## Exhibit A



#### DRAFT RESOLUTION

# Before the Housing and Community Development Chief of Planning in and for the County of Monterey, State of California

In the matter of the application of:

CRIPE REED SILAS & BRIGGA (C P) - (PLN190397-EXT1)

RESOLUTION NO. 24-\_\_\_

Resolution by the County of Monterey HCD Chief of Planning:

- 1. Finding the project is an Extension of a permit which was granted with a Class 3 categorical exemption from CEQA; circumstances and conditions of Project have not changed and therefore subsequent environmental review is not required;
- 2. Approving a 2-year Permit Extension to a previously approved Combined Development Permit to clear a Code Enforcement violation 14CE00085 allowing:
  - a) After-the-fact 1,490 square foot single family dwelling and 390 square foot art studio;
  - b) After-the-fact development on slopes over 30 percent.

PLN190397-EXT1 CRIPE REED SILAS & BRIGGA (C P), 46190 Clear Ridge Road, Big Sur, Big Sur Land Use Plan, Coastal Zone (Assessor's Parcel Number 419-221-007-000)]

The CRIPE REED SILAS & BRIGGA (C P) application (PLN190397-EXT1) for extension came on for a public hearing before the County of Monterey HCD Chief of Planning on November 6, 2024. Having considered all the written and documentary evidence, the Chief of Planning finds and decides as follows:

#### **RECITALS**

WHEREAS, on July 14, 2022, PLN190397, a Combined Development Permit, was approved by the Zoning Administrator through Resolution No. 22-025; it is incorporated by reference. As approved, the project consists of 1) after-the-fact Coastal Administrative Permit and Design Approval to approve a 1,490 square foot single family dwelling and 390 square foot art studio; and 2) after-the-fact Coastal Development Permit to allow development on slopes over 30 percent. In accordance with the resolution, this entitlement was set to expire on July 25, 2024;

WHEREAS, pursuant to Monterey County Code (MCC) section 20.82.110 the applicant submitted a written request from the permittee, provided such request is made at least thirty (30) days prior to the expiration of the Combined Development Permit. The written request was filed by Belinda Taluban, agent, with the Appropriate Authority, HCD-Director, and set forth reasons supporting the request (technical delays in construction permit plan preparation);

WHERERAS, this extension does not include any change to the approved project scope; therefore, there is not change to the findings of site suitability and health life and safety;

**WHEREAS**, Monterey County HCD-Planning and HCD-Building Services records were reviewed, and the County is aware of a violation existing on subject property and the permit issued (Resolution No. 22-025) was done so to resolve the violation. The violation shall be resolved in part with the granting of this extension;

**WHEREAS**, the original planning permit (PLN190397) is and will continue to be the operating permit for condition compliance;

WHEREAS, the project was deemed categorically exempt from environmental review per California Environmental Quality Act (CEQA) Section 15303 at the time of approval and there were no exceptions pursuant to Section 15300.2. CEQA Guidelines Sections 15303(a) and 15303(e) categorically exempt construction of the first single family residence and accessory structures on a residential lot. Therefore, the Zoning Administrator found the project consistent with CEQA Guidelines Section 15303(a) and 15303(e) and none of the exceptions under CEQA Guidelines Section 15300.2 applied to this project. No new adverse environmental effects were identified during staff review of the application for permit extension, therefore no new environmental review is required;

WHEREAS, pursuant to MCC Section 20.86.070, the Board of Supervisors shall consider appeals from the discretionary decisions of the HCD Chief of Planning. The decision on this project is also appealable to the California Coastal Commission pursuant to MCC Section 20.86.080 (a)(1) & (a)(3).

## **DECISION**

**NOW, THEREFORE BE IT RESOLVED**, based on the above recitals, the County of Monterey HCD-Chief of Planning does hereby:

- 1. Finding the project is an Extension of a permit which was granted with a Class 3 categorical exemption from CEQA circumstances and conditions of Project have not changed and therefore subsequent environmental review is not required;
- 2. Approving a 2-year Permit Extension to a previously approved Combined Development Permit to clear a Code Enforcement violation 14CE00085 allowing:
  - a) After-the-fact 1,490 square foot single family dwelling and 390 square foot art studio;
  - b) After-the-fact development on slopes over 30 percent.

PASSED AND ADOPTED this 6 day of November 2024:

	Melanie Beretti, AICP
	HCD, Chief of Planning
COPY OF THIS DECISION MAILED TO APPLI	ICANT ON
THIS ADMINISTRATIVE DECISION IS APPEA	ALABLE TO THE BOARD OF SUPERVISORS.
IF ANYONE WISHES TO APPEAL THIS DECIS	SION, AN APPEAL FORM MUST BE COMPLETED
AND SUBMITTED TO THE CLERK OF THE BO	OARD ALONG WITH THE APPROPRIATE FILING
FEE ON OR BEFORE	
THIS PROJECT IS LOCATED IN THE COASTA	AL ZONE AND IS APPEALABLE TO THE COASTAL
COLO MCCIONI IDONI DECEIDE OF MOTIFICA	TION OF THE PRIAL LOCAL ACTION NOTICE

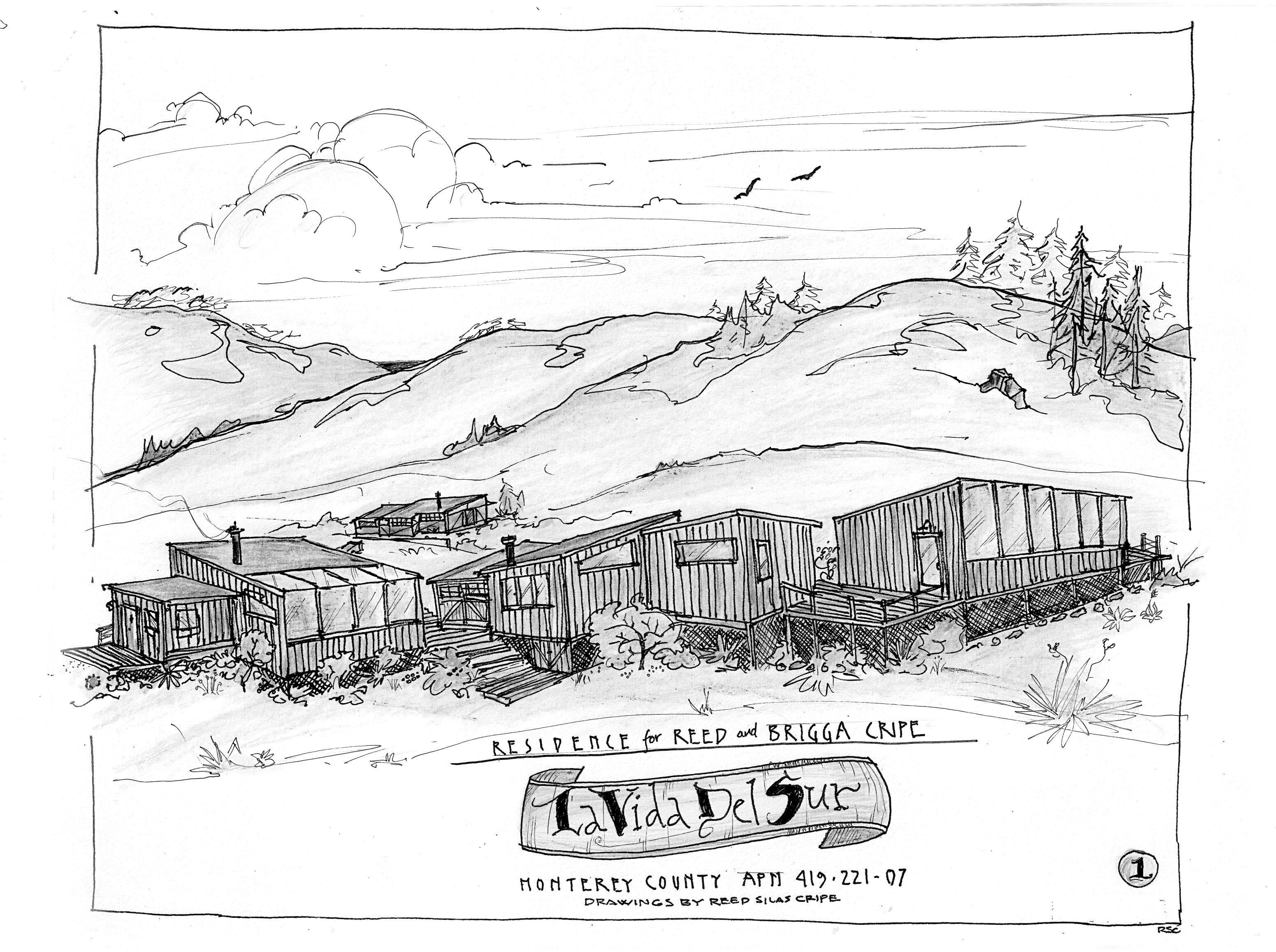
THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

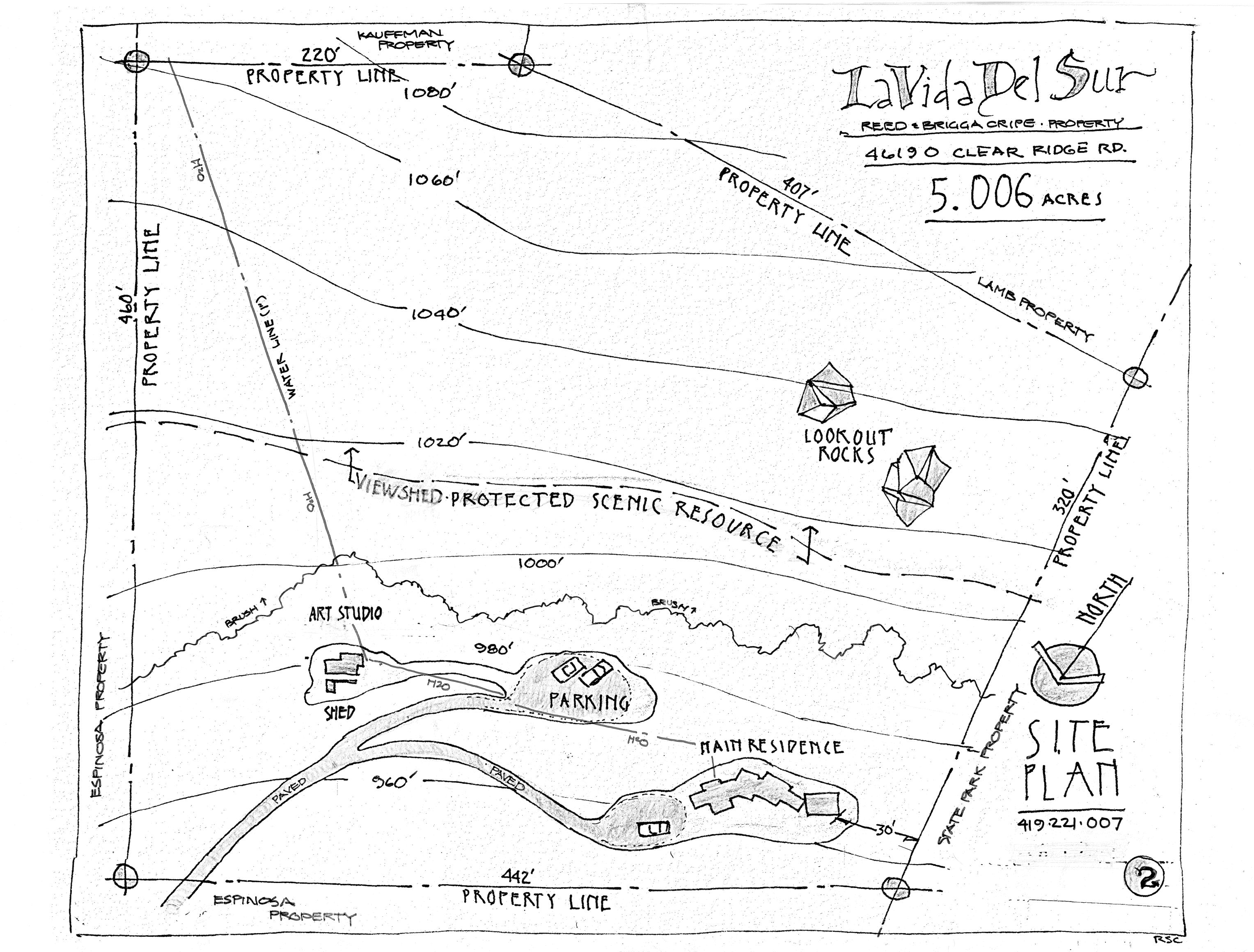
This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

### NOTES

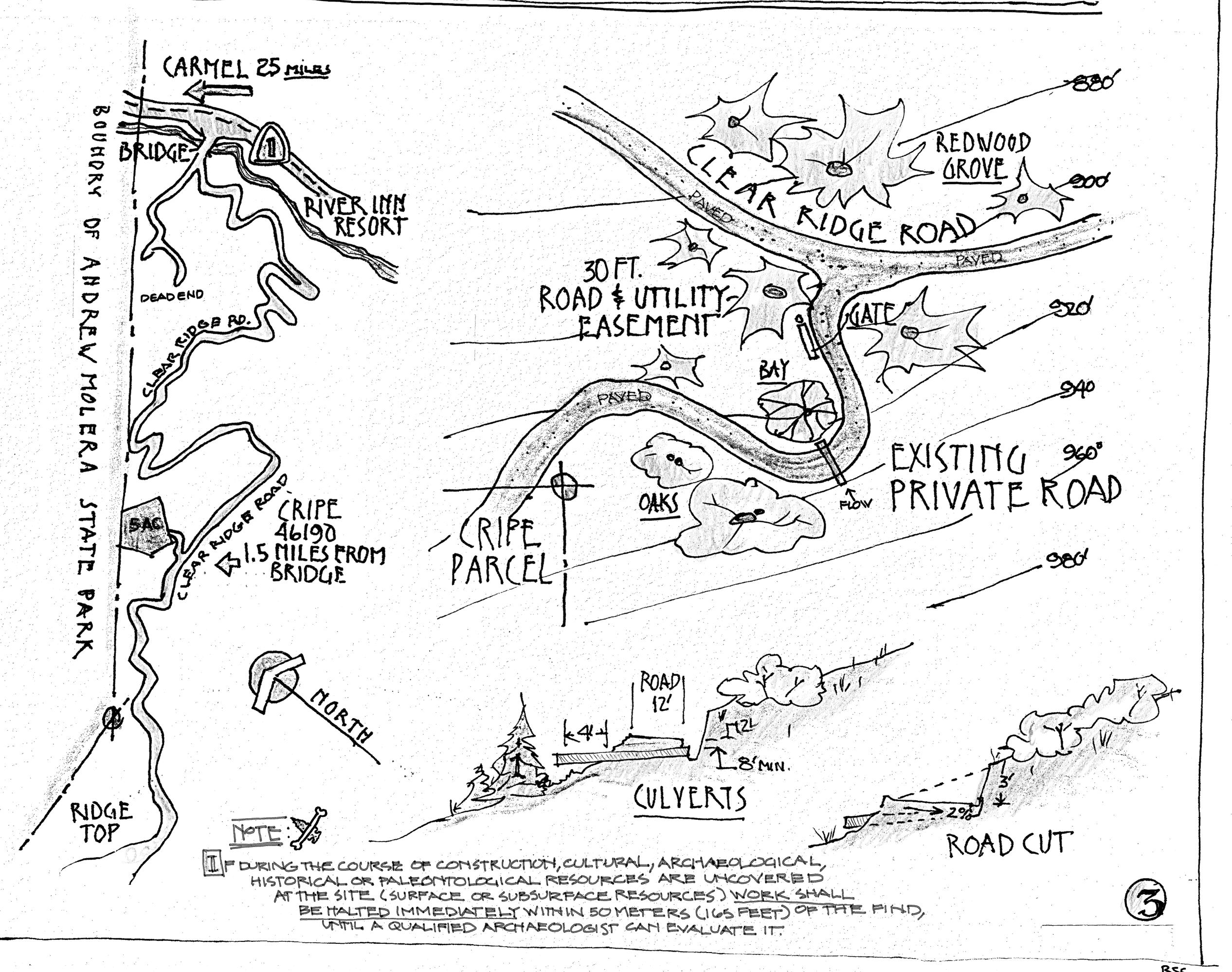
- 1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.
- 2. Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or

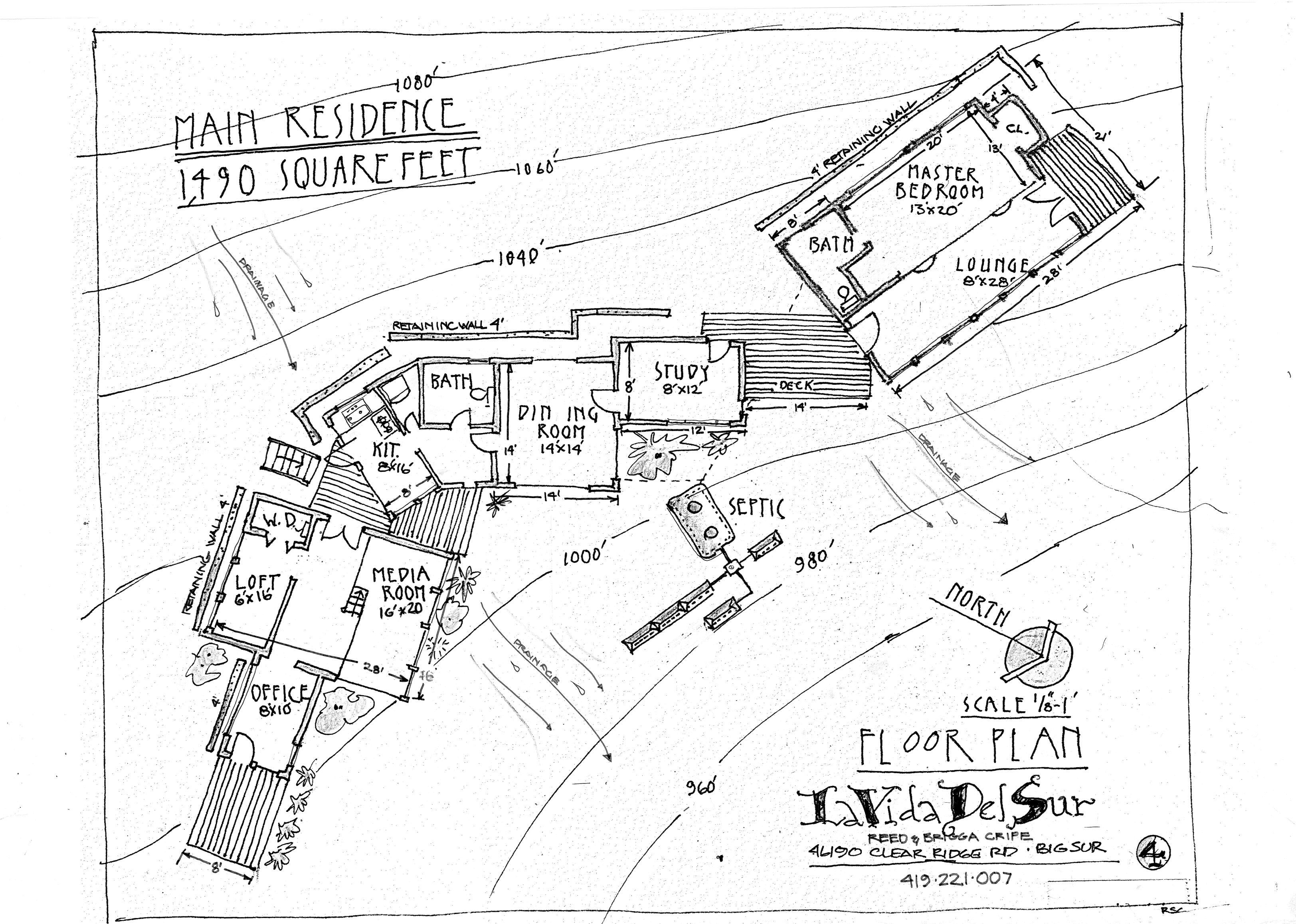
- until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.
- 3. Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

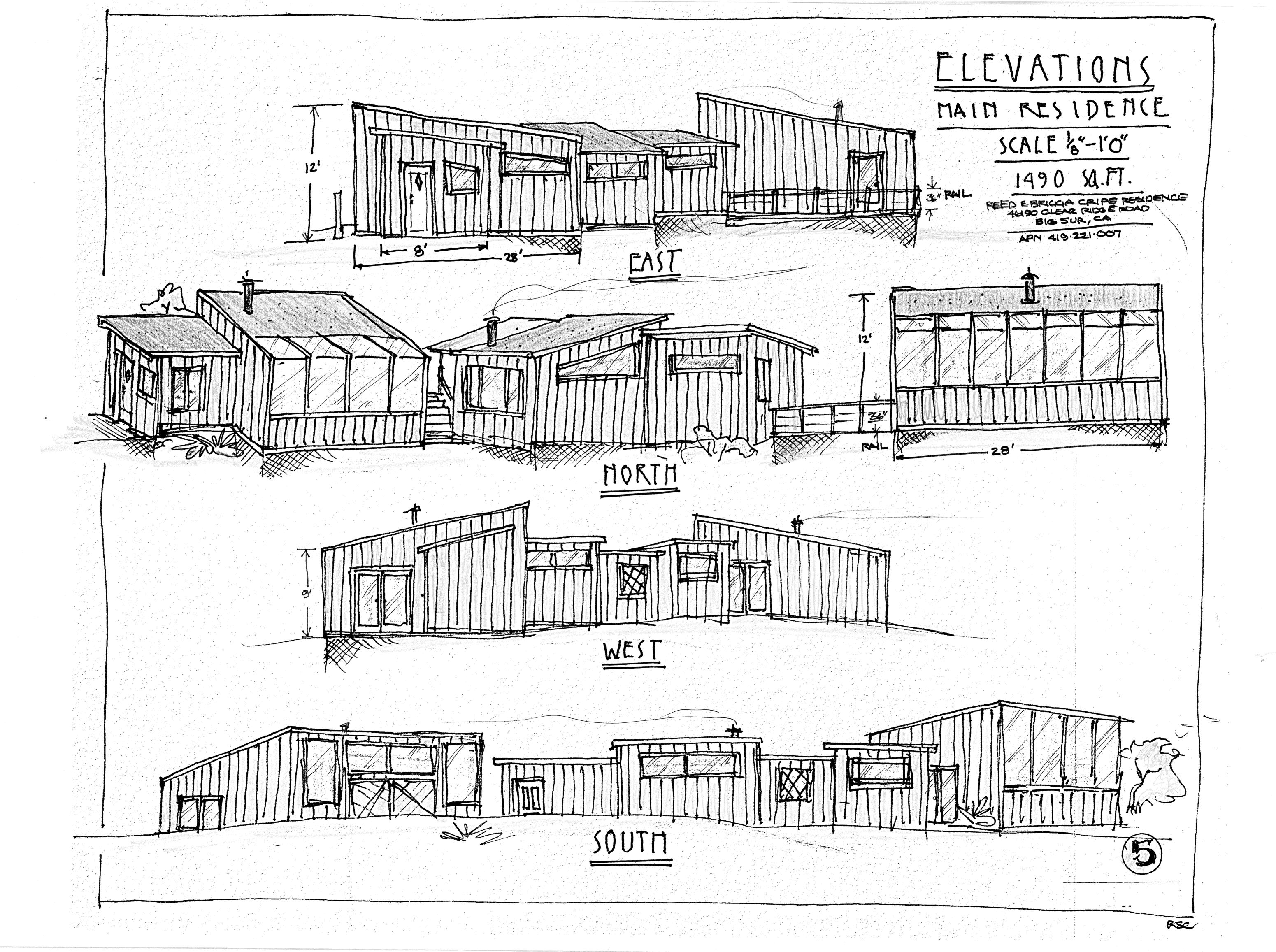


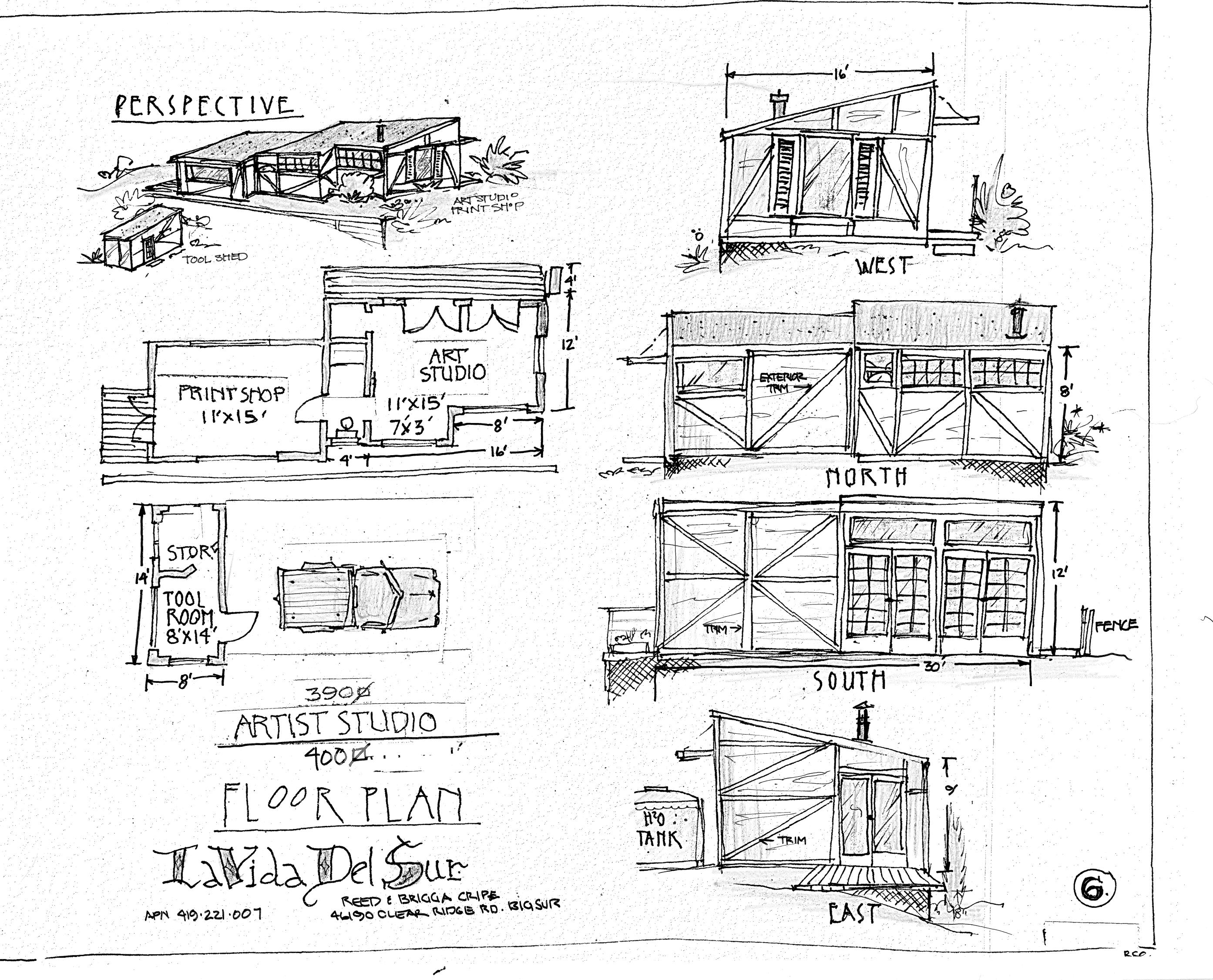


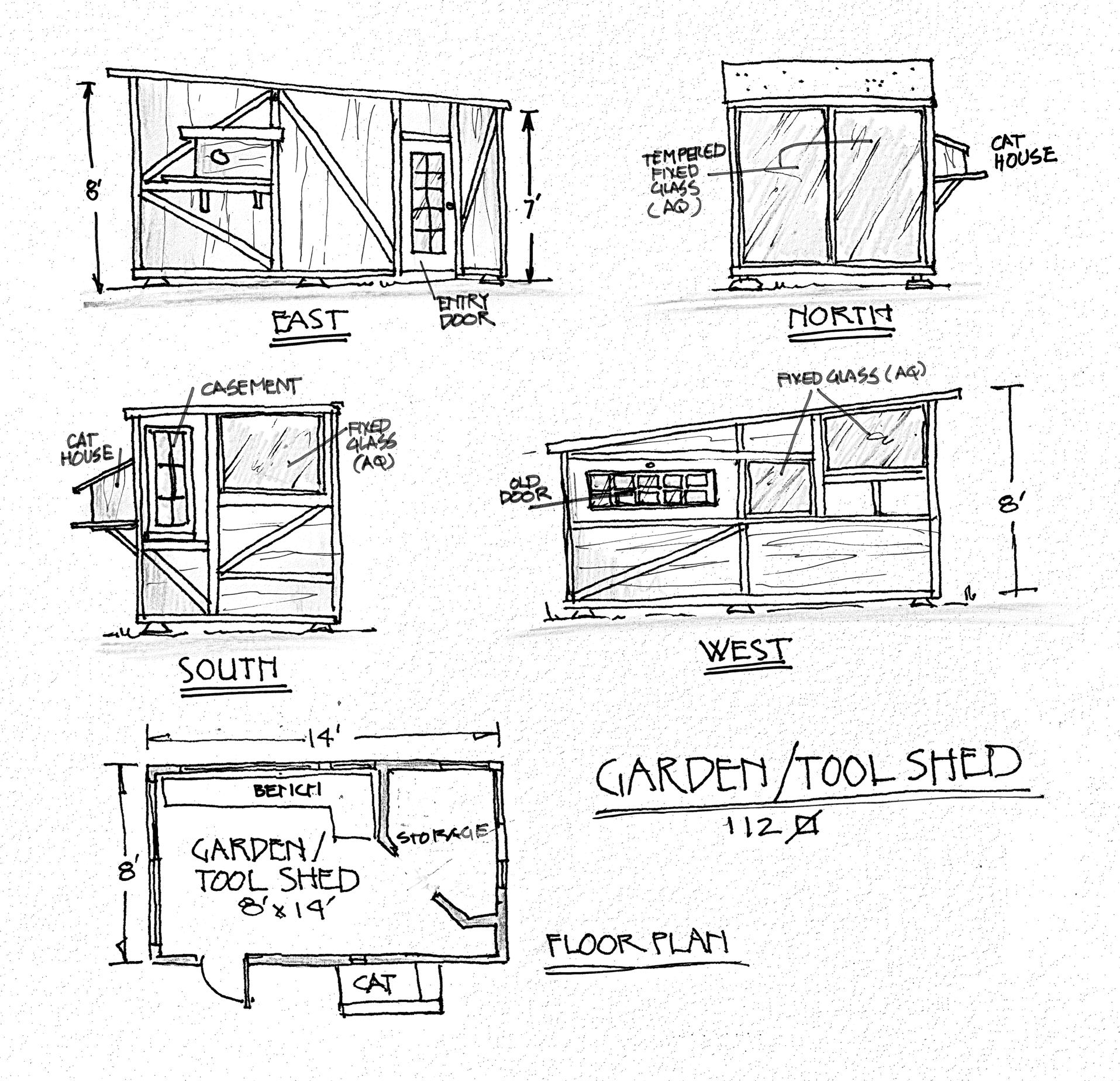
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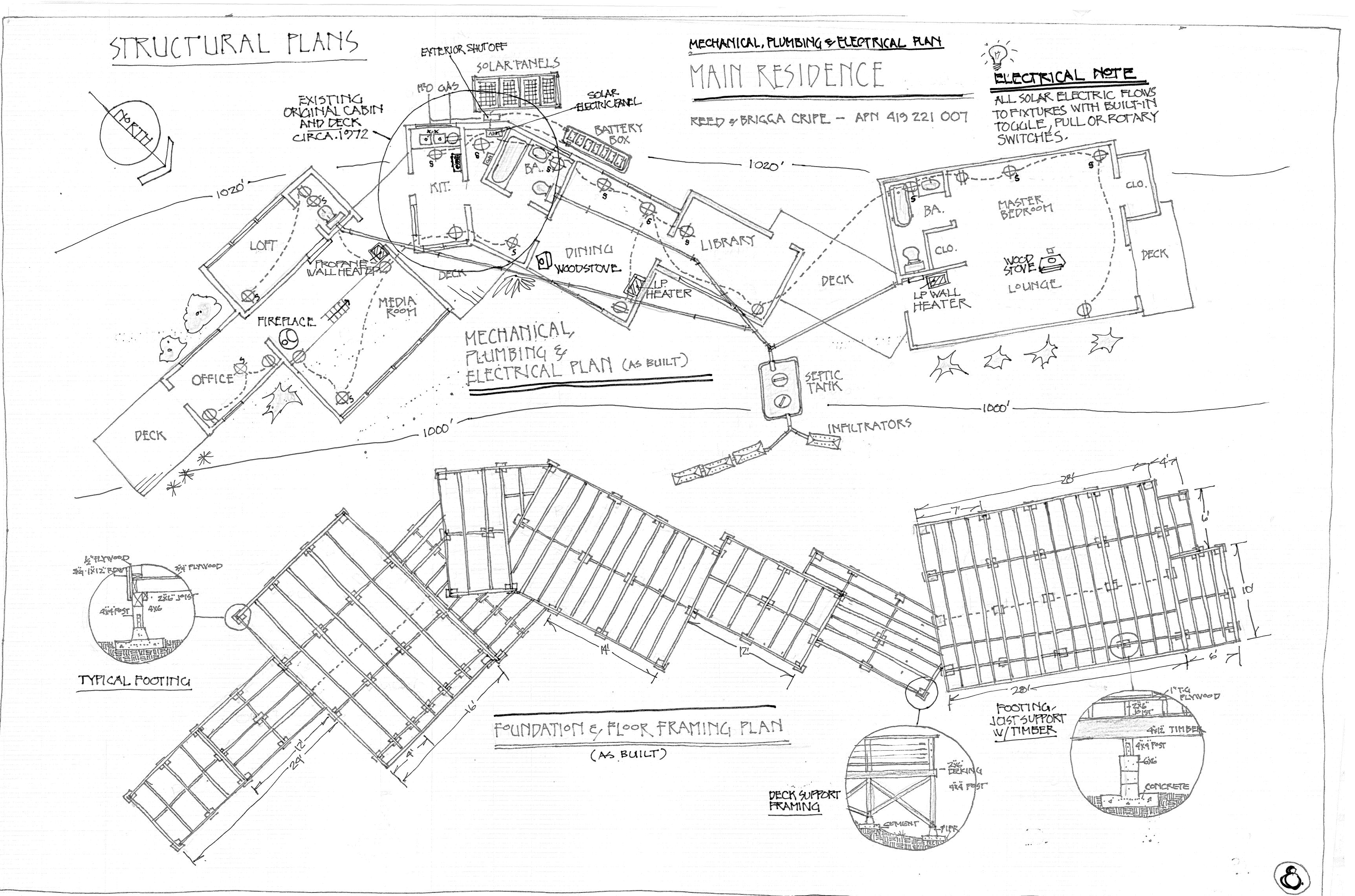


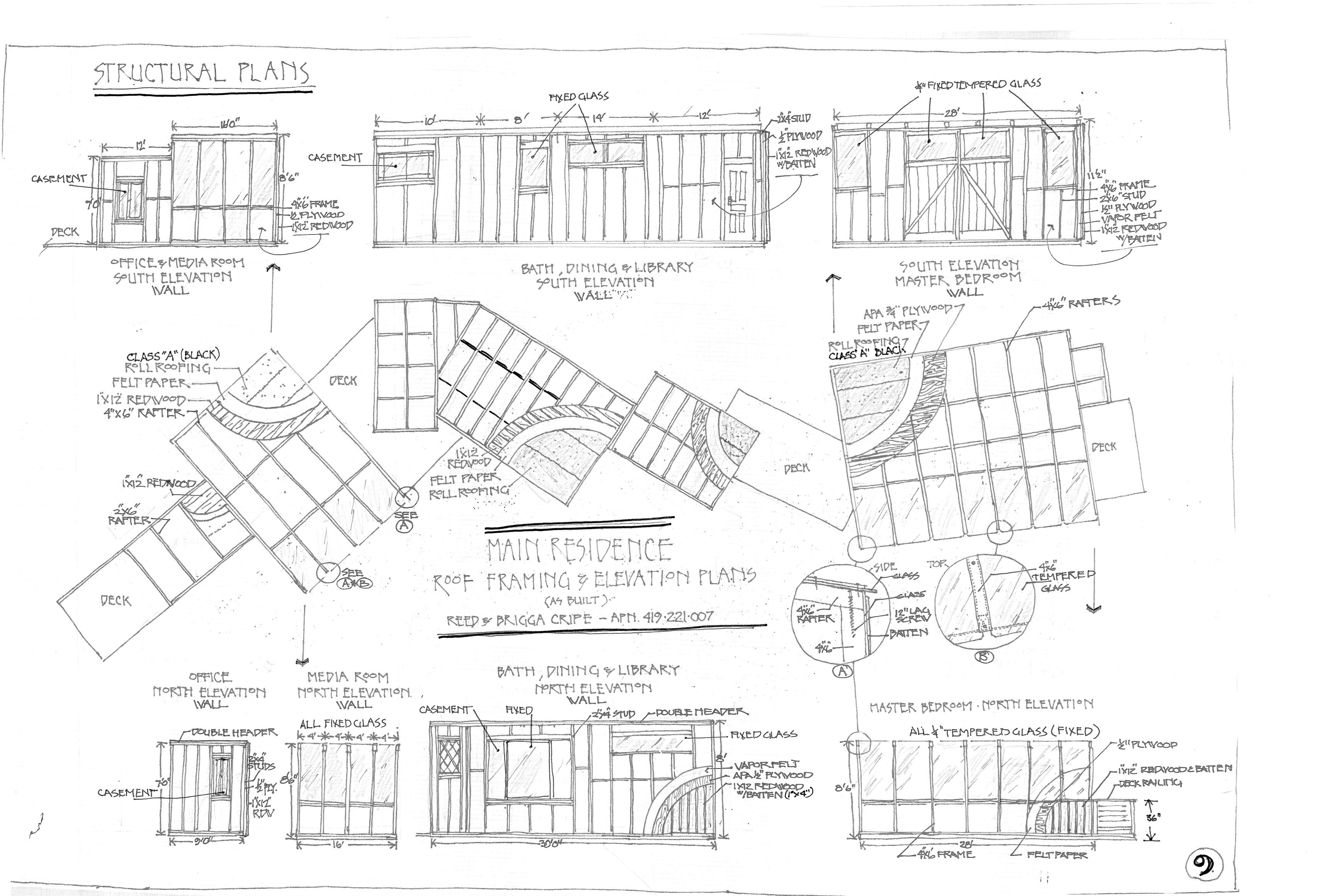


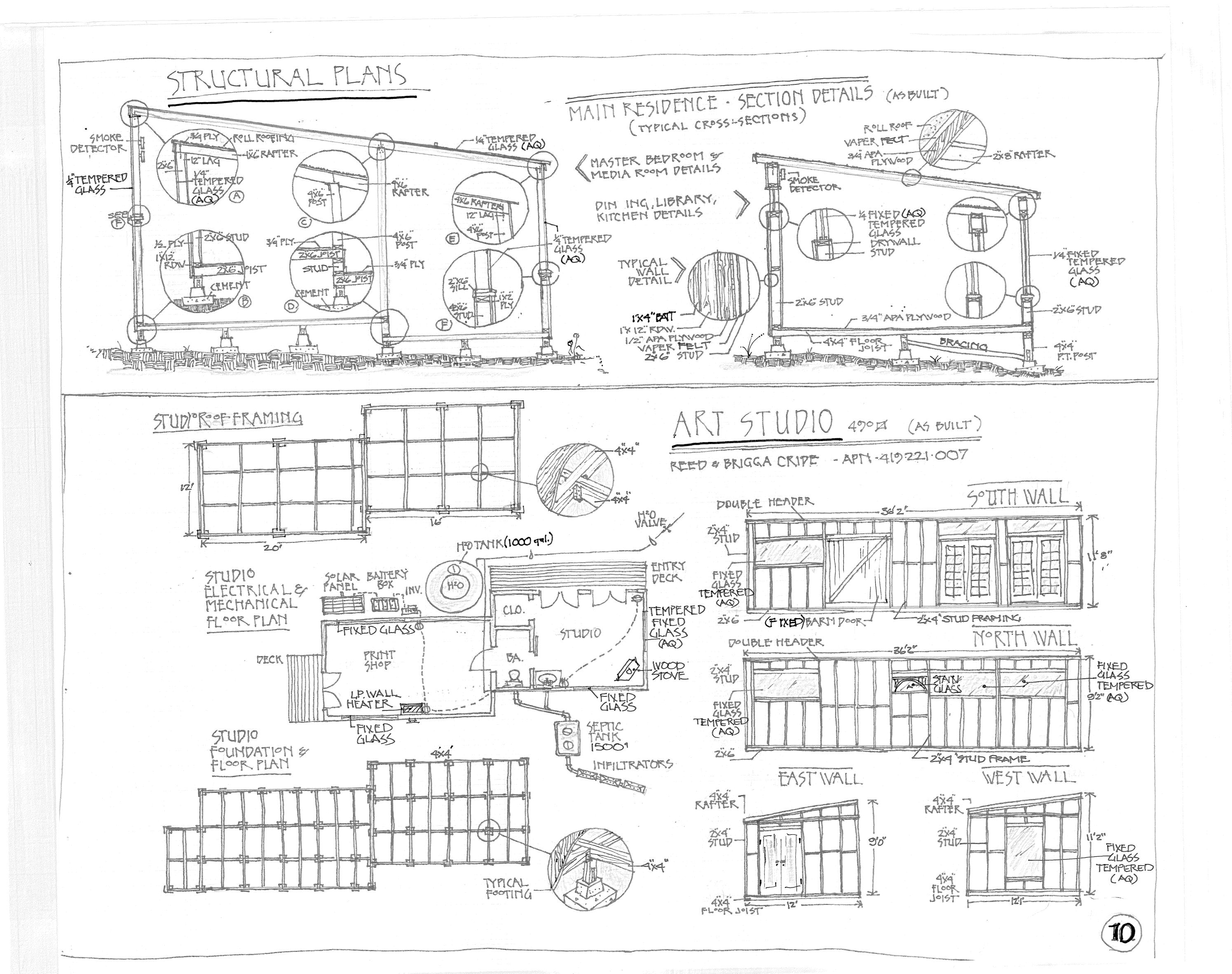


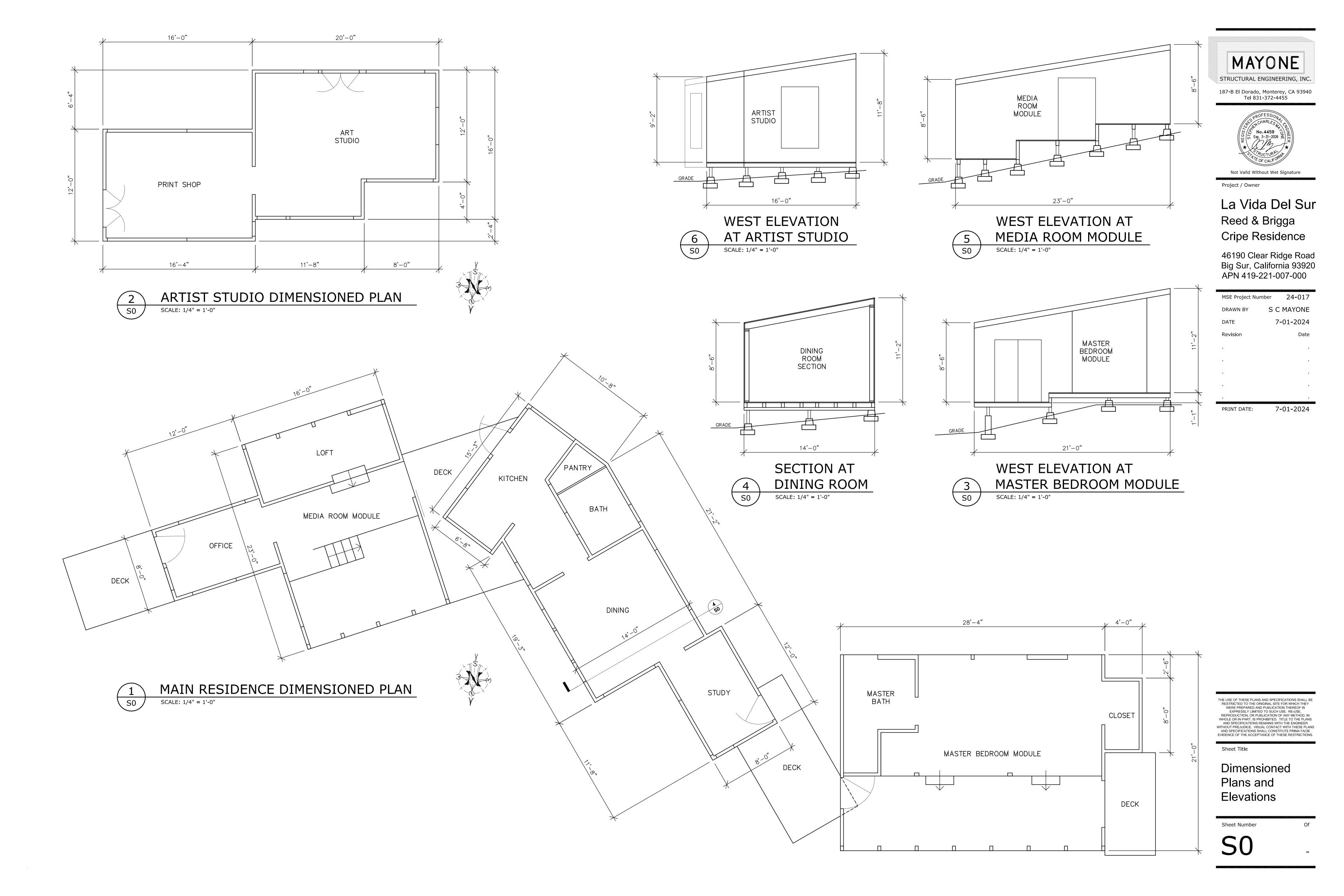


RSC













187-B El Dorado, Monterey, CA 93940 Tel 831-372-4455



Project / Owner

# La Vida Del Sur Reed & Brigga Cripe Residence

46190 Clear Ridge Road Big Sur, California 93920 APN 419-221-007-000

MSE Project Num	ber 24 <b>-</b> 017
DRAWN BY	S C MAYONE
DATE	7-01-2024
Revision	Date
<u> </u>	
PRINT DATE:	7-01-2024

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. RE-USE, REPRODUCTION, OR PUBLICATION OF ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ENGINEER WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

Sheet Title

Structural Plans: Framing, Shear & Foundation

Sheet Number

## GENERAL STRUCTURAL ENGINEERING NOTES & SPECIFICATIONS

1. ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2021 EDITION OF THE CALIFORNIA BUILDING CODE (CBC). INCLUDING LATEST SUPPLEMENTS AND ERRATA, AND ANY LOCAL CODE REQUIREMENTS. ALL DETAILS, SECTIONS AND NOTES SHOWN ON DRAWINGS ARE INTENDED TO BE TYPICAL AND APPLY TO SIMILAR SITUATIONS ELSEWHERE. UNLESS OTHERWISE NOTED.

2. CHECK ALL DIMENSIONS IN RELATION TO SITE CONDITIONS BEFORE STARTING WORK. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESOLVED BEFORE PROCEEDING WITH THE WORK. SEE ARCHITECTURAL, MECHANICAL & ELECTRICAL DRAWINGS FOR DUCTS PIPES AND CONDUITS. DURING CONSTRUCTION PHASE THE CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF BUILDING AND PERSONNEL. PROVIDE ADEQUATE SHORING, BRACING IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL SAFETY ORDINANCES.

3. FOUNDATION DESIGN IS BASED ON A SOILS REPORT BY GRICE ENGINEERING, THEIR FILE NO. 7365-21.03 DATED JUNE 26, 2024. ALLOWABLE SOILS BEARING PRESSURE FOR ISOLATED OR CONTINUOUS FOOTINGS IS Fb = 1.500 PSF. USE SITE CLASS D FOR SEISMIC DESIGN CALCULATIONS. FOUNDATION IS ISOLATED FOOTINGS EMBEDDED MIN. 12" INTO FIRM, UNDISTURBED NATIVE SOIL. ALLOWABLE BEARING PRESSURE MAY BE INCREASED BY ONE-THIRD FOR SEISMIC OR WIND LOADS. ALL FOUNDATION EXCAVATIONS SHALL BE OBSERVED BY THE ENGINEER-OF-RECORD PRIOR TO THE PLACEMENT OF REINFORCING STEEL OR CONCRETE AND PRIOR TO REQUESTING A BUILDING DEPARTMENT FOUNDATION INSPECTION.

4. FORMWORK FOR CAST IN PLACE CONCRETE SHALL UTILIZE SOUND, UNDAMAGED LUMBER OR D.F. PLYWOOD. FORM RELEASE AGENT SHALL BE COLORLESS & NON-STAINING TO CONCRETE OR INTENDED COATINGS: APPLY PRIOR TO PLACING REINFORCING STEEL. KEEP UNTREATED FORM SURFACES WET PRIOR TO PLACING CONCRETE.

5. REINFORCING STEEL ASTM A-615 DEFORMED, UNCOATED GRADE 40. TIE WIRE: 16GA ANNEALED. ALL BARS AND REINFORCING SHALL BE SPLICED IN ACCORDANCE WITH CHAPTER 19 OF THE CBC. ALL STEEL SHALL BE RIGIDLY HELD IN PLACE WITH APPROVED METAL DEVICES PRIOR TO POURING CONCRETE. HOOKS, BENDS, FABRICATION AND PLACING SHALL BE IN ACCORDANCE WITH THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCING CONCRETE STRUCTURES," ACI. NO. 315. ALL REINFORCING STEEL BE OBSERVED BY THE STRUCTURAL ENGINEER PRIOR TO THE PLACEMENT OF CONCRETE AND PRIOR TO REQUESTING A BUILDING DEPARTMENT FOUNDATION INSPECTION.

6. CONCRETE SHALL DEVELOP A 28-DAY MIN. ULTIMATE COMPRESSIVE STRENGTH OF 2,500 PSI. ALL CEMENT SHALL COMPLY WITH ASTM C-150, TYPE II CEMENT.

CONCRETE COVERAGE (FACE OF BAR TO FACE OF CONCRETE) SHALL BE AS FOLLOWS:

3" MIN. CONCRETE SURFACE AGAINST FARTH 2" MIN. CONCRETE WHEN POURED AGAINST FORMS ALL OTHERS . SEE DETAILS

## 7. CARPENTRY AND TIMBER:

- A. STRUCTURAL LUMBER GRADING SHALL BE WCLB STANDARD GRADING RULES FOR WEST COAST LUMBER #17. PLYWOOD SHALL CONFORM
- TO U.S. CURRENT PRODUCT STANDARD PS-1. B. EXCEPT WHERE NOTED OTHERWISE, BEAMS, HEADERS, POSTS AND TOP PLATES SHALL BE DOUGLAS FIR #1. RAFTERS, JOISTS, STUDS, SILLS AND BLOCKING SHALL BE D.F. #2 OR BETTER (S4S).
- C. WOOD SILLS RESTING ON CONCRETE SLAB OR FOUNDATIONS SHALL BE DOUGLAS FIR PRESSURE TREATED FOR GROUND CONTACT. FASTENERS IN TREATED WOOD SHALL BE APPROVED SILICON BRONZE, COPPER, STAINLESS STEEL OR HOT-DIPPED ZINC-COATED STEEL. THE COATING WEIGHTS FOR ZINC-COATED FASTENERS SHALL BE IN ACCORDANCE WITH ASTM A 153. ANCHOR BOLTS SHALL BE ATTACHED TO OR

HOOKED AROUND REINFORCING STEEL. D. BOLTS IN WOOD SHALL CONFORM TO ASTM A-307. BOLT HOLES SHALL BE DRILLED 1/16" OVERSIZE OF BOLT. USE STANDARD WASHER ON ALL BEARING OF HEADS AND NUTS AGAINST WOOD, U.O.N. BOLTS, NUTS AND WASHERS SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL WHERE EXPOSED TO WEATHER. BOLTS WITH UPSET THREADS ARE NOT ALLOWED

E. BOLT TIGHTENING: ALL NUTS SHALL BE TIGHTENED WHEN PLACED AND RETIGHTENED AT COMPLETION OF PROJECT, OR IMMEDIATELY BEFORE FINISHING OF CONSTRUCTION WHICH WILL MAKE THEM INACCESSIBLE

F. CUTTING, NOTCHING AND DRILLING JOISTS AND BEAMS FOR PIPES SHALL BE LIMITED TO CUTS AND BORED HOLES NOT DEEPER THAN ONE-FIFTH THE JOIST DEPTH FROM THE TOP AND LOCATED NOT FURTHER FROM THE END THAN THREE TIMES THE JOIST DEPTH UNLESS FULLY

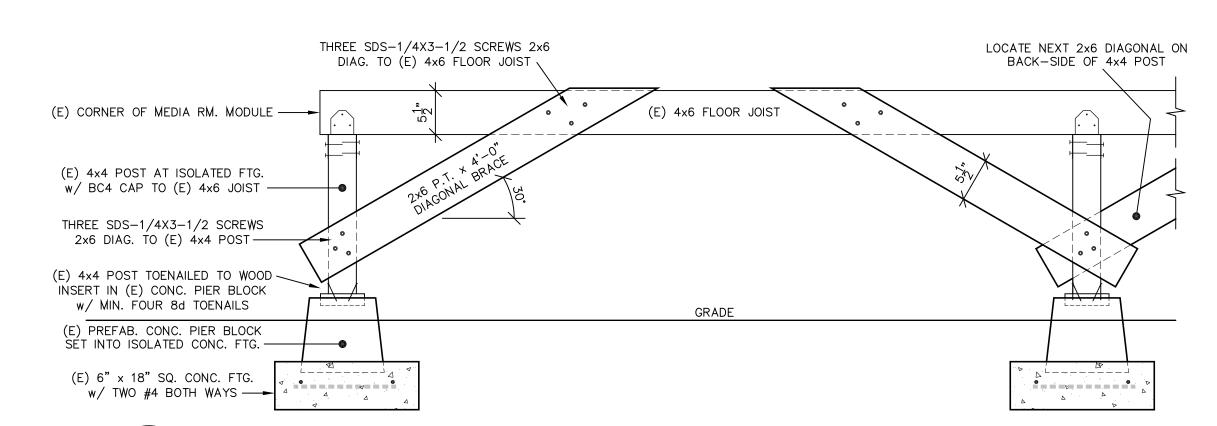
G. WOOD FRAMING EMBEDDED IN OR ADJACENT TO CONCRETE OR MASONRY WALLS SHALL BE TREATED WITH AN APPROVED PRESERVATIVE. LUMBER EXPOSED TO WEATHER SHALL BE PRESSURE TREATED FOR ABOVE GROUND USE, ACCORDING TO AWPA C-2; OR NATURALLY RESISTIVE SUCH AS REDWOOD.

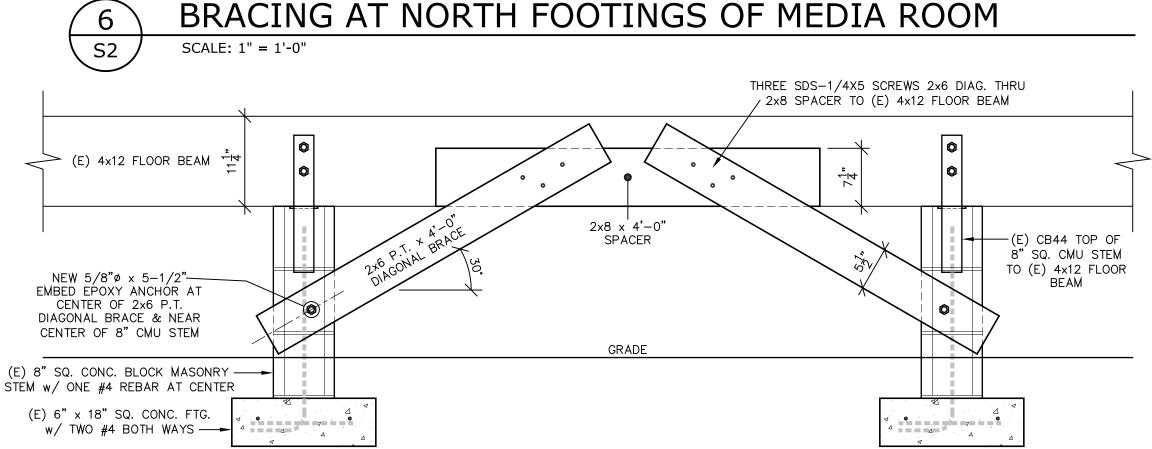
H. FRAMING HARDWARE SHALL BE AS MANUFACTURED BY SIMPSON COMPANY OR EQUIVALENT. NOTATIONS ON THE DRAWINGS REFER TO ITEMS SHOWN IN THEIR CURRENT CATALOG. ITEMS SHALL BE INSTALLED WITH THE FASTENERS SPECIFIED IN THE CATALOG. IF OTHER BRANDS ARE USED, THEY MUST BE EQUIVALENT IN ALL STRUCTURAL ASPECTS.

I. NAILING: ALL NAILS SHALL BE COMMON WIRE NAILS, U.O.N. OR SHOWN. WHERE THERE IS A DANGER OF SPLITTING, NAIL HOLES SHALL FIRST BE SUBDRILLED. GALVANIZED NAILS SHALL BE USED FOR ALL DETAILS THAT ARE EXPOSED ON THE EXTERIOR OF THE FINISHED STRUCTURE. FOR NAILING SCHEDULE, SEE TABLE No. 2304.9.1 OF THE CBC.

J. DOUBLE TOP PLATES SHALL HAVE A MINIMUM LAP OF 4 FT. AT SPLICES AND BE NAILED WITH NO LESS THAN 10 - 16d NAILS, U.O.N. ALL CUTS IN PLATES SHALL OCCUR OVER BEARINGS.

8. STRUCTURAL ENGINEER OF RECORD SHALL PROVIDE STRUCTURAL OBSERVATION AND PERIODIC REPORTS FOR: FOUNDATION EXCAVATION AND REINFORCEMENT; FRAMING AND STRUCTURAL FRAMING HARDWARE; AND ALL STRUCTURAL SHEATHING INSTALLATION AND NAILING.







BRACING AT NORTH FOOTINGS OF MASTER BEDROOM

## SCALE: 1" = 1'-0"

#### SHEATHING SCHEDULE SHEATHING NAILING 2 MARK OR SHEATHING FRM'G REMARKS SHEAR #/FT. PLATE DESCRIPTION (MINIMUM) NCHOR BOLT CLIPS NAILING 3/4" CDX 240 PLYWD. ROOF 48/24 SPAN 8d @ 12" O.C. N . A . 8d @ 6" O.C. UNBLOCKED SHEATHING RATED GLUED 1X REDWOOD 1x12 REDWOOD Ν.Α. Ν.Α 8d @ 12" O.C. 300 8d @ 6" O.C. UNBLOCKED PLANKS SHEATHING 3/4" CDX 240 N . A . Ν.Α 48/24 SPAN 8d @ 12" O.C. UNBLOCKED 8d @ 6" O.C. SHEATHING RATED GLUED EXISTING WALLS: 1/2" GYPSUM 5d COOLER | 5d COOLER BLOCKING NOT 100 Ν.Α. WALL BOARD @ 7" O.C. REQUIRED 2X SILL: BLOCK ALL 16d @ 3 d @ 6" O.C. 8d @ 12" O.C. 260 JOINTS; TYP. ALL EXTER. WALLS

- MINIMUM SPECIFICATION AS INDICATED UNLESS OTHERWISE SPECIFIED; ALL SHEATHING SHALL BE APA-RATED PLYWOOD OR O.S.B.
- 2021 CBC TABLE 2306.2.1 STAPLE ANALOG TO 2006 IBC TABLE 2306.3.1 CASE 1 ONLY: ALLOWABLE DIAPHRAGM SHEAR IN #/FT 2021 CBC TABLE 2306.2.2 STAPLE ANALOG TO 2006 IBC TABLE 2306.3.2: HIGH LOAD DIAPHRAGMS; SHEAR IN #/FT 2021 CBC TABLE 2306.3.1 STAPLE ANALOG TO 2006 IBC TABLE 2306.4.1: ALLOW, SHEAR IN #/FT FOR WOOD STRUCT, PANELS 2021 CBC TABLE 2306.3.3: ALLOWABLE SHEAR IN #/FT FOR WALLS OF LATH AND PLASTER OR GYPSUM BOARD 2019 CA HISTORICAL BUILDING CODE ALLOW. SHEAR FOR ROOF W/ STRAIGHT SHTG. & ROOFING APPLIED DIRECTLY TO SHTG.

STAGGERED

NON-SHEAR WALL INTERSECTIONS

"TYPICAL EDGE NAILING" (T.E.N.) PER SHEATHING SCHEDULÈ -

16d "SILL NAILING" PER SHEATHING SCHEDULE: STAGGER WHERE POSSIBLE -

SHEAR WALL INTERSECTIONS

−16d "SILL NAILING" PER-SHEATHING SCHEDULE

YPICAL EDGE NAILING" (T.E.N. PER SHEATHING SCHEDULE

SCALE: 1" = 1'-0"

SCALE: 1" = 1'-0"

SPLICE & STUD

SECTING (NON-SHEAR) WALI

WALL INTERSECTIONS

STAGGER SPLICE OF TOP PLATE 4'-0" MIN.

MIN. 12-16d STAGGERED EACH

2 - EXTRA 16d NAILS AT EACH END - TYPICAL

2x STUDS @ 16" O.C. - TYPICAL

MIN. TOP PLATE SPLICE

LAP UNLESS OTHERWISE NOTED.

© SPLICE & STUD ~

3 SHEATHING JOINT AND SILL OR PLATE NAILING SHALL BE STAGGERED IN ALL CASES.

## STRUCTURAL TESTS & INSPECTIONS SCHEDULE

THE FOLLOWING ITEMS SHALL BE INSPECTED. "SPECIAL INSPECTION" SHALL CONFORM TO 2021 CBC. SPECIAL INSPECTION AGENCIES AND/OR INDIVIDUALS SHALL BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO ANY WORK. FOR MATERIAL TESTING REQUIREMENTS, SEE SPECIFICATIONS AND/OR GENERAL NOTES. TESTING AGENCY SHALL SEND COPIES OF ALL STRUCTURAL TESTING AND INSPECTION REPORTS DIRECTLY TO THE ENGINEER.

ITEM	REQUIRED	REMARKS
SOIL DENSITY	Χ	APPROVAL BY G.E.O.R. REQUIRED
GRADING AND EXCAVATIONS	X	INSPECT BEFORE CONCRETE IS POURED
REINFORCEMENT PLACEMENT	X	STRUCT. ENGR. TO INSPECT FINAL PLACEMENT
ANCHOR BOLTS, INSERTS	X	STRUCT. ENGR. TO INSPECT FINAL PLACEMENT
CONCRETE PLACEMENT — CAST IN PLACE		CONTINUOUS
CONCRETE BATCH PLANT INSPECTION	X	CONCRETE MIX DESIGN



187-B El Dorado, Monterey, CA 93940 Tel 831-372-4455

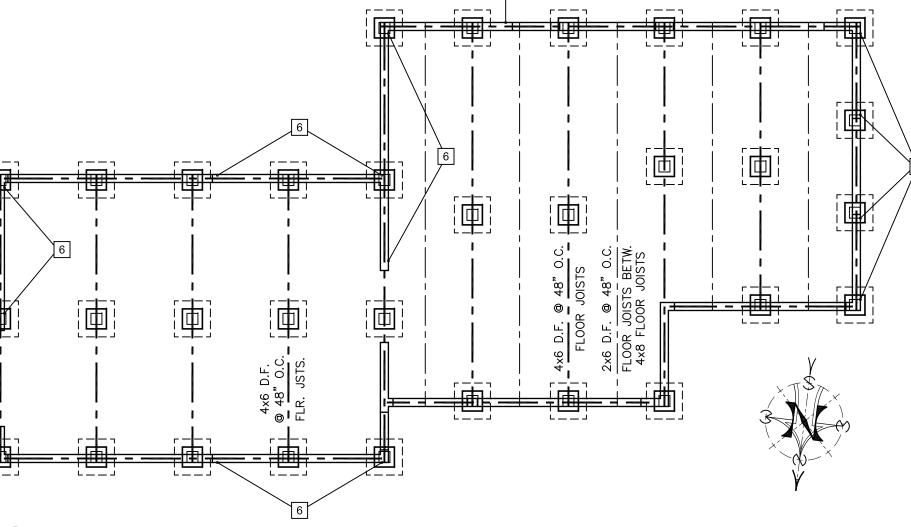


Project / Owner

## La Vida Del Sur Reed & Brigga Cripe Residence

46190 Clear Ridge Road Big Sur, California 93920 APN 419-221-007-000

MSE Project Nun	nber 24-017
DRAWN BY	S C MAYONE
DATE	7-01-2024
Revision	Date
PRINT DATE:	7-01-2024

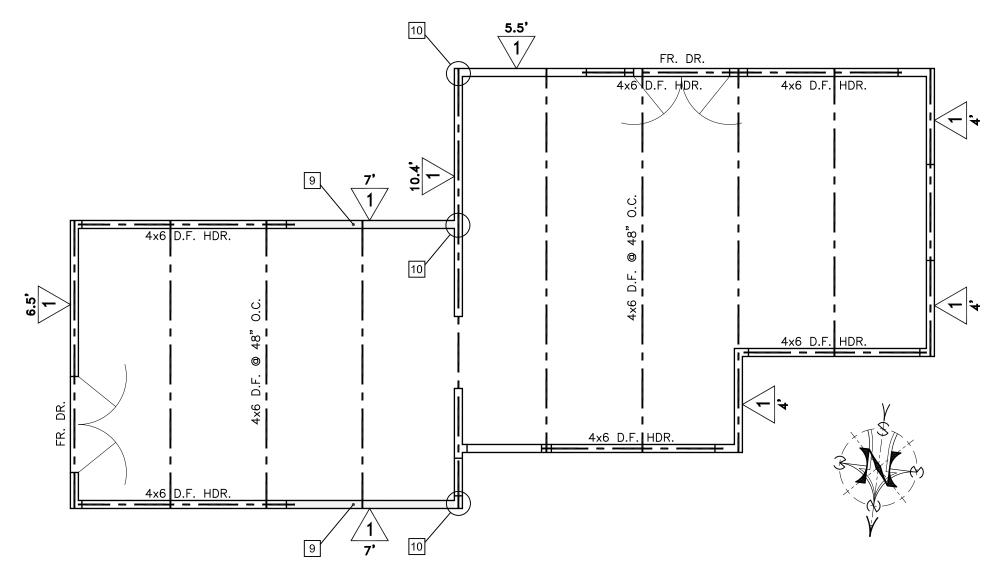


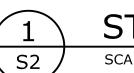
STUDIO FLOOR FRAMING & FOUNDATION PLAN

Refer to PLAN & ARCHAEOLOGICAL NOTES on Sheet S1

FOR DETAILS NOT SHOWN OR NOTED. REFER TO STUDIO ARCHITECTURAL ROOF & ROOF FRAMING PLAN, & FOUNDATION & FLOOR FRAMING PLAN ON SHEET 10.

WHERE THERE IS CONFLICT BETWEEN THESE PLANS. THE STRUCTURAL PLANS ON THIS SHEET (S2) GOVERN.





S2

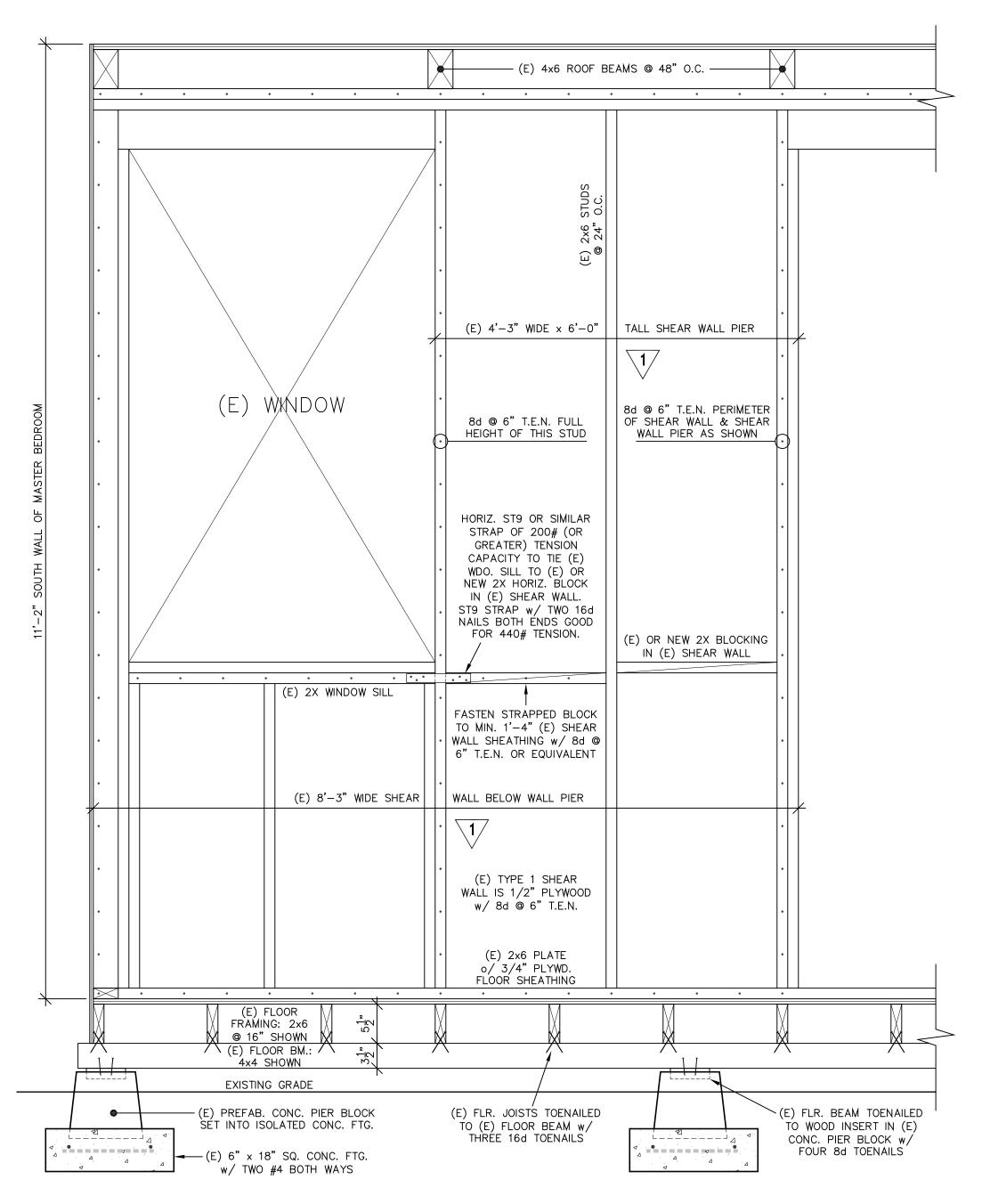
STUDIO ROOF FRAMING & SHEAR WALL PLAN SCALE: 1/4" = 1'-0' Refer to PLAN & ARCHAEOLOGICAL NOTES on Sheet S1

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Sheet Title

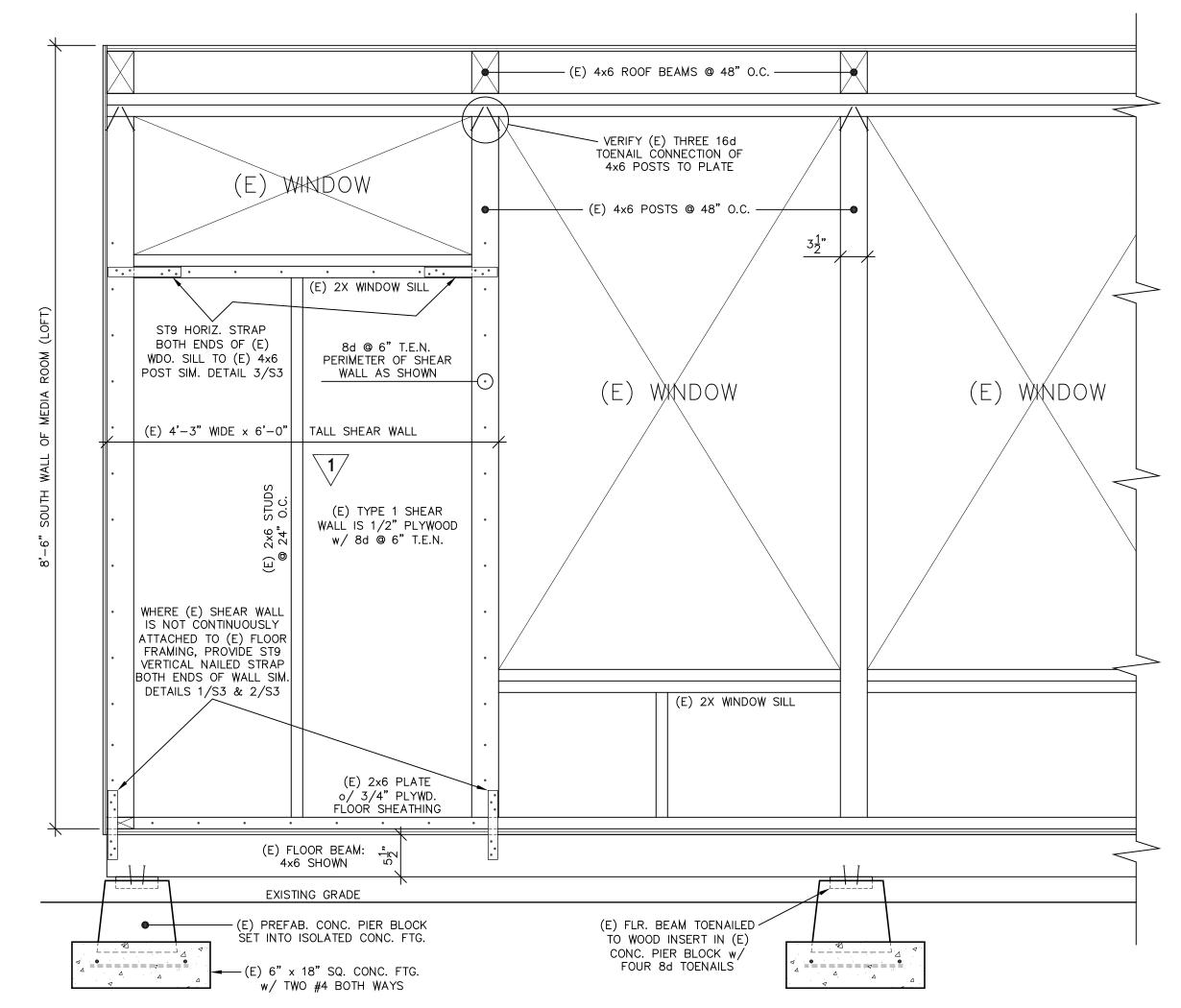
Structural Plans of Studio, Details, Sheathing Sched & General Notes

Sheet Number



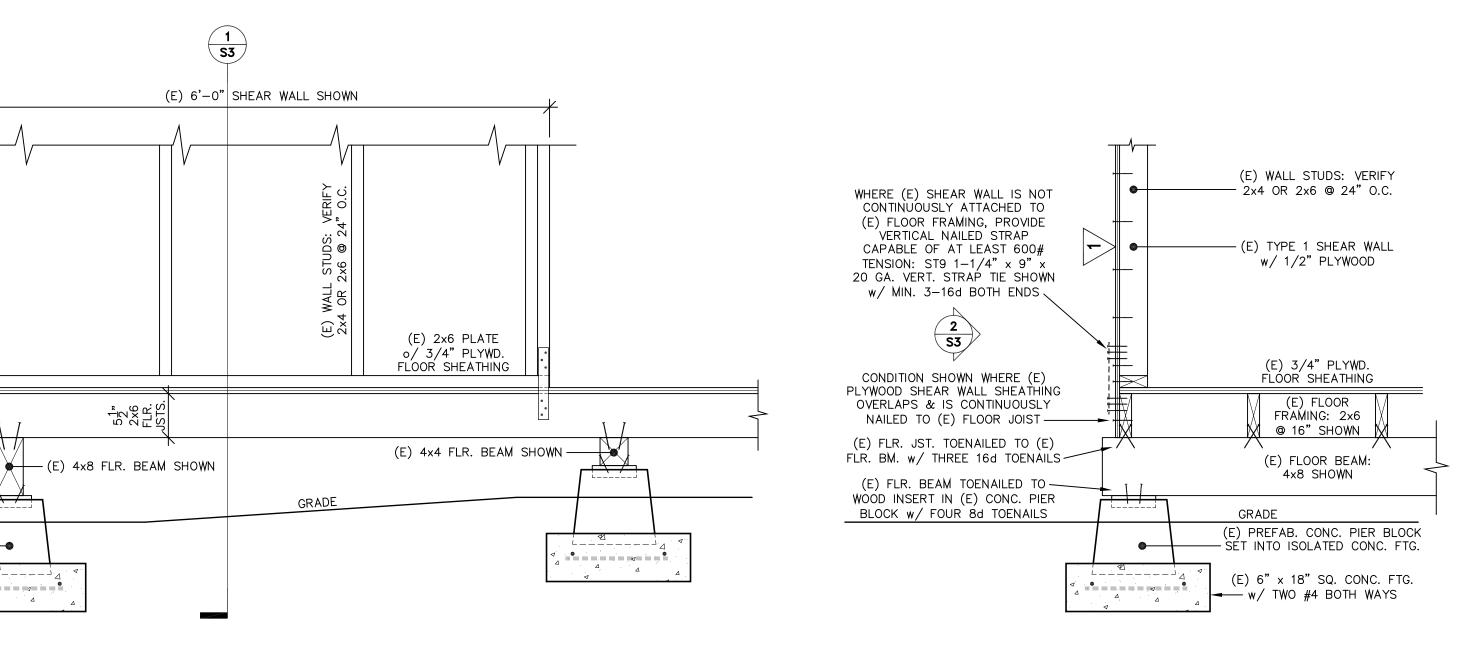


S3



ELEVATION: SHEAR WALL WITH TRANSOM WINDOW ABOVE AT SOUTH WALL OF MEDIA ROOM (LOFT)

SCALE: 1" = 1'-0"



ELEVATION: VERTICAL TENSION ANCHORAGE
OF SHEAR WALL TO FLOOR JOIST OR BEAM

SCALE: 1" = 1'-0"

(E) SHEAR WALL END STUD -

WHERE (E) SHEAR WALL IS NOT CONTINUOUSLY ATTACHED TO

(E) FLOOR FRAMING, PROVIDE VERTICAL NAILED STRAP CAPABLE OF AT LEAST 600#

TENSION: ST9 1-1/4" x 9" x 20 GA. VERT. STRAP TIE SHOWN

w/ MIN. 3-16d BOTH ENDS <

(E) FLR. JST. TOENAILED TO (E)

FLR. BM. w/ THREE 16d TOENAILS

INSERT IN (E) CONC. PIER BLOCK

w/ FOUR 8d TOENAILS

(E) PREFAB. CONC. PIER BLOCK

(E) 6" x 18" SQ. CONC. FTG.

w/ TWO #4 BOTH WAYS ──►

SET INTO ISOLATED CONC. FTG. -

(E) FLR. BEAM TOENAILED TO WOOD—

S3

SECTION: VERTICAL TENSION

ANCHORAGE OF SHEAR WALL

SCALE: 1" = 1'-0"





Project / Owner

# La Vida Del Sur Reed & Brigga Cripe Residence

Not Valid Without Wet Signature

46190 Clear Ridge Road Big Sur, California 93920 APN 419-221-007-000

MSE Project Number	24-017
DRAWN BY S	C MAYONE
DATE	7-01-2024
Revision	Date
PRINT DATE:	7-01-2024

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Sheet Title

Structural Details

Sheet Number Of

CEC-CF1R-ALT-05-E

### CERTIFICATE OF COMPLIANCE

This compliance document is only applicable to simple alterations that do not require HERS verification for compliance. When HERS verification is

Alterations to Space Conditioning Systems that are exempt from HERS verification requirements may use the CF1R-ALT-05 and CF2R- ALT-05 conditioning systems are altered and are not exempt from HERS verification, then a CF1R-ALT-02 must be completed and registered with a HERS

Alterations that utilize closed cell Spray Polyurethane Foam (ccSPF) with a density of 1.5 to less than 2.5 pounds per cubic foot having an R-value greater than 5.8 per inch, or open cell Spray Polyurethane Foam (ocSPF) with a density of 0.4 to less than 1.5 pounds per cubic foot having an R-

If more than one person has responsibility for installation of the items on this certificate, each person shall prepare and sign a certificate applicable to the portion of construction for which they are responsible. Alternatively, the person with chief responsibility for construction shall prepare and sign this certificate for the entire construction. All applicable Mandatory Measures shall be met. Temporary labels shall not be removed before verification by the building inspector.

## **Project Details**

Field Name	Data Entry	Field Name	Data Entry
Project Name	La Vida Del Sur	Enforcement Agency	Monterey County
Dwelling Address	46190 Clear Ridge Rd	Permit Number	
City and Zip Code	Big Sur, CA 93920	Date Permit Issued	

January 2022

## PRESCRIPTIVE RESIDENTIAL ALTERATIONS THAT DO NOT REQUIRE HERS FIELD VERIFICATION

CALIFORNIA ENERGY COMMISSION

A. GENERAL INFORMATION

CEC-CF1R-ALT-05-E

Field | Field Name Data Entry 01 Project Name La Vida Del Sur Date Prepared 06/19/2024 Project Location Big Sur, CA **Building Front Orientation** 75 (deg or cardinal) CA City Big Sur, CA Number of Altered Dwelling Units Zip Code 93920 08 Fuel Type Propane

Climate Zone 10 Total Conditioned Floor Area (ft<sup>2</sup>) 1490 11 Building Type Single Family 12 Slab Area (ft<sup>2</sup>)

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## PRESCRIPTIVE RESIDENTIAL ALTERATIONS THAT DO NOT REQUIRE HERS FIELD VERIFICATION

Note: Doors with greater than or equal to 25 percent glazed area are considered glazed doors and are treated as fenestration products.

Data Entry 2

CALIFORNIA ENERGY COMMISSION

Fenestration Type

Dynamic Glazing

Orientation N, S, W, E

Area Removed (ft<sup>2</sup>)

Net Added Area (ft<sup>2</sup>)

Proposed U-factor

Proposed U-factor

Proposed SHGC Source

Combined SHGC from

Proposed SHGC

13 Exterior Shading Device

CF1R-ENV-03

Source

12

Area Added (ft<sup>2</sup>)

Frame Type

Field Field Name

F. Fenestration/Glazing Proposed Areas and Efficiencies – Replace (Section 150.2(b)1B)

Data Entry 1

Master Bath South Window

Operable Window

Nonmetal

None

0.3

NFRC

0.3

NFRC

None

n/a

Data Entry 3

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SEACHANGE
ENGINEERING, INC
PO BOX 1632
MONTEREY, CA 93942

January 2022

PRESCRIPTIVE RESIDENTIAL ALTERATIONS THAT DO NOT REQUIRE HERS FIELD VERIFICATION

## **Documentation Author's Declaration Statement**

CALIFORNIA ENERGY COMMISSION

CA Building Energy Efficiency Standards - 2022 Residential Compliance

1. I certify that this Certificate of Compliance documentation is accurate and complete. **Documentation Author Name:** Documentation Author Signature: Matt Routh Matt Reistetter Signature Date: Seachange Engineering Inc 06/19/2024 Address: CEA/ HERS Certification Identification (if applicable): 659 Abrego St. Suite#2 City/State/Zip: 831-601-4456

## Monterey, CA 93940 **Responsible Person's Declaration Statement**

I certify the following under penalty of perjury, under the laws of the State of California:

- 1. The information provided on this Certificate of Compliance is true and correct. 2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).
- 3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform
- to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. 4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval
- with this building permit application. 5. I understand that a registered copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all

I understand that a registered copy of this Certificate of Compliance is required to be included with the

documentation the builder provides to the	building owner at occupancy.
Responsible Designer Name:	Responsible Designer Signature:
Reed Silas Cripe	
Company:	Date Signed:
Address: 46190 Clear Ridge Rd	License:
City/State/Zip: Big Sur, CA 93920	Phone:

For assistance or questions regarding the Energy Standards, contact the Energy Hotline at: 1-800-772-3300

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S 냅 VID,

6/19/2024 TITLE 24

SHEET NO.:

required, a CF1R-ALT-01 shall first be registered with a HERS Provider Data Registry.

Compliance Documents. Possible exemptions from duct leakage testing include: less than 25 feet (ft) of ducts were added or replaced; or the existing duct system was insulated with asbestos; or the existing duct system was previously tested and passed by a HERS Rater. If space Provider Data Registry.

value of 3.6 per inch, shall complete and register a CF1R-ALT-01 with a HERS Provider Data Registry.

Field Name	Data Entry	Field Name	Data Entry
Project Name	La Vida Del Sur	Enforcement Agency	Monterey County
Dwelling Address	46190 Clear Ridge Rd	Permit Number	
City and Zip Code	Big Sur, CA 93920	Date Permit Issued	

CA Building Energy Efficiency Standards - 2022 Residential Compliance

PRESCRIPTIVE RESIDENTIAL ALTERATIONS THAT DO NOT REQUIRE HERS FIELD VERIFICATION

CEC-CF1R-ALT-05-E CALIFORNIA ENERGY COMMISSION

**Fenestration Alteration** 

## Table F-2

13 Project Scope

Field	Field Name	Data Entry
15	Net Added West-facing Fenestration Area	0
16	Is Net Added Fenestration Area ≤ for west-facing fenestration?	○ Yes
17	Net Added Fenestration Area (all orientations)	0
18	Is Net Added Fenestration Area ≤ 0 for all orientations?	<b>⊙</b> Yes <b>○</b> No
19	Proposed Fenestration U-factor (Windows)	0.3
20	Required Fenestration U-factor (Windows)	0.3
21	Is the proposed Fenestration U-factor ≤ the Required Fenestration U-factor?	• Yes • No
22	Proposed Fenestration SHGC (Windows)	0.3
23	Required Fenestration SHGC (Windows)	no requirement
24	Is the Proposed Fenestration SHGC ≤ the Required Fenestration SHGC?	<b>⊙</b> Yes <b>○</b> No
25	Proposed Fenestration U-factor (Skylights)	n/a
26	Required Fenestration U-factor (Skylights)	n/a
27	Is the proposed Fenestration U-factor ≤ the Required Fenestration U-factor?	○ Yes ○ No
28	Proposed Fenestration SHGC (Skylights)	n/a
29	Required Fenestration SHGC (Skylights)	n/a
30	Is the Proposed Fenestration SHGC ≤ the Required Fenestration SHGC?	○ Yes ○ No

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