	T.G.R. TOP OF GRATE
			P.V.C. POLYVINYL CHLORIDE	THK. THICK (NESS)
				T.H. THRESHOLD
				T.O. TOP OF
				T.P. TOP OF PAVEMENT
				T.P.H. TOLLET PAPER HOLDER
				T.V. TELEVISION
				T.W. TOP OF WALL
				T.Y. TYPICAL
				U.B.C. UNIFORM BUILDING CODE
				UL. UNDERWRITER'S LABORATORIES
				U.O.N. UNLESS OTHERWISE NOTED
				UR. URINAL
				V.B. VAPOR BARRIER
				V.B. VARIES
				VERT. VERTICAL
				V.I.F. VERIFY IN FIELD
				V.G. VERTICAL GRAB
				V.T. VINYL TILE
				W. WEST
				W. WIDE WIDTH
				W/ WITH
				W.C. WATER CLOSET
				WD. WOOD
				WDW. WINDOW
				WH. WATER HEATER
				W.I.C. WOODWORK INSTITUTE OF CALIFORNIA
				W/O WITHOUT
				W.P. WATERPROOF
				W.R. WATER RESISTANT
				W.S. WOOD SCREW
				W.S. WARSNOT
				WT. WEIGHT
				W.W.M. WELDED WIRE MESH

PROJECT TEAM

OWNERS:
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ARBORIST:
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ARCHITECT/APPLICANT:
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LANDSCAPE ARCHITECT:
PATRICK WILSON
MISSION LANDSCAPING, INC.
320 FOAM STREET
MONTEREY, CA 93940
(831) 373-8293

HISTORIAN:
KENT L. SEAVEY
310 LIGHTHOUSE AVENUE
PACIFIC GROVE, CA 93950
(831) 375-8739

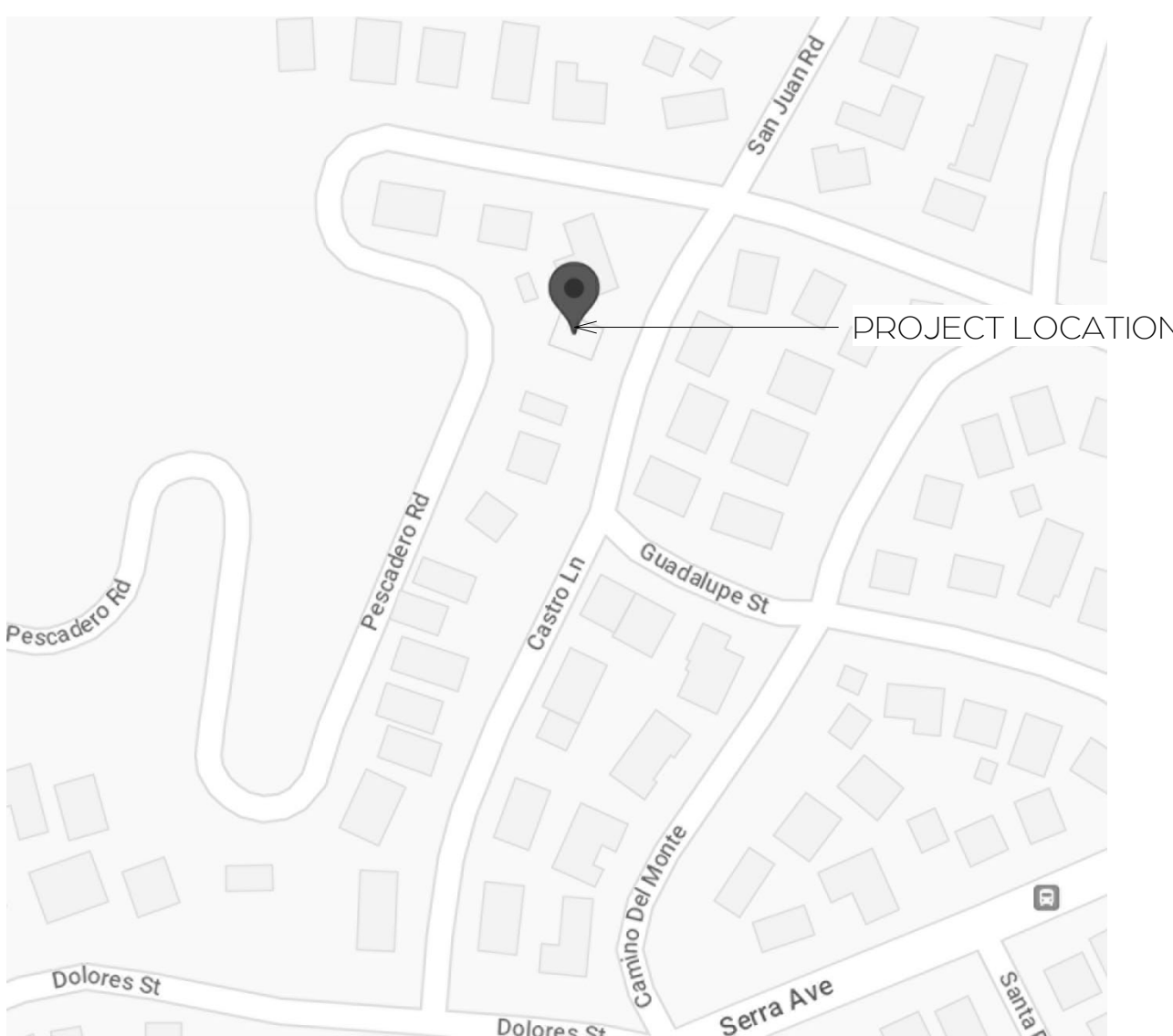
CIVIL ENGINEER:
C3 ENGINEERING INC.
126 BONIFACIO PLACE, SUITE C
MONTEREY, CA 93940
(831) 647-1192

SURVEYOR:
LUCIDO SURVEYORS
2 SAUCITO AVENUE
DEL REY OAKS, CA 93940
(831) 620-5032

SYMBOLS

- DETAIL KEY**
- 2 A6 → DETAIL NUMBER
A6 → SHEET NUMBER
- SECTION KEY**
- A A7 → SECTION NUMBER
A7 → SHEET NUMBER
- INTERIOR ELEVATION KEY**
- C A8 → ELEVATION NUMBER
A8 → SHEET NUMBER
ARROWS INDICATE ELEVATIONS SHOWN
- 8'-0" → CEILING HEIGHT
- 2 → REVISION
- ③ → DOOR SYMBOL
- △ → WINDOW SYMBOL
- → SHEET NOTE

VICINITY MAP



SHEET LIST

- A0.1 TITLE SHEET & PROJECT DATA
- A1.0 SURVEY
- A1.1 EXISTING & PROPOSED SITE PLANS
- A2.0 EXISTING FLOOR PLANS
- A2.1 DEMOLITION PLANS
- A2.2 PROPOSED FLOOR PLANS
- A2.3 EXISTING & PROPOSED ROOF PLAN
- A3.0 EXISTING EXTERIOR ELEVATIONS
- A3.1 PROPOSED EXTERIOR ELEVATIONS
- C1 CIVIL COVER SHEET & GENERAL NOTES
- C2 EXISTING SITE PLAN
- C3 GRADING & DRAINAGE PLAN
- C4 UTILITY PLAN
- C5 SECTIONS & DETAILS
- C6 EROSION & SEDIMENT CONTROL PLAN
- C7 EROSION & SEDIMENT CONTROL DETAILS
- C8 CONSTRUCTION BEST MANAGEMENT PRACTICES
- C9 CONSTRUCTION MANAGEMENT PLAN
- L1.1 LANDSCAPE PLAN & FUEL MANAGEMENT PLAN
- L1.2 IRRIGATION PLAN
- L1.3 IRRIGATION DETAILS & MAWA CALCULATIONS

PROJECT DATA

PROJECT DESCRIPTION: RENOVATION OF (E) HOUSE & GARAGE, DEMOLITION OF (E) STUDIO/LAUNDRY AND DECKS, (N) TWO STORY ADDITION

PROPERTY ADDRESS: 24524 CASTRO LANE
CARMEL, CA 93923

APN: 009-091-004-000

PARCEL SIZE: 4,334 S.F.

OWNERS: SIMONE CLEARY & ROBERT KASTIGAR

ZONING: MDR/2-D (CZ)

OCCUPANCY: R-3, SINGLE FAMILY RESIDENTIAL

FLOOR AREA RATIO:
REQUIRED: 45% ALLOWED (1,950 S.F.)
PROPOSED: 45% (1,950 S.F.)

EXISTING FLOOR AREAS:
(E) MAIN FLOOR: 1,009 S.F.
(E) LOWER FLOOR: 498 S.F. (NON-CONFORMING DUE TO CLG HT)
(E) HOUSE TOTAL: 1,009 S.F.
(E) ATTACHED GARAGE: 164 S.F.
(E) LAUNDRY/STUDIO: 122 S.F.
TOTAL = 1,305 S.F.

PROPOSED FLOOR AREAS:
(E) MAIN FLOOR: 1,000 S.F.
(N) LOWER FLOOR: 453 S.F.
(N) ADDITION @ MAIN FLOOR: 333 S.F.
(N) HOUSE TOTAL: 1,786 S.F.
(E) ATTACHED GARAGE: 164 S.F.
TOTAL = 1,950 S.F.

LOT COVERAGE:
REQUIRED: 35% ALLOWED (1,517 S.F.)
(E) MAIN FLOOR: 1,009 S.F.
(E) EXTERIOR STAIRS: 70 S.F.
(E) DECK: 79 S.F.
(E) ATTACHED GARAGE: 164 S.F.
(E) LAUNDRY/STUDIO: 122 S.F.
TOTAL EXISTING: (1,444 S.F.)
(E) MAIN FLOOR: 1,000 S.F.
(E) ATTACHED GARAGE: 164 S.F.
(N) ADDITION: 333 S.F.
PROPOSED: 35% (1,497 S.F.)

IMPERVIOUS COVERAGE:
STRUCTURES:
(E) MAIN FLOOR: 1,000 S.F.
(E) ATTACHED GARAGE: 164 S.F.
(N) ADDITION: 333 S.F.
TOTAL STRUCTURES: 1,497 S.F.
IMPERVIOUS SURFACES:
HOLLYWOOD DRIVEWAY: 80 S.F.
CONCRETE PATIO: 316 S.F.
ENTRY STAIRS & WALK: 118 S.F.
TOTAL SURFACES: 514 S.F.

CONSTRUCTION TYPE: V-B, SPRINKLERED (WILL BE SPRINKLERED AS PART OF BUILDING PERMIT APPLICATION)

GRADING: CUT: 60 CY
FILL: 5 CY
NET: 55 CY CUT

TREE REMOVAL: (1) WILLOW

AVE. NATURAL GRADE: 41.825'

PARKING COUNTS: REQUIRED: 2 SPACES, 1 COVERED
PROPOSED: 2 SPACES, 1 COVERED

WATER SERVICE: CAL AM

SEWER SERVICE: CARMEL AREA WASTEWATER DISTRICT

SCALE:

DRAWN BY: MH

PRINT DATE: 9.19.24

DRAWING DATE: 9.19.24

DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

SHEET TITLE:

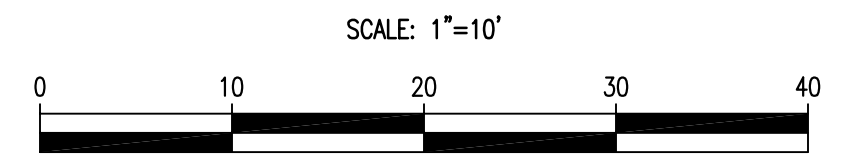
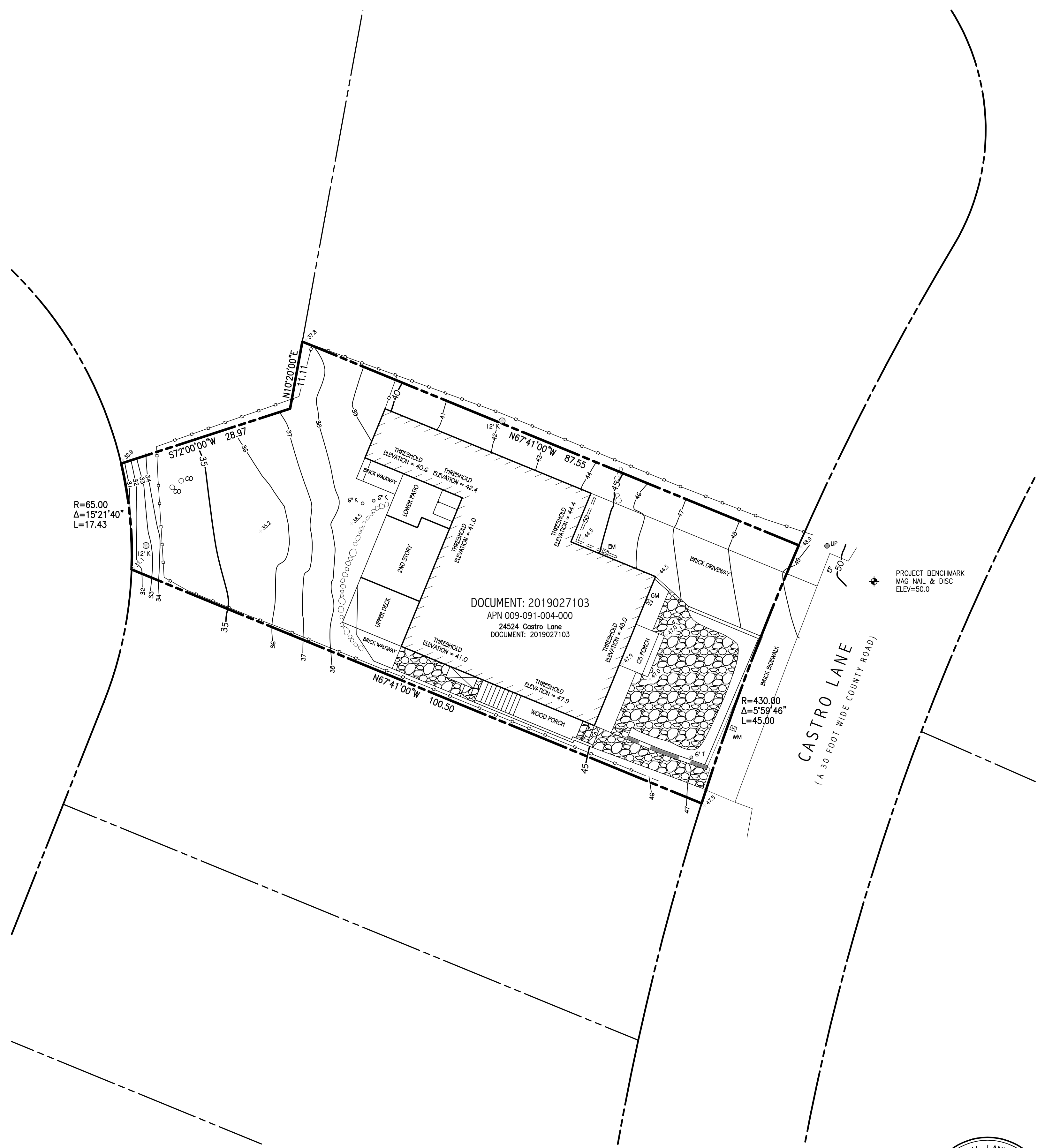
TITLE SHEET & PROJECT DATA

SHEET NUMBER:

A0.1

LEGEND:

	RECORD BOUNDARY		WOOD FENCE
	RECORD RIGHT OF WAY		WIRE FENCE
	RECORD LOT LINE		CHAIN LINK FENCE
	RECORD CENTERLINE		STREET SIGN
	RECORD EASEMENT LINE		SIGN POST
	RECORD SETBACK		MAIL BOX
	OLD RECORD LINE		BOLLARD
	PROJECT BENCHMARK		PILLAR
	CONTOUR (MAJOR)		CONCRETE WALL
	CONTOUR (MINOR)		ROCK RETAINING WALL
	GRADEBREAK		STACKED BLOCK WALL
	EDGE OF PAVEMENT		BRICK WALKWAY/PATIO
	LIP OF GUTTER		CARMEL STONE
	FACE OF CURB		PCC WALKWAY/PATIO
	BACK OF CURB		ACCESS RAMP
	CURB AND GUTTER		STANDARD PARKING STALL
	SIDEWALK		ASPHALT CONCRETE
	BACK OF SIDEWALK		CARMEL STONE
	DRIVEWAY		CORRUGATED METAL PIPE
	EDGE OF DRIVEWAY		CONCRETE SLAB
	FLOWLINE		DECOMPOSED GRANITE
	BUILDING		EXPOSED AGGREGATE
	APPROXIMATE BUILDING OUTLINE		HIGH DENSITY POLY ETHYLENE
	CHIMNEY		PORTLAND CEMENT CONCRETE
	APPROXIMATE FLOOR ELEVATION		PAVER STONE
	DECK		POLY VINYL CHLORIDE
	DECK		REINFORCED CONCRETE PIPE
	CONC PAD		TRASH ENCLOSURE
	CONCRETE PAD		EDGE OF FOLIAGE
	STEP		TREE WITH SIZE AND TYPE
	PLANTER		ACACIA
	PLANTER		CYPRESS
	WATER LINE		OAK
	WATER VALVE		PINE
	WATER METER		REDWOOD
	FIRE HYDRANT		TREE
	HOSE BIB		TREE WELL WITH TREE
	IRRIGATION CONTROL VALVE		SPOT ELEVATION
	SANITARY SEWER LINE		
	SANITARY SEWER MANHOLE		
	SANITARY SEWER CLEAN-OUT		
	SLOT DRAIN		
	STORM DRAIN MANHOLE		
	AREA DRAIN		
	DRAIN INLET		
	ELECTRIC LINE		
	UTILITY POLE		
	GUY WIRE		
	ELECTRIC VAULT		
	UTILITY VAULT		
	ELECTRIC METER		
	ELECTRIC HANDHOLE		
	TRAFFIC SIGNAL POST		
	STREET LIGHT		
	UTILITY HANDHOLE		
	GAS METER		
	TELEPHONE LINE		
	TELEPHONE STANDARD		
	CABLE TELEVISION LINE		
	CABLE TELEVISION BOX		



BENCHMARK:
 ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM. AN ELEVATION OF 50.0 HAS BEEN ASSIGNED TO A MAG NAIL & DISC SET IN THE PAVEMENT NEAR THE NORTHEASTERLY BOUNDARY CORNER OF THE SUBJECT PROPERTY AS SHOWN HEREON.

- NOTES:**
- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS.
 - ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN (AND NONE WERE PROVIDED).
 - DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
 - CONTOUR INTERVAL = ONE FOOT.
 - TREE TYPES (IF ANY) ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY, TO BE VERIFIED BY AN APPROVED ARBORIST PROVIDED BY OTHERS, PER AGREEMENT WITH THE SURVEYOR. TREES SMALLER THAN 6" IN DIAMETER MAY NOT BE NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
 - POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS, IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC. SQUARE FOOTAGE OF BUILDINGS (IF ANY) IS SHOWN APPROXIMATE ONLY, AND SUBJECT TO REVISION AT ANY TIME.
 - NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
 - THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN DECEMBER OF 2021.

TOPOGRAPHIC SITE SURVEY

AT
 24524 Castro Lane

PER
 DOCUMENT: 2019027103

Records of Monterey County
 PREPARED FOR
 Simone Cleary

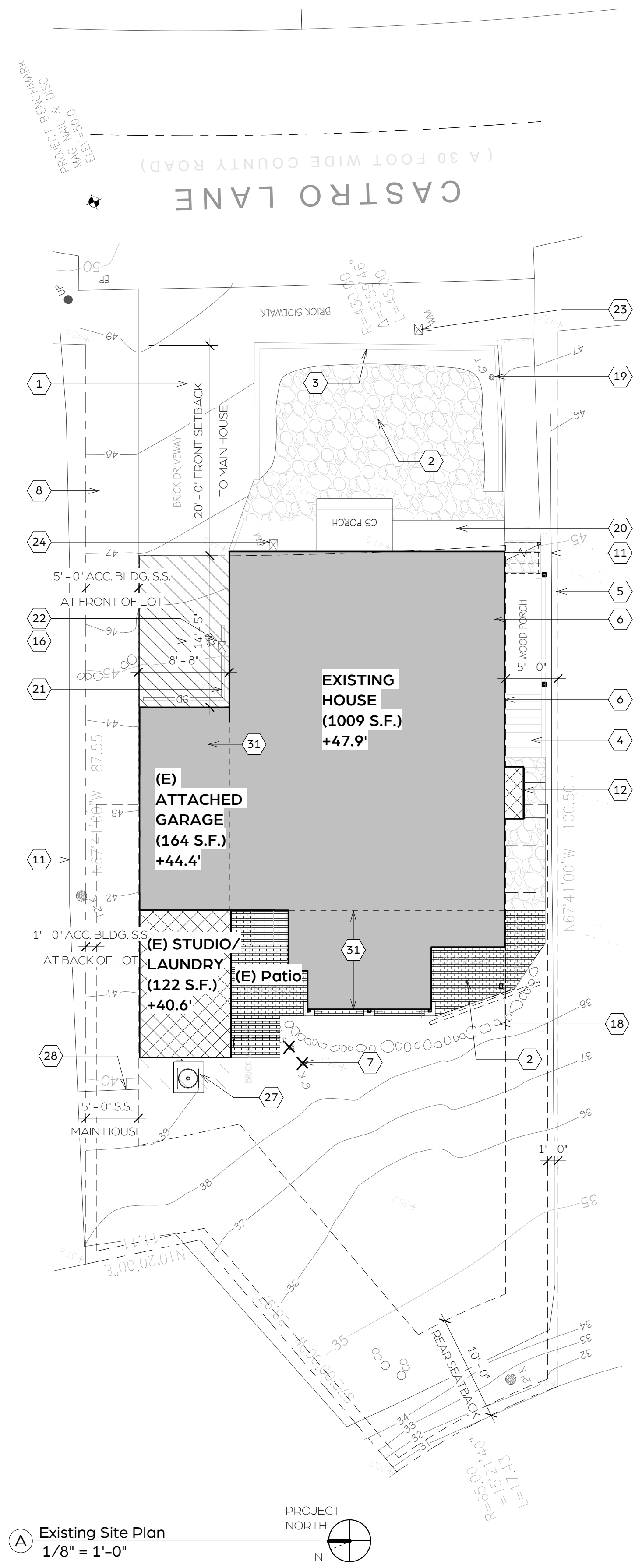
BY
LUCIDO SURVEYORS

Boundary and Construction Surveys · Topographic and Planimetric Mapping
 ALTA Surveys and GIS Database Management · Land Planning and Consulting

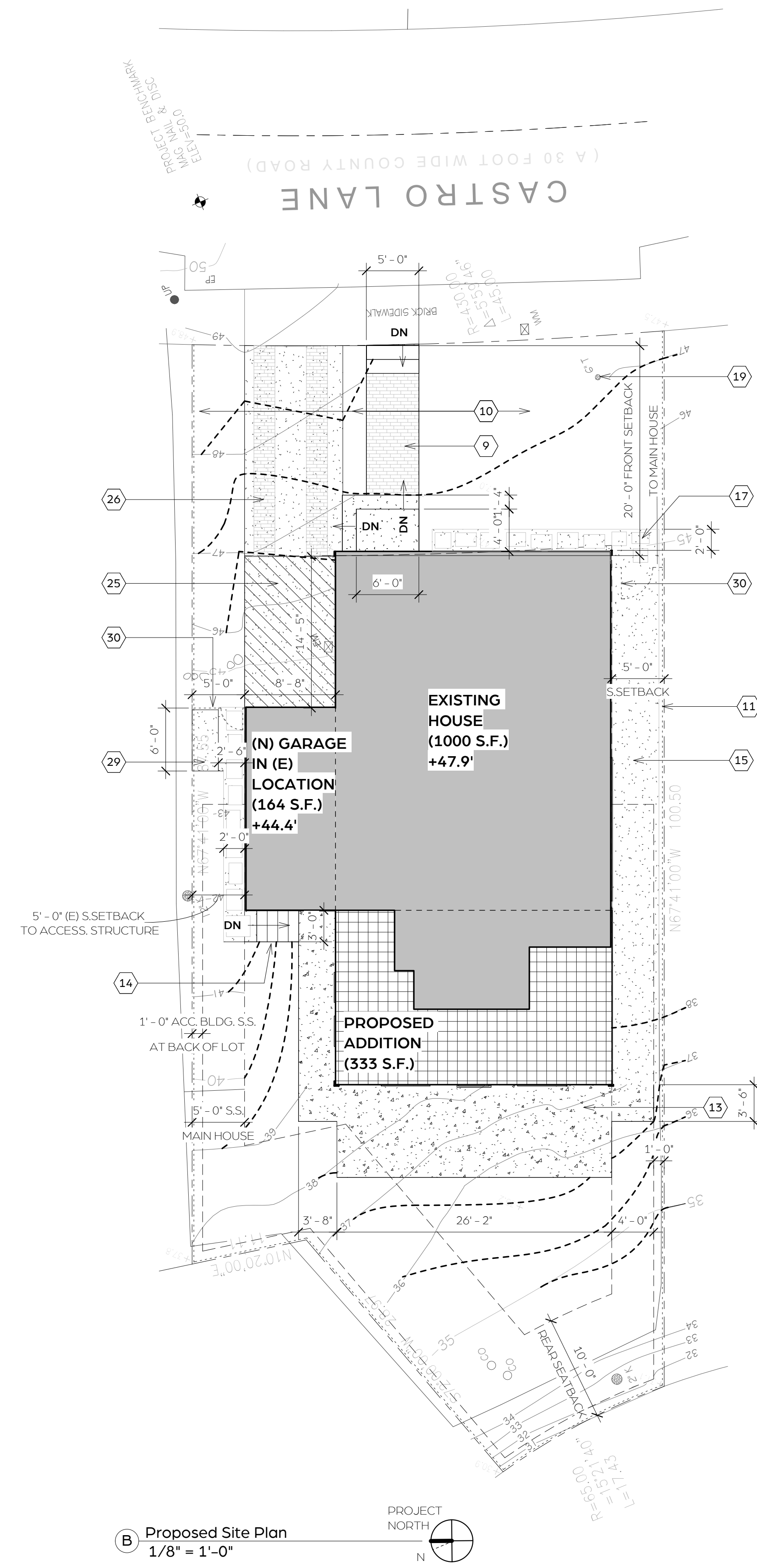
2 Saucito Avenue
 DEL REY OAKS, CALIFORNIA 93940
 info@lucidosurveyors.com
 (831) 620-5032



SCALE: 1"=10' PROJECT No. 2857 DECEMBER 2021
 ENVIRONS OF CARMEL COUNTY OF MONTEREY STATE OF CALIFORNIA



(A) Existing Site Plan
1/8" = 1'-0"



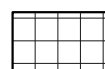







(B) Proposed Site Plan
1/8" = 1'-0"

SHEET NOTES

- 1 (E) BRICK DRIVEWAY
- 2 (E) HARDSCAPE TO BE REMOVED
- 3 (E) CONCRETE CURB TO BE REMOVED
- 4 (E) STAIRS & DECK TO BE REMOVED
- 5 PROPERTY LINE
- 6 SETBACK LINE
- 7 (E) WILLOW TREE TO BE REMOVED. SEE ARBORIST REPORT
- 8 (E) PLANTED AREA
- 9 (N) FLAGSTONE WALKWAY & RISERS w/STONE CLADDING
- 10 (N) PLANTED AREA
- 11 (E) FENCE
- 12 (E) CHIMNEY TO BE REMOVED
- 13 (N) CONCRETE PATIO
- 14 (N) COMPACTED DG TREADS w/REDWOOD RISERS
- 15 (N) COMPACTED DECOMPOSED GRANITE PATH
- 16 (E) PARKING PAD
- 17 (N) FLAGSTONES SET IN DG PATH
- 18 (E) STONE WALL TO BE REMOVED
- 19 (E) TREE TO BE PROTECTED. SEE TREE PROTECTION MEASURES
- 20 (E) CONCRETE WALK TO BE REMOVED
- 21 (E) CURB TO BE REMOVED
- 22 (E) ELECTRICAL METER
- 23 (E) WATER METER
- 24 (E) GAS METER
- 25 (N) PARKING PAD w/DG & OYSTER SHELL BASE
- 26 (N) STONE COBBLE HOLLYWOOD DRIVEWAY SET IN COMPACTED DG
- 27 REMOVE (E) A/C UNIT TO BE REUSED
- 28 (E) FENCE & GATE TO BE REMOVED
- 29 (N) CONCRETE PAD FOR TRASH BIN STORAGE
- 30 (N) 6FT HIGH FENCE & GATE
- 31 (E) FLOOR AREA TO BE DEMOLISHED & REBUILT IN (E) LOCATION

LEGEND

-  EXISTING STRUCTURES
-  AREAS TO BE DEMOLISHED
-  AREAS OF ADDITION
-  PARKING PAD
-  PROPERTY LINE
-  SETBACK
-  FENCE AT PROPERTY LINE
-  PROPOSED TOPOGRAPHY

PROJECT:
CASTRO LANE REMODEL
24524 CASTRO LANE
CARMEL, CA 93923

OWNER:
SIMONE CLEARY & ROBERT KASTIGAR

PROJECT NO: 0078

Merritt Amanti Palminteri Architect AIA, LEED AP
e. merritt@merrittamanti.com
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www.merrittamanti.com

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SCALE: As indicated

DRAWN BY: MH
PRINT DATE: 9.19.24
DRAWING DATE: 9.19.24
DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

SHEET TITLE:
EXISTING & PROPOSED SITE PLANS

SHEET NUMBER:

A1.1

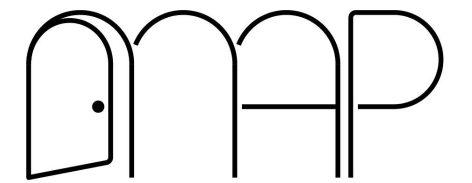
SHEET NOTES

- 1 LINE OF AWNING ABOVE
- 2 (E) BEAMS ABOVE
- 3 (E) CON-CONFORMING LOWER FLOOR DUE TO CEILING HEIGHT

PROJECT:
**CASTRO LANE
 REMODEL**
 24524 CASTRO LANE
 CARMEL, CA 93923

OWNER:
 SIMONE CLEARY & ROBERT
 KASTIGAR

PROJECT NO: 0078



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SCALE: 1/4" = 1'-0"

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 PRINT DATE: 9.19.24
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 DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

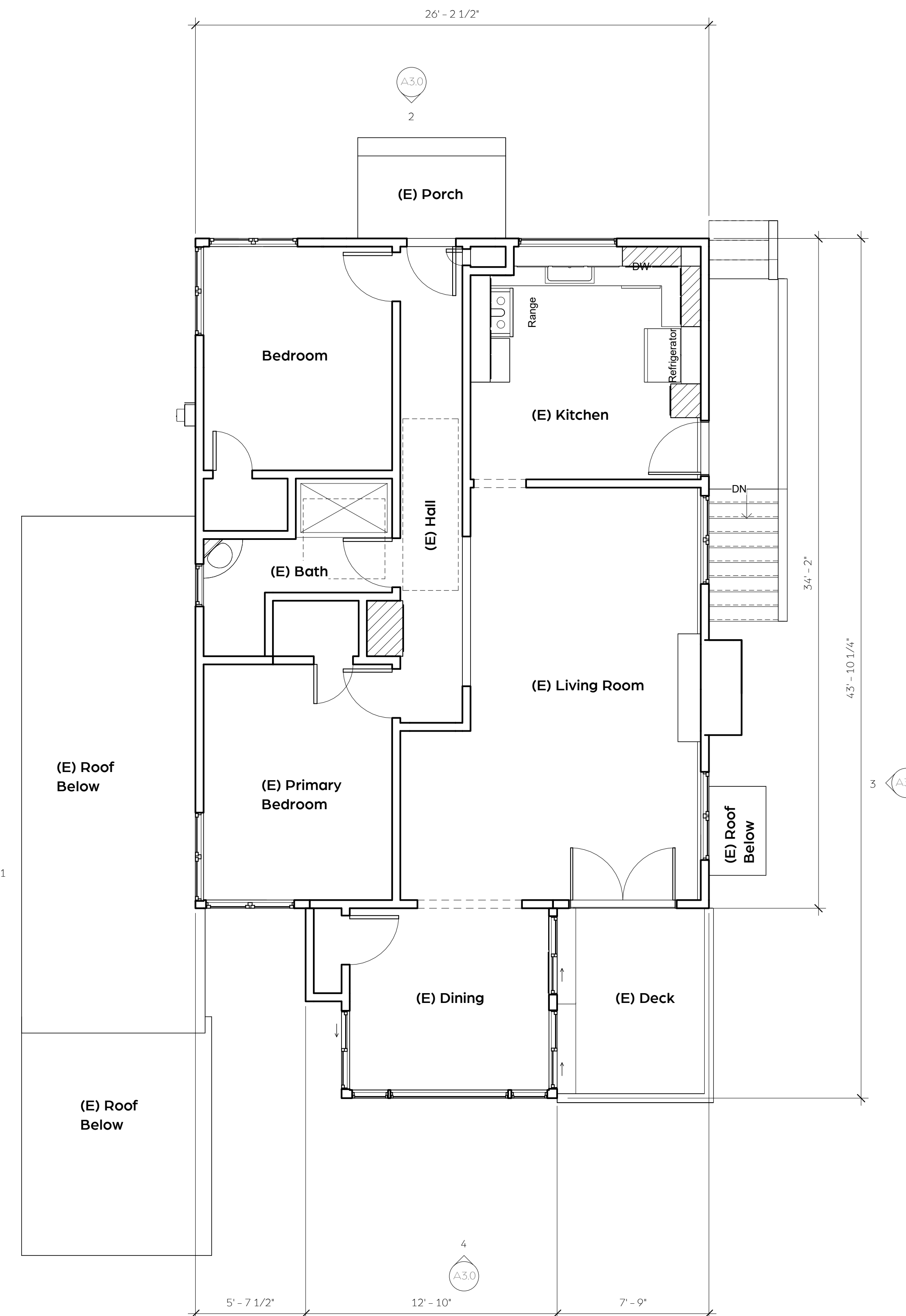
SHEET TITLE:
**EXISTING FLOOR
 PLANS**

SHEET NUMBER:

A2.0



A Existing Floor Plan - Lower Floor
 1/4" = 1'-0"

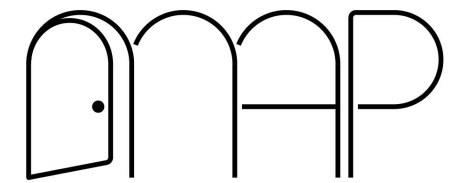


B Existing Floor Plan - Main Floor
 1/4" = 1'-0"



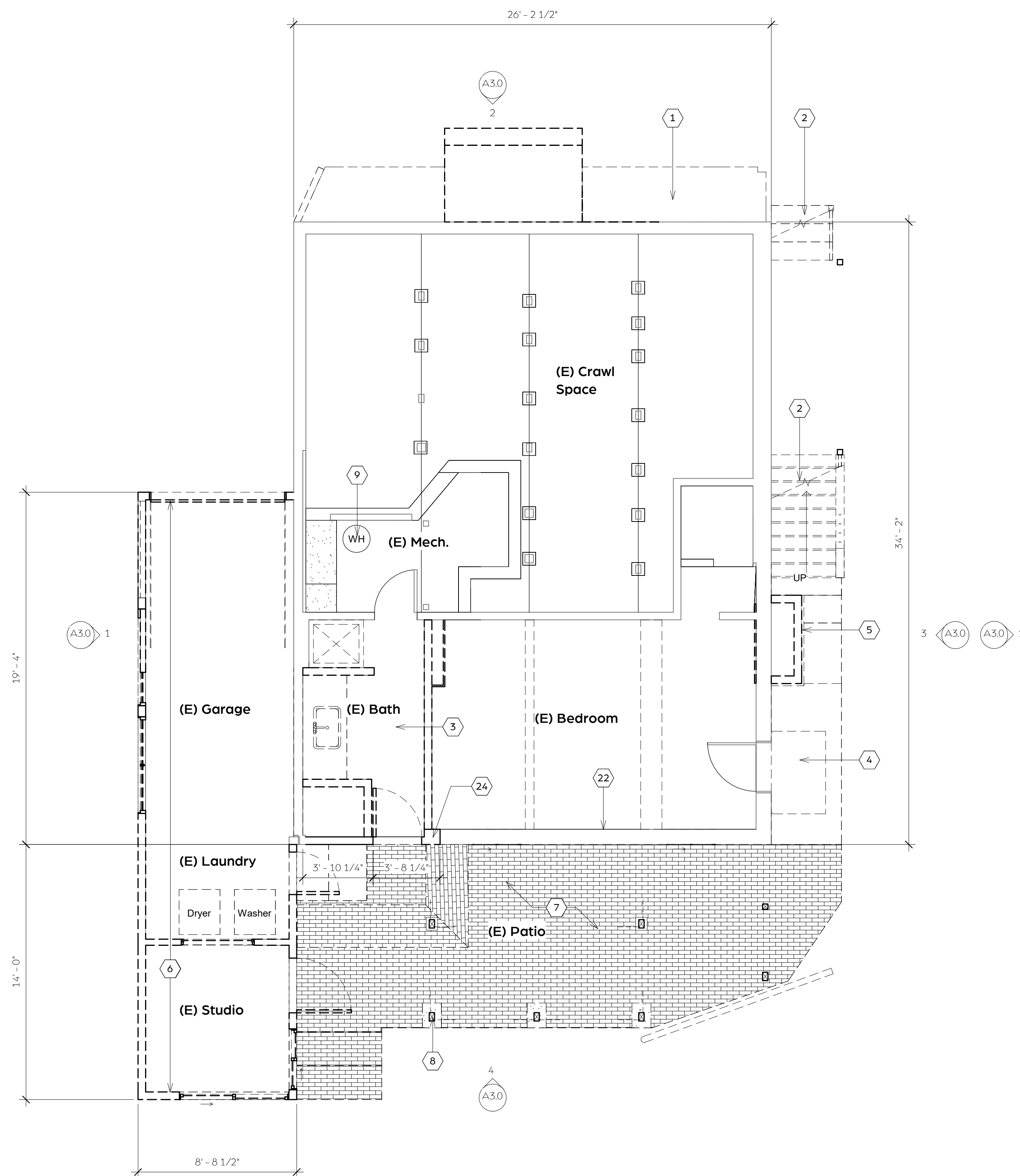
WALL LEGEND

- EXISTING WOOD STUD WALL
- EXISTING WALL TO BE DEMOLISHED
- NEW WOOD STUD WALL:
 2x6 @ 16"o.c. TYP. AT EXTERIOR WALLS U.O.N.
 2x4 @ 16"o.c. TYP. AT INTERIOR WALLS U.O.N.

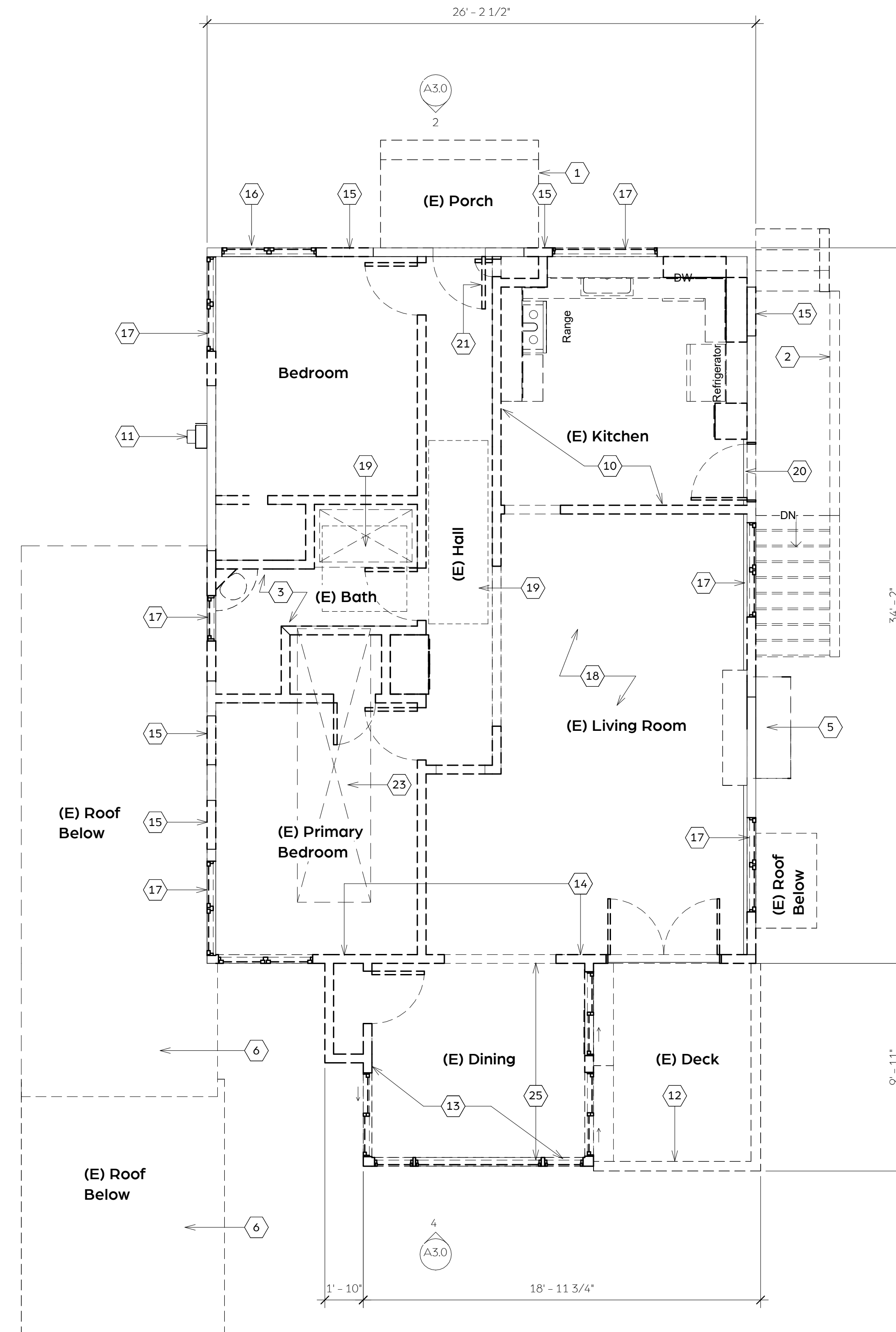


SHEET NOTES

- 1 REMOVE (E) CONCRETE PATIO & STEPS
- 2 REMOVE (E) DECK & STEPS
- 3 REMOVE (E) FITTINGS, FIXTURES, LIGHTING & FINISHES. CAP PLUMBING IN CONCEALED LOCATION
- 4 REMOVE (E) AWNING
- 5 REMOVE (E) CHIMNEY & FIREPLACE
- 6 REMOVE (E) WALLS, FLOORING & ROOF
- 7 REMOVE (E) BRICK PATIO
- 8 REMOVE (E) POSTS
- 9 PROTECT (E) WATER HEATER
- 10 REMOVE (E) FITTINGS, FIXTURES, APPLIANCES, LIGHTING & FINISHES. CAP PLUMBING IN CONCEALED LOCATION
- 11 PROTECT (E) ELECTRICAL METER
- 12 REMOVE (E) DECK & RAILING
- 13 REMOVE (E) WINDOWS, LIGHTING & FINISHES
- 14 REMOVE (E) WALL FRAMING @ UPPER STORY ONLY
- 15 REMOVE PORTION OF (E) WALL FOR (N) WINDOW. SEE EXTERIOR ELEVATIONS
- 16 REMOVE (E) WINDOW TO BE FILLED IN. SEE EXTERIOR ELEVATIONS
- 17 REMOVE (E) WINDOW TO BE REPLACED
- 18 PROTECT (E) ROOF STRUCTURE & SHEATHING. REMOVE (E) ROOF FINISH
- 19 REMOVE (E) SKYLIGHT TO BE FILLED IN
- 20 REMOVE (E) DOOR TO BE REPLACED w/WINDOW
- 21 REMOVE (E) DOOR TO BE FILLED IN
- 22 PROTECT (E) WALL FRAMING @ LOWER FLOOR
- 23 REMOVE (E) FLOOR FRAMING FOR (N) STAIR TO LOWER LEVEL
- 24 REMOVE PORTION OF (E) WALL FOR (N) STAIR
- 25 REMOVE (E) FLOOR FRAMING



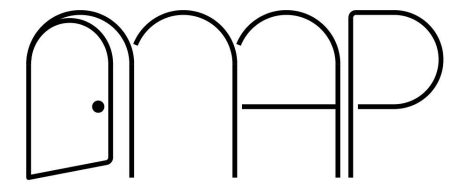
A Demolition Plan - Lower Floor
 1/4" = 1'-0"



B Demolition Plan - Main Floor
 1/4" = 1'-0"

WALL LEGEND

- EXISTING WOOD STUD WALL
- EXISTING WALL TO BE DEMOLISHED
- NEW WOOD STUD WALL:
 2x6 @ 16" o.c. TYP. AT EXTERIOR WALLS U.O.N.
 2x4 @ 16" o.c. TYP. AT INTERIOR WALLS U.O.N.



SHEET NOTES

- 1 (N) ADDITION AT LOWER FINISH FLOOR LEVEL. SEE EXTERIOR ELEVATIONS
- 2 (N) CONCRETE PATIO
- 3 (N) ALUMINUM CLAD WOOD WINDOWS & DOORS THROUGHOUT
- 4 (N) FLAGSTONE WALKWAY & RISERS w/STONE CLADDING
- 5 (N) STAIR
- 6 (N) CONCRETE SLAB IN (E) LOCATION, SLOPED TO DOOR
- 7 (N) WOOD GARAGE DOOR
- 8 (N) WALLS IN (E) LOCATION

SCALE: 1/4" = 1'-0"

DRAWN BY: MH

PRINT DATE: 9.19.24

DRAWING DATE: 9.2.24

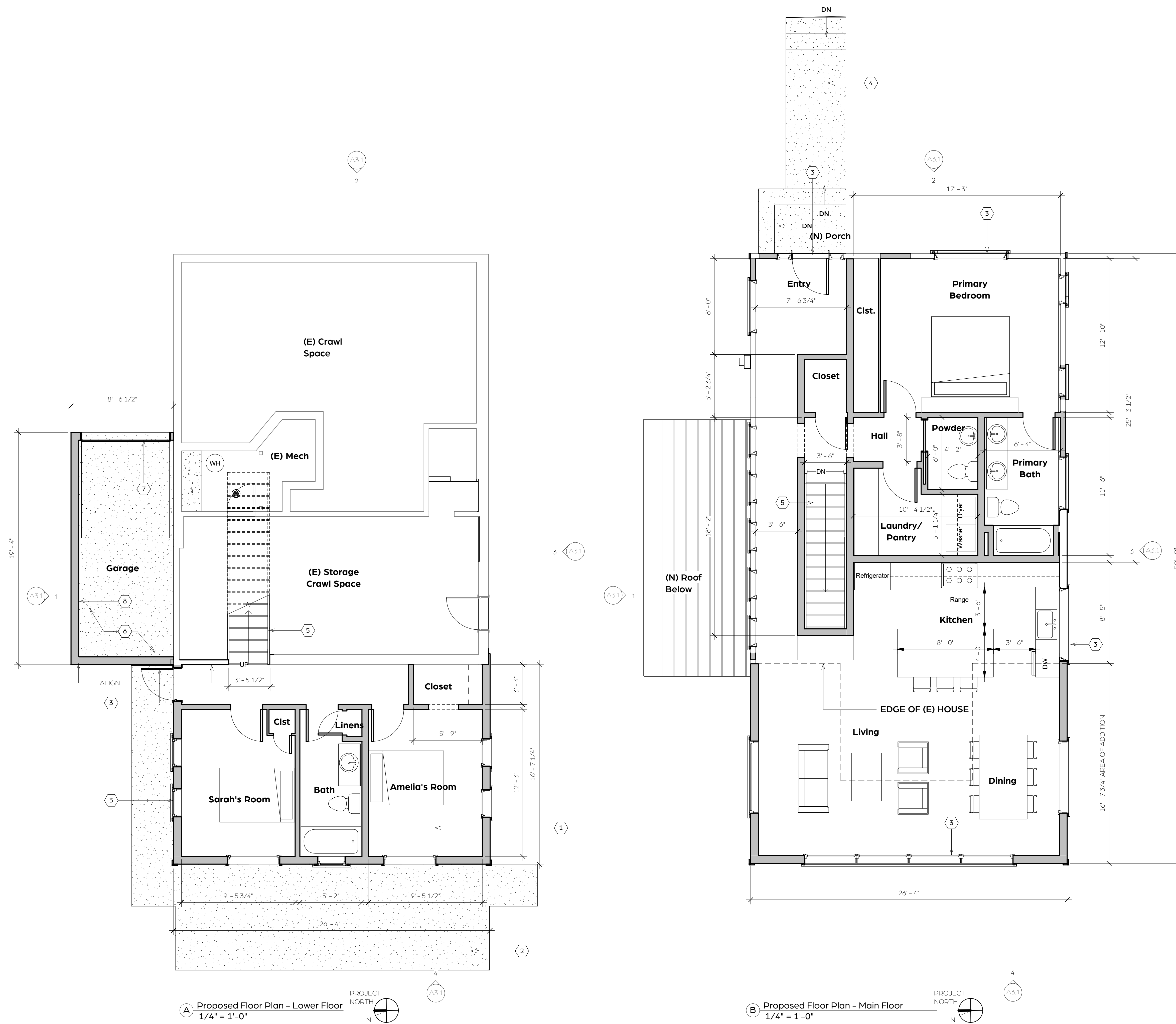
DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

SHEET TITLE:
**PROPOSED FLOOR
 PLANS**

SHEET NUMBER:

A2.2



WALL LEGEND

- EXISTING WOOD STUD WALL
- EXISTING WALL TO BE DEMOLISHED
- NEW WOOD STUD WALL:
 2x6 @ 16"o.c. TYP. AT EXTERIOR WALLS U.O.N.
 2x4 @ 16"o.c. TYP. AT INTERIOR WALLS U.O.N.

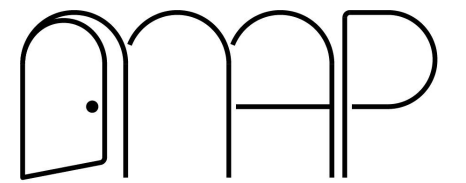
SHEET NOTES

- 1 (N) STANDING SEAM METAL ROOF TO REPLACE (E)
- 2 (E) SKYLIGHT
- 3 (E) ASPHALT & GRAVEL ROLLED MEMBRANE ROOF
- 4 (E) DECK
- 5 (E) BRICK CHIMNEY
- 6 (N) STANDING SEAM METAL ROOF & GUTTERS AT ADDITION
- 7 (N) OUTRIGGER BELOW
- 8 LINE OF BUILDING BELOW
- 9 (N) STANDING SEAM METAL ROOF TO MATCH SLOPE @ (E) HOUSE

PROJECT:
CASTRO LANE REMODEL
 24524 CASTRO LANE
 CARMEL, CA 93923

OWNER:
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PROJECT NO: 0078



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SCALE: 1/4" = 1'-0"

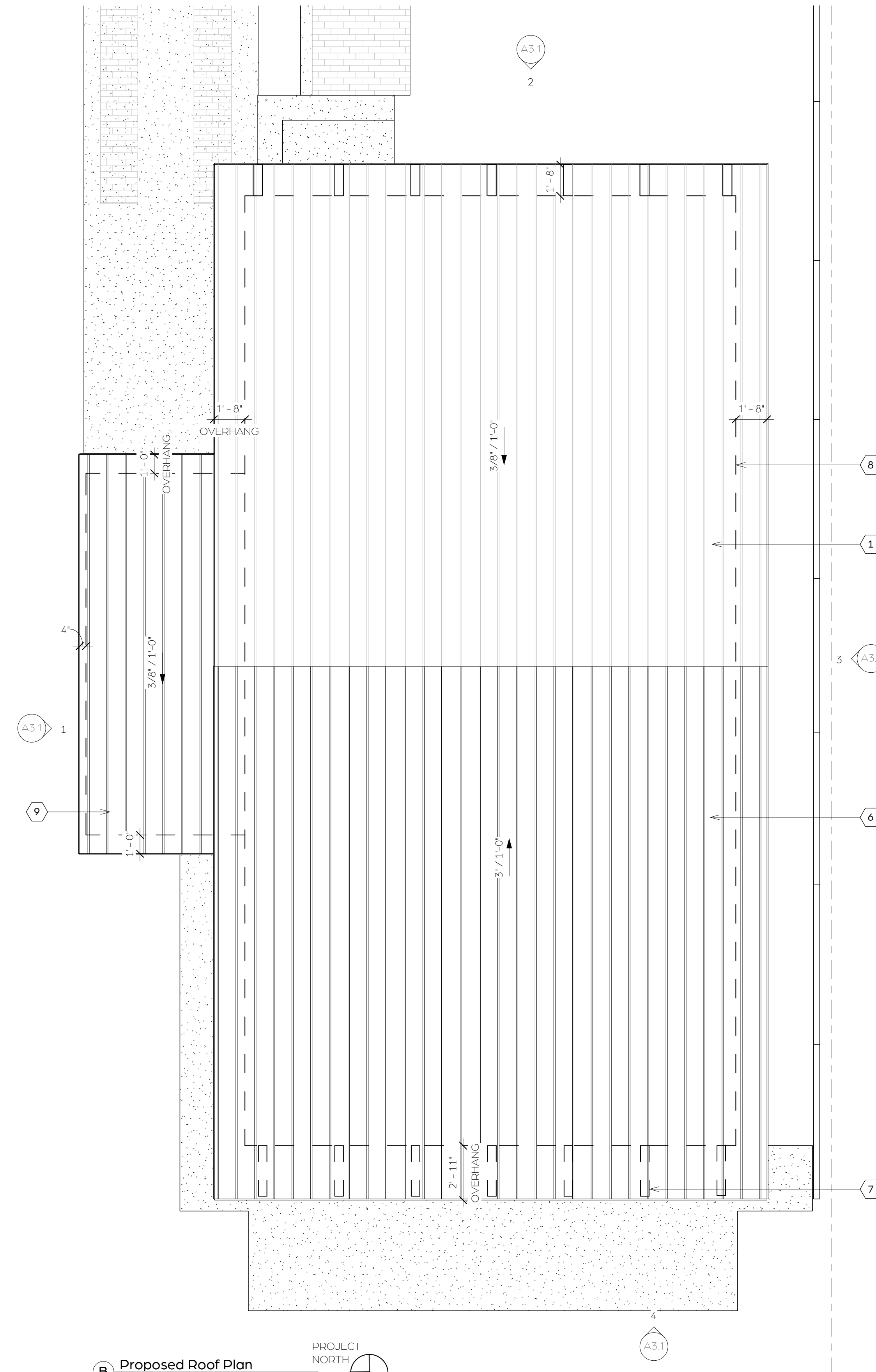
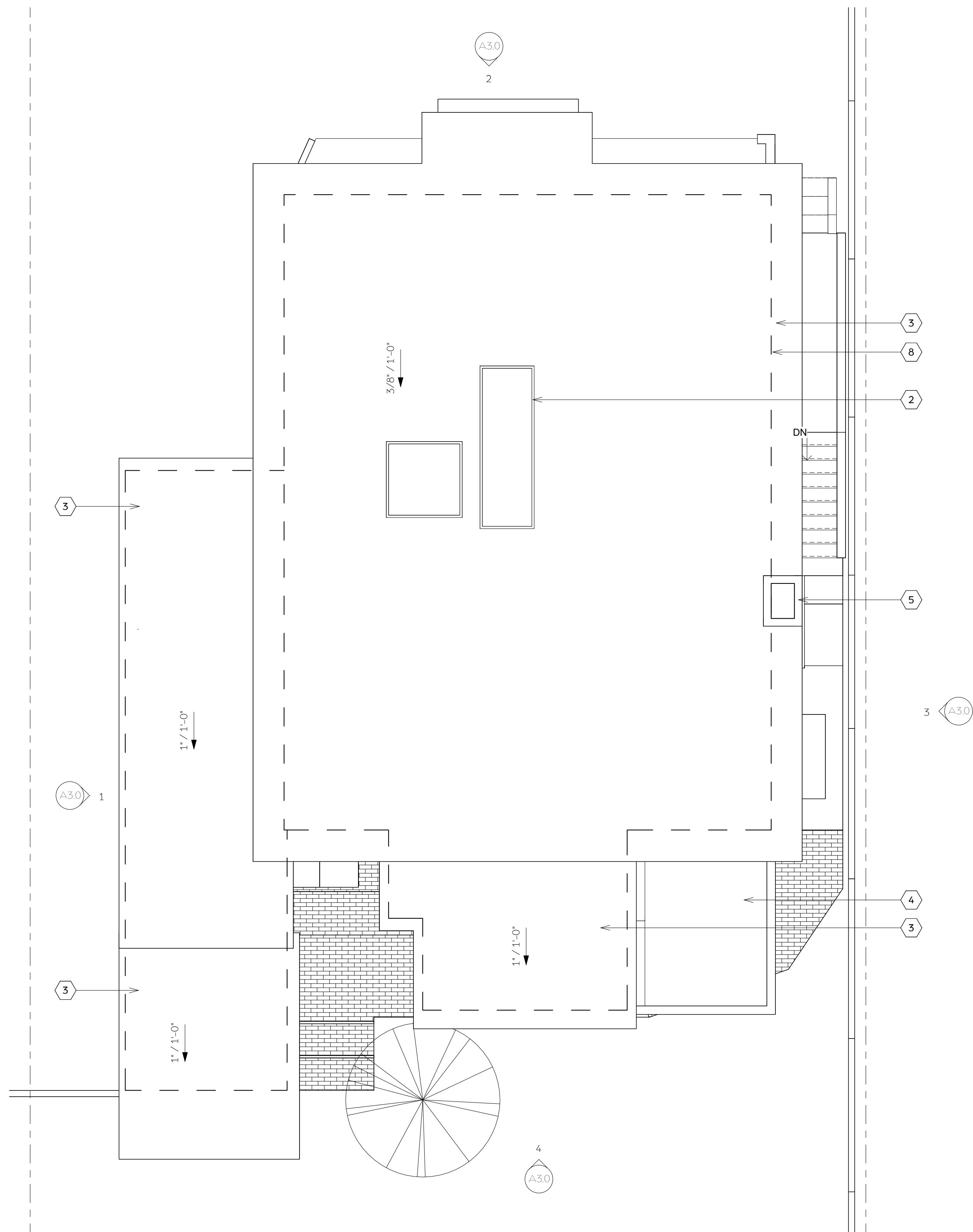
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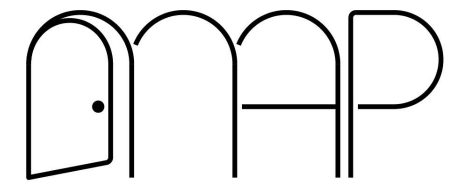
REVISIONS:

SHEET TITLE:
EXISTING & PROPOSED ROOF PLAN

SHEET NUMBER:

A2.3





SHEET NOTES

- 1 (E) HORIZONTAL WOOD SIDING, PAINTED
- 2 (E) WOOD GLAZED ENTRY DOOR TO BE REMOVED
- 3 (E) WOOD & VINYL WINDOWS TO BE REPLACED THROUGHOUT
- 4 (E) WOOD OVERHANG & EXPOSED RAFTERS
- 5 REBUILD (E) GARAGE IN (E) LOCATION
- 6 (E) ELECTRICAL METER
- 7 (E) SKYLIGHTS TO BE REMOVED
- 8 (E) DECK & STAIRS TO BE REMOVED
- 9 (E) BRICK CHIMNEY TO BE REMOVED
- 10 (E) AWNING TO BE REMOVED
- 11 (E) DECK TO BE REMOVED
- 12 (E) ROLLED ASPHALT ROOF
- 13 REMOVE (E) STUDIO & LAUNDRY
- 14 (E) PLASTER FINISH
- 15 (E) DOORS & WINDOWS AT LOWER LEVEL TO BE REMOVED
- 16 REMOVE (E) WINDOW TO BE FILLED IN. SEE EXTERIOR ELEVATIONS
- 17 REMOVE (E) CONCRETE PATIO & STEPS
- 18 REMOVE (E) LIGHT, PATCH SIDING TO MATCH ADJACENT
- 19 REMOVE (E) DOOR TO BE REPLACED w/WINDOW
- 20 PROTECT (E) DOOR OPENING. DOOR TO BE REPLACED
- 21 REMOVE (E) POSTS
- 22 RELOCATE (E) AC UNIT
- 23 REMOVE (E) BRICK PATIO
- 24 REMOVE (E) A/C UNIT TO BE REUSED
- 25 REMOVE PORTION OF (E) WALL FOR (N) WINDOW. SEE EXTERIOR ELEVATIONS
- 26 REMOVE (E) WINDOW TO BE REPLACED
- 27 REMOVE PORTION OF (E) OVERHANG
- 28 REMOVE (E) DECK & STEPS
- 29 REMOVE (E) CHIMNEY & FIREPLACE

SCALE: 1/4" = 1'-0"

DRAWN BY: MH

PRINT DATE: 9.19.24

DRAWING DATE: 9.19.24

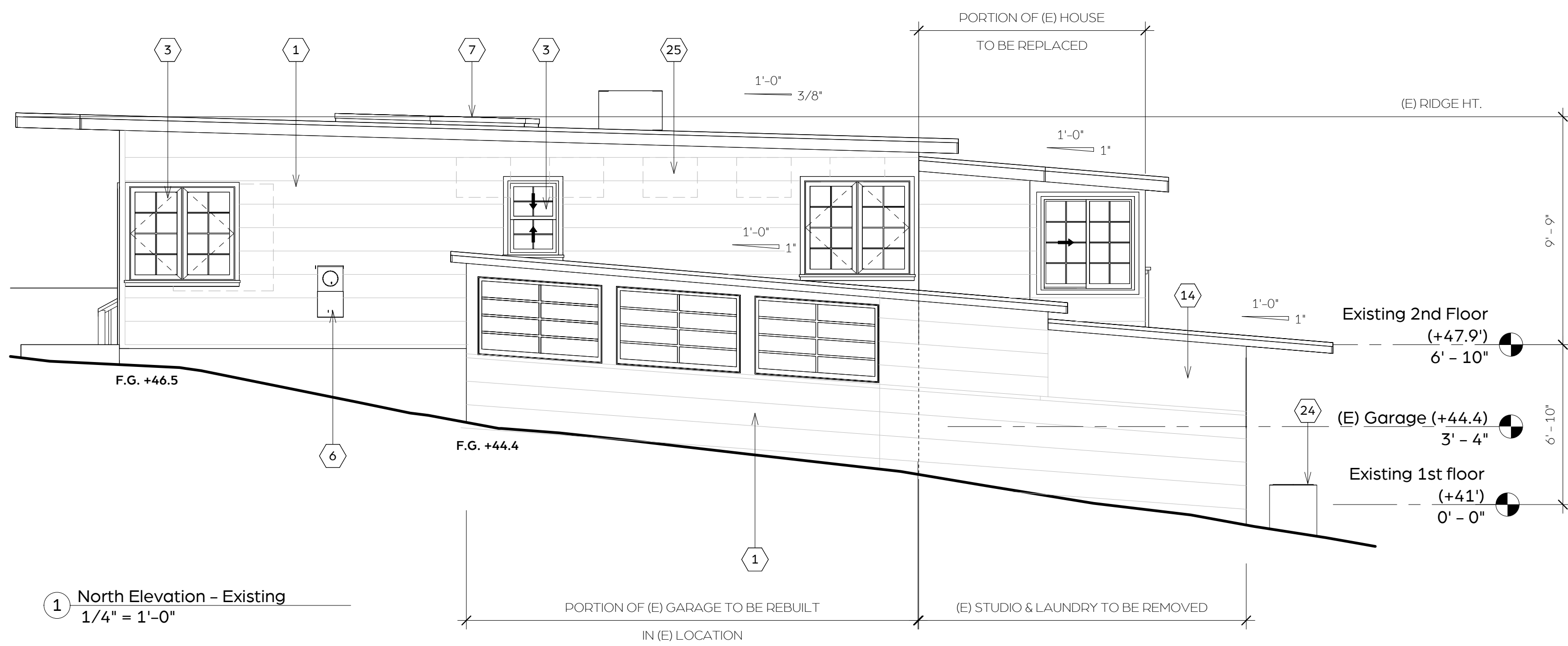
DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

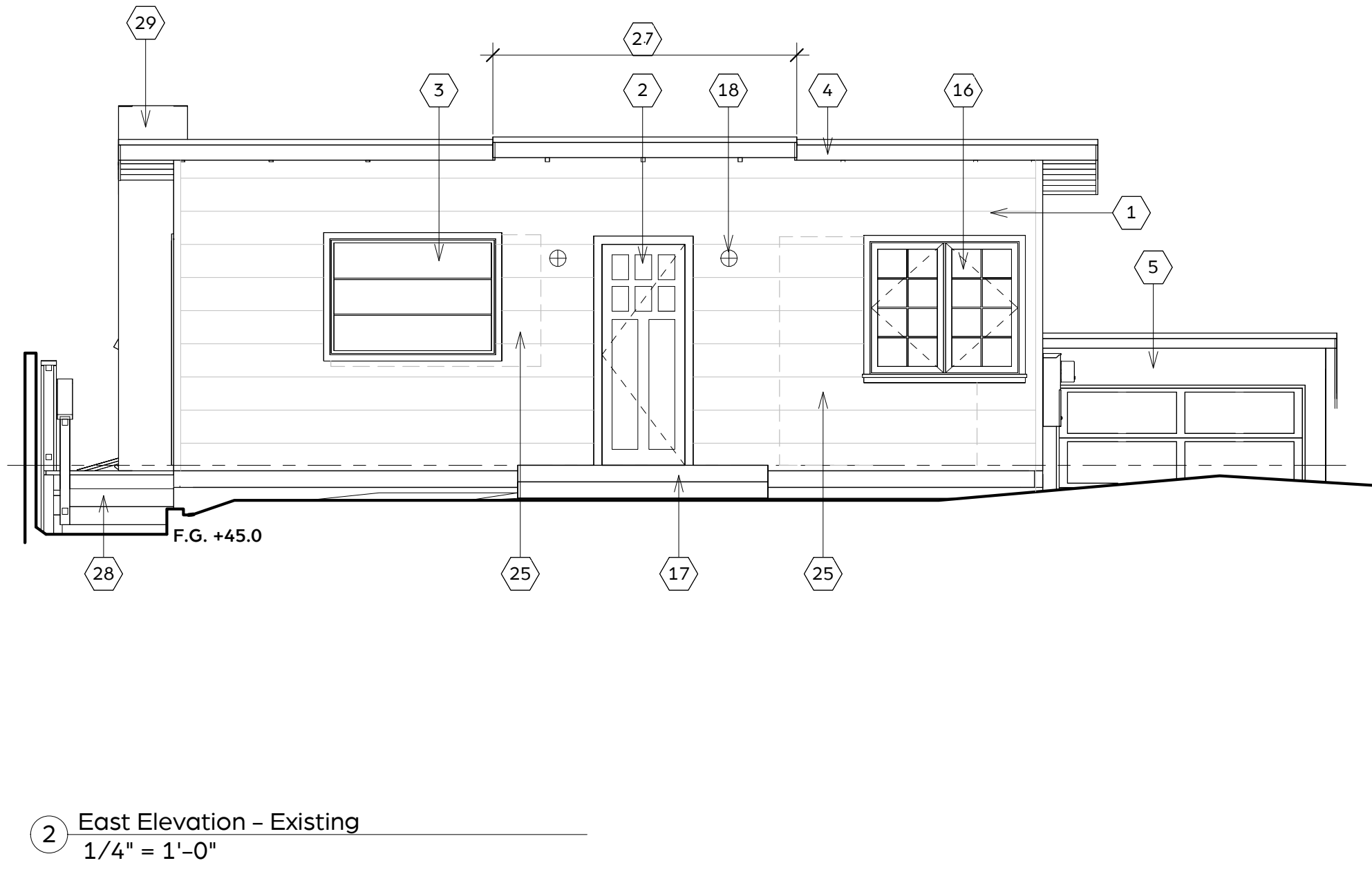
SHEET TITLE:
**EXISTING EXTERIOR
 ELEVATIONS**

SHEET NUMBER:

A3.0



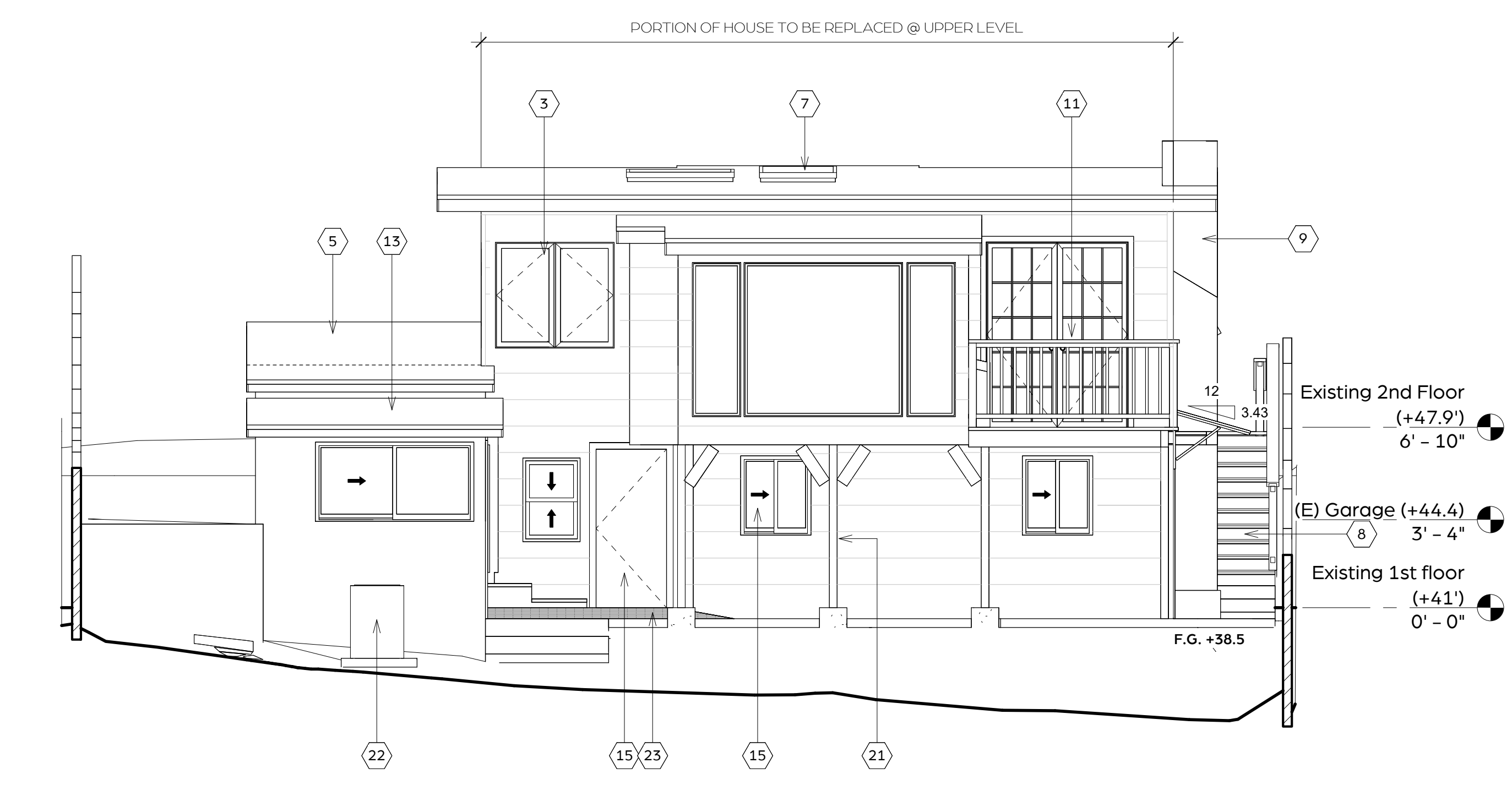
1 North Elevation - Existing
 1/4" = 1'-0"



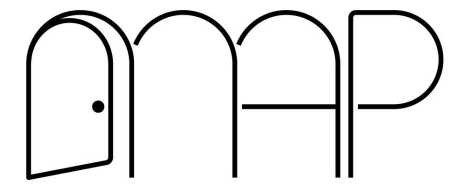
2 East Elevation - Existing
 1/4" = 1'-0"



3 South Elevation - Existing
 1/4" = 1'-0"



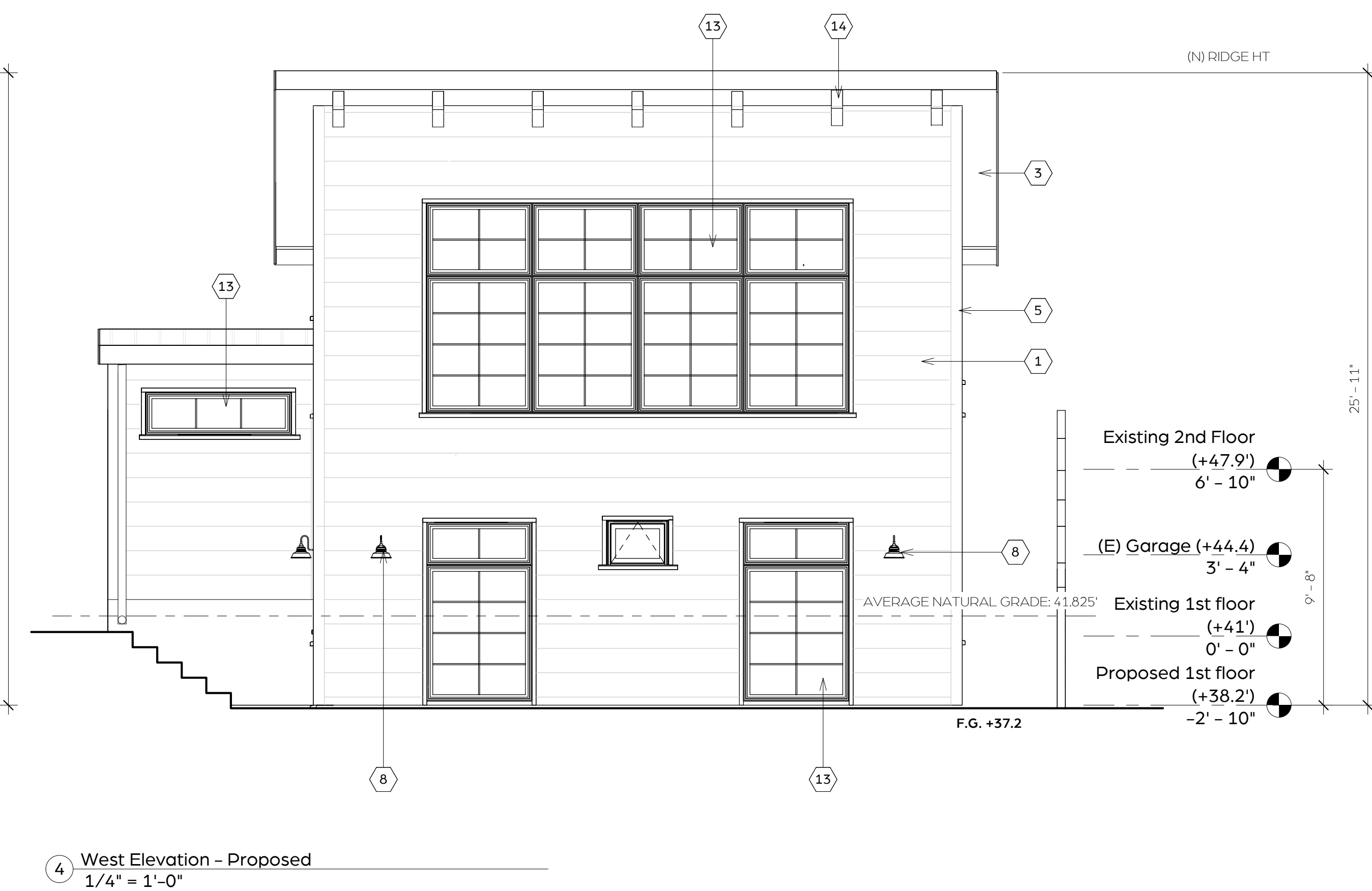
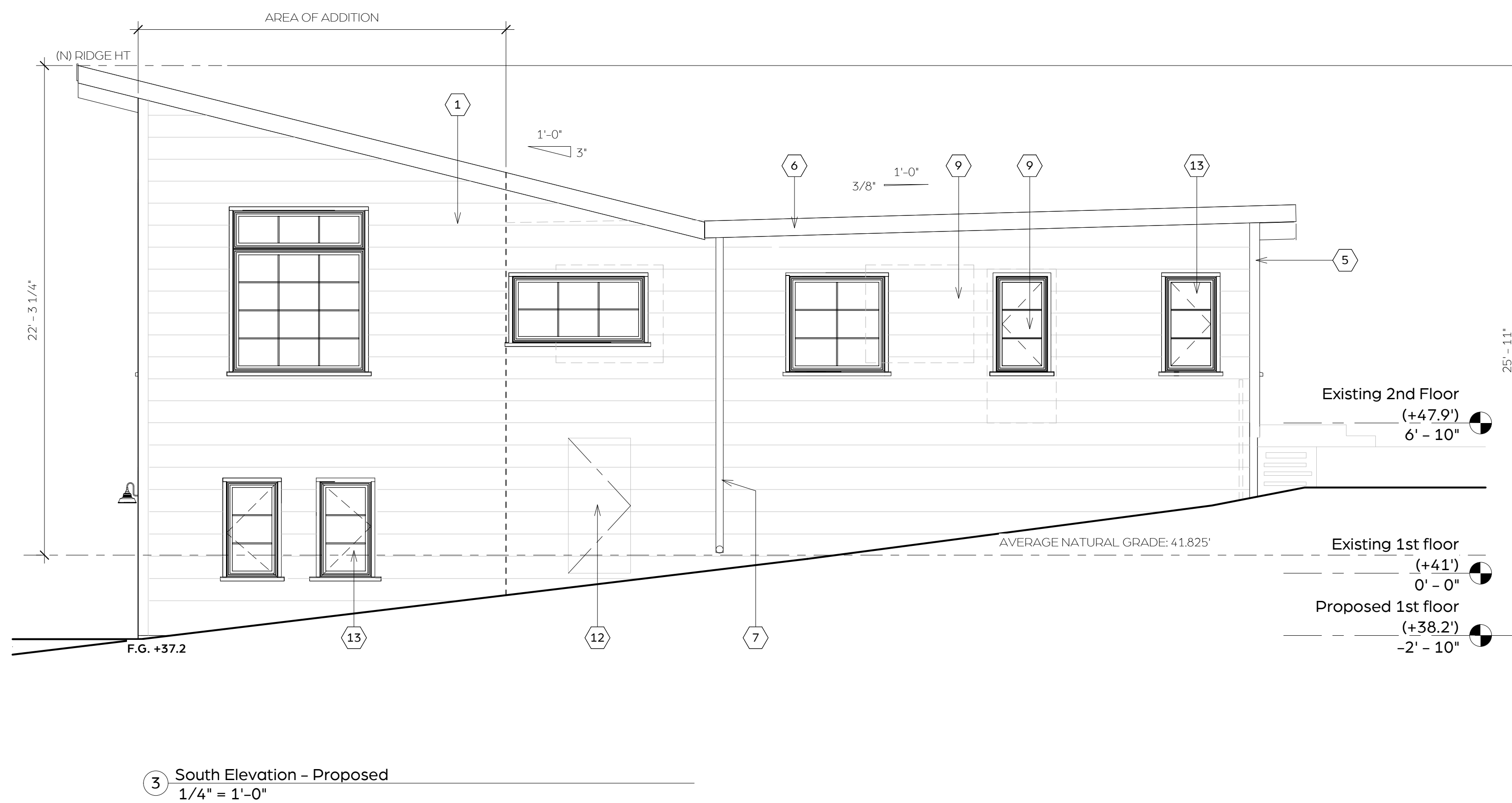
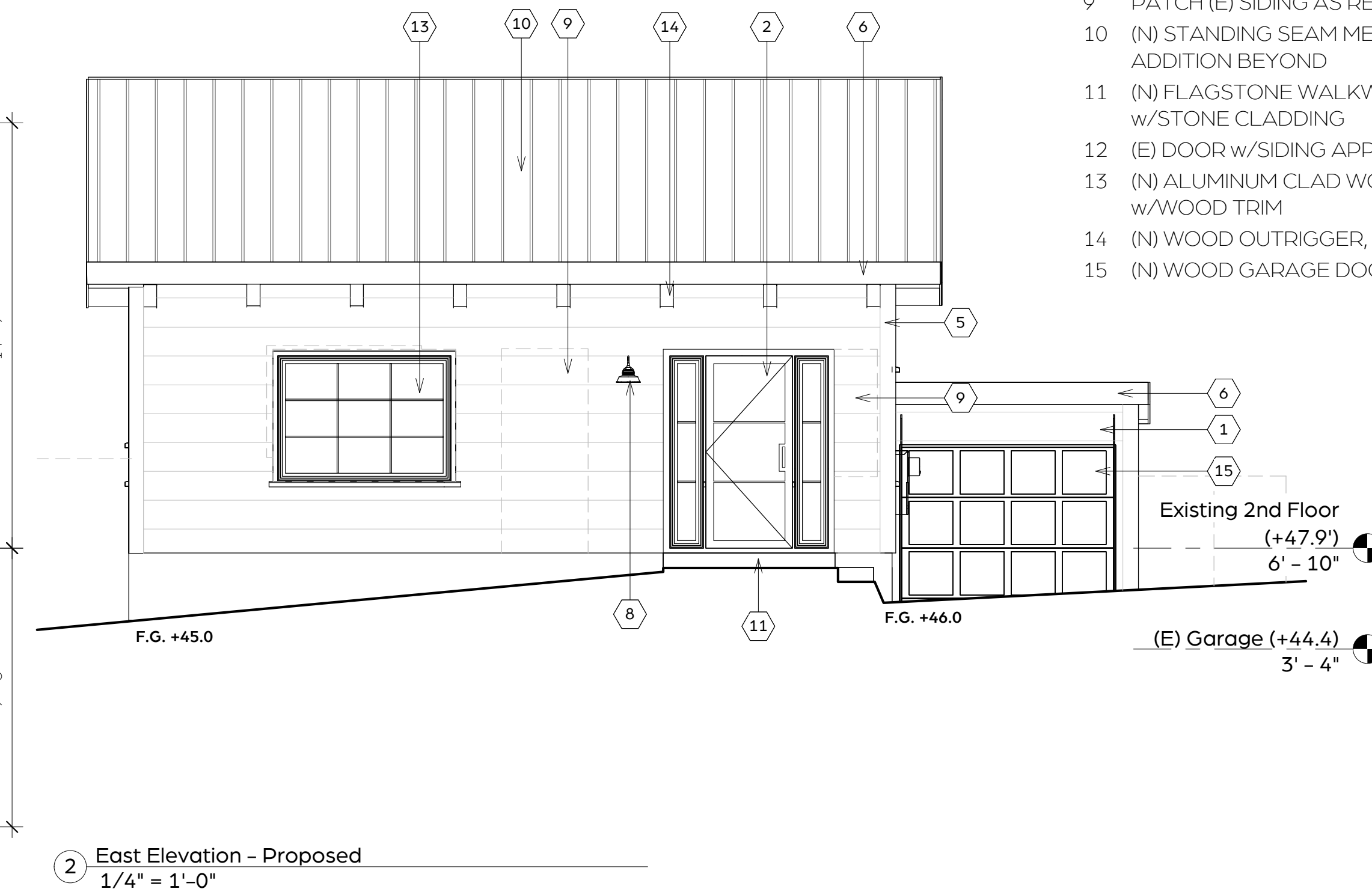
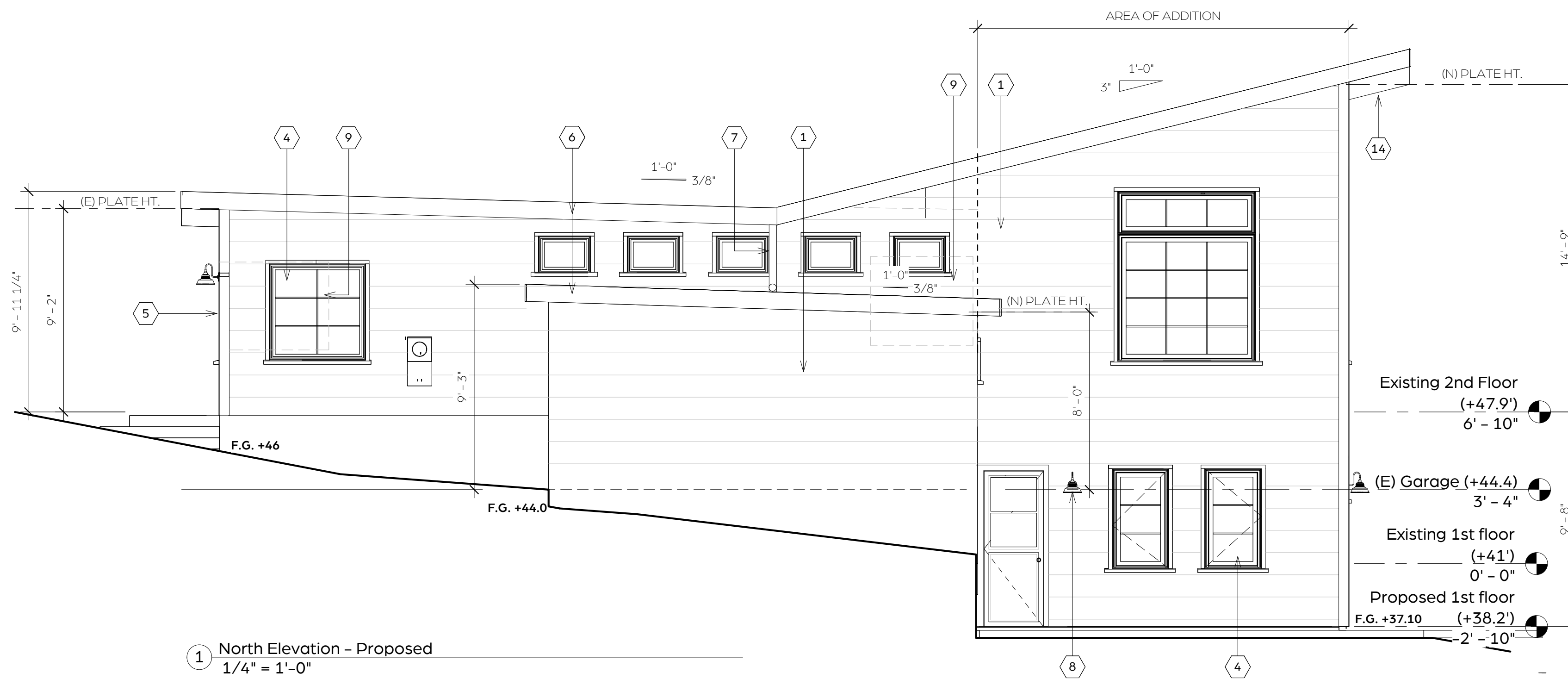
4 West Elevation - Existing
 1/4" = 1'-0"



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SHEET NOTES

- 1 (N) WD SIDING TO MATCH (E)
- 2 (N) ALUMINUM CLAD WOOD GLAZED ENTRY DOOR w/SIDELIGHTS & WOOD TRIM
- 3 (N) ROOF & OVERHANG
- 4 (N) ALUMINUM CLAD WOOD WINDOWS & DOORS THROUGHOUT
- 5 (N) WD TRIM @ CORNERS
- 6 (N) WOOD FASCIA, PAINTED
- 7 (N) METAL GUTTER, TYP.
- 8 (N) LIGHT
- 9 PATCH (E) SIDING AS REQ'D
- 10 (N) STANDING SEAM METAL ROOF @ ADDITION BEYOND
- 11 (N) FLAGSTONE WALKWAY & RISERS w/STONE CLADDING
- 12 (E) DOOR w/SIDING APPLIED TO MATCH (E)
- 13 (N) ALUMINUM CLAD WOOD WINDOWS w/WOOD TRIM
- 14 (N) WOOD OUTRIGGER, PAINTED
- 15 (N) WOOD GARAGE DOOR



SCALE: 1/4" = 1'-0"

DRAWN BY: MH

PRINT DATE: 9.19.24

DRAWING DATE: 9.19.24

DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

SHEET TITLE:
**PROPOSED EXTERIOR
 ELEVATIONS**

SHEET NUMBER:

A3.1

CLEAR & GRUB NOTES

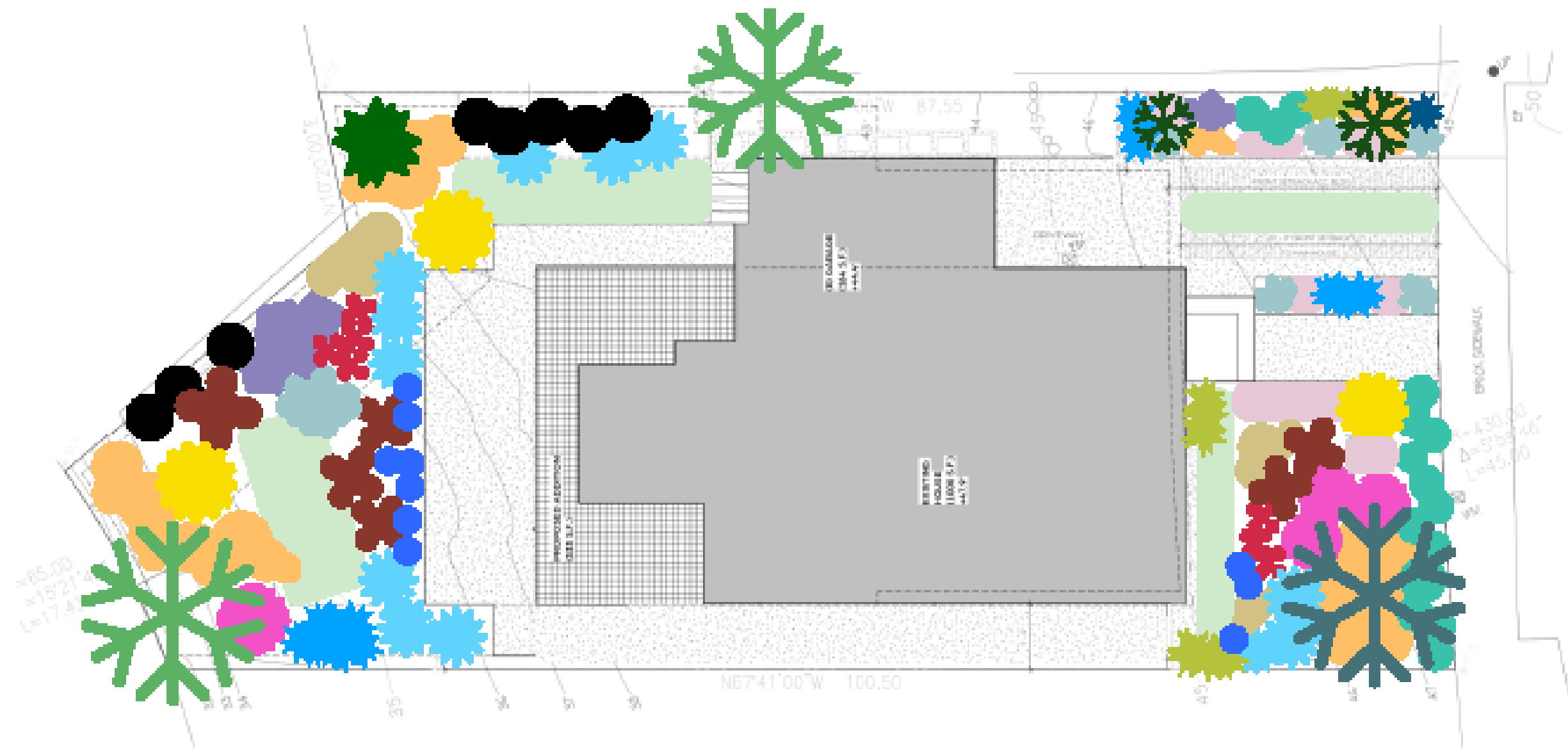
1. BARE SOIL AREAS TO BE COVERED w/2-3" MULCH LAYER UNTIL PLANTING
2. CONTACT OWNER, GARDENER OR ARCHITECT IF THERE ARE ANY SITE ISSUES

PLANTING NOTES

1. PLANT STOCK & SPECIES SHALL BE APPROVED BY ARCHITECT & GARDENER BEFORE PLANTING
2. REFER TO PLANT SPACING DIAGRAM BELOW FOR PLANTING DETAILS
3. PLANT LAYOUT AND SPACING TO BE APPROVED BY ARCHITECT/GARDENER BEFORE PLANTING
4. CONTRACTOR TO BE CAREFUL TO DIG AROUND MAJOR TREE ROOTS. SOME PLANT LAYOUT MAY NEED TO BE ADJUSTED. NOTIFY ARCHITECT WHEN COMING IN CONTACT w/ANY MAJOR TREE ROOTS IN QUESTION
5. ALL PLANTS TO LOCALLY RECEIVE BACKFILL CONTAINING SOIL AMENDMENT & FERTILIZER. SEE CHART FOR AMOUNT:
6. SOIL AMENDMENT TO BE COMPOST AVAILABLE FROM MONTEREY REGIONAL WASTE MANAGEMENT DISTRICT OR EQUAL, MIXED WITH NATIVE SOIL FERTILIZED w/COMPOST
8. PLANT SUBSTITUTIONS ARE NOT PERMITTED UNLESS REVIEWED BY THE ARCHITECT/GARDENER
9. LIQUID FENCE OR DETERRENT TO BE APPLIED TO ALL NEW PLANTINGS
10. ALL PLANTS TO BE WATERED BY HAND AFTER INSTALLATION

PLANT BACKFILL CHART	
PLANT SIZE	PIT SIZE - ROOTBALL PLUS
4" POT	3" ALL AROUND
1 GAL	6" ALL AROUND
5 GAL	8" ALL AROUND
15 GAL	10" ALL AROUND
36" BOX	24" ALL AROUND

Landscape Plan
Robert Kastigar + Simone Cleary
24524 Castro Lane, Carmel California 93923



TREES	SHRUBS/VINES	PERENNIALS	SUCCULENTS	GROUND COVER
1 Live Oak	6 Dwarf Karo	11 African Iris	16 Ice Plant	19 Dymondia
2 Monterey Pine	7 Westringia	12 French Lavender	17 Agave	20 Thyme
3 Mock Orange	8 Black Sage	13 Matilija Poppy	18 Stone Crop	21 Carmel Creeper
4 Bonita Olive	9 Bush Anemone	14 Delphinium		
5 Totem Cypress	10 White Lady Banks	15 Foxglove		

PLANT LEGEND

WUCOL RATING	NO.	BOTANICAL NAME	COMMON NAME	SPACING/SIZE
TREES				
VL	1	QUERCUS AGRIFOLIA	COASTAL LIVE OAK	EXISTING
M	2	PINUS RADIATA	MONTEREY PINE	EXISTING
L	3	PITTSOPORUM UNDULATUM	MOCK ORANGE	EXISTING
VL	4	OLEA EUROPEA	BONITA OLIVE	EXISTING
L	5	CUPRESSUS SEMPERVIRENS	TOTEM CYPRESS	EXISTING
SHRUBS/VINES				
M	6	PITTSOPORUM CRASSIFOLIUM	DRWARF KARO	5 GAL
L	7	WESTRINGIA FRUTICOSA	WESTRINGIA	5 GAL
L	8	SALVIA MELLIFERA	BLACK SAGE	1 GAL
M	9	CARPENTERIA CALIFORNICA	BUSH ANEMONE	5 GAL
L	10	ROSA BANKSIAE 'ALBA'	WHITE LADY BANKS	1 GAL
PERENNIALS				
L	11	DIETES IRIDIOIDES	AFRICAN IRIS	1 GAL
L	12	LAVANDULA DENTATA	FRENCH LAVENDER	5 GAL
VL	13	ROMNEYA	MATILJA POPPY	5 GAL
M	14	DELPHINIUM	DELPHINIUM	1 GAL
L	15	DIGITALIS	FOXGLOVE	1 GAL
SUCCULENTS				
VL	16	AIZOACEAE	ICE PLANT	1 GAL
L	17	AGAVE ATTENUATA	AGAVE	5 GAL
L	18	SEDUM	STONE CROP	4" POT
GROUNDCOVERS				
L	19	DYMONDIA MARGARETAE	DYMONDIA	4" POT
L	20	THYMUS VULGARIS	THYME	4" POT
L	21	CEANOTHUS GRISEUS	CARMEL CREEPER	5 GAL

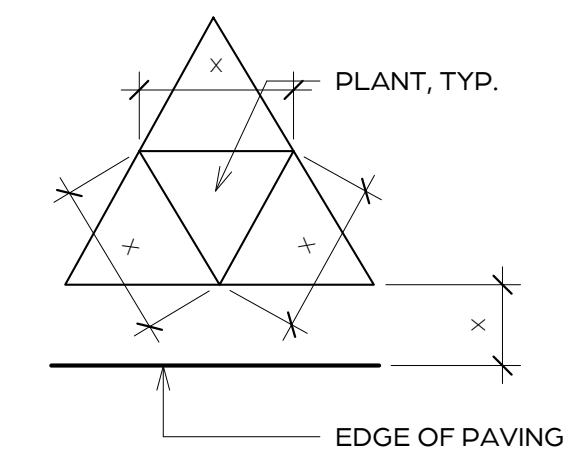
WUCOLS RATING KEY

WUCOLS REGION APPLICABLE TO THIS PROJECT: REGION 1

- H HIGH
- M MODERATE
- L LOW
- VL VERY LOW
- U UNKNOWN

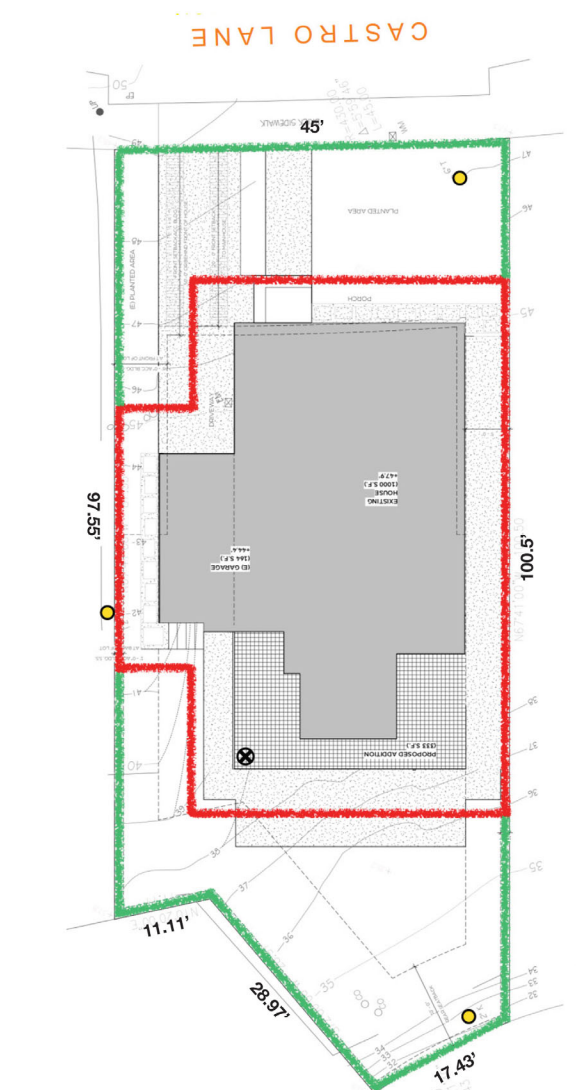
** FROM UCDAVIS Water Use Classification of Landscape Species Database, updated Sept. 2023

GROUNDCOVER PLANT SPACING DIAGRAM



Kastigar/Cleary Residence
24524 Castro Lane
Carmel, California 93923

Fuel Management Plan

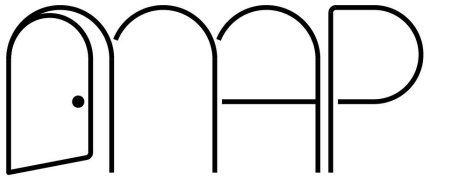


- Non-Combustible Zone (0-5')
- Landscape Zone (6'-30')
- Tree to be Removed
- Existing Trees

PROJECT:
**CASTRO LANE
REMODEL**
24524 CASTRO LANE
CARMEL, CA 93923

OWNER:
SIMONE CLEARY & ROBERT
KASTIGAR

PROJECT NO: 0078



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SCALE: 1/4" = 1'-0"

DRAWN BY: MH

PRINT DATE: 4.30.24

DRAWING DATE: 4.25.24

DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

SHEET TITLE:
**LANDSCAPE PLAN &
FUEL MANAGEMENT
PLAN**

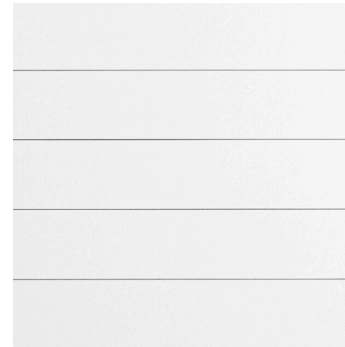
SHEET NUMBER:

L1.1

PROPOSED MATERIAL PALETTE

Roofing

Standing Seam Metal Roof
Color: Medium Bronze



Exterior Siding

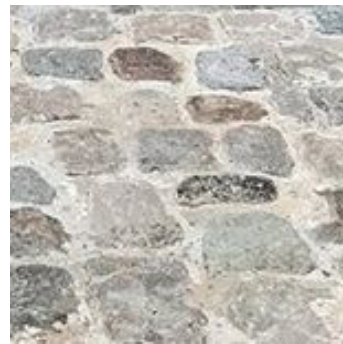
Painted 1x11 horizontal redwood
tongue + groove wood boards
Color: Benjamin Moore White Dove

Windows

Aluminum clad windows with muntins

Stoop + Walkway

Stone pavers



Driveway

Stone paver ribbon tire treads

Parking Pad

Oyster shells and decomposed granite

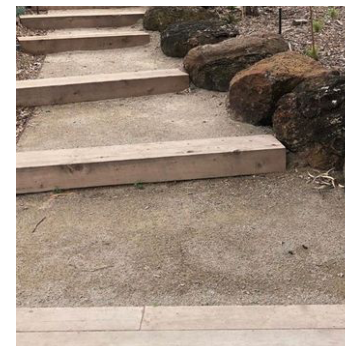
Pathways

Flagstone stepping stones



Exterior Garden Steps

Compacted decomposed granite
with redwood treads



Patio

Concrete

