

# Exhibit A

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## DRAFT RESOLUTION

### Before the Housing and Community Development Chief of Planning in and for the County of Monterey, State of California

In the matter of the application of:

**CRIFE REED SILAS & BRIGGA (C P) - (PLN190397-EXT1)**

**RESOLUTION NO. 24-\_\_\_\_**

Resolution by the County of Monterey HCD Chief  
of Planning:

1. Finding the project is an Extension of a permit which was granted with a Class 3 categorical exemption from CEQA; circumstances and conditions of Project have not changed and therefore subsequent environmental review is not required;
2. Approving a 2-year Permit Extension to a previously approved Combined Development Permit to clear a Code Enforcement violation 14CE00085 allowing:
  - a) After-the-fact 1,490 square foot single family dwelling and 390 square foot art studio;
  - b) After-the-fact development on slopes over 30 percent.

PLN190397-EXT1 CRIFE REED SILAS &  
BRIGGA (C P), 46190 Clear Ridge Road, Big Sur,  
Big Sur Land Use Plan, Coastal Zone (Assessor's  
Parcel Number 419-221-007-000)]

**The CRIFE REED SILAS & BRIGGA (C P) application (PLN190397-EXT1) for extension came on for a public hearing before the County of Monterey HCD Chief of Planning on November 6, 2024. Having considered all the written and documentary evidence, the Chief of Planning finds and decides as follows:**

#### RECITALS

**WHEREAS**, on July 14, 2022, PLN190397, a Combined Development Permit, was approved by the Zoning Administrator through Resolution No. 22-025; it is incorporated by reference. As approved, the project consists of 1) after-the-fact Coastal Administrative Permit and Design Approval to approve a 1,490 square foot single family dwelling and 390 square foot art studio; and 2) after-the-fact Coastal Development Permit to allow development on slopes over 30 percent. In accordance with the resolution, this entitlement was set to expire on July 25, 2024;

**WHEREAS**, pursuant to Monterey County Code (MCC) section 20.82.110 the applicant submitted a written request from the permittee, provided such request is made at least thirty (30) days prior to the expiration of the Combined Development Permit. The written request was filed by Belinda Taluban, agent, with the Appropriate Authority, HCD-Director, and set forth reasons supporting the request (technical delays in construction permit plan preparation);

**WHEREAS**, this extension does not include any change to the approved project scope; therefore, there is not change to the findings of site suitability and health life and safety;

**WHEREAS**, Monterey County HCD-Planning and HCD-Building Services records were reviewed, and the County is aware of a violation existing on subject property and the permit issued (Resolution No. 22-025) was done so to resolve the violation. The violation shall be resolved in part with the granting of this extension;

**WHEREAS**, the original planning permit (PLN190397) is and will continue to be the operating permit for condition compliance;

**WHEREAS**, the project was deemed categorically exempt from environmental review per California Environmental Quality Act (CEQA) Section 15303 at the time of approval and there were no exceptions pursuant to Section 15300.2. CEQA Guidelines Sections 15303(a) and 15303(e) categorically exempt construction of the first single family residence and accessory structures on a residential lot. Therefore, the Zoning Administrator found the project consistent with CEQA Guidelines Section 15303(a) and 15303(e) and none of the exceptions under CEQA Guidelines Section 15300.2 applied to this project. No new adverse environmental effects were identified during staff review of the application for permit extension, therefore no new environmental review is required;

**WHEREAS**, pursuant to MCC Section 20.86.070, the Board of Supervisors shall consider appeals from the discretionary decisions of the HCD Chief of Planning. The decision on this project is also appealable to the California Coastal Commission pursuant to MCC Section 20.86.080 (a)(1) & (a)(3).

### **DECISION**

**NOW, THEREFORE BE IT RESOLVED**, based on the above recitals, the County of Monterey HCD-Chief of Planning does hereby:

1. Finding the project is an Extension of a permit which was granted with a Class 3 categorical exemption from CEQA circumstances and conditions of Project have not changed and therefore subsequent environmental review is not required;
2. Approving a 2-year Permit Extension to a previously approved Combined Development Permit to clear a Code Enforcement violation 14CE00085 allowing:
  - a) After-the-fact 1,490 square foot single family dwelling and 390 square foot art studio;
  - b) After-the-fact development on slopes over 30 percent.

**PASSED AND ADOPTED** this 6 day of November 2024:

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Melanie Beretti, AICP  
HCD, Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON \_\_\_\_\_

THIS ADMINISTRATIVE DECISION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE \_\_\_\_\_

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

### **NOTES**

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.
2. Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or

until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

3. Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.



RESIDENCE for REED and BRIGGA CRIFE

La Vida Del Sur

MONTEREY COUNTY APN 419-221-07  
DRAWINGS BY REED SILAS CRIFE

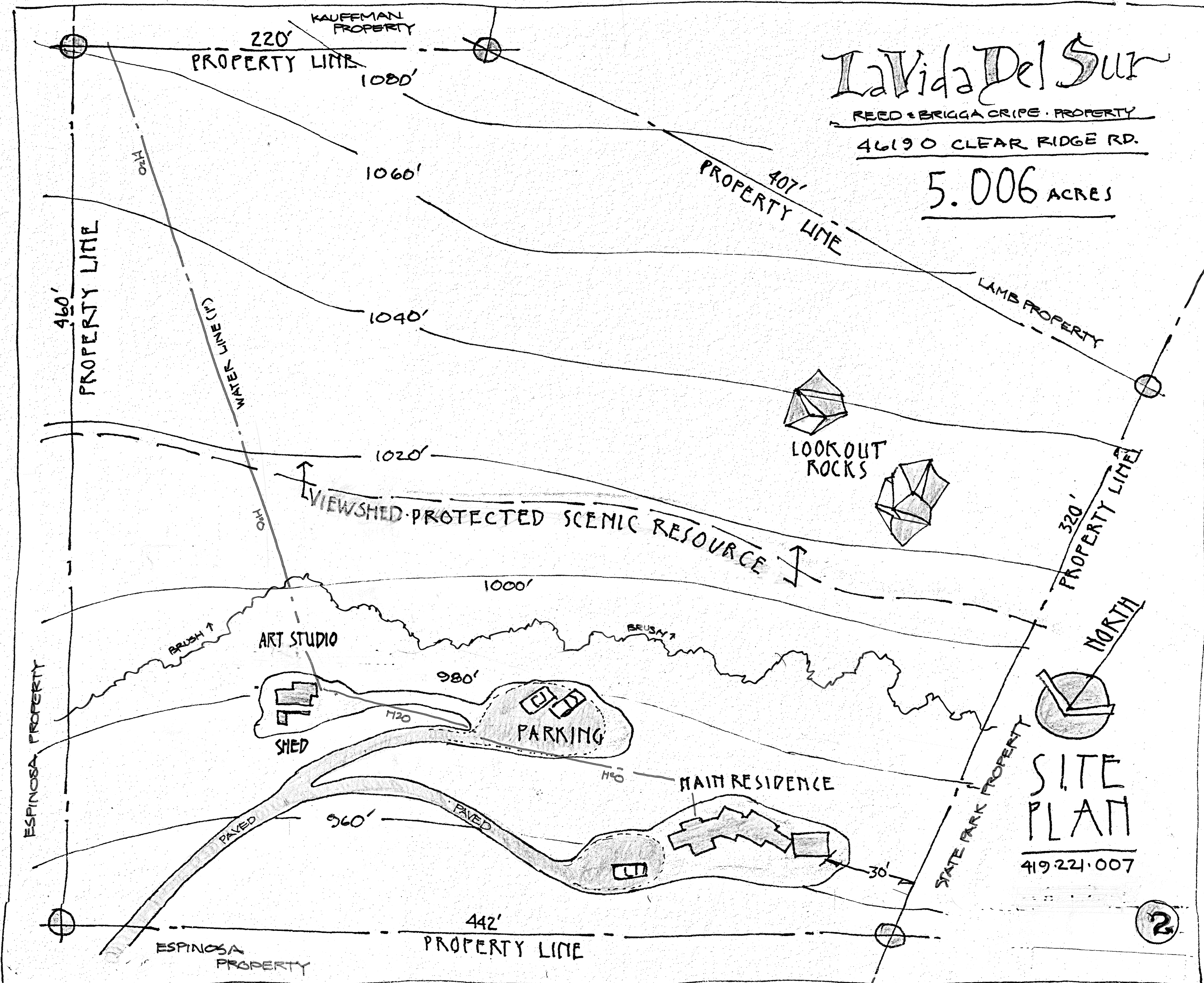
1

# La Vida Del Sur

REED & BRIGGA CRIFE PROPERTY

46190 CLEAR RIDGE RD.

5.006 ACRES

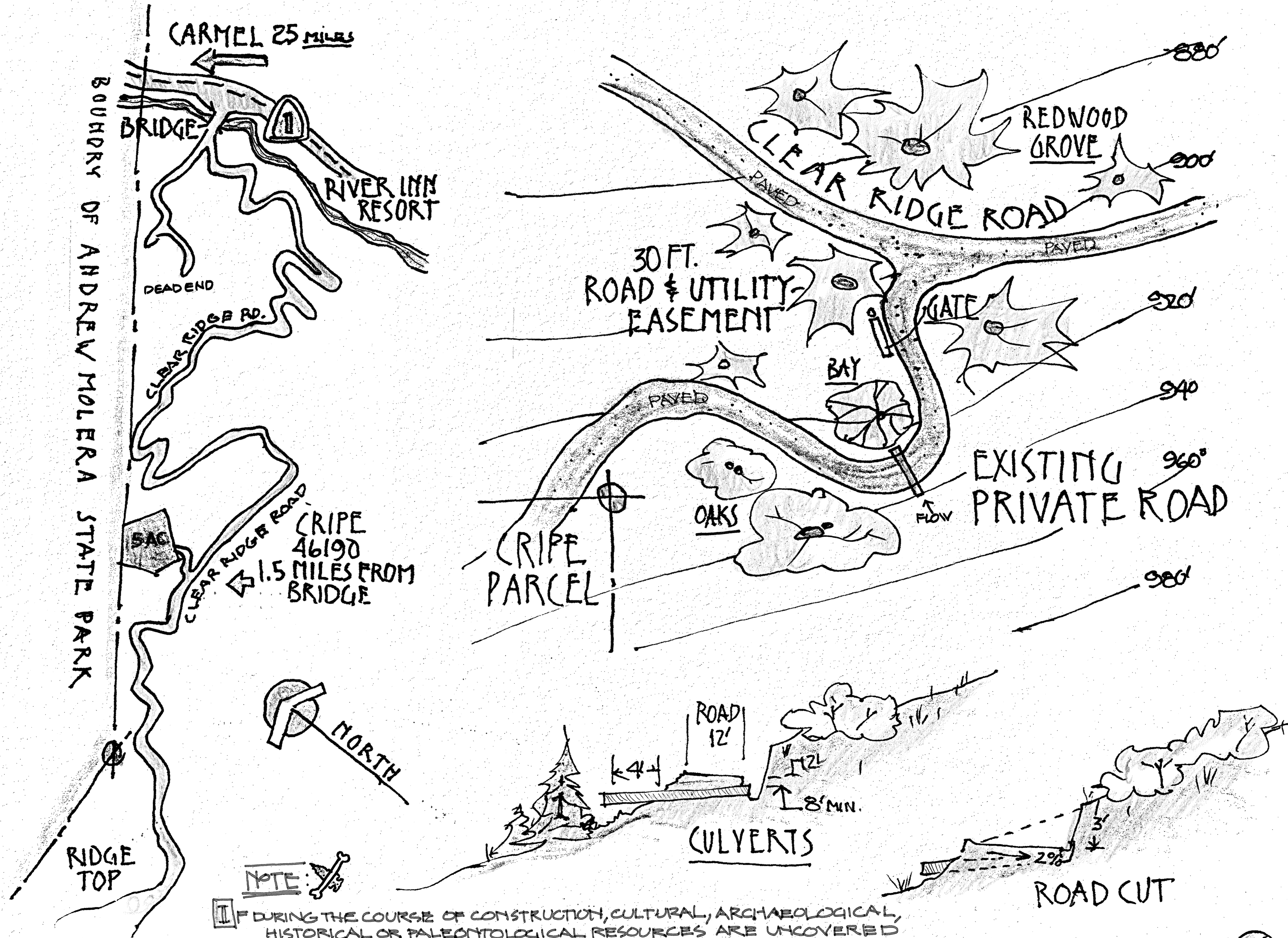


## SITE PLAN

419.221.007

2

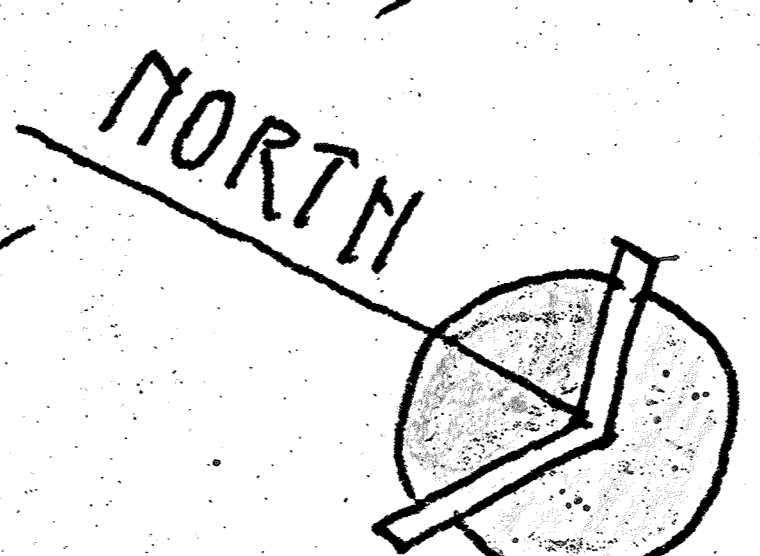
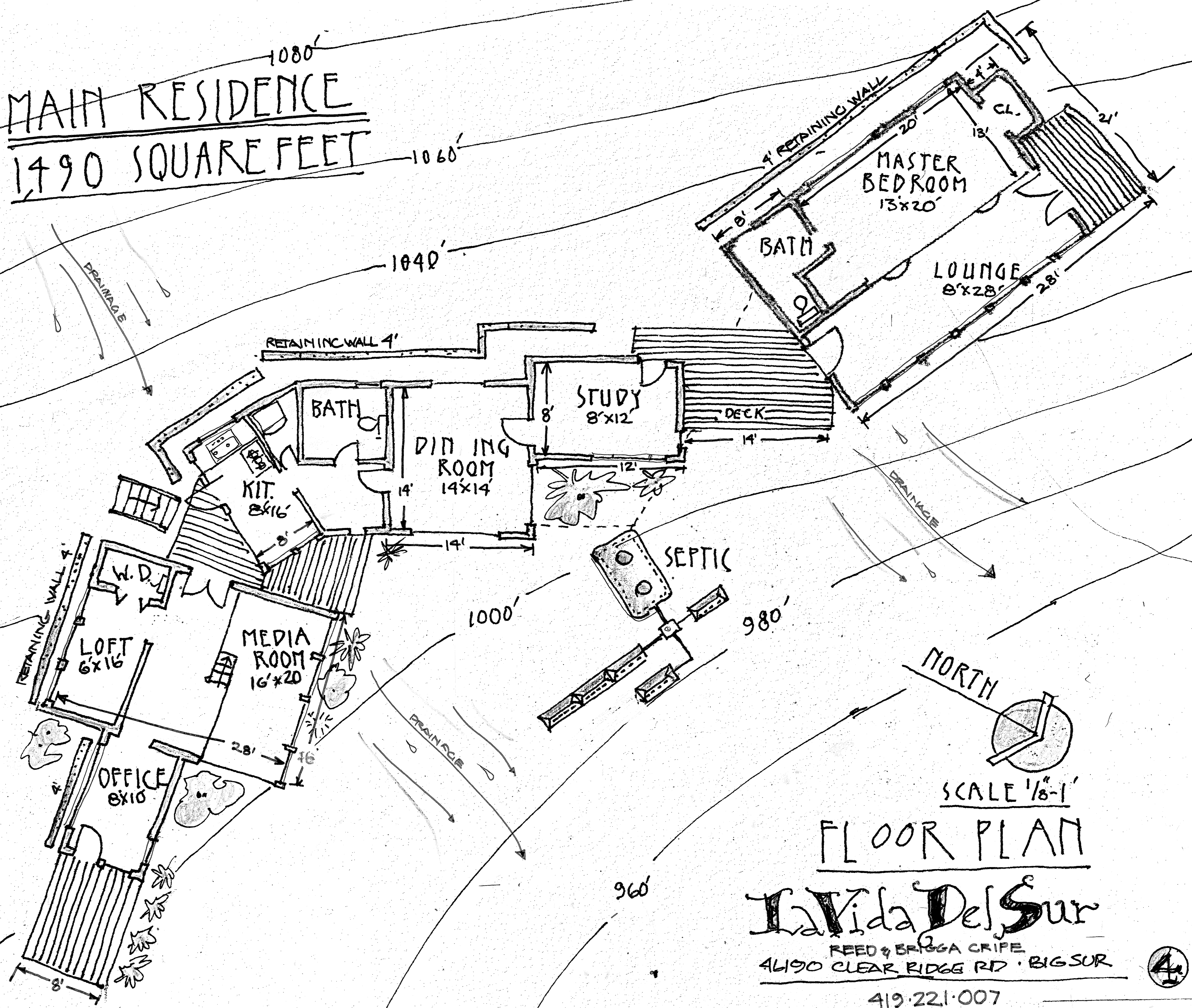
# VICINITY MAP, EASEMENT and ROAD ACCESS



**NOTE:** IF DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND, UNTIL A QUALIFIED ARCHAEOLOGIST CAN EVALUATE IT.



MAIN RESIDENCE  
1,790 SQUARE FEET



SCALE 1/8"=1'

FLOOR PLAN

**La Vida Del Sur**

REED & BRIGGA CRIFE  
 4190 CLEAR RIDGE RD • BIG SUR

419.221.007



ELEVATIONS  
MAIN RESIDENCE

SCALE 1/8"=1'-0"

1490 SQ. FT.

REED & BRIGLIA CRIPS RESIDENCE  
1490 CLEAR RIDGE ROAD  
BIG SUR, CA  
APN 419-221-007



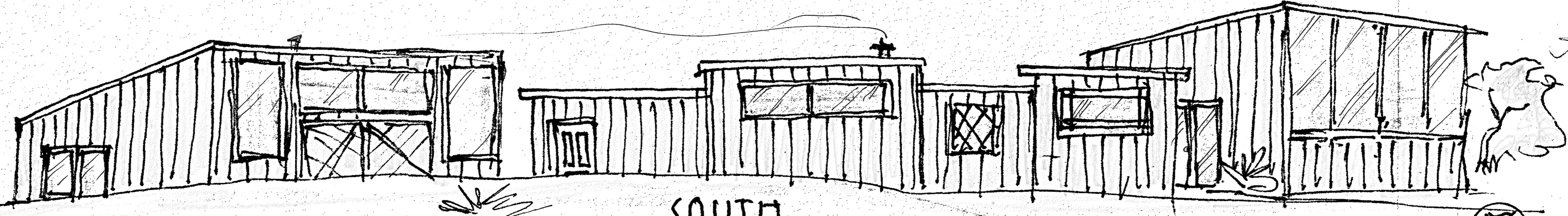
EAST



NORTH

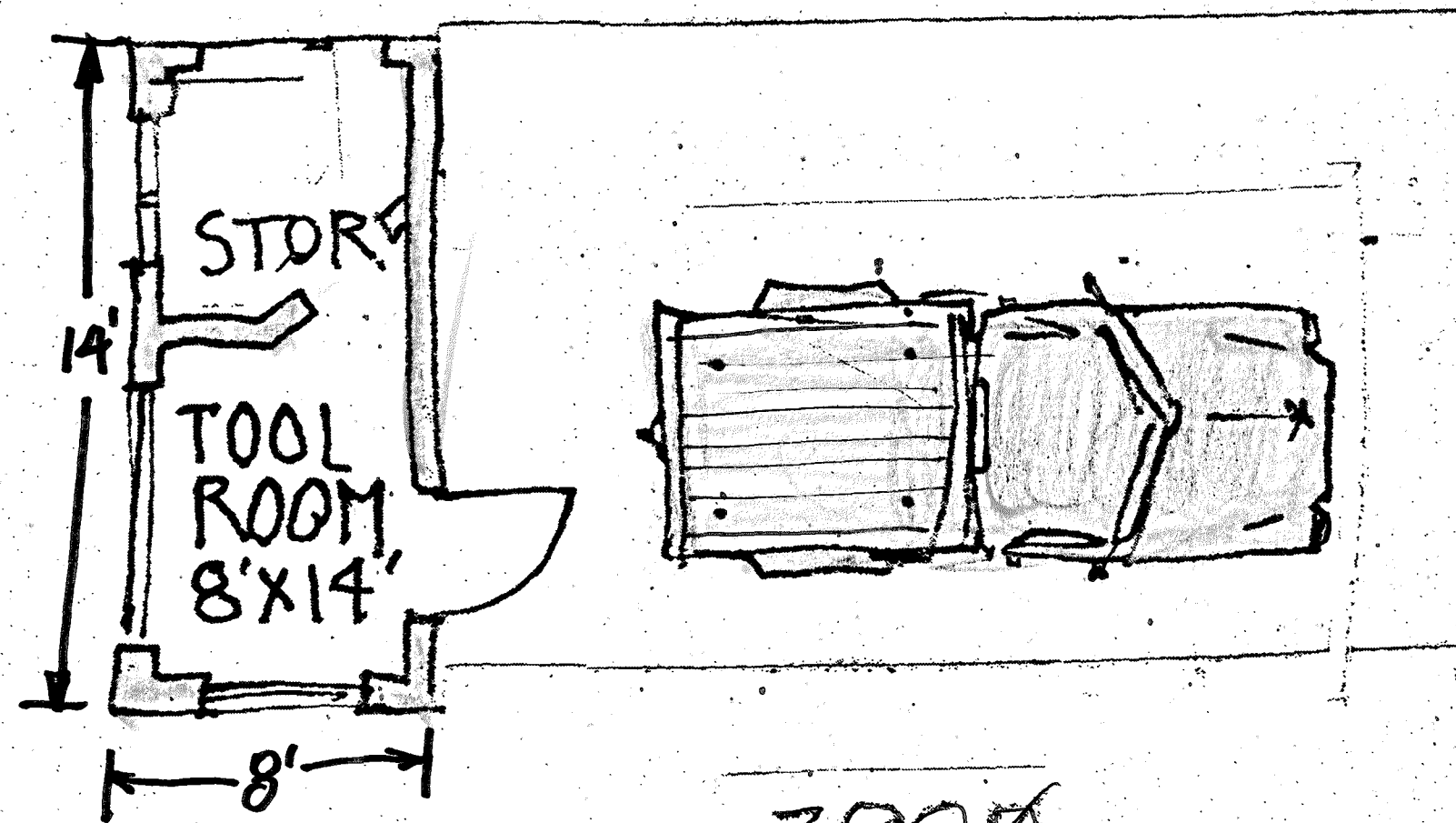
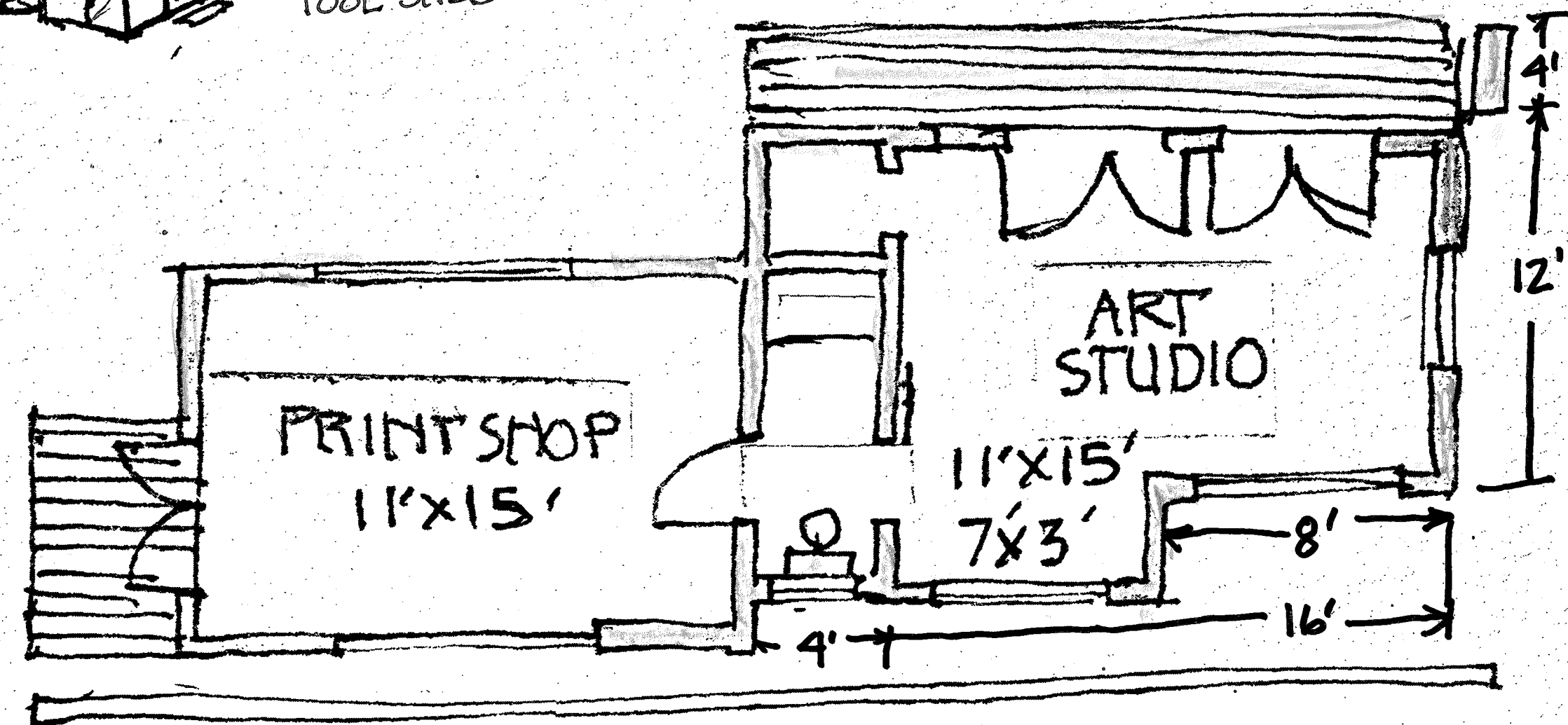
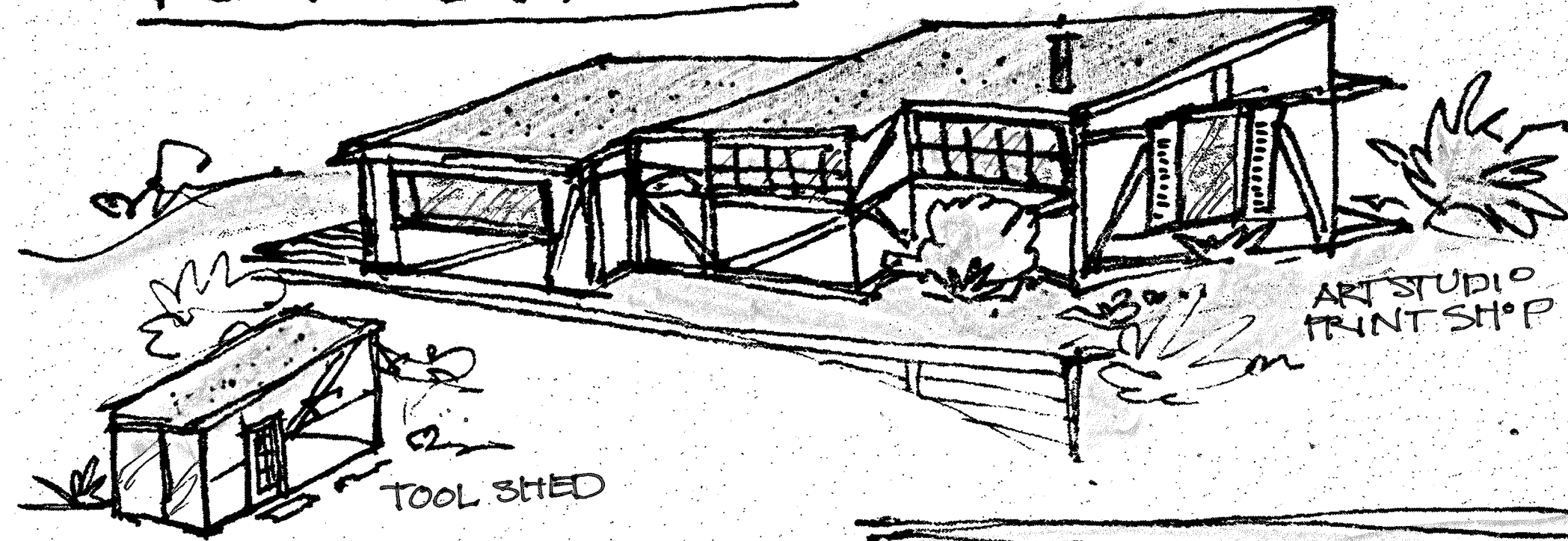


WEST



SOUTH

PERSPECTIVE



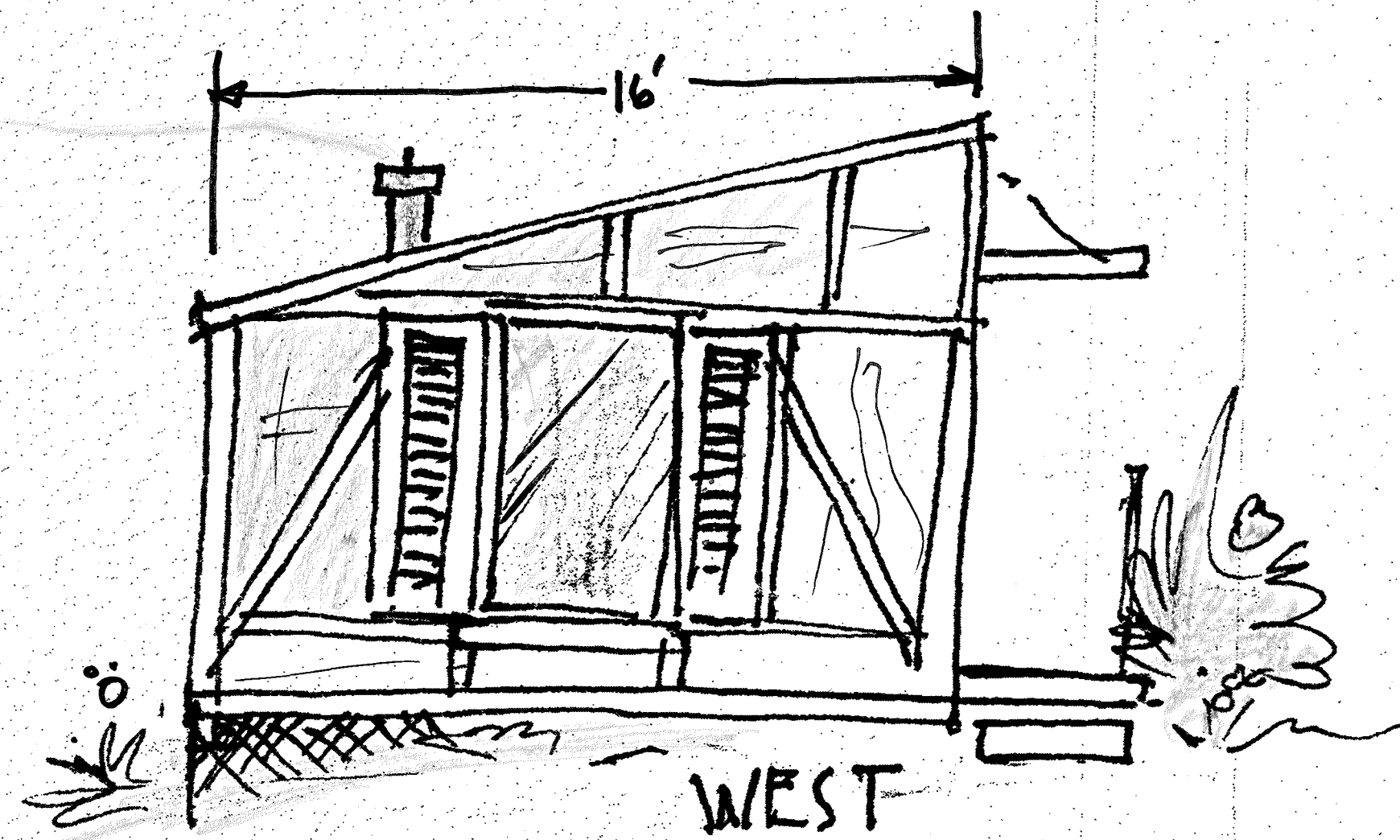
~~390~~  
ARTIST STUDIO  
~~400~~

FLOOR PLAN

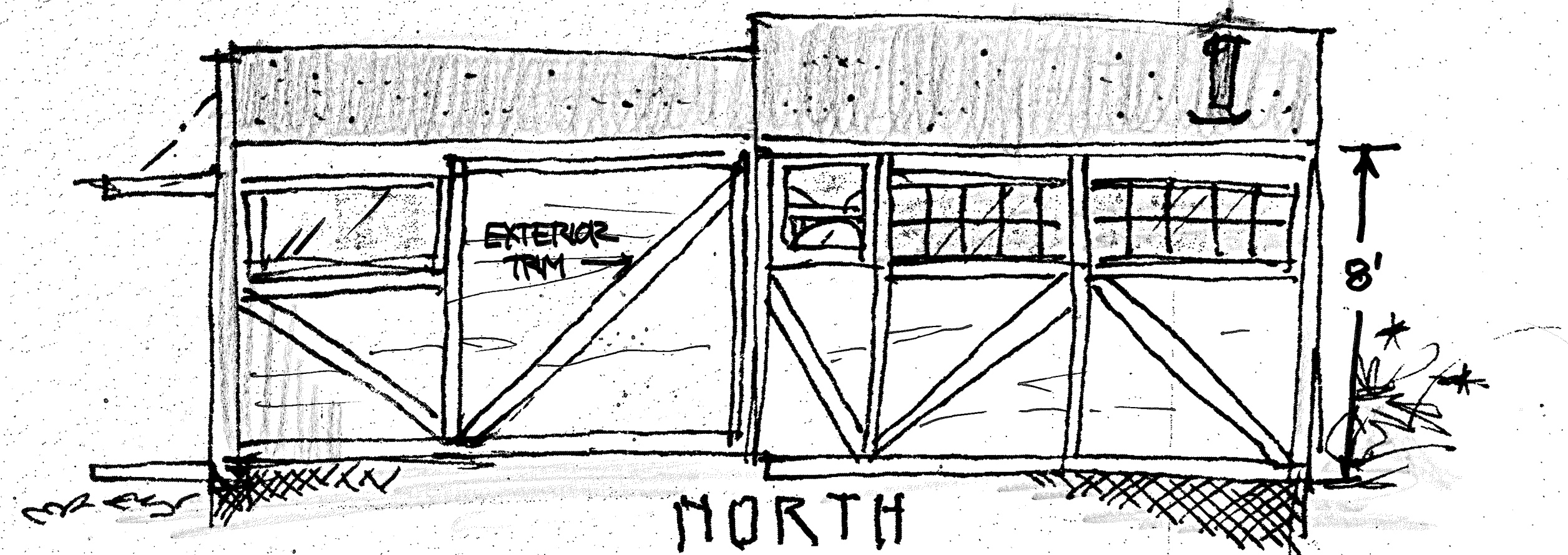
La Vida Del Sur

APN 419-221-007

REED & BRIGGA CRIFE  
4690 CLEAR RIDGE RD. BIG SUR



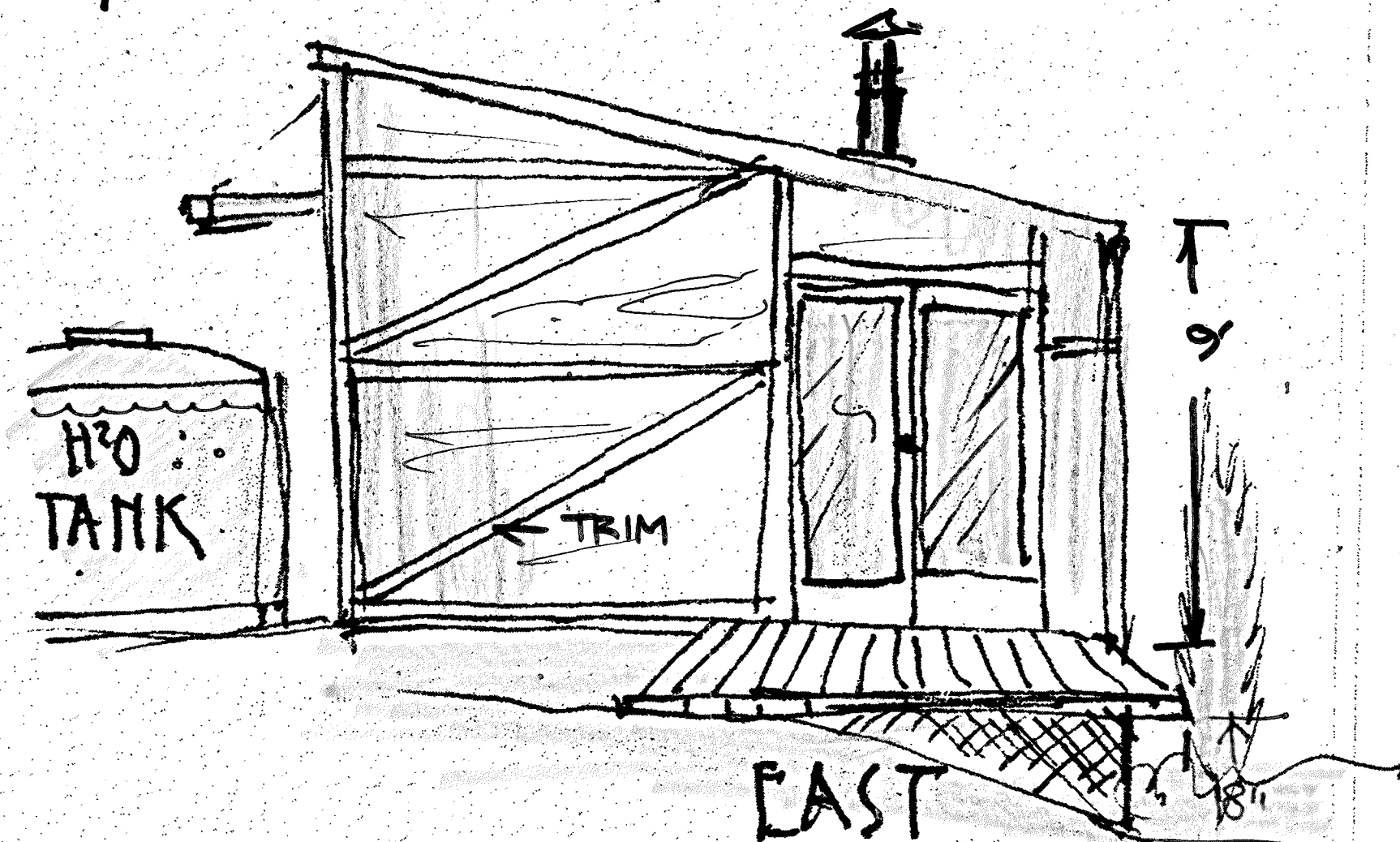
WEST



NORTH

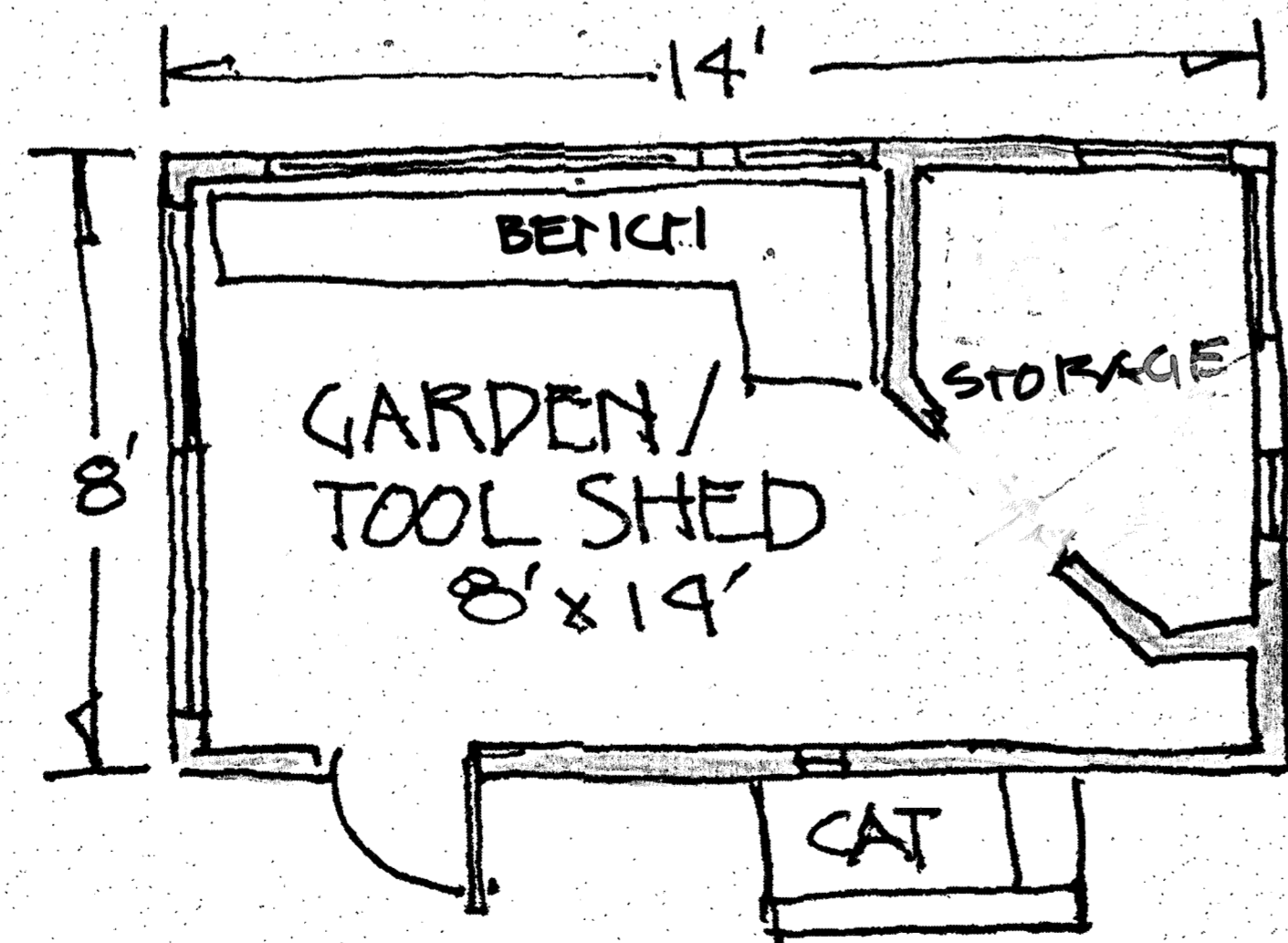
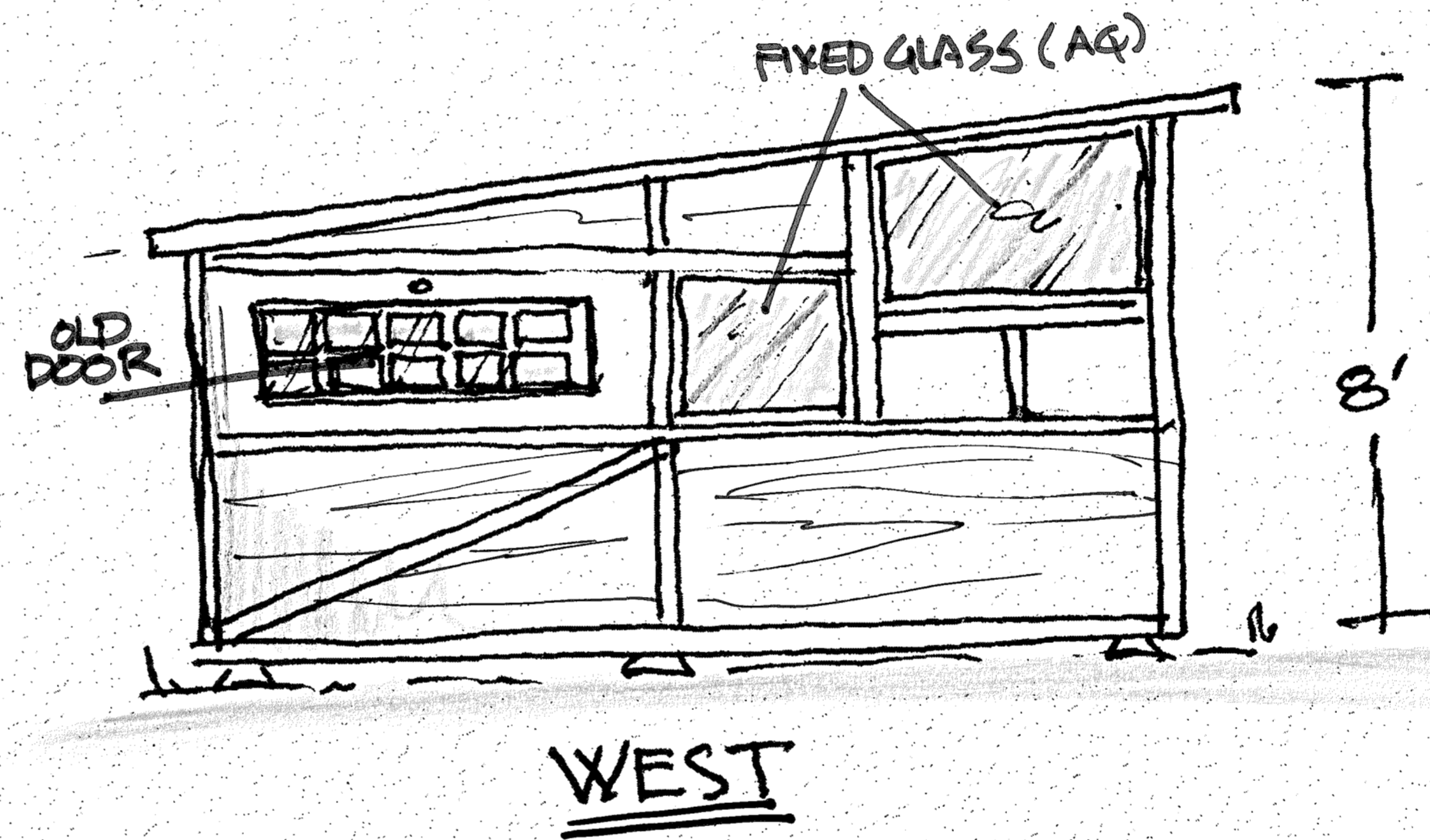
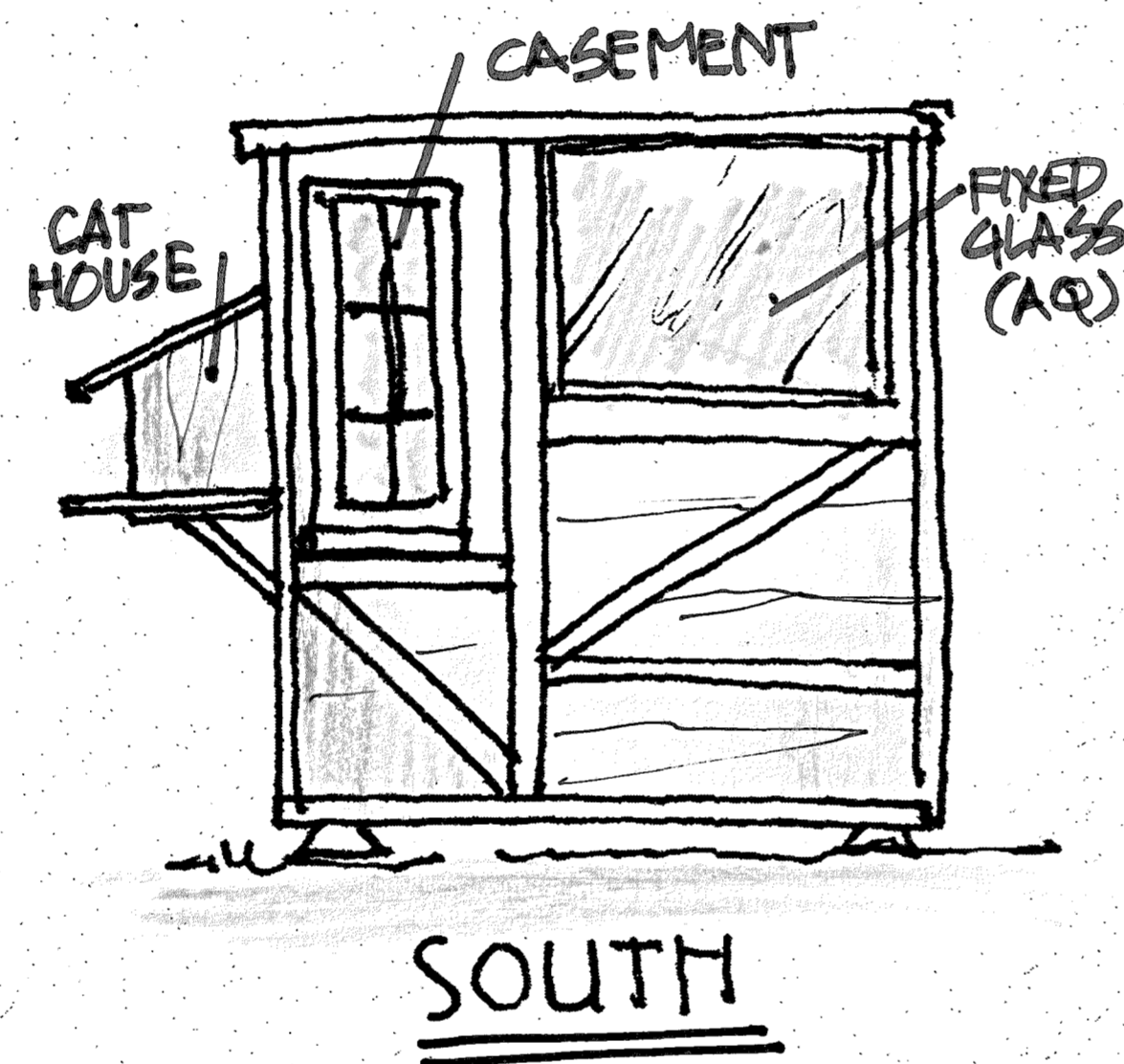
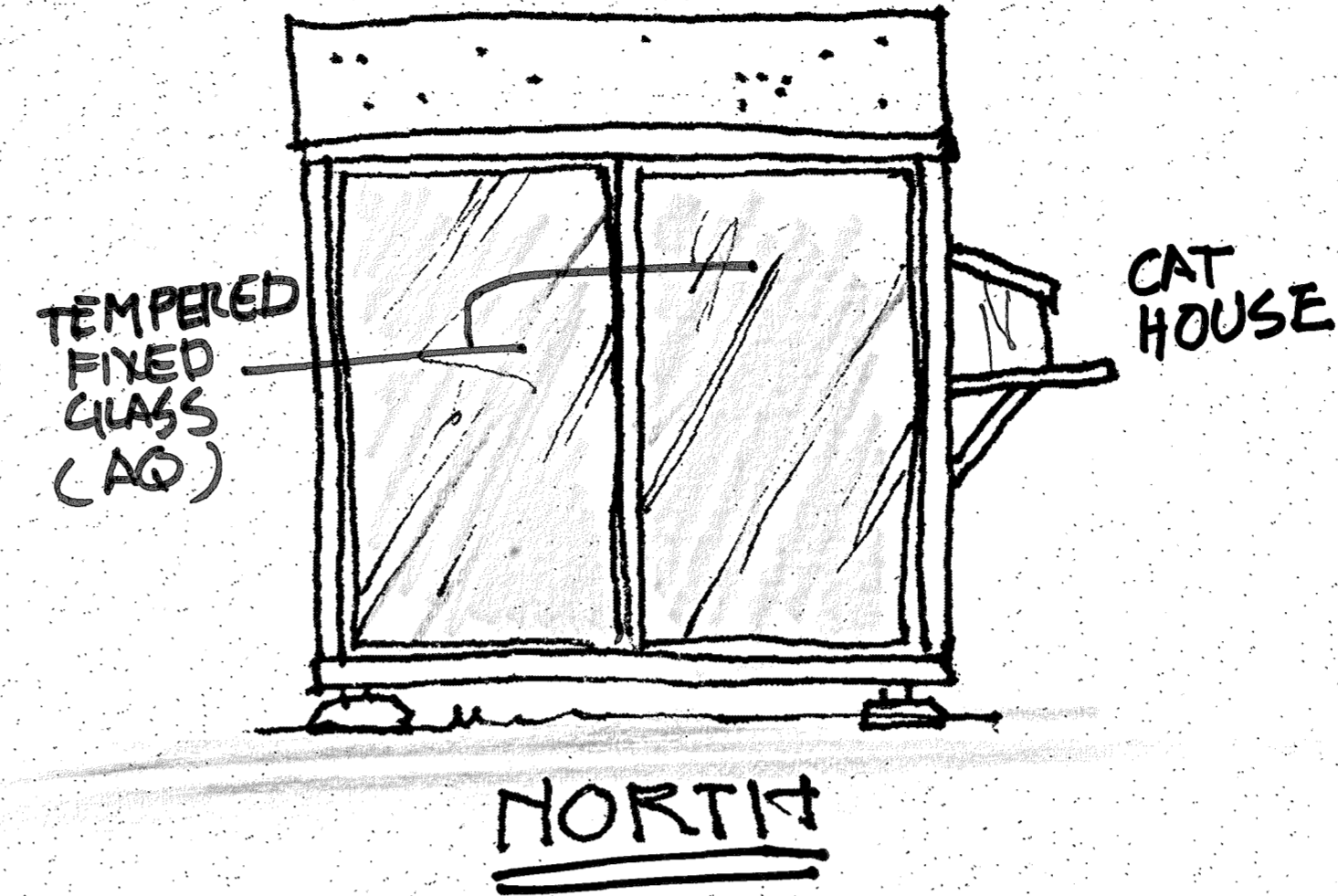
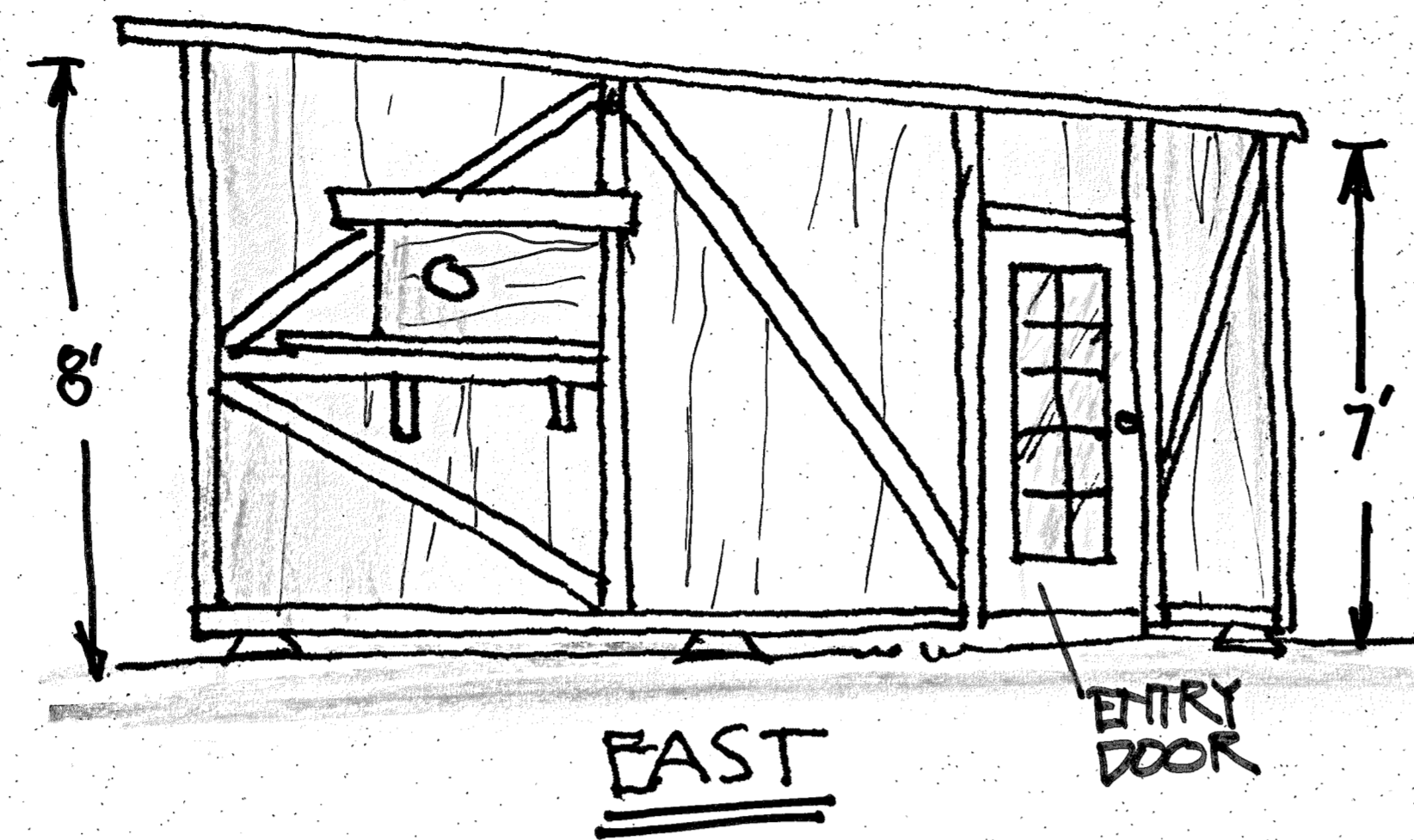


SOUTH



EAST

6



GARDEN/TOOL SHED  
112

FLOOR PLAN

# STRUCTURAL PLANS

## MECHANICAL, PLUMBING & ELECTRICAL PLAN

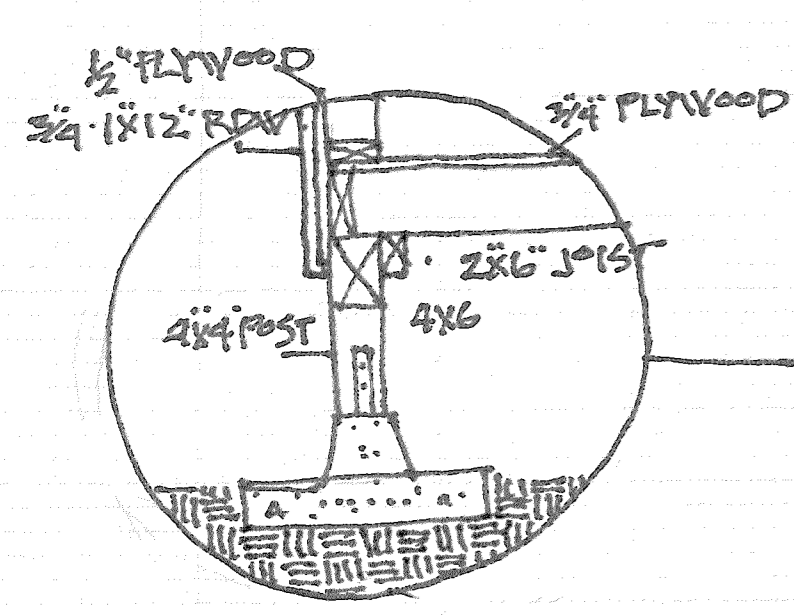
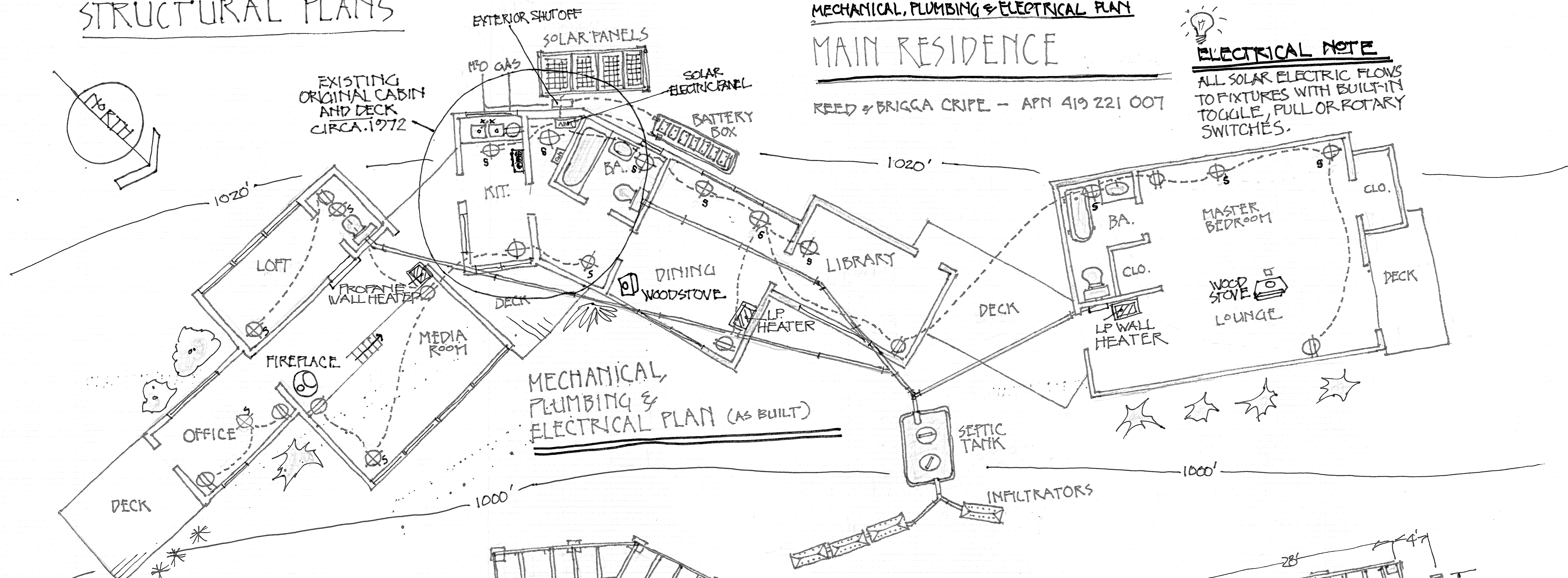
### MAIN RESIDENCE

REED & BRIGGA CRPE - APN 419 221 007

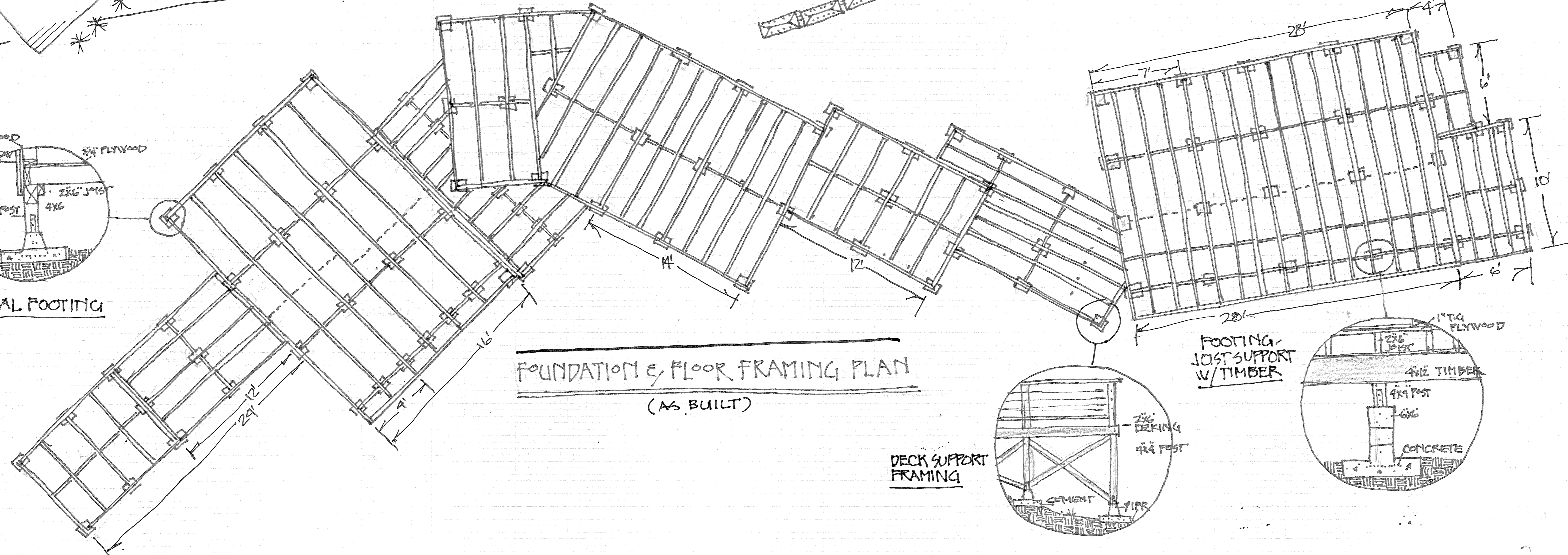


#### ELECTRICAL NOTE

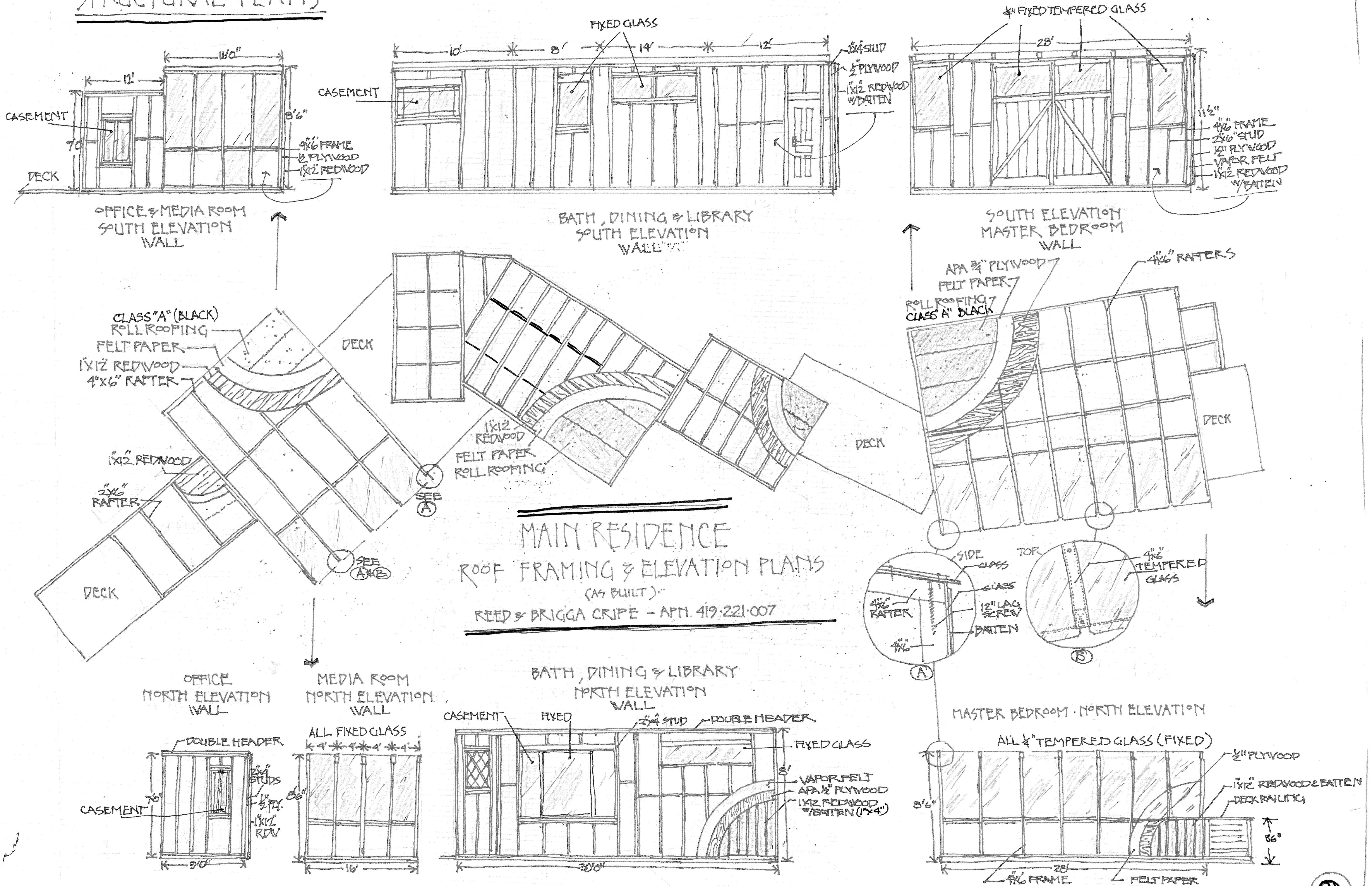
ALL SOLAR ELECTRIC FLOWS TO FIXTURES WITH BUILT-IN TOGGLE, PULL OR ROTARY SWITCHES.



TYPICAL FOOTING



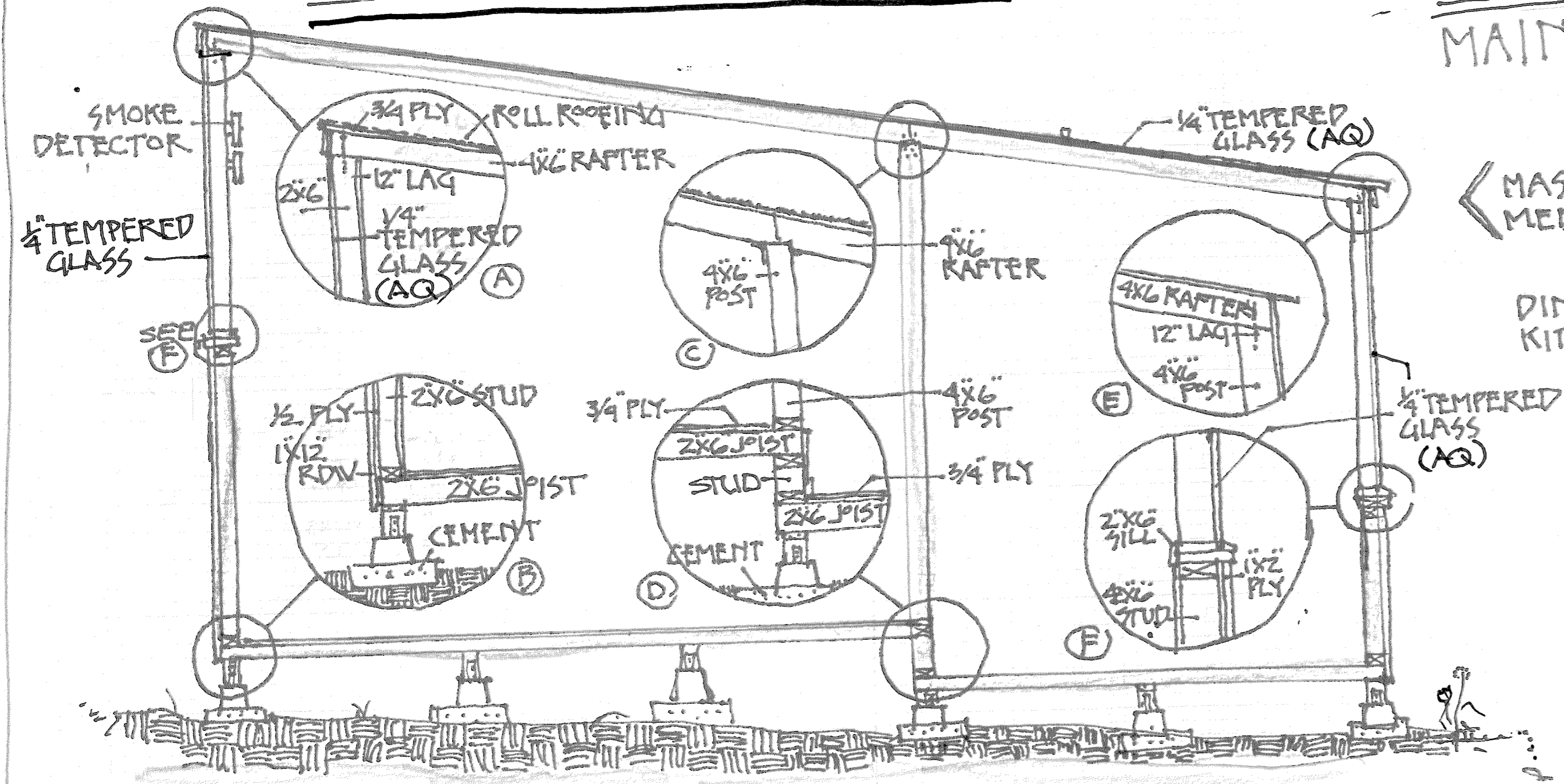
# STRUCTURAL PLANS



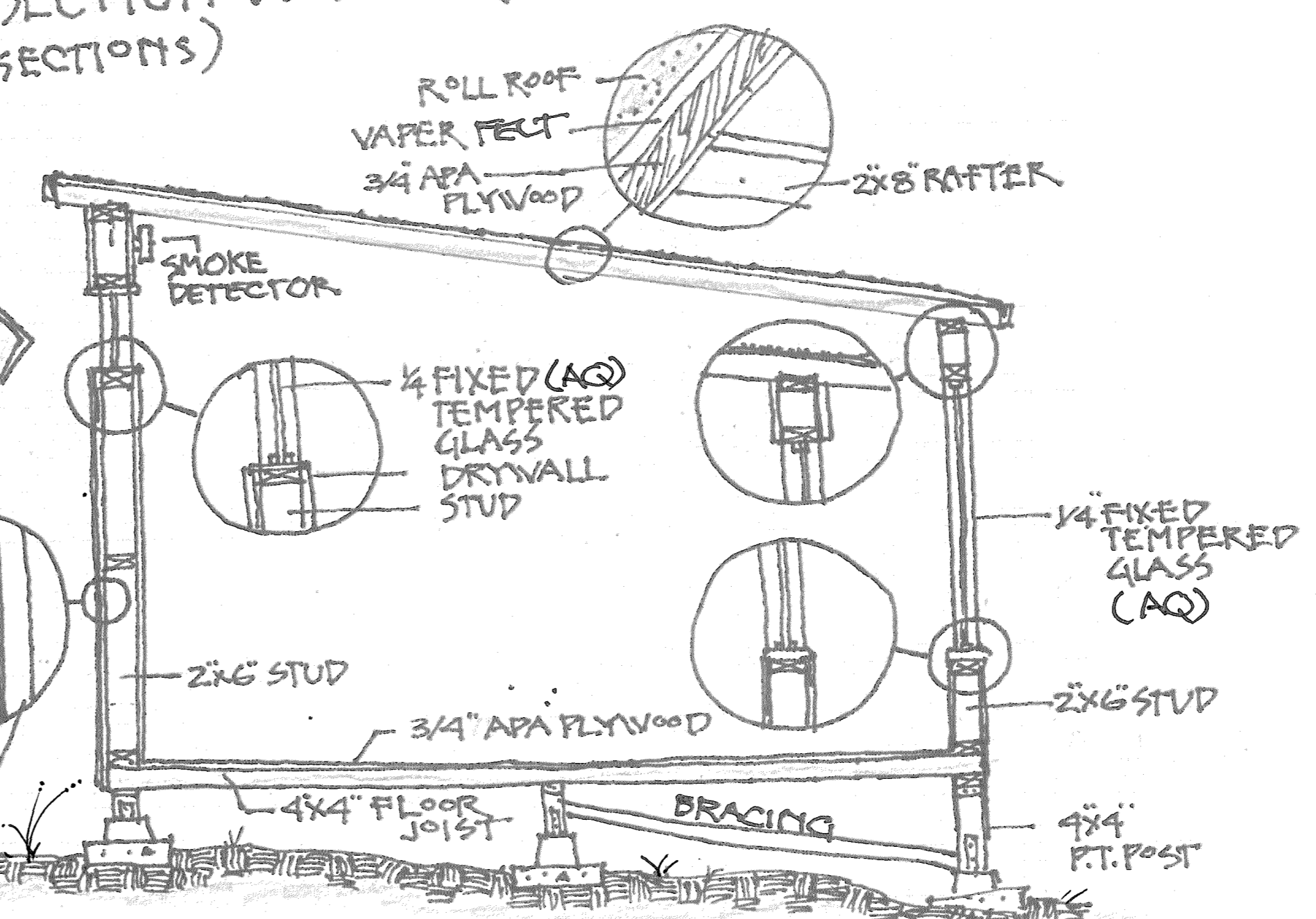
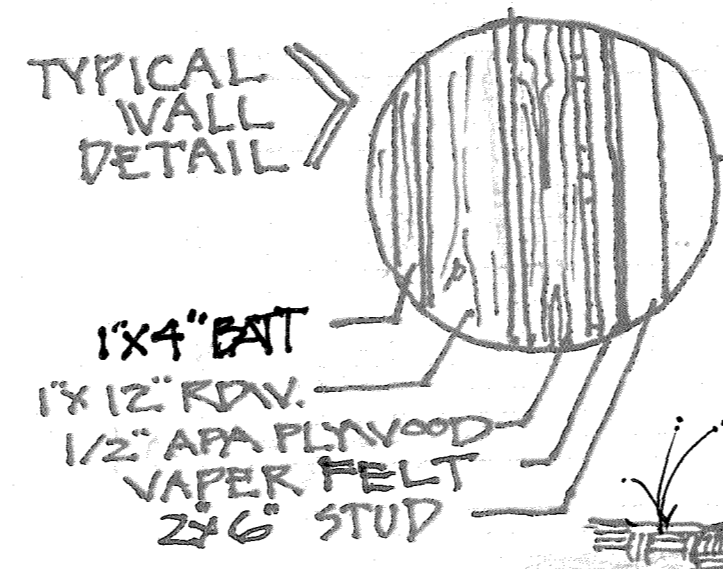
**MAIN RESIDENCE**  
**ROOF FRAMING & ELEVATION PLANS**  
 (AS BUILT)  
 REED & BRIGGA CRPE - APR. 419.221.007

# STRUCTURAL PLANS

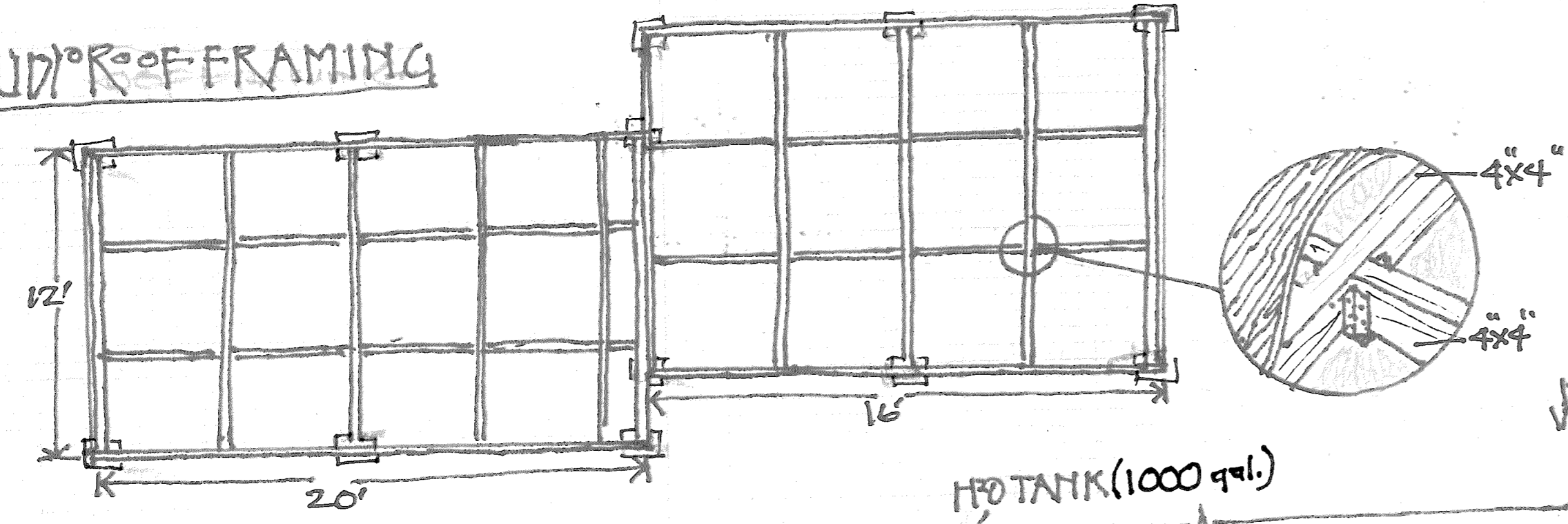
## MAIN RESIDENCE - SECTION DETAILS (AS BUILT) (TYPICAL CROSS-SECTIONS)



MASTER BEDROOM & MEDIA ROOM DETAILS  
DINING, LIBRARY, KITCHEN DETAILS



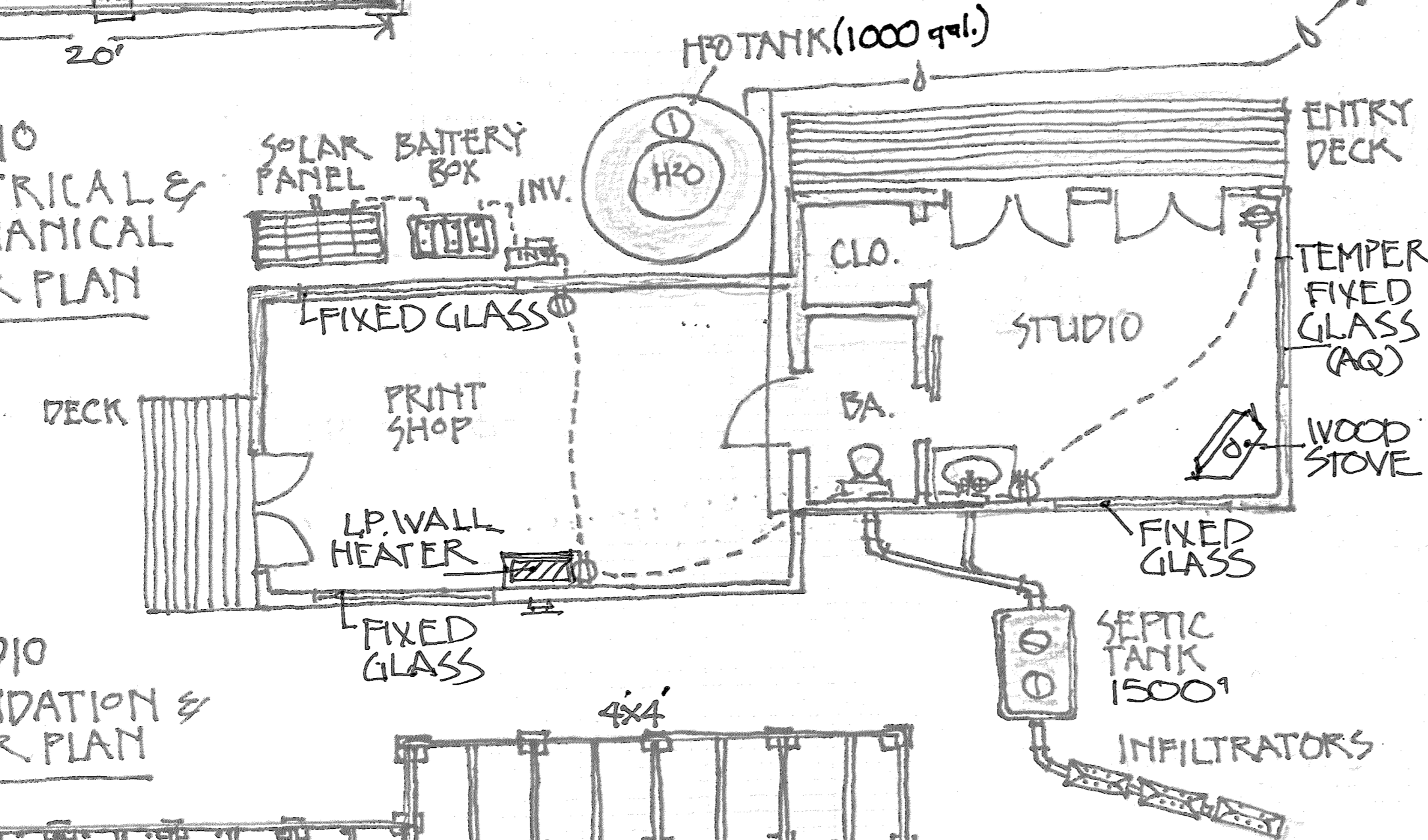
### STUDIO ROOF FRAMING



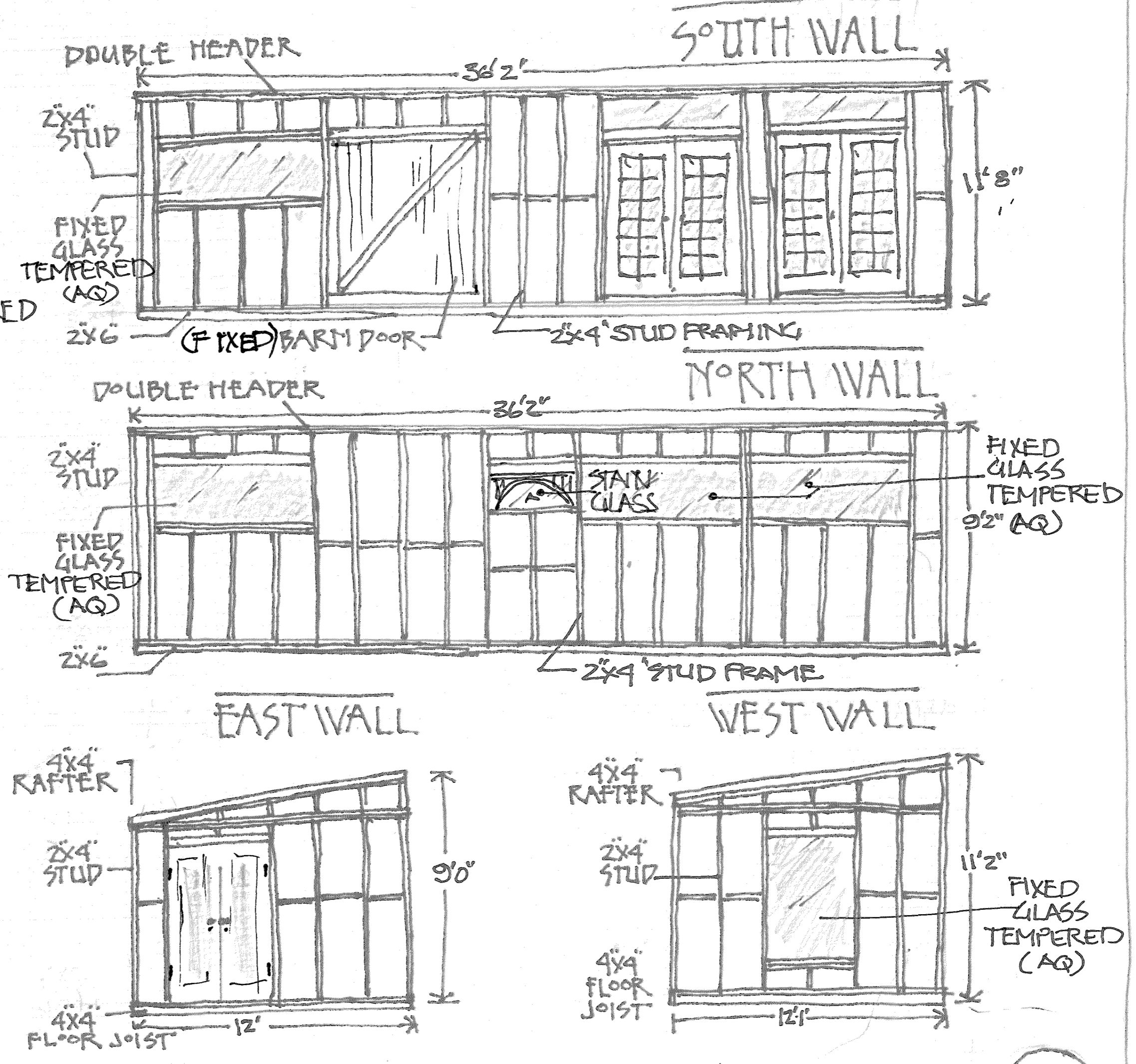
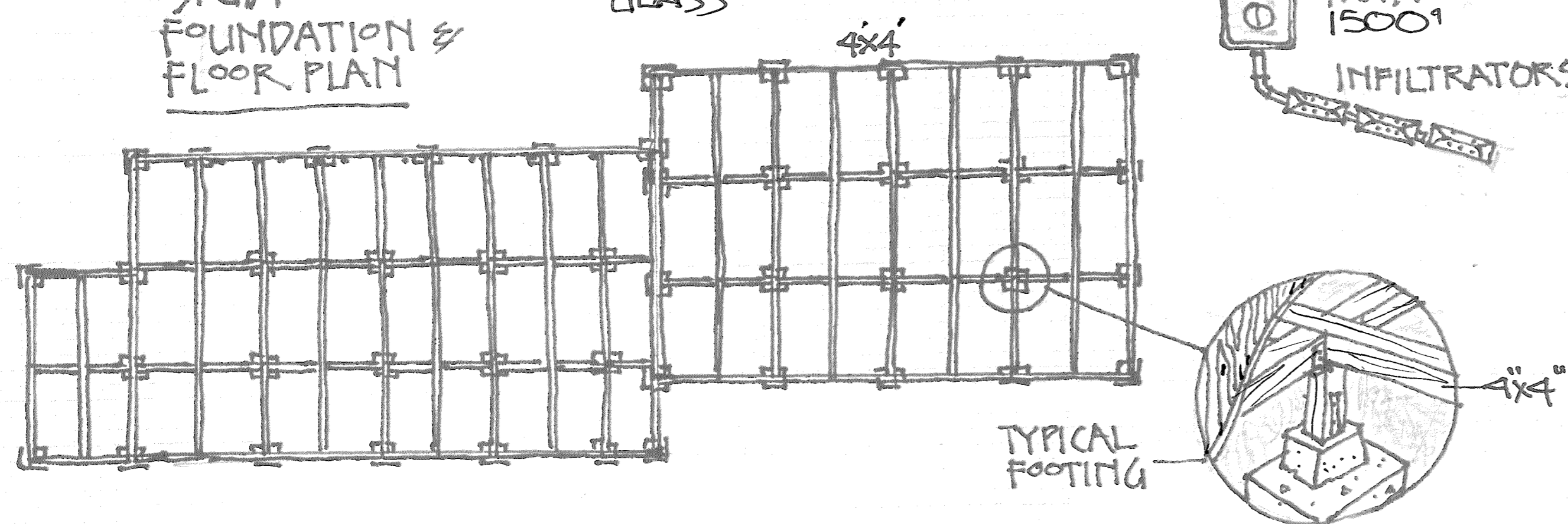
## ART STUDIO 490A (AS BUILT)

REED & BRIGGA CRIFE - APN 419221007

### STUDIO ELECTRICAL & MECHANICAL FLOOR PLAN

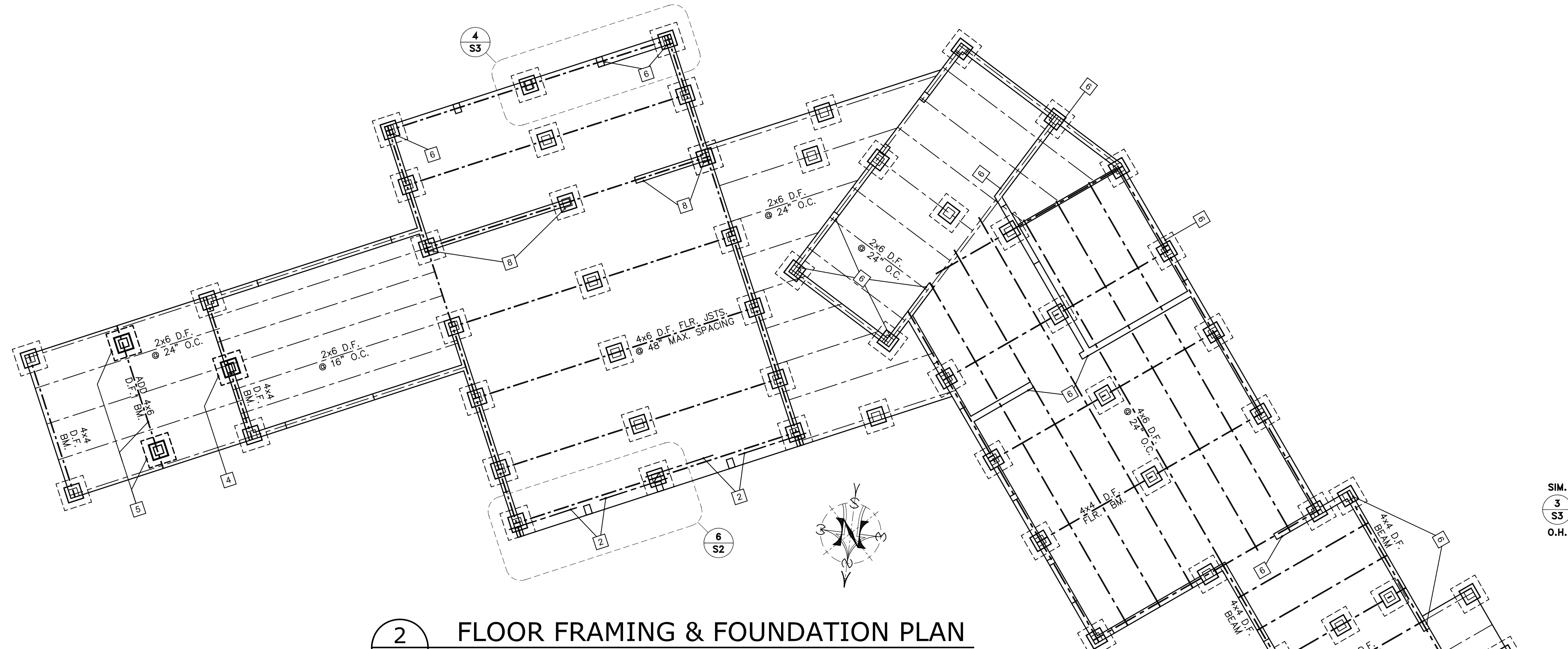


### STUDIO FOUNDATION & FLOOR PLAN

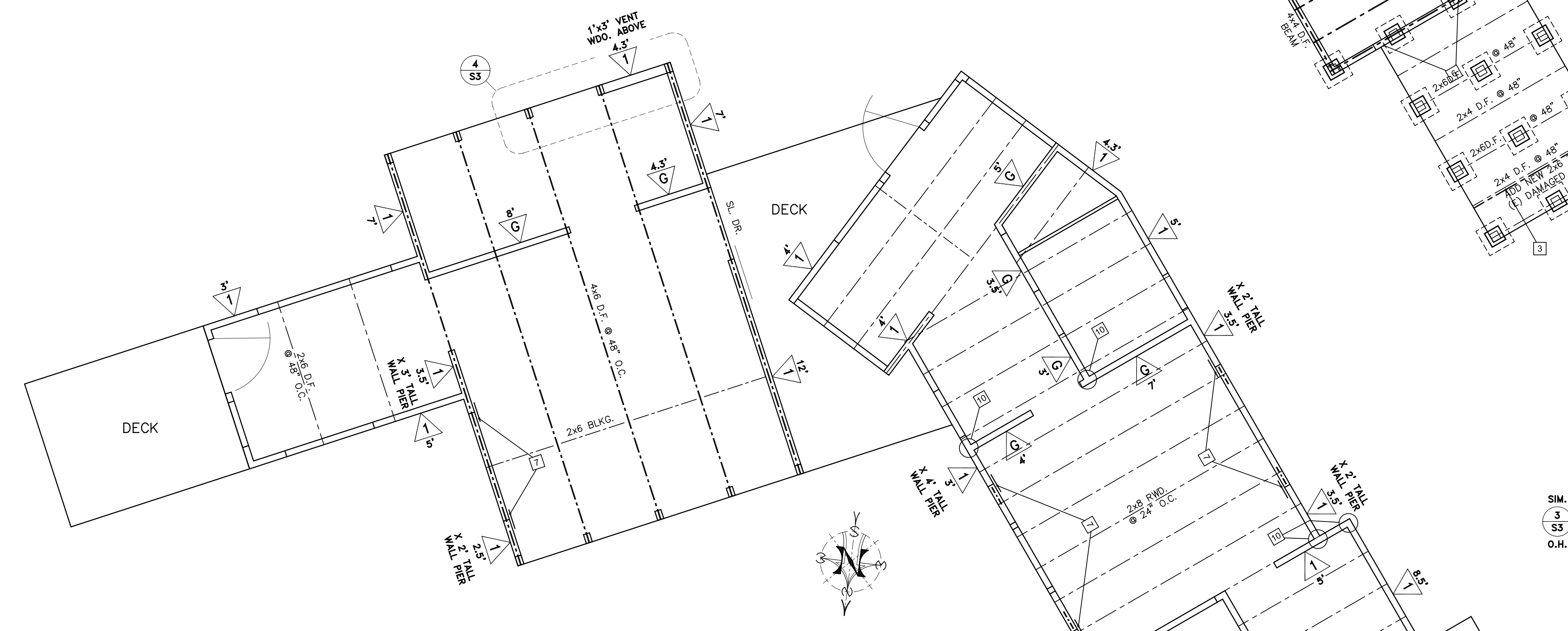








**2 FLOOR FRAMING & FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"



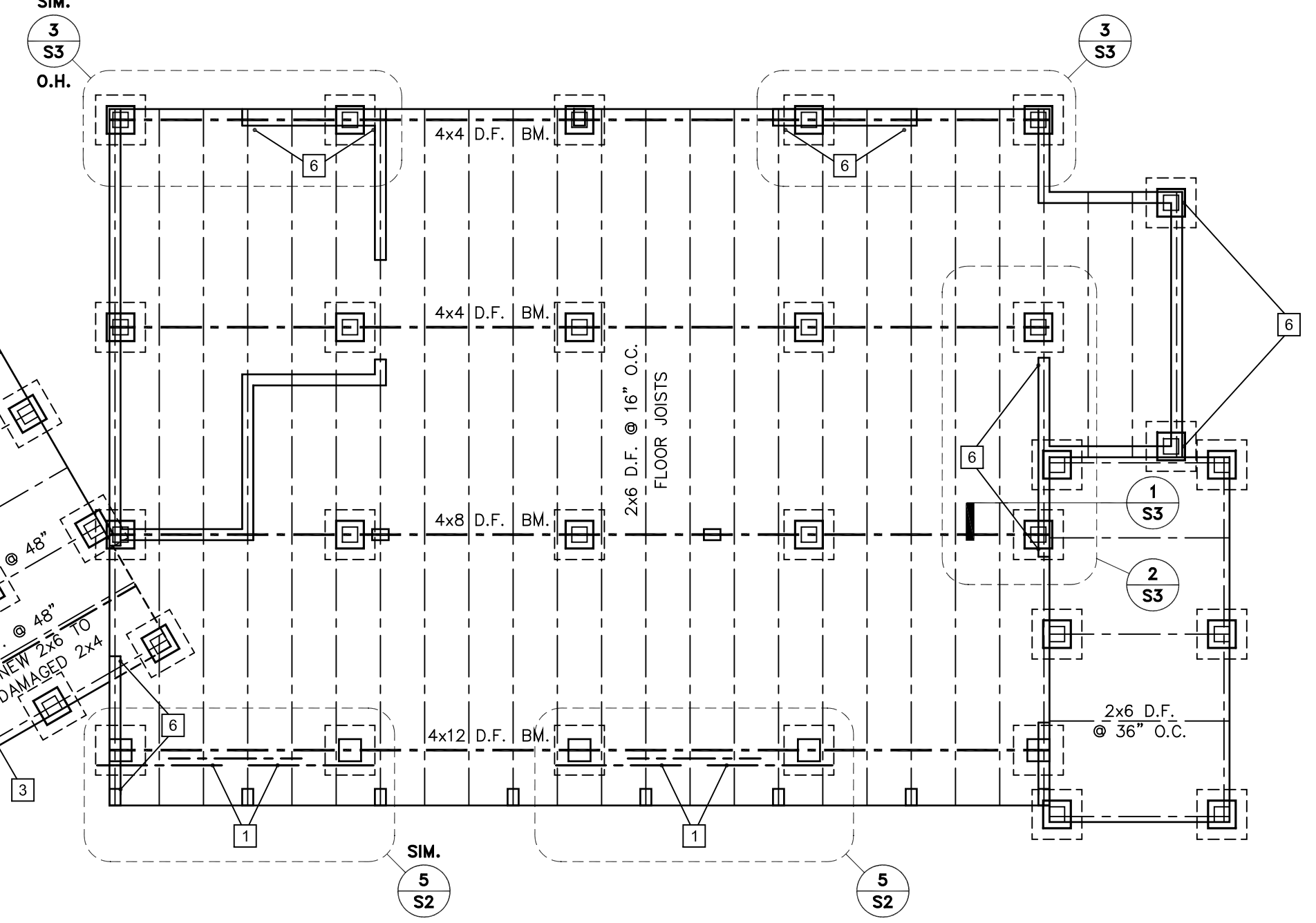
**1 ROOF FRAMING & SHEAR WALL PLAN**  
 SCALE: 1/4" = 1'-0"

**FRAMING, SHEAR AND FOUNDATION PLAN NOTES**

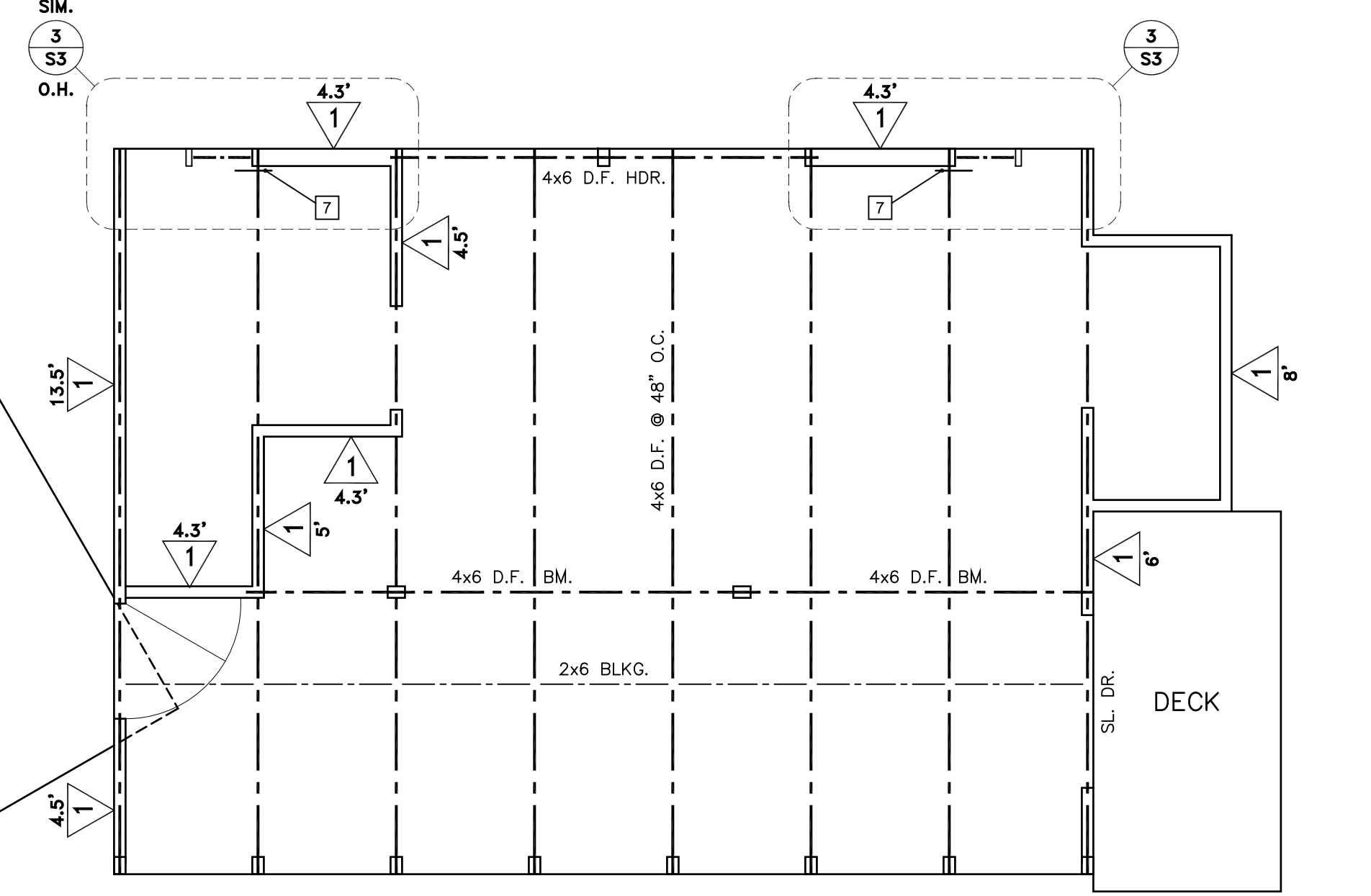
- 1 ADD NEW 2x6 DIAGONAL BRACING ENGAGING (E) 8" SQ. CONCRETE BLOCK MASONRY STEMS PER DETAIL 5/S2.
- 2 ADD NEW 2x6 DIAGONAL BRACING ENGAGING ALL (E) 4x4 FOOTING POSTS THIS LINE PER DETAIL 6/S2.
- 3 ADD NEW 2x6 JOIST TO (E) DAMAGED 2x4 JOIST; ALTERNATELY REPLACE 2x4 JOIST w/ NEW 2x6 JOIST.
- 4 ADD 18" SQUARE x 12" EMBEDMENT ISOLATED FOOTING PIER. REFER TO DETAIL 1/S3 FOR DETAIL OF PIER.
- 5 ADD 4x6 P.T. DF DECK BEAM w/ TWO 18" SQUARE x 12" EMBEDMENT ISOLATED FOOTING PIERS AT 6'-0" SPACING AND CENTERED ON DECK BEAM AS SHOWN. REFER TO DETAIL 1/S3 FOR DETAIL OF PIER.
- 6 VERIFY (E) NAILED ATTACHMENT OR ADD ST9 OR SIMILAR VERTICAL STRAP FOR TENSION ANCHORAGE OF (E) SHEAR WALL END STUD TO (E) FLOOR JOIST OR BEAM FOR UPLIFT TENSION OF 600#. ST9 STRAP w/ THREE 16d NAILS BOTH ENDS GOOD FOR 660# TENSION; PER OR SIMILAR TO DETAILS 1/S3 & 2/S3.
- 7 VERIFY (E) ATTACHMENT OR ADD HORIZONTAL ST9 OR SIMILAR STRAP OF 200# (OR GREATER) TENSION CAPACITY TO TIE (E) WINDOW SILL TO (E) OR NEW 2X HORIZ. BLOCK IN (E) SHEAR WALL. FASTEN 2X BLOCK TO MIN. 1'-4" (E) SHEAR WALL SHEATHING w/ 8d @ 8" T.E.N. OR EQUIVALENT; PER OR SIMILAR TO DETAIL 3/S3.
- 8 ADD ST12 OR SIM. VERTICAL STRAP FOR TENSION ANCHORAGE OF (E) SHEAR WALL END STUD(S) TO (E) FLOOR JOIST OR BEAM FOR UPLIFT TENSION OF 1,000#. ST12 VERTICAL NAILED STRAP w/ FIVE 16d NAILS BOTH ENDS GOOD FOR 1,105# TENSION. SIM. TO DETAILS 1/S3 & 2/S3, EXCEPT WITH HIGHER CAPACITY STRAP.
- 9 REMOVE (E) FIXED 7-FT. WIDE GARAGE DOOR & INFILL w/ 7-FT. WIDE 2x4-FRAMED SHEAR WALL TYPE 1.
- 10 SHEAR WALL INTERSECTION PER DETAIL 4/S2. (TYPICAL AT ALL SHEAR WALL INTERSECTIONS.)

**FOUNDATION PLANS ARCHAEOLOGICAL NOTE:**

STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA - PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED.



FOR DETAILS NOT SHOWN OR NOTED, REFER TO ARCHITECTURAL ROOF & ROOF FRAMING PLAN ON SHEET 9, & FOUNDATION & FLOOR FRAMING PLAN ON SHEET 8.  
 WHERE THERE IS CONFLICT BETWEEN THESE PLANS, THE STRUCTURAL PLANS ON THIS SHEET (S1) GOVERN.



Not Valid Without Wet Signature  
 Project / Owner

**La Vida Del Sur**  
 Reed & Brigg  
 Cripe Residence

46190 Clear Ridge Road  
 Big Sur, California 93920  
 APN 419-221-007-000

MSE Project Number 24-017  
 DRAWN BY S C MAYONE  
 DATE 7-01-2024  
 Revision Date

PRINT DATE: 7-01-2024

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION OF ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ENGINEER WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

Sheet Title  
**Structural Plans:  
 Framing, Shear  
 & Foundation**

Sheet Number **S1** of





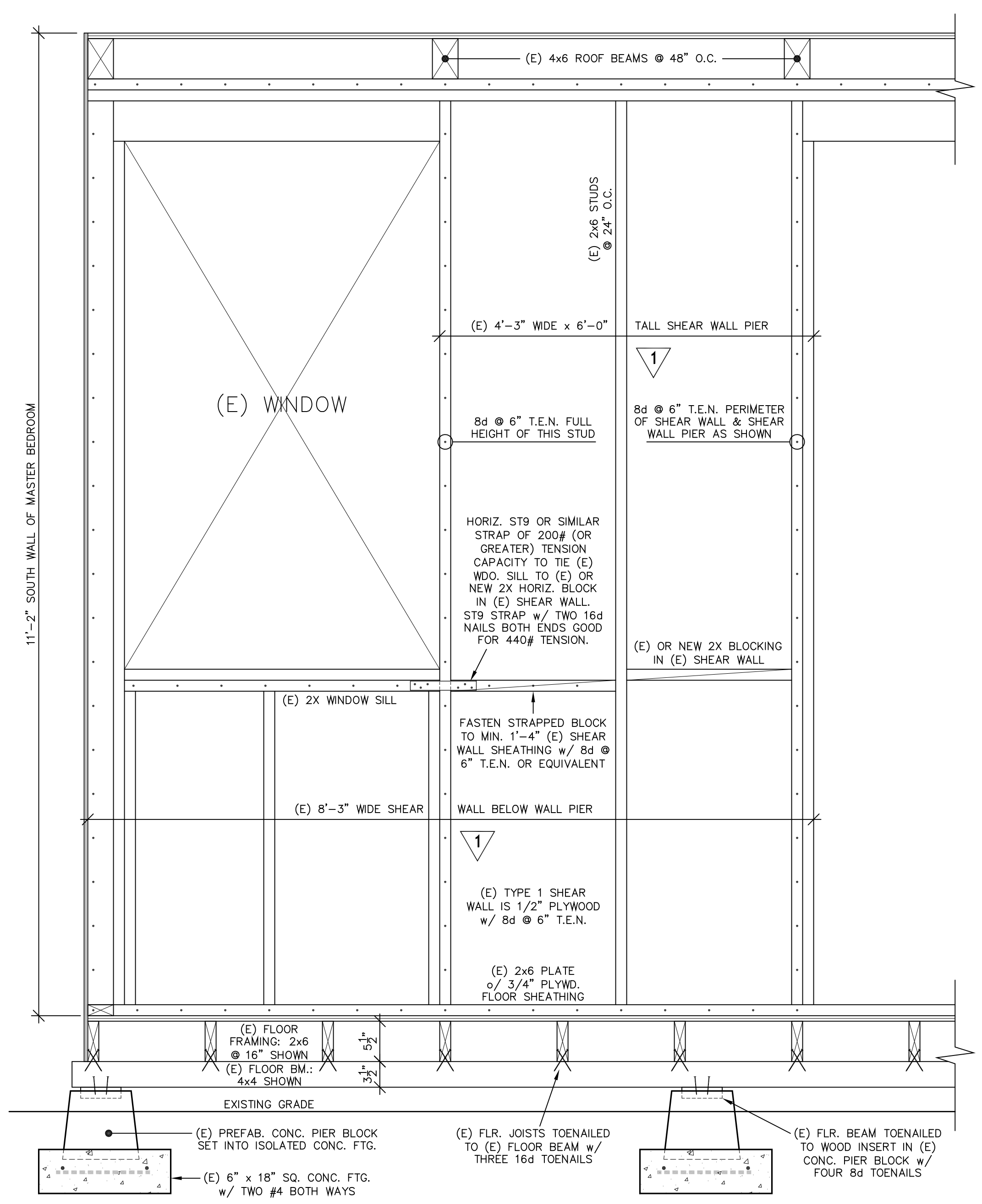
Not Valid Without Wet Signature  
Project / Owner

**La Vida Del Sur**  
Reed & Brigga  
Cripe Residence

46190 Clear Ridge Road  
Big Sur, California 93920  
APN 419-221-007-000

MSE Project Number 24-017  
DRAWN BY S C MAYONE  
DATE 7-01-2024  
Revision Date

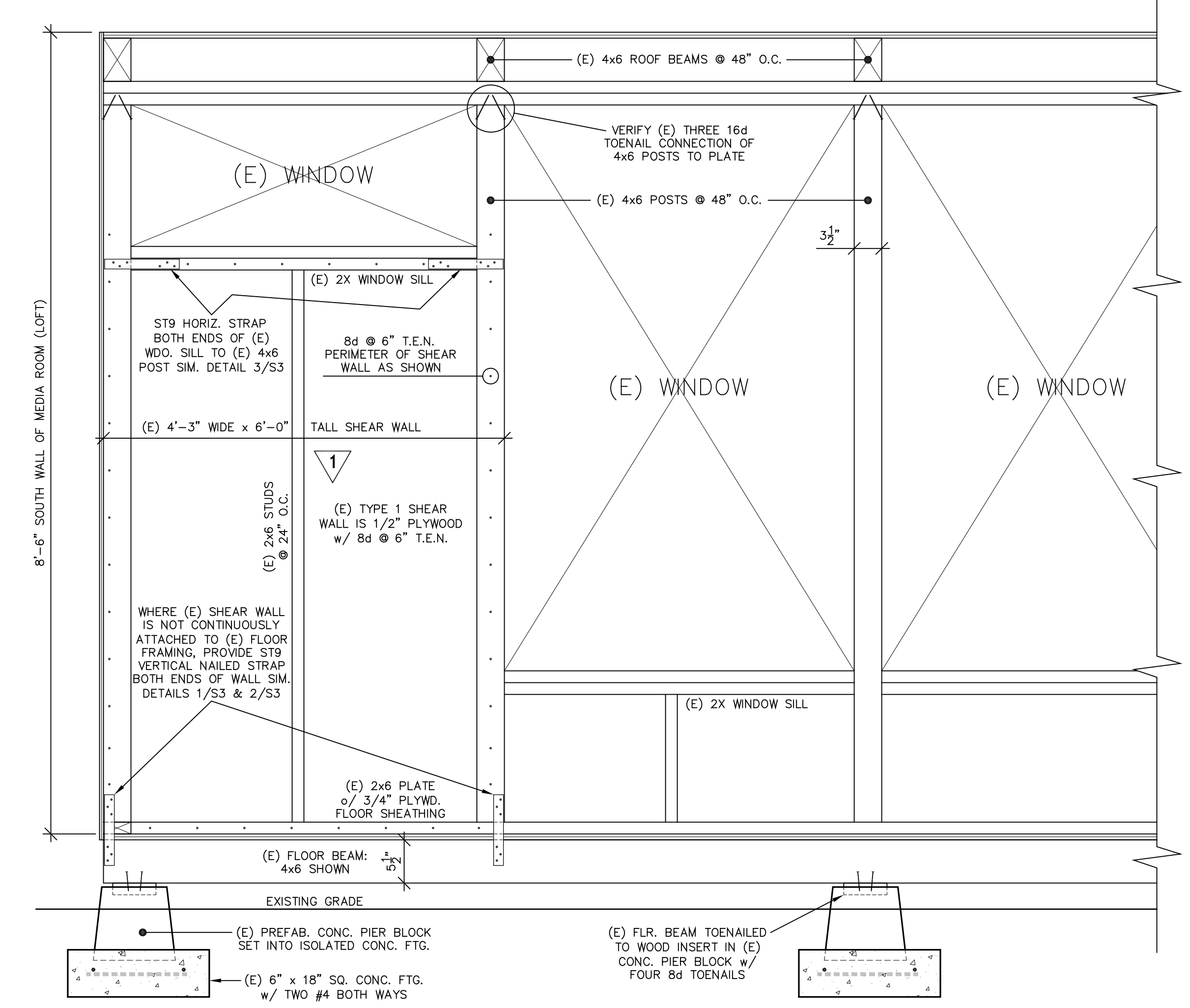
PRINT DATE: 7-01-2024



**ELEVATION: HORIZONTAL TENSION TIE WINDOW SILL TO 2X SOLID BLOCK AT SHEAR WALL PIER**

3  
S3

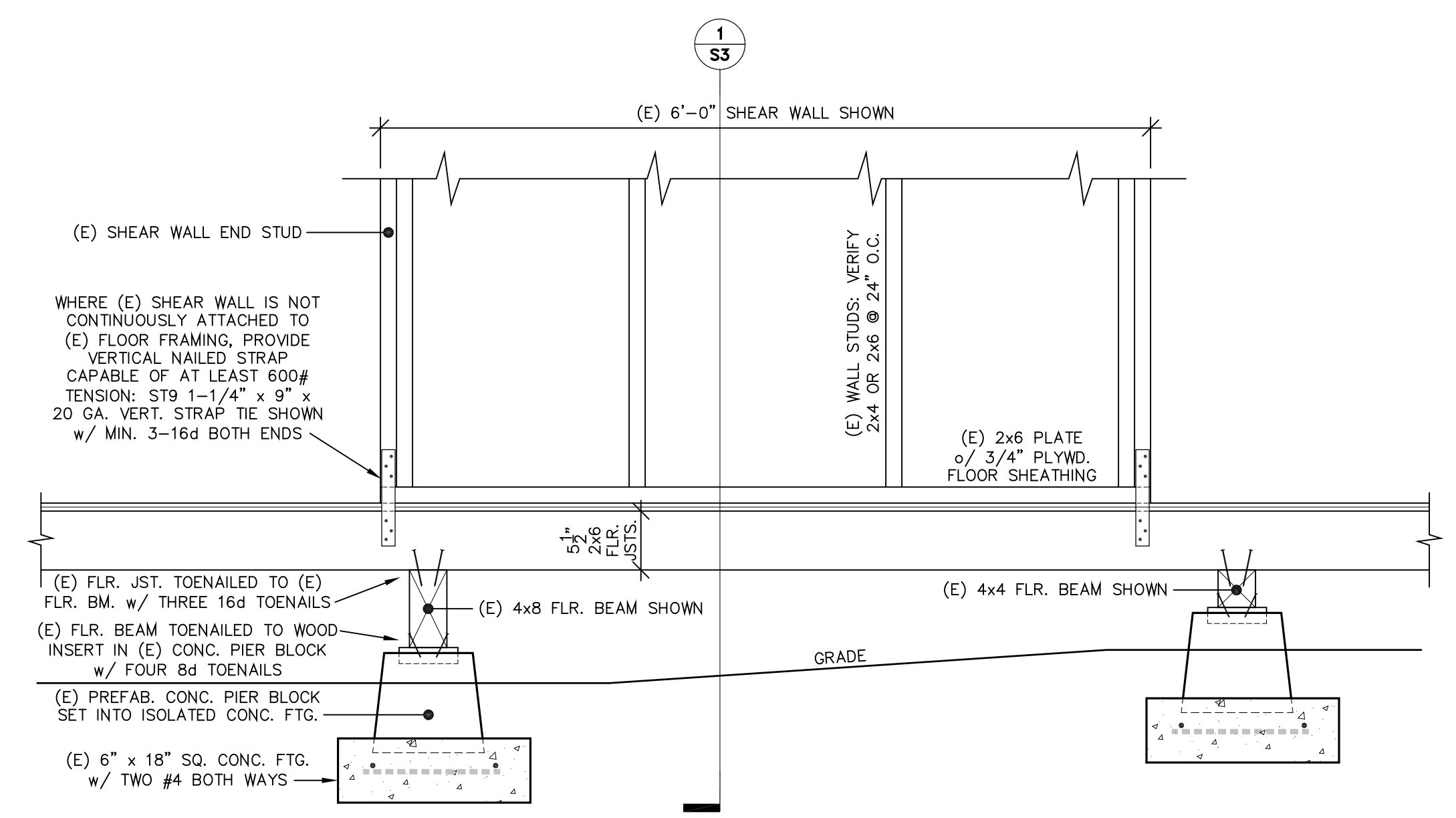
SCALE: 1" = 1'-0"



**ELEVATION: SHEAR WALL WITH TRANSOM WINDOW ABOVE AT SOUTH WALL OF MEDIA ROOM (LOFT)**

4  
S3

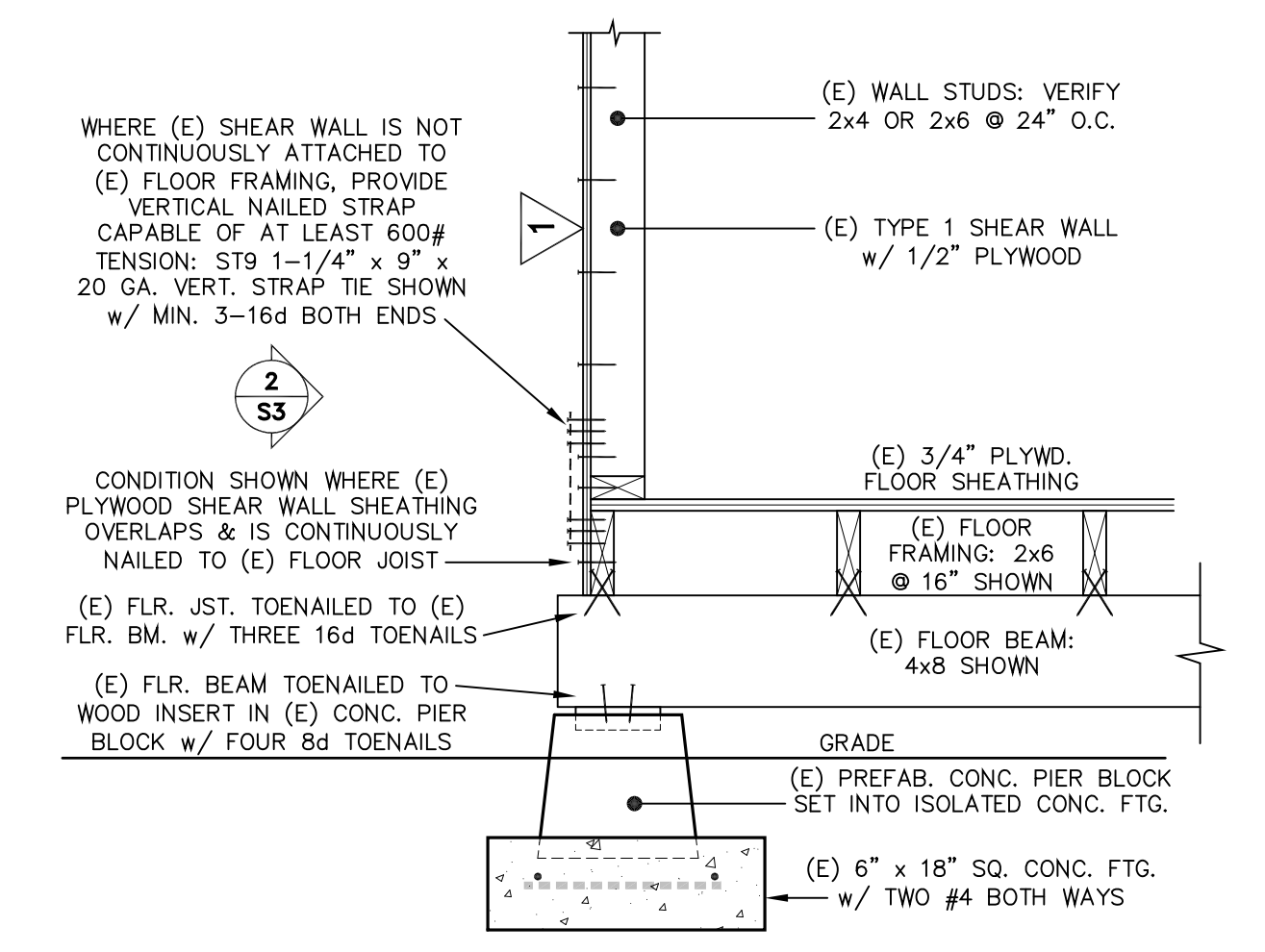
SCALE: 1" = 1'-0"



**ELEVATION: VERTICAL TENSION ANCHORAGE OF SHEAR WALL TO FLOOR JOIST OR BEAM**

2  
S3

SCALE: 1" = 1'-0"



**SECTION: VERTICAL TENSION ANCHORAGE OF SHEAR WALL**

1  
S3

SCALE: 1" = 1'-0"

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Sheet Title  
**Structural Details**

Sheet Number Of

**S3**

TITLE 24 CALCULATIONS



PRESCRIPTIVE RESIDENTIAL ALTERATIONS THAT DO NOT REQUIRE HERS FIELD VERIFICATION

CEC-CF1R-ALT-05-E

CERTIFICATE OF COMPLIANCE

This compliance document is only applicable to simple alterations that do not require HERS verification for compliance. When HERS verification is required, a CF1R-ALT-01 shall first be registered with a HERS Provider Data Registry.

Alterations to Space Conditioning Systems that are exempt from HERS verification requirements may use the CF1R-ALT-05 and CF2R-ALT-05 Compliance Documents. Possible exemptions from duct leakage testing include: less than 25 feet (ft) of ducts were added or replaced; or the existing duct system was insulated with asbestos; or the existing duct system was previously tested and passed by a HERS Rater. If space conditioning systems are altered and are not exempt from HERS verification, then a CF1R-ALT-02 must be completed and registered with a HERS Provider Data Registry.

Alterations that utilize closed cell Spray Polyurethane Foam (ccSPF) with a density of 1.5 to less than 2.5 pounds per cubic foot having an R-value greater than 5.8 per inch, or open cell Spray Polyurethane Foam (ocSPF) with a density of 0.4 to less than 1.5 pounds per cubic foot having an R-value of 3.6 per inch, shall complete and register a CF1R-ALT-01 with a HERS Provider Data Registry.

If more than one person has responsibility for installation of the items on this certificate, each person shall prepare and sign a certificate applicable to the portion of construction for which they are responsible. Alternatively, the person with chief responsibility for construction shall prepare and sign this certificate for the entire construction. All applicable Mandatory Measures shall be met. Temporary labels shall not be removed before verification by the building inspector.

Project Details

Field Name	Data Entry	Field Name	Data Entry
Project Name	La Vida Del Sur	Enforcement Agency	Monterey County
Dwelling Address	46190 Clear Ridge Rd	Permit Number	
City and Zip Code	Big Sur, CA 93920	Date Permit Issued	

CA Building Energy Efficiency Standards - 2022 Residential Compliance

January 2022



PRESCRIPTIVE RESIDENTIAL ALTERATIONS THAT DO NOT REQUIRE HERS FIELD VERIFICATION

CEC-CF1R-ALT-05-E

A. GENERAL INFORMATION

Field	Field Name	Data Entry
01	Project Name	La Vida Del Sur
02	Date Prepared	06/19/2024
03	Project Location	Big Sur, CA
04	Building Front Orientation (deg or cardinal)	75
05	CA City	Big Sur, CA
06	Number of Altered Dwelling Units	1
07	Zip Code	93920
08	Fuel Type	Propane
09	Climate Zone	3
10	Total Conditioned Floor Area (ft <sup>2</sup> )	1490
11	Building Type	Single Family
12	Slab Area (ft <sup>2</sup> )	0
13	Project Scope	Fenestration Alteration

CA Building Energy Efficiency Standards - 2022 Residential Compliance

January 2022



PRESCRIPTIVE RESIDENTIAL ALTERATIONS THAT DO NOT REQUIRE HERS FIELD VERIFICATION

CEC-CF1R-ALT-05-E

F. Fenestration/Glazing Proposed Areas and Efficiencies – Replace (Section 150.2(b)1B)

Note: Doors with greater than or equal to 25 percent glazed area are considered glazed doors and are treated as fenestration products.

Table F-1

Field	Field Name	Data Entry 1	Data Entry 2	Data Entry 3
01	Tag/ID	Master Bath South Window		
02	Fenestration Type	Operable Window		
03	Frame Type	Nonmetal		
04	Dynamic Glazing	None		
05	Orientation N, S, W, E	S		
06	Area Removed (ft <sup>2</sup> )	0		
07	Area Added (ft <sup>2</sup> )	0		
08	Net Added Area (ft <sup>2</sup> )	0		
09	Proposed U-factor	0.3		
10	Proposed U-factor Source	NFRC		
11	Proposed SHGC	0.3		
12	Proposed SHGC Source	NFRC		
13	Exterior Shading Device	None		
14	Combined SHGC from CF1R-ENV-03	n/a		

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PRESCRIPTIVE RESIDENTIAL ALTERATIONS THAT DO NOT REQUIRE HERS FIELD VERIFICATION

CEC-CF1R-ALT-05-E

Table F-2

Field	Field Name	Data Entry
15	Net Added West-facing Fenestration Area	0
16	Is Net Added Fenestration Area ≤ for west-facing fenestration?	<input type="radio"/> Yes <input checked="" type="radio"/> No
17	Net Added Fenestration Area (all orientations)	0
18	Is Net Added Fenestration Area ≤ 0 for all orientations?	<input checked="" type="radio"/> Yes <input type="radio"/> No
19	Proposed Fenestration U-factor (Windows)	0.3
20	Required Fenestration U-factor (Windows)	0.3
21	Is the proposed Fenestration U-factor ≤ the Required Fenestration U-factor?	<input checked="" type="radio"/> Yes <input type="radio"/> No
22	Proposed Fenestration SHGC (Windows)	0.3
23	Required Fenestration SHGC (Windows)	no requirement
24	Is the Proposed Fenestration SHGC ≤ the Required Fenestration SHGC?	<input checked="" type="radio"/> Yes <input type="radio"/> No
25	Proposed Fenestration U-factor (Skylights)	n/a
26	Required Fenestration U-factor (Skylights)	n/a
27	Is the proposed Fenestration U-factor ≤ the Required Fenestration U-factor?	<input type="radio"/> Yes <input type="radio"/> No
28	Proposed Fenestration SHGC (Skylights)	n/a
29	Required Fenestration SHGC (Skylights)	n/a
30	Is the Proposed Fenestration SHGC ≤ the Required Fenestration SHGC?	<input type="radio"/> Yes <input type="radio"/> No

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PRESCRIPTIVE RESIDENTIAL ALTERATIONS THAT DO NOT REQUIRE HERS FIELD VERIFICATION

CEC-CF1R-ALT-05-E

Documentation Author's Declaration Statement

1. I certify that this Certificate of Compliance documentation is accurate and complete.	
Documentation Author Name: Matt Reistetter	Documentation Author Signature: 
Company: Seachange Engineering Inc	Signature Date: 06/19/2024
Address: 659 Abrego St. Suite#2 Monterey, CA 93940	CEA/ HERS Certification Identification (if applicable):
City/State/Zip: Monterey, CA 93940	Phone: 831-601-4456

Responsible Person's Declaration Statement

- I certify the following under penalty of perjury, under the laws of the State of California:
- The information provided on this Certificate of Compliance is true and correct.
  - I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).
  - The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
  - The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
  - I understand that a registered copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections.

I understand that a registered copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Designer Name: Reed Silas Cripe	Responsible Designer Signature: 
Company:	Date Signed:
Address: 46190 Clear Ridge Rd City/State/Zip: Big Sur, CA 93920	License: Phone:

For assistance or questions regarding the Energy Standards, contact the Energy Hotline at: 1-800-772-3300

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January 2022



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ENGINEERING, INC.  
PO BOX 1682  
MONTEREY, CA 93942

LA VIDA DEL SUR  
46190 Clear Ridge Rd  
Big Sur, CA 93920

6/19/2024 TITLE 24

SHEET NAME:  
TITLE 24 CALCS

SHEET NO.:

T1