

Exhibit A

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**EXHIBIT A
DRAFT RESOLUTION**

**Before the Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

COWELL JOHN F IV TR (PLN250221)

RESOLUTION NO. 26-048

Resolution by the County of Monterey Chief of Planning:

- 1) Considering an Addendum together with the previously certified Santa Lucia Preserve Subdivision Environmental Impact Report (EIR No. 94-005/Resolution No. 96-059) pursuant to CEQA Guidelines Section 15164; and
- 2) Approving an Administrative Permit and Design Approval to allow the construction of a 5,810 square foot single-family dwelling, a 685 square foot attached garage, a 1,194 square foot barn and associated site improvements, including the removal of 2 Coast Live Oak trees.

[PLN250221, John Cowell, 62 Chamisal Pass, Carmel (Assessor's Parcel Number 239-041-009-000), Santa Lucia Preserve Phase A, Greater Monterey Peninsula Area Plan]

The COWELL JOHN F IV TR application (PLN250221) came on for an administrative decision hearing before the County of Monterey Chief of Planning on May 20, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the County of Monterey Chief of Planning finds and decides as follows:

FINDINGS

- 1. FINDING: CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
- EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
- the 2010 Monterey County General Plan;
 - Greater Monterey Peninsula Area Plan; and
 - Monterey County Zoning Ordinance (Title 21).
- No conflicts were found to exist. No communication was received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Project. The project proposes construction of a 5,810 square foot single-family dwelling with a 685 square foot attached garage and a 1,194 square foot detached barn. Associated site improvements include site retaining walls, a pool, installation of an onsite wastewater treatment system, a new driveway, an auto court, and hardscape pathways.
- c) Allowed Use. The property is located at 62 Chamisal Pass, Carmel, Santa Lucia Preserve Phase A, Greater Monterey Peninsula Area Plan (Assessor's Parcel Number 239-041-009-000). The parcel is zoned Resource Conservation with a 40-acre minimum and Design Control and Site Plan Review overlays or "RC/40-D-S", which allows the first single-family dwelling and accessory structures, subject to the granting of an Administrative Permit and Design Approval pursuant to Title 21 chapters 21.44 and 21.45. Additionally, the project involves the removal of Coast Live Oak trees. Pursuant to Title 21 section 21.64.260.D.2, the Chief of Planning may approve the removal of no more than three protected trees per lot in a one-year period. This project includes the removal of 2 protected trees. The property is within the Santa Lucia Preserve Subdivision, and as discussed in Finding 7, requires an Addendum to the previously approved Environmental Impact Report (EIR No. 94-005), which previously allotted tree removal per parcel. Therefore, the project is an allowed land use for this site.
- d) Lot Legality. The subject 38.5-acre parcel is shown as Lot 138 of Tract No. 1308, Santa Lucia Preserve, Phase A, Volume 20 of Cities and Towns, on Page 8, recorded on November 24, 1998. Therefore, the County recognizes the subject parcel as a legal lot of record.
- e) Design and Visual Resources. Pursuant to Chapter 21.44 of Title 21, the project site and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. See Finding No. 4 and supporting evidence below.
- f) Site Plan Review. Pursuant to Chapter 21.45 of Title 21, the project site and surrounding area are designated as a Site Plan Review District ("S" zoning overlay), which regulates the review of development in those areas of the County of Monterey where development, by reason of its location has the potential to adversely affect or be adversely affected by natural resources or site constraints, without imposing undue restrictions on private property. Proposed development within the "S" zoning overlay may be allowed, subject to the granting of an Administrative Permit. The project is located in the Santa Lucia Preserve, which protects the removal of forest resources and development on slopes. The project includes the removal of 2 Coast Live Oak trees and 184 square feet of impacts to slopes exceeding 30%. The proposed development was found to meet the requirements to grant said permit. See Finding No. 1, evidence "i" and Finding Nos. 5 and 7 with supporting evidence below.
- g) Development Standards. The project meets all required development standards for the Resource Conservation zoning district, which are identified in Title 21 section 21.36.060. Required setbacks are 30 feet (front), 20 feet (side), and 20 feet (rear), with a maximum allowable

height of 30 feet as measured from average natural grade. As outlined on the project plans, the parcel contains a Homeland Boundary that was approved as part of the original subdivision (PC94067), and the proposed development is entirely within the boundary lines. The maximum allowed height for the primary residence is 30 feet. As proposed, the main residence will be 20 feet and one and a half inches above average natural grade.

Pursuant to Title 21 Section 21.36.060.C.4, accessory structures used as barns, stables or farm outbuildings shall not be less than fifty (50) feet from the front of the property or twenty (20) feet from the side or rear property line or twenty (20) feet from any residence on the property.

The maximum allowed height is 35 feet. The project proposes a detached barn within the Homeland Boundary with a height of 18 feet 4 inches, which is below the maximum allowed. Therefore, the project is consistent with the development standards as outlined in Title 21.

- h) Site Coverage. Pursuant to Title 21 Section 21.36.060.E, the maximum allowed site coverage is 25%. As proposed, the project would have a total site coverage of 7,754 square feet, which equals 8.5% of the approximate 2.1-acre homeland boundary, and .46% of the entire 38.5-acre parcel. Therefore, as proposed, the project meets the required coverage limitations.
- i) Development on Slopes. The project is located within the Santa Lucia Preserve Subdivision. A small portion of the proposed development will impact slopes in excess of 30%. On February 6, 1996, the Board of Supervisors adopted a Comprehensive Development Plan (Plan) for the Santa Lucia Preserve through Resolution No. 96-060. Section 1.5.2.6 of the Plan creates development standards for the Preserve including 30% slope standards. 2010 General Plan Policy GMP-1.6 establishes Rancho San Carlos as a Special Treatment Area. This policy states that development in the Preserve shall follow densities and policies of the Plan. Furthermore, according to the 2010 Monterey County General Plan (Policy OS-3.5.1.c), a discretionary permit is not required for development on slopes in excess of 25% as long as the development does not exceed 10% or 500 square feet of the total development footprint, whichever is less. The proposed walking trail to the northeast and trenching for installation of an onsite wastewater treatment system on the southeast portion of the property will impact 184 square feet of slopes. The project qualifies for this exemption as the total development area on slopes is both below 500 square feet and 10% of the total development. The project was designed to minimize impacts to slopes by placing the structural development away from sloped areas. The County has reviewed the project plans to analyze possible development alternatives. Based on site topography, the proposed project adheres to required development standards and better meets the goals and objectives of the 2010 Monterey County General Plan. Conditions of approval and changes in the development are required as deemed necessary to assure compliance with General Plan Policy OS-3.5.1.c and to assure stability of the development.
- j) Biological Resources. As part of the original approval of the Santa Lucia Preserve Subdivision, an Environmental Impact Report (EIR) was

certified and considered all potential impacts to nearby resources as a result of construction. The most recently prepared Biological Report (County of Monterey Library No. LIB250394) confirmed the findings of the certified EIR still apply to Lot 138 and determined the siting and design of the project were appropriate. Staff included the Migratory Bird Nesting Condition (Condition No. 10) per the recommendation of the Biological Report. Therefore, as proposed, the development will not adversely impact biological resources.

- k) Cultural Resources. According to the Monterey County Geographic Information System (GIS), the subject property is within an area of high archaeological sensitivity. In accordance with General Plan Open Space Policy OS-6.3, any new development being proposed within moderate or high sensitivity zones, or within 150 feet of a known recorded archaeological and/or cultural site, shall complete a Phase One Archaeological survey. As part of the original approval of the Santa Lucia Preserve Subdivision, an EIR was certified and requires all development to be in accordance with these prepared reports. The potential for inadvertent impacts to cultural resources is limited and will be controlled by use of the County's standard condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction.
- l) Tree Removal. The proposed project involves the removal of 2 Coast Live Oaks. As detailed in Finding No. 5 and supporting evidence, the proposed tree removal is the minimum required under the circumstances, and the removal will not involve a risk of adverse environmental impacts. This property, Lot 138, was not previously allotted any tree removal under the adopted EIR. Therefore, an Addendum has been prepared to consider tree removal.
- m) Santa Lucia Preserve. The project site is located within the Santa Lucia Preserve Phase A Subdivision. See Finding Nos. 4 and 5 with supporting evidence below.
- n) Land Use Advisory Committee (LUAC) Review. Based on the Land Use Advisory Committee (LUAC) procedure guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 08-338, this application does not require LUAC review because no LUAC operates in this area.
- o) Staff reviewed aerial imagery via Google Earth and Monterey County's geographical information system (GIS) to verify that the project on the subject parcel conforms to the plans listed above.
- p) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning can be found in Project File PLN250221.

2. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

EVIDENCE: a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire Protection District. County staff reviewed the application materials and plans to verify that the project on

the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.

- b) Staff identified potential impacts to biological, forestry, soil, and water resources. The following reports have been prepared:
 - “Arborist Report” (County of Monterey Library No. LIB260103) prepared by Thompson Wildland Management, Monterey, CA, March 31, 2025.
 - “Biological Report” (County of Monterey Library No. LIB250394) prepared by Denise Duffy and Associates, Monterey, CA, August 2021.
 - “Geotechnical Report” (County of Monterey Library No. LIB250395) prepared by Butano Geotechnical Engineering, Inc., Watsonville, CA, May 28, 2025.
 - “Hydrology Report” (County of Monterey Library No. LIB260053) prepared by Sherwood Design Engineers, Napa, CA, February 2026.

County staff independently reviewed these reports and concurred with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All developments shall be in accordance with these reports.

- c) Staff reviewed aerial imagery via Google Earth and Monterey County’s GIS to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning can be found in Project File PLN250221.

3. FINDING: HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire Protection District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities will be provided by Santa Lucia Preserve Community Services District (SLPCSD) for domestic drinking water. A Can and Will Serve letter from SLPCSD, dated September 23, 2025, was provided to the Environmental Health Bureau acknowledging the new development and confirming service.
 - c) The proposed development will utilize an Onsite Wastewater Treatment System (OWTS) designed by Sherwood Design Engineers, dated October 24, 2025 (County of Monterey Library No. LIB260053). The design was based on a 0.8 soil application rate established through soil

analysis conducted by Butano Geotechnical Engineering Inc on April 22, 2025 (County of Monterey Library No. LIB250395). Groundwater was encountered at 9 feet below ground surface and rose to 5 feet below ground surface during monitoring. Percolation testing yielded rates ranging from 5 to 10 minutes per inch in select areas, while additional test locations exceeded 120 minutes per inch. The OWTS is designed to serve a 6-bedroom single-family dwelling and barn with an estimated wastewater flow of 600 gallons per day. The proposed system includes an Orenco Systems AX20 advanced treatment unit with subsurface drip dispersal, consisting of a 1,500-gallon septic tank, 1,000-gallon pump tank, and 1,000-gallon recirculation and dosing tank. The design meets Monterey County Code 15.20 vertical groundwater separation requirements. On January 30, 2026, the Environmental Health Bureau conducted a site visit to verify the location and required setbacks for the proposed leachfield.

- d) The subject parcel is located within a State Responsibility Area classified as having a “high” fire hazard rating. The construction of the new single-family dwelling and accessory structure is designed to be fire-resistant that meets current fire and building code standards. Additionally, the project application included a site-specific fuel management plan to ensure recommendations to reduce fire risk of the proposed development.
- e) Staff reviewed aerial imagery via Google Earth and Monterey County’s GIS to verify that the project will not have an adverse effect on the health, safety, and welfare of people either residing or working in the neighborhood.
- f) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning can be found in Project File PLN250221.

4 FINDING: DESIGN/VISUAL SENSITIVITY – The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.

- EVIDENCE:**
- a) Pursuant to Title 21 Section 21.44, the purpose of the Design Control District is to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character.
 - b) Neighborhood Character. The proposed single-family dwelling is comparable in size and appearance to other dwellings in the vicinity. The project includes the construction of a single-family dwelling and accessory structures on a vacant lot within the Santa Lucia Preserve. Height, setback, coverage, and floor area limitations comply with all Title 21 development requirements.
 - c) Design, Material and Colors. The proposed exterior colors and materials are consistent with the area’s rural setting and surrounding residences. The single-family dwelling is designed to reflect a simple side-gabled modern style architecture, utilizing natural materials that blend with the surrounding environment and are compatible with the neighborhood character. Proposed colors and materials of the main residence include a

mix of gray Portland cement plaster walls, weathered cedar siding, St. Helena cottage stone walls with black steel metal windows and doors. The proposed roofing material consists of reclaimed slate. Site improvements consist of gravel, tan limestone and chip-sealed pavers for the proposed hardscape. The detached accessory structure consists of brown weathered cedar siding with tan barn doors, black steel windows, and a gray corrugated metal roof.

A lighting plan is required to be submitted prior to issuance of building permits to ensure the project complies with the Monterey County lighting guidelines (Condition No. 7). Additionally, the project is conditioned to include a final landscape plan demonstrating compliance with the site-specific fuel management plan (Condition No. 8). The proposed exterior finishes described above will be fire-resistant, blend with the surrounding environment, are consistent with the surrounding residential neighborhood character, and other dwellings in the neighborhood.

- d) Visual Resources. The subject parcel is located in the Santa Lucia Preserve Subdivision and within an area of visual sensitivity. The single-family dwelling and barn will be naturally screened by the mature oak woodland that dominates this site. As proposed, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity. Therefore, the proposed development will not have a substantial adverse impact on visual resources.
- e) Staff reviewed aerial imagery via Google Earth and Monterey County's GIS to verify the potential visual impacts of the project on the subject parcel. Based on the evidence described above, the proposed structure and use are consistent with the surrounding residential neighborhood character (i.e., structural design features, colors, and material finishes).
- f) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development can be found in Project File PLN250221.

5. FINDING: SANTA LUCIA PRESERVE SUBDIVISION (PHASE A, B & C): TREE REMOVAL – The project is consistent with all tree removal conditions pursuant to Use Permit PC94067 (Resolution No. 96-060) for the Santa Lucia Preserve Subdivision.

- EVIDENCE:**
- a) The project proposes the removal of 2 Coast Live Oak trees. The tree amount indicated for the property was not assessed for tree removal in the Santa Lucia Preserve Forest Management Plan (FMP) by Ralph Osterling for Lot 138.
 - b) The project requires an addendum to the Santa Lucia Preserve EIR (see Exhibit C). Though the tree removal amount proposed exceeds what was approved for the lot, it is consistent with what was analyzed in the Santa Lucia Preserve EIR (Resolution No. 94-005).
 - c) Title 21 section 21.64.260 allows the removal of three or fewer protected trees within a one-year period, subject to the review and approval of the Chief of Planning. This project proposes the

removal of 2 Coast Live Oaks to allow construction of a single-family dwelling and accessory structures.

- d) As outlined in Title 21, the required findings to grant the removal are that tree removal is the minimum required under the circumstances and that the removal will not involve a risk of adverse environmental impacts, or the subject tree is in poor health, dead, diseased, or creating a hazardous situation. The removal of 2 protected trees is the minimum necessary to construct the first single-family dwelling. All development is proposed within the designated building envelope, and the remaining trees onsite will be protected during construction (Condition No. 9).
- e) Tree replacement will be at a ratio of 3:1 for non-landmark and 5:1 for landmark trees. The removal of 2 trees will be replaced by 6 Coast Live Oak trees of good health and condition (5-to-15-gallon container size is advised), which will need to be planted in suitable locations in the Homeland Boundary and survive a 5-year monitoring period (Condition No. 12).
- f) As detailed and recommended in the Arborist Report (LIB260103), measures for tree protection and maintenance have been incorporated as Condition No. 9, and include tree protection zones, protective fencing, and trunk and drip line protection.
- g) The project is consistent with Section 21.64.260 of the Monterey County Zoning Ordinance, Title 21, in that the project was sited to require the least amount of tree removal under the circumstances and avoids adverse environmental impacts. The two trees proposed for removal are within the building footprint and grading limits of the single-family dwelling and are recommended for removal due to construction related impacts.
- h) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning can be found in Project File PLN250221.

6. FINDING: **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and are not aware of any violations existing on the subject property.
 - b) Staff researched County records to assess if any violations exist on the subject property.
 - c) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning can be found in Project File PLN250221.

7. FINDING: **CEQA (Addendum)** – An Addendum to a previously adopted Environmental Impact Report (EIR) was prepared pursuant to CEQA Guidelines Section 15164, to reflect changes or additions in the project

that do not cause substantial changes or new information that would require major revisions to the adopted EIR.

- EVIDENCE:**
- a) An Environmental Impact Report for the Santa Lucia Preserve Subdivision was prepared and certified by the Board of Supervisors on February 6, 1996 (EIR #94-005/Resolution #96-059).
 - b) An Addendum to the EIR for the Santa Lucia Preserve Subdivision was prepared for this project pursuant to CEQA Guidelines Section 15164 (see **Exhibit C**).
 - c) Pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15162, when an EIR has been certified, no subsequent EIR shall be prepared for the project unless the lead agency determines that substantial changes are proposed which require major revisions or substantial changes occur with respect to the circumstances under which the project is undertaken due to new significant environmental effects. In this case, no new information has been presented to warrant further environmental review. The proposed structures are within a designated building envelope, and the proposed tree removal is within the overall tree removal analyzed for the subdivision. Accordingly, none of the conditions detailed in CEQA Guidelines Section 15162 requiring the preparation of a subsequent EIR or Negative Declaration have occurred.
 - d) The Arborist Report prepared for the project (County of Monterey Library No. LIB260103) surveyed 23 native trees within the project area and recommended two trees for removal. Based on the project design plans and as previously stated, 2 Coast Live Oak trees identified as Trees Nos. 18 and 19 are planned for removal in preparation for home construction activities. The mature 20-inch oak identified as Tree No. 18 is presently in fair physiological health and structural condition but is proposed for removal due to its location within the building footprint for the main house. The 15-inch oak identified as Tree No. 19 is in fair physiological health, but poor structural condition due to poor canopy balance and symmetry and is also planned for removal.
 - e) The Forest Management Plan prepared by Ralph Osterling for the EIR in 1994 for Phase A provided specific tree removal estimates for each lot created by the subdivision, and through the previously approved EIR, a total of 1,480 trees were allotted for removal. The current number of trees removed in the Preserve is 727. The addition of this project's 2 Coast Live Oaks will continue to be under the threshold of the previously considered tree removal allotment and, therefore, is still consistent with the original findings of the adopted EIR. The addendum was prepared to address impacts related to the removal of 2 protected trees for the Cowell project.
 - f) Staff conducted a site inspection on Google Earth to verify that the site and proposed project meet the criteria for an exemption.
 - g) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning can be found in Project File PLN250221.

8. FINDING: APPEALABILITY – The decision on this project may be appealed to the Planning Commission.

EVIDENCE: a) Pursuant to Title 21 section 21.80.040.A, the Planning Commission is the Appeal Authority to consider appeals from the discretionary decisions of the Chief of Planning made pursuant to this Title. The decision of the Planning Commission shall be final and may not be appealed.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the County of Monterey Chief of Planning does hereby:

1. Consider an Addendum together with the previously certified Santa Lucia Preserve Subdivision Environmental Impact Report (EIR No. 94-005/Resolution No. 96-059) pursuant to CEQA Guidelines Section 15164; and
2. Approve the Administrative Permit and Design Approval to allow the construction of a 5,810 square foot single-family dwelling, a 685 square foot attached garage, a 1,194 square foot barn and associated site improvements, including the removal of 2 Coast Live Oak trees.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 20th day of May 2026.

Melanie Beretti, AICP,
Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the County of Monterey Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the County of Monterey HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

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County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN250221

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Administrative Permit and Design Approval (PLN250221) allows construction of a 5,810 square foot single-family dwelling, a 685 square foot attached garage, a 1,194 square foot barn and associated site improvements, including the removal of 2 Coast Live Oak trees. The property is located at 62 Chamisal Pass, Carmel (Assessor's Parcel Number 239-041-009-000), Greater Monterey Peninsula Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"An Administrative Permit and Design Approval (Resolution Number _____) was approved by the Chief of Planning for Assessor's Parcel Number 239-041-009-000 on May 20, 2026. The permit was granted subject to 13 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

5. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule. Fee schedule can be found here: https://www.tamcmonterey.org/files/53eb01ba3/2025-0701-Fee_Implementation_Worksheet.xlsx

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

6. PW0006 - CARMEL VALLEY

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The Applicant shall pay the Carmel Valley Master Plan Area Traffic Mitigation fee pursuant to the Board of Supervisors Resolution NO. 95-140, adopted September 12, 1995 (Fees are updated annually based on CCI). Fee schedule can be found here: <https://www.countyofmonterey.gov/home/showpublisheddocument/138989/638995907988230000>

Compliance or Monitoring Action to be Performed: Prior to Building Permits Issuance Owner/Applicant shall pay to PBI the required traffic mitigation fee.

7. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

8. PD012(F) - LANDSCAPE PLAN & MAINTENANCE (SFD ONLY)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to the HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

9. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

10. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

11. PD011(A) - TREE REMOVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

12. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Within 60 days of permit approval, the applicant shall replace and or relocate each tree approved for removal as follows:

- Replacement ratio: 3:1
- Replacement ratio recommended by arborist: 3:1 for a total of 6 Coast Live Oaks to be replanted.
- Other: Plant oak trees of good health and condition (5 to 15 gallon container size is advised), which will need to be planted in suitable locations in the Homeland Boundary and survive a 5-year monitoring period.

Replacement tree(s) shall be located within the same general location as the tree being removed. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

13. CC01 INDEMNIFICATION

Responsible Department: County Counsel-Risk Management

Condition/Mitigation Monitoring Measure: Owner/Applicant agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code section 66474.9, defend, indemnify, and hold harmless the County of Monterey and/or its agents, officers, and/or employees from any claim, action, or proceeding against the County and/or its agents, officers, and/or or employees to attack, set aside, void, or annul this approval and/or related subsequent approvals, including, but not limited to, design approvals, which action is brought within the time provided for under law. Owner/Applicant shall reimburse the County for any court costs and attorney's fees that the County may be required by a court to pay as a result of such action.

The County shall notify Owner/Applicant of any such claim, action, and/or proceeding as expeditiously as possible. The County may, at its sole discretion, participate in the defense of such action. However, such participation shall not relieve Owner/Applicant of his/her/its obligations under this condition. Regardless, the County shall cooperate fully in defense of the claim, action, and/or proceeding.

(County Counsel-Risk Management)

Compliance or Monitoring Action to be Performed: This Indemnification Obligation binds Owner/Applicant from the date of approval of this discretionary development permit forward. Regardless, on written demand of the County Counsel's Office, Owner/Applicant shall also execute and cause to be notarized an agreement to this effect. The County Counsel's Office shall send Owner/Applicant an indemnification agreement. Owner/Applicant shall submit such signed and notarized Indemnification Agreement to the Office of the County Counsel for County's review and signature. Owner/Applicant shall then record such indemnification agreement with the County of Monterey Recorder's Office. Owner/Applicant shall be responsible for all costs required to comply with this paragraph including, but not limited to, notary costs and Recorder fees.

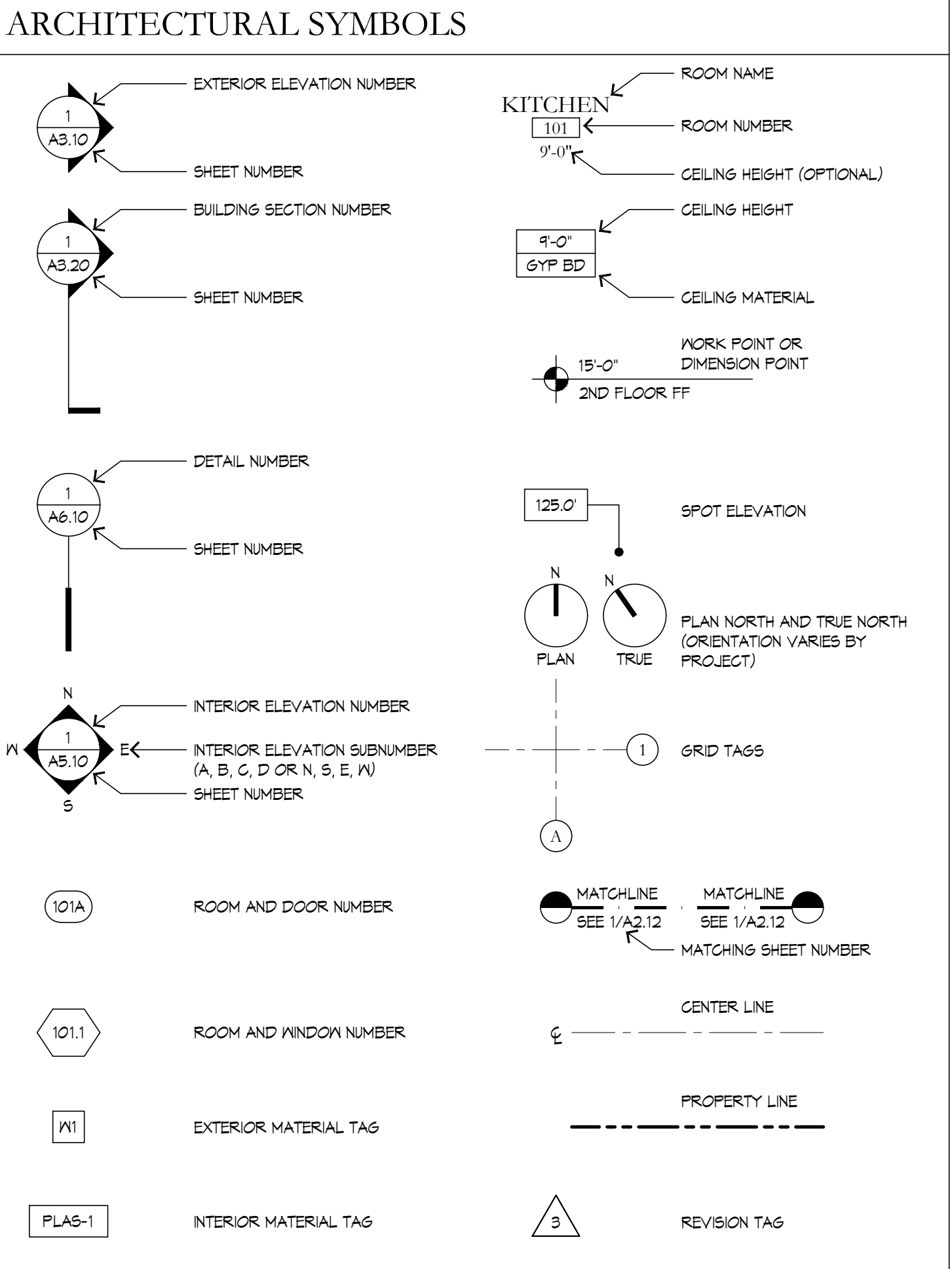
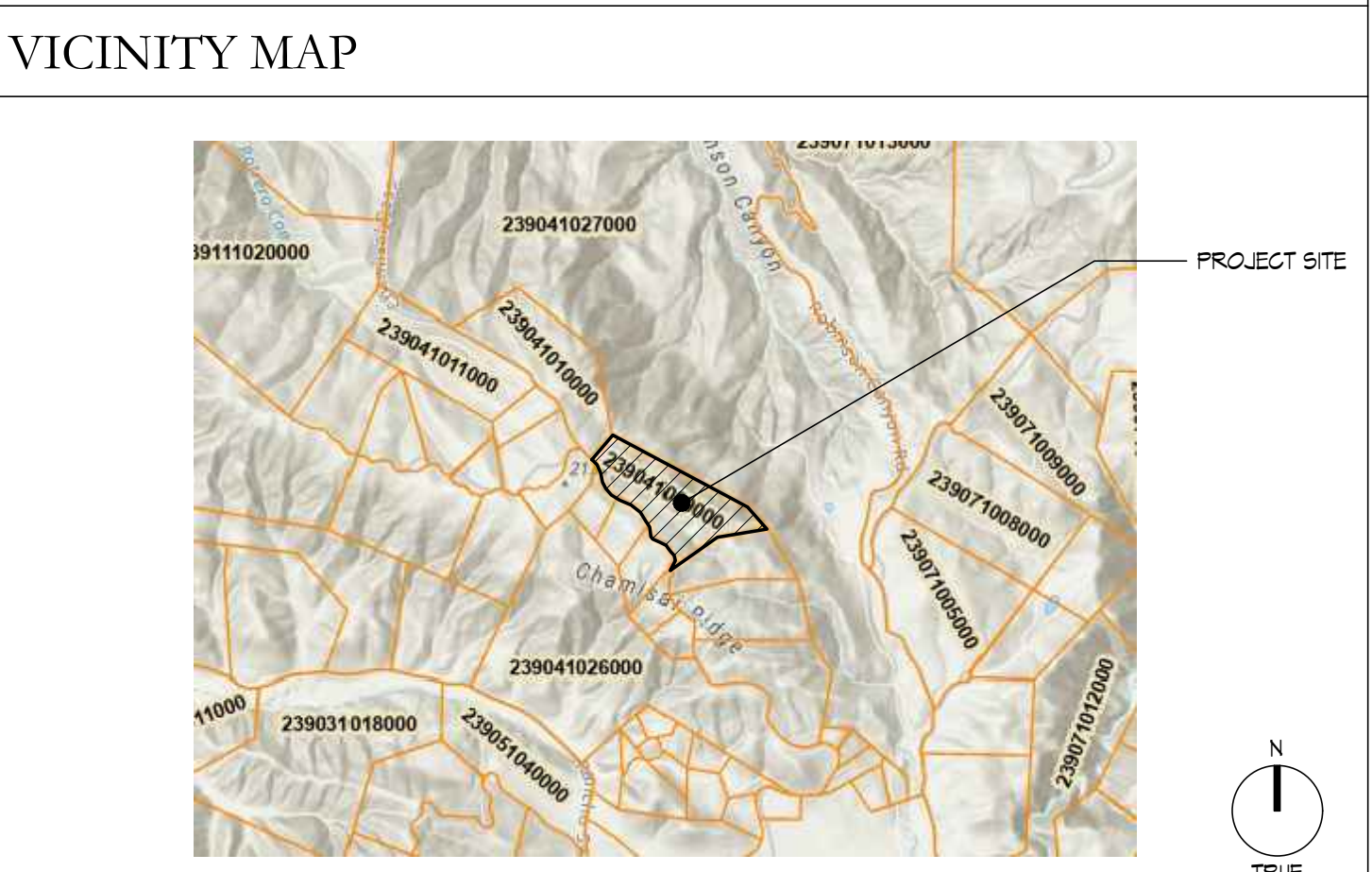
ARCHITECTURAL ABBREVIATIONS GENERAL NOTES PROJECT SUMMARY SHEET INDEX

Table of architectural abbreviations including symbols and their corresponding terms like AC (AIR CONDITIONING), AD (AREA DRAIN), etc.

- GENERAL NOTES: 1. PROMPTLY INFORM THE ARCHITECT IN WRITING OF ANY DISCREPANCIES OR OMISSIONS... 2. THE LAYOUT, LEVELS, DIMENSIONS, RELATIONSHIPS AND CONFIGURATIONS SHOWN ON PLAN DRAWINGS GOVERN...

PROJECT DESCRIPTION: NEW ONE-PLUS STORY SINGLE FAMILY HOME, BARN, SWIMMING POOL, DRIVEWAY AND AUTO COURT. PROJECT ADDRESS: 62 CHAMISAL PASS, CARMEL, CA 93923

SHEET INDEX table listing sheet numbers and titles: A0.00 COVER SHEET, A0.01 PROJECT INFORMATION, A0.02 STAKING PLAN, etc.



APPLICABLE CODES table listing codes such as 2022 CALIFORNIA BUILDING STANDARDS CODE (CALIFORNIA CODE OF REGULATIONS, TITLE 24), 2021 INTERNATIONAL RESIDENTIAL CODE (IRC), etc.

- DEFERRED SUBMITTALS: 1. AUTOMATIC FIRE SPRINKLERS, MECHANICAL/HVAC, ELECTRICAL, PLUMBING, PHOTOVOLTAICS, SWIMMING POOL, HOT TUB, AUDIO/VISUAL, COMMUNICATIONS AND SECURITY SCOPE AND SYSTEMS ARE DESIGN-BUILD AND WILL BE SUBMITTED BY DESIGN-BUILD CONTRACTOR FOR SEPARATE PERMITTING.

KL Ken Linsteadt ARCHITECTS 1412 Van Ness Avenue San Francisco, CA 94109

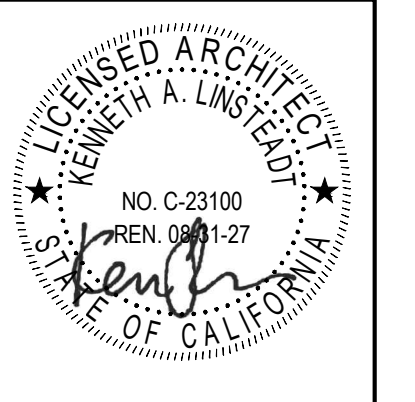
Circular seal for Licensed Architect Kenneth A. Linsteadt, No. C-23100, State of California, with a signature.

62 CHAMISAL PASS APN: 239-041-009-000 CARMEL, CA 93923

Table with columns for DRAWN BY, DATE, and ISSUE: 10.24.2025, PLANNING

PROJECT INFORMATION: A0.01 10.24.2025

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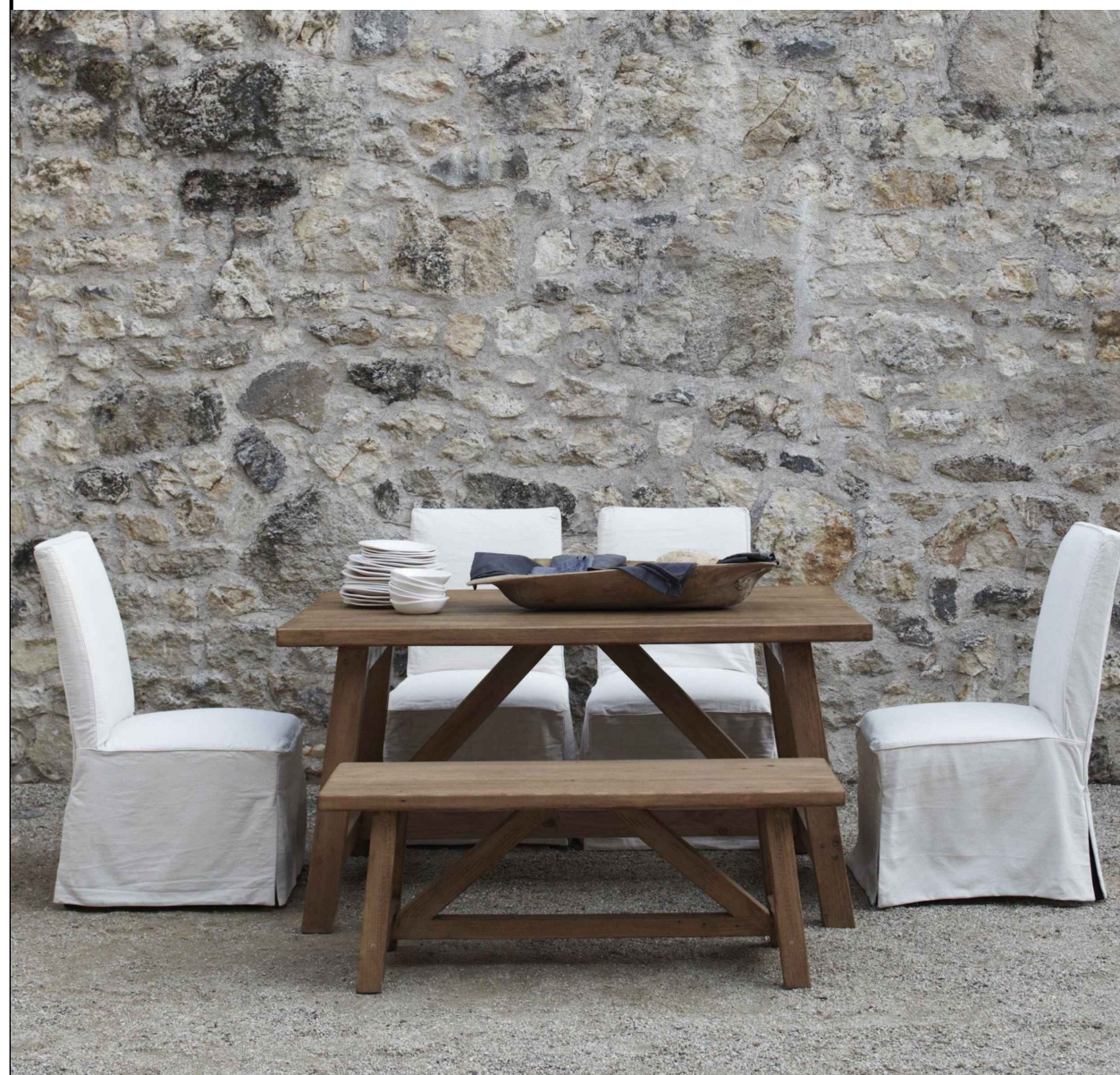
STAKING PLAN

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LICENSED ARCHITECT
 KENNETH A. LINSTEDT
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 EXPIRES 08/31/27
 Ken Linstead
 STATE OF CALIFORNIA
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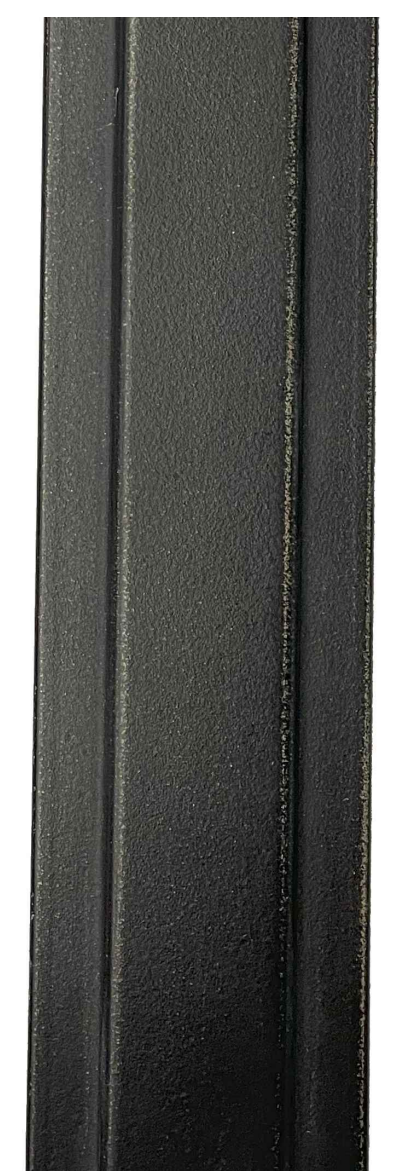
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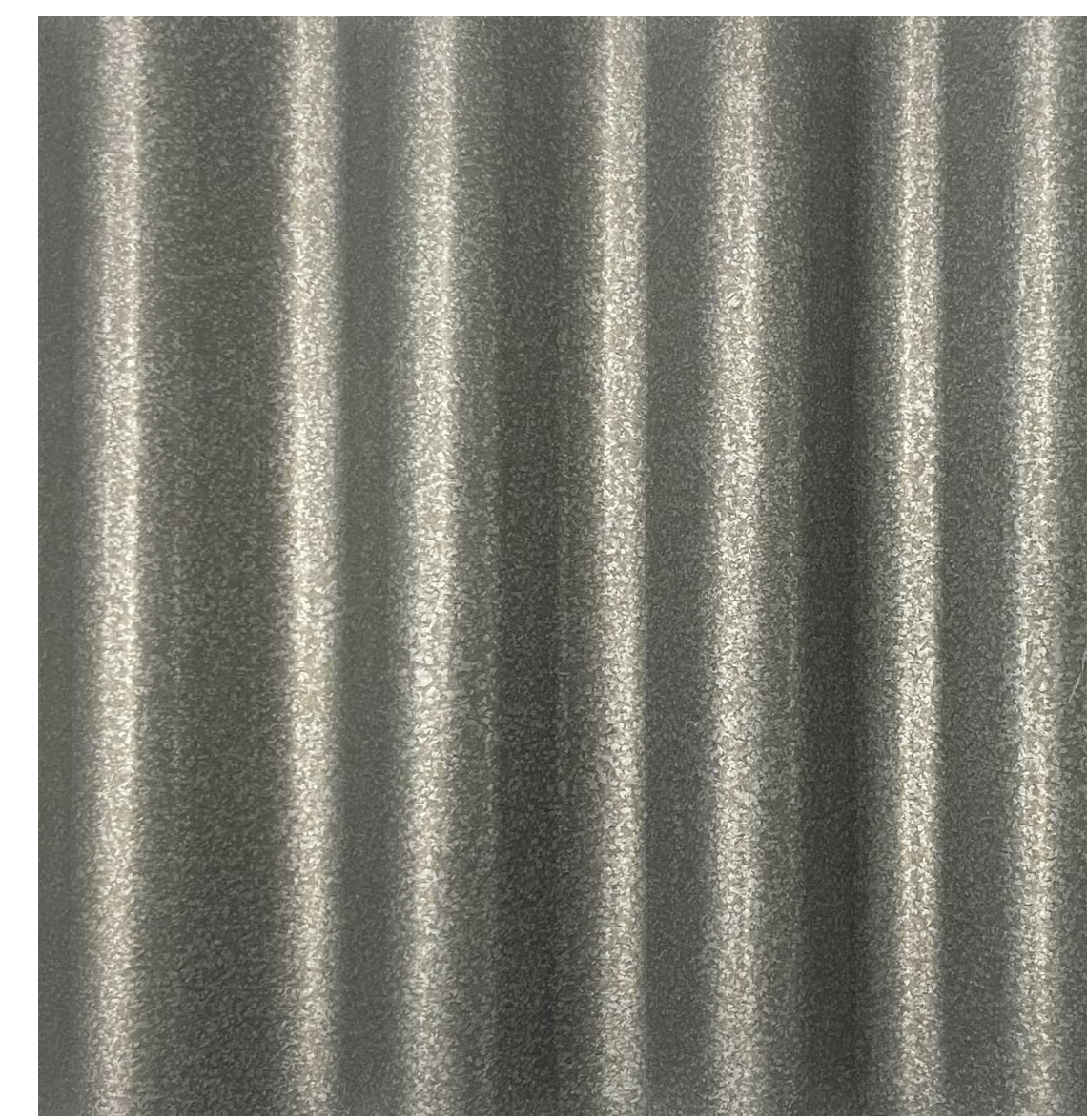
1 WEATHERED CEDAR SIDING



2 CEDAR BARN DOORS



3 BLACKENED STEEL WINDOWS



4 CORRUGATED BONDERIZED METAL ROOFING



5 ST. HELENA COTTAGE STONE SITE WALLS



6 ENZ VINEYARD ROCK QUARRY 3/8" GRAVEL PAVING



7 FAUNE LIMESTONE PAVING



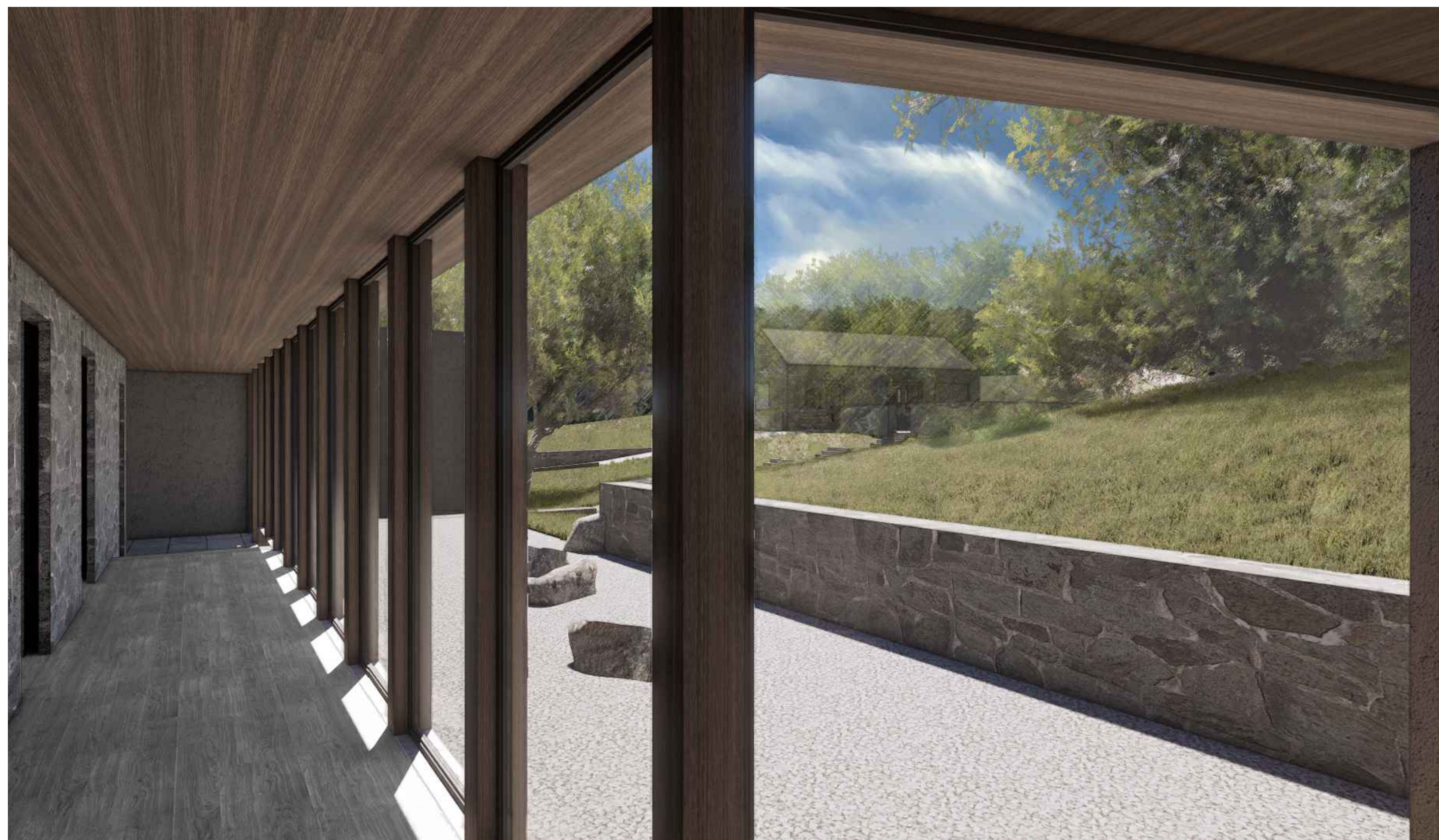
8 CHIP SEAL PAVING



4 VIEW SOUTHWEST FROM POOL



2 VIEW NORTHEAST FROM PATH



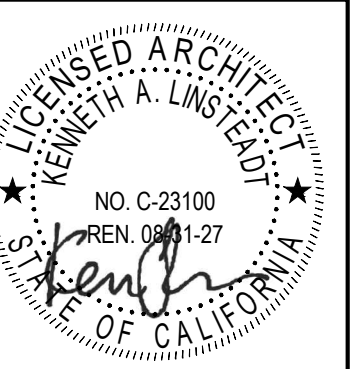
3 VIEW WEST FROM GALLERY



1 VIEW NORTHEAST FROM DRIVE

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MODEL VIEWS

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4 AERIAL VIEW LOOKING NORTHWEST



2 VIEW NORTH FROM PATH



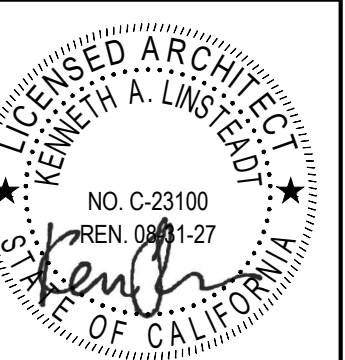
3 VIEW WEST FROM PATH



1 VIEW NORTH FROM PATH

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MODEL VIEWS

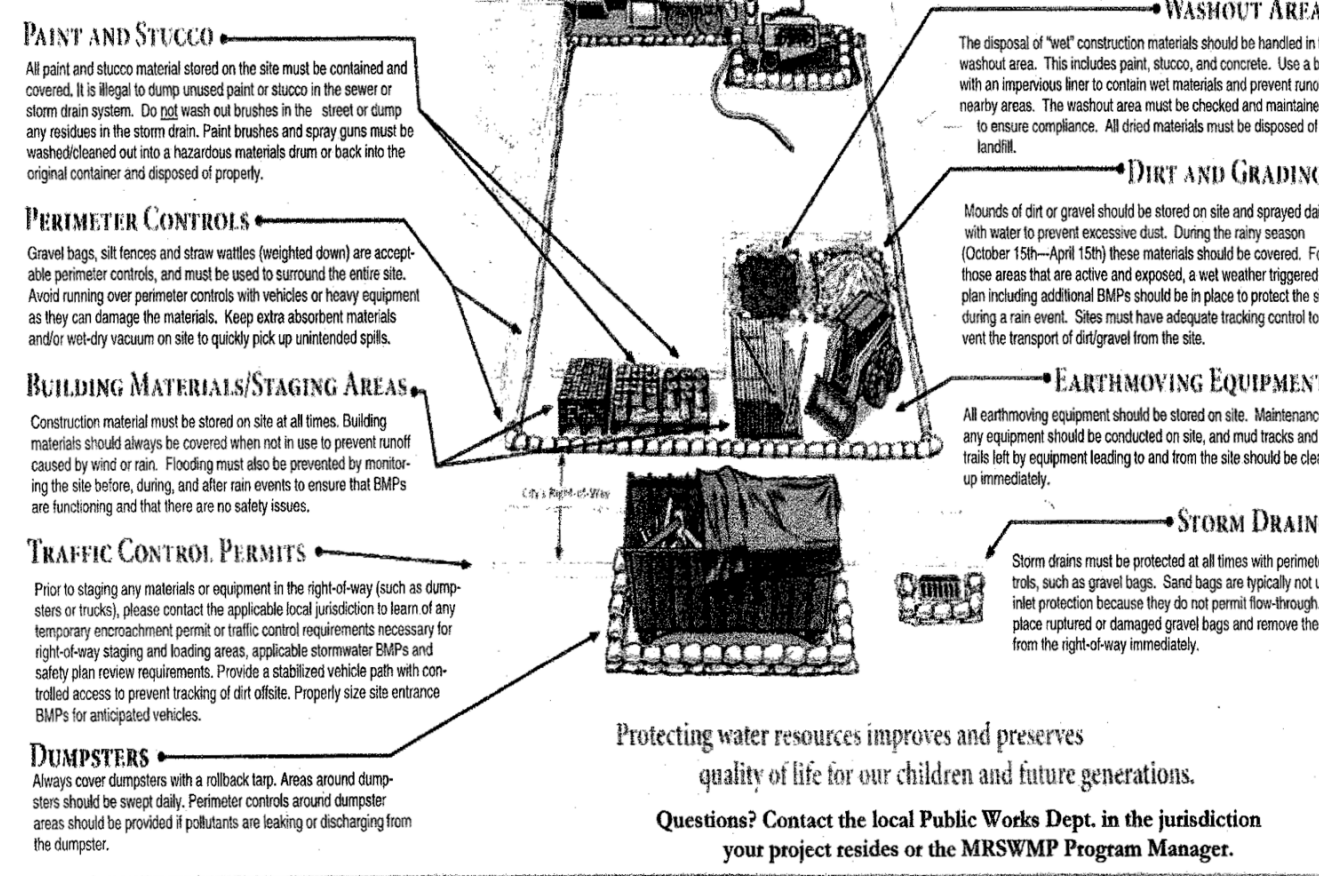
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CONSTRUCTION SITE BEST MANAGEMENT PRACTICES

THE FOLLOWING BMPs MUST BE PROPERLY USED AT ALL CONSTRUCTION SITES TO PROTECT STORM DRAINS AND MINIMIZE POLLUTION.

The Monterey Regional Stormwater Management Program (MRSWMP) prohibits pollutant discharges at work sites from flowing into storm drains and polluting neighborhood creeks, rivers, and the ocean. To comply with the law and keep your project on schedule, make sure BMPs are in place and functioning. Sites must be checked and maintained daily. The following BMPs are recommended; they are not all-inclusive. Refer to references indicated on the front of this brochure for additional BMPs.



POLLUTION PREVENTION PLANNING
Every construction project must have an erosion and sediment control plan to prevent soil and materials from leaving the site. Basic steps for this plan include:

1. Understand local jurisdictional stormwater management requirements and create your plan to match your construction site and project needs.
2. Identify the storm drains and the conveyance system that represent the construction site area and provide clear to protect from vehicle pollutants.
3. Obtain all local jurisdictional permits, including traffic control permits, if needed.
4. Schedule construction activities so that the soil is not exposed for long periods of time. Limit grading to small areas; install key sediment control practices before site grading begins.
5. Contact the inspector assigned to your project to answer any questions and ensure compliance. Modify BMPs as job requires.

Additional Tips to Support BMPs:

- Schedule site stabilization activities, such as landscaping, to be completed immediately after the land has been graded to its final contour.
- Protect & maintain all fences and silt wattles after each rainstorm. Make sure stormwater is not flowing around these devices or other vegetative buffers. Cover all dirt piles to protect from wind and rain.
- Provide a stabilized vehicle path with controlled access to prevent tracking of dirt offsite. Properly seal site entrances BMPs for anticipated vehicles.
- Minimize amount of vegetation cleared from the site. Protect and install vegetative buffers along waterbodies to slow and filter stormwater runoff.
- Properly dispose of all waste materials. Never dump unused or waste product on the ground or in a storm drain. Don't hose off surfaces to clean. Sweep and place waste in dumpster.
- Break up long slopes with sediment barriers. Install structural BMPs to trap sediment on downslope sides of the lot.
- When in doubt, contact local jurisdiction for guidance.

ONLINE RESOURCES
California Storm Water Quality Association - www.cswqa.com
International BMP Database - www.bmpdatabase.org
California State Water Board - www.waterboards.ca.gov

PREVENT POLLUTION AND AVOID FIRES (3 C's)
Control: The best line of defense is to use good house-keeping practices and sedimentation control BMPs to prevent materials and debris from entering the storm drain.
Contain: Isolate your work area to prevent discharges from leaving the site. Store materials out of the rain and in secondary containment, if necessary.
Cleanup: Sweep or vacuum up any material that could possibly run offsite. Dispose of waste properly by checking product labels for disposal requirements.

Monterey Regional Storm Water Program
MontereySEA.org (831) 645-4521

EROSION CONTROL NOTES:

1. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
2. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH APPROVED METHODS ESTABLISHED BY THE SOILS ENGINEER.
3. STABILIZE ALL GRADED AREAS WITH VEGETATION, CRUSHED STONE, RIPRAP, OR OTHER GROUND COVER AS SOON AS GRADING IS COMPLETED OR IF WORK IS INTERRUPTED FOR 21 WORKING DAYS OR MORE. USE MULCH TO STABILIZE AREAS TEMPORARILY WHERE FINAL GRADING MUST BE DELAYED.
4. STOCKPILES, BORROW AREAS AND SPOIL AREAS SHALL BE STABILIZED TO PREVENT EROSION AND SEDIMENTATION.
5. APPLY SEED, FERTILIZER AND STRAW MULCH, THEN TRACK OR PUSH IN THE MULCH WITH AN APPROVED MECHANICAL MEANS OR BY HAND.
6. ALL DISTURBED SURFACES MUST BE PROTECTED FROM EROSION BETWEEN OCTOBER 15 AND APRIL 15. EROSION CONTROL MEASURES MUST BE IN PLACE AND CONTINUOUSLY MAINTAINED.
7. DISTURBANCE OF SURFACE VEGETATION DURING CONSTRUCTION SHALL BE KEPT TO A MINIMUM.
8. DISTURBED AREAS SHOULD BE SEED, FERTILIZED, AND MULCHED TO PREVENT EROSION DURING WINTER MONTHS. INSTALL STRAW BALE SILTATION BARRIERS AS SHOWN ON PLAN.
9. ALL CUT AND FILL SLOPES SHALL BE PLANTED WITH A SEED MIXTURE THAT WILL YIELD THE FOLLOWING RATE OF APPLICATION OR APPROVED EQUAL.

THE FOLLOWING OUTLINES THE BEST PROSPECTS FOR ECOLOGICALLY AND ECONOMICALLY SOUND NATIVE PLANT MIXES FOR EROSION PROTECTION. THE LIST BELOW GIVES A GREATER VARIETY THAN WOULD BE PUT IN ANY ONE APPLICATION, LEAVING FLEXIBILITY TO SELECT BASED ON MARKET AVAILABILITY AND COSTS. NOTE, WITH EXCEPTION OF A FERN SPECIES, ALL ARE GRASSES.

SIP CODE	BOTANICAL NAME	COMMON NAME	GENERAL USAGE
BROCAR	BROMUS CARINATUS	CALIFORNIA BROME	OPEN SITES
DESHOL	DESCHAMPSIA HOLCIIFORMIS	PACIFIC HAIRGRASS	LOW, FLAT, PARTLY SHADED SITES
LYCORN	ELYMUS CONENSIVUS	GIANT WILDFE HILLSIDE, DRAWN	SHADED HILLSIDE, DRAWN
FESCAL	FESTUCA CALIFORNICA	CALIFORNIA FESCUE	STAPLE, ANYWHERE
FESRUB	FESTUCA RUBRA	RED FESCUE	STAPLE, ANYWHERE
HOBRA	HOREDEUM BRACHYANTHERUM	MEADOW BARLEY	STAPLE, OPEN AND EDGE SITES
LEYOLA	LEYMUS GLAUCA	WESTERN WILDRYE	LOW SITE, HILL BOTTOM, MOIST
LEYTRI	LEYMUS TRICOIDES	CREeping WILDRYE	LOW SITE, HILL BOTTOM, MOIST
NASCER	NASELLA CERNUA	NODDING NEEDLEGRASS	OPEN SITES, SLOPES
NASPUL	NASELLA PULCHRA	PURPLE NEEDLEGRASS	OPEN SITES, SLOPES
PTEQAU	PTERIDIUM AQUILINUM	WESTERN BRACKEN FERN	OPEN, DRY & SHALLOW SLOPES

SAMPLE MIXES (GRASS SEED @ LBS PER ACRE; FERNS @ CUT-PIECES PER ACR)

TYPE I: OPEN, SUN OR SUN/SHADE, FLAT TO MODERATE SLOPE:
HOBRA (15), DESHOL (10), FESRUB/FESCAL (25), NASPUL/NASCER (15); PLUS OPTIONAL PTEQAU (1,000-2,000 PCS)

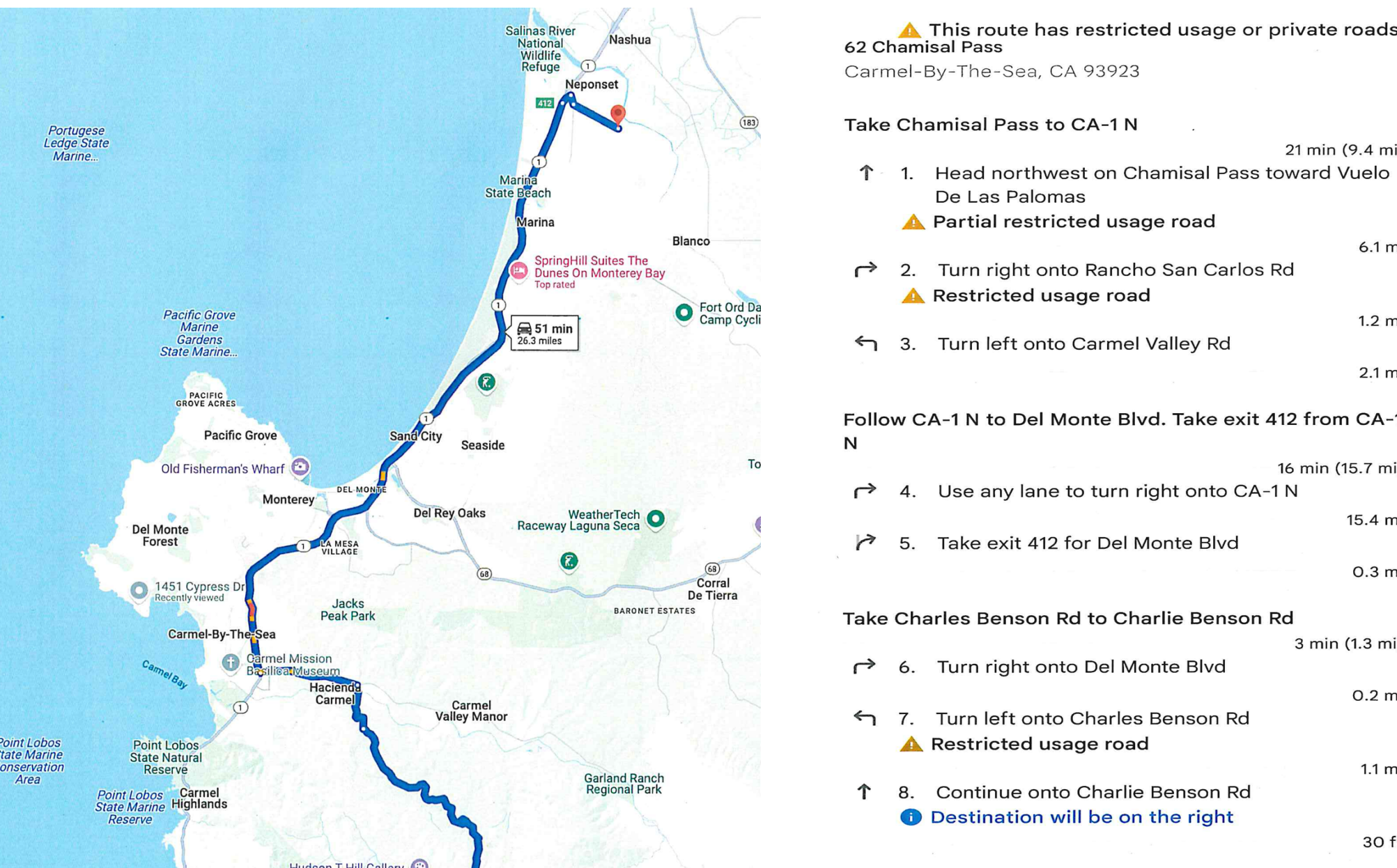
TYPE II: SUN/SHADE, FLAT TO MODERATE, BOTTOM OF SLOPE OR HILL:
DESHOL (15), LEYTRI/LEYOLA (20), BROCAR (20), NASPUL/NASCER (15)

TYPE III: STEEPER CUTS:
PTEQAU (2000 PCS), FESRUB/FESCAL (30), BROCAR (10)

SLOPE NETTING AND SEED COVER, WHEN REQUIRED, MUST MEET THESE CRITERIA:

1. NETTING IS JUTE OR NATURAL FIBER, ONLY.
2. NYLON NETTING USED ALONE OR IN STRAW BLANKETS IS FORBIDDEN.
3. SEED COVER IS LIMITED TO HYDRO-MULCH, RICE STRAW, AND/OR CERTIFIED CLEAN (STERILE) GRASS STR/
4. RICE IS FIRST; OTHER STRAW ONLY WHEN RICE IS NOT AVAILABLE. ALFALFA SECONDS ARE OKAY.
5. OAT AND BARLEY BALES WITH ANY AMOUNT OF SEED PRESENT ARE STRICTLY FORBIDDEN.

TRUCK HAUL ROUTE



SITE MAP

LEGEND

NOTE: SEE SHEETS C3.0 & C3.1 FOR EROSION CONTROL AND EROSION CONTROL DETAILS

- AREA A: VEHICULAR PARKING
- AREA B: JOB SHACK
- AREA C: DELIVERY ACCESS
- AREA D: SOIL STOCKPILE AREA (IF REQUIRED)
- AREA E: DUMPSTER FOR RECYCLING MATERIAL
- AREA F: CONSTRUCTION VEHICLE TURNAROUND

CONSTRUCTION NOTES

1. ALL WORK SHALL TAKE PLACE DURING DAYLIGHT HOURS, MONDAY - FRIDAY, 7 AM TO 4 PM
2. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE PER DAY, FREQUENCY SHOULD BE BASED UPON THE TYPE OF OPERATION, SOIL, AND WIND EXPOSURE
3. ALL GRADING ACTIVITIES SHALL BE HALTED DURING PERIODS OF HIGH WINDS (15 MPH)
4. HAUL TRUCKS SHALL MAINTAIN 2 - FEET FREEBOARD AND BE COVERED.
5. COVER INACTIVE STORAGE PILES.
6. THE SIGNED PERMITS AND THE APPROVED CONSTRUCTION PLANS SHALL BE MAINTAINED IN CONSPICUOUS LOCATION AT THE CONSTRUCTION JOB SITE AT ALL TIMES, AND THAT COPIES ARE AVAILABLE FOR AGENCY REVIEW UPON REQUEST. ALL PERSONS INVOLVED WITH THE CONSTRUCTION SHALL BE BRIEFED ON THE CONTENT AND MEANING OF THE PERMITS AND THE APPROVED CONSTRUCTION PLANS, AND THE PUBLIC REVIEW REQUIREMENTS APPLICABLE TO THEM, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
7. EQUIPMENT WASHING, REFUELING AND SERVICING SHALL TAKE PLACE ONLY ONSITE. APPROPRIATE BEST MANAGEMENT PRACTICES SHALL BE USED TO ENSURE THAT NO SPILLS OF PETROLEUM PRODUCTS OR OTHER CHEMICALS TAKE PLACE DURING THESE ACTIVITIES. SEE THE EROSION CONTROL PLAN FOR FURTHER SPECIFICATIONS.
8. THE CONSTRUCTION SITE SHALL MAINTAIN GOOD CONSTRUCTION SITE HOUSEKEEPING CONTROLS AND PROCEDURES (E.G.: CLEANUP ALL LEAKS, DRIPS, AND OTHER SPILLS IMMEDIATELY; KEEP MATERIALS COVERED AND OUT OF THE RAIN, INCLUDING COVERING EXPOSED PILES OF SOILS AND WASTES, DISPOSE OF ALL WASTES PROPERLY, PLACE TRASH RECEPTACLES ON SITE FOR THAT PURPOSE, AND COVER OPEN TRASH RECEPTACLES DURING WET WEATHER).
9. ALL EROSION AND SEDIMENT CONTROLS SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AS WELL AS AT THE END OF EACH WORKDAY. AT A MINIMUM, SILT FENCES, OR EQUIVALENT APPARATUS, SHALL BE INSTALLED AT THE PERIMETER OF THE CONSTRUCTION SITE TO PREVENT CONSTRUCTION-RELATED RUNOFF AND/OR SEDIMENT FROM LEAVING THE SITE.
10. ALL CONSTRUCTION-RELATED VEHICLES, INCLUDING EMPLOYEE VEHICLES, SHALL BE LIMITED TO 10 MPH ALONG VAN ESS WAY
11. THE APPLICANT/OWNER/GENERAL CONTRACTOR SHALL KEEP VAN ESS WAY CLEAR OF ANY CONSTRUCTION DEBRIS, INCLUDING BUT NOT LIMITED TO MATERIALS, DIRT, ETC.

CONSTRUCTION COORDINATOR

CONTRACTOR SHALL PROVIDE A CONSTRUCTION COORDINATOR THAT CAN BE CONTACTED DURING CONSTRUCTION, SHOULD QUESTIONS ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES). THEIR CONTACT INFORMATION (INCLUDING THEIR ADDRESS AND 24-HOUR PHONE NUMBERS) SHALL BE CONSPICUOUSLY POSTED AT THE JOB SITE IN A MANNER THAT THE CONTACT INFORMATION IS READILY VISIBLE FROM PUBLIC VIEWING AREAS. THE POSTING SHALL INDICATE THAT THE CONSTRUCTION COORDINATOR SHOULD BE CONTACTED TO ANSWER ANY QUESTIONS THAT ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES). THE CONSTRUCTION COORDINATOR SHALL RECORD THE NAME, PHONE NUMBER AND NATURE OF ALL COMPLAINTS AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24 HRS OF RECEIPT OF THE COMPLAINT OR INQUIRY.

CONSTRUCTION ACTIVITY DESCRIPTION

DURATION: 30 MONTHS
MONDAY THRU FRIDAY 7AM - 4PM

6-12 WORKERS
4-6 REGULAR PICKUP TRUCKS
AVERAGE OF 14 TRUCK TRIPS PER DAY FOR THE DURATION OF CONSTRUCTION

65% RECYCLE RATE FOR LUMBER.

TRASH AND UN-RECYCLED DEBRIS ARE COLLECTED ON SITE IN A PORTABLE TRAILER AND REMOVED BY TOWING BEHIND A REGULAR PICKUP TRUCK ONCE A MONTH TO THE MARINA LANDFILL.

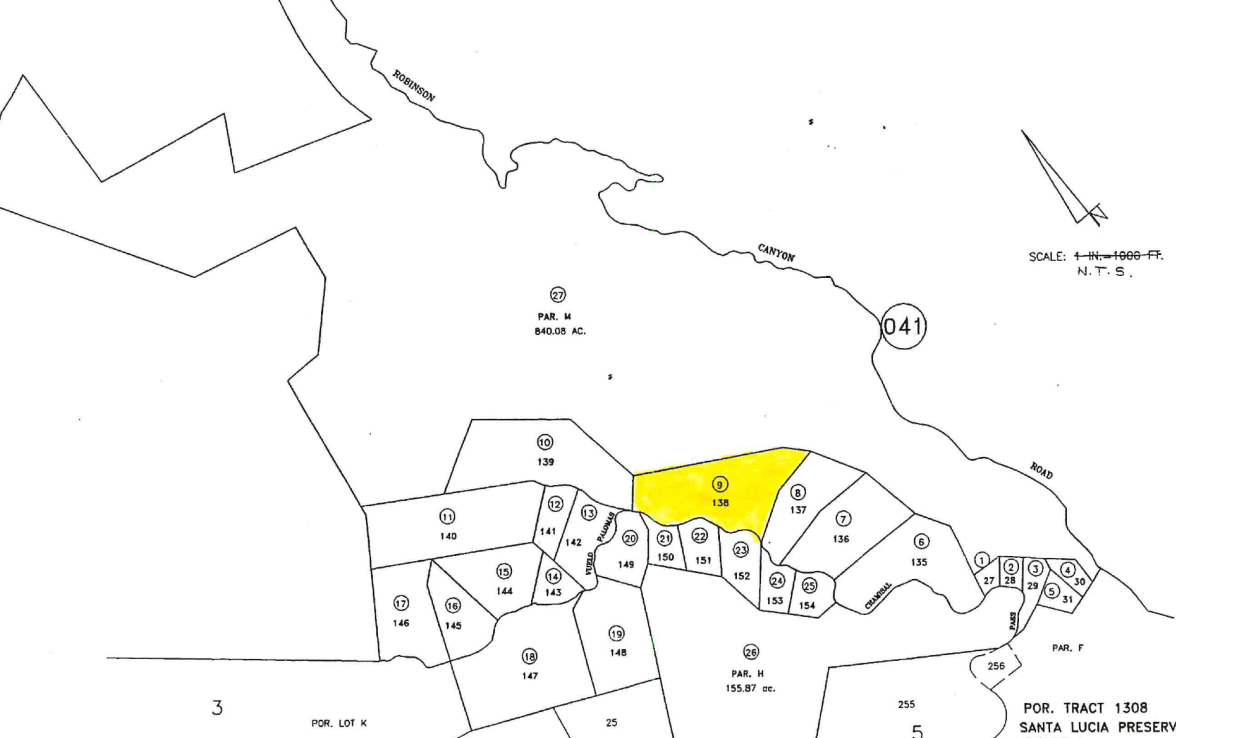
GRADING: 1,550 YDS CUT
600 YDS FILL
950 CU YDS (EXPORT)

ARCHAEOLOGICAL NOTE

IN THE EVENT CULTURAL RESOURCES ARE IMPACTED DURING CONSTRUCTION, WORK SHALL STOP WITHIN 150-FT OF THE FIND UNTIL A QUALIFIED ARCHAEOLOGIST HAS AN OPPORTUNITY TO EVALUATE THE FIND AND PROVIDE TREATMENT RECOMMENDATIONS. IF THE RESOURCE IS CONSIDERED SIGNIFICANT, GROUND DISTURBANCE SHALL BE HALTED UNTIL AN ARCHAEOLOGICAL RESEARCH DESIGN AND TREATMENT PLAN IS DEVELOPED AND APPROVED BY THE LEAD AGENCY AND PROJECT PROPONENT.

IN THE EVENT THAT HUMAN REMAINS ARE ENCOUNTERED ON SITE, GROUND DISTURBING ACTIVITIES ON SITE SHALL IMMEDIATELY HALT. THE REMAINS SHALL BE COVERED WITH STEEL PLATES (WHERE FEASIBLE) AND THE LOCATION SHALL BE KEPT CONFIDENTIAL AMONG PROJECT PERSONNEL TO PREVENT VANDALISM AND ADDITIONAL DISTURBANCE. THE MONTEREY COUNTY SHERIFF-CORONER SHALL BE NOTIFIED IMMEDIATELY, AND NO WORK SHALL RESUME WITHIN A 150-FT RADIUS OF THE FIND UNTIL A MOST LIKELY DESCENDANT (MLD) HAS BEEN ASSIGNED TO THE PROJECT AND PROVIDED THE PROJECT PROPONENT WITH TREATMENT RECOMMENDATIONS. PHOTOGRAPHS OF REMAINS SHALL BE PROHIBITED, UNLESS REQUESTED BY THE CORONER AND PERMITTED BY THE MLD.

VICINITY MAP

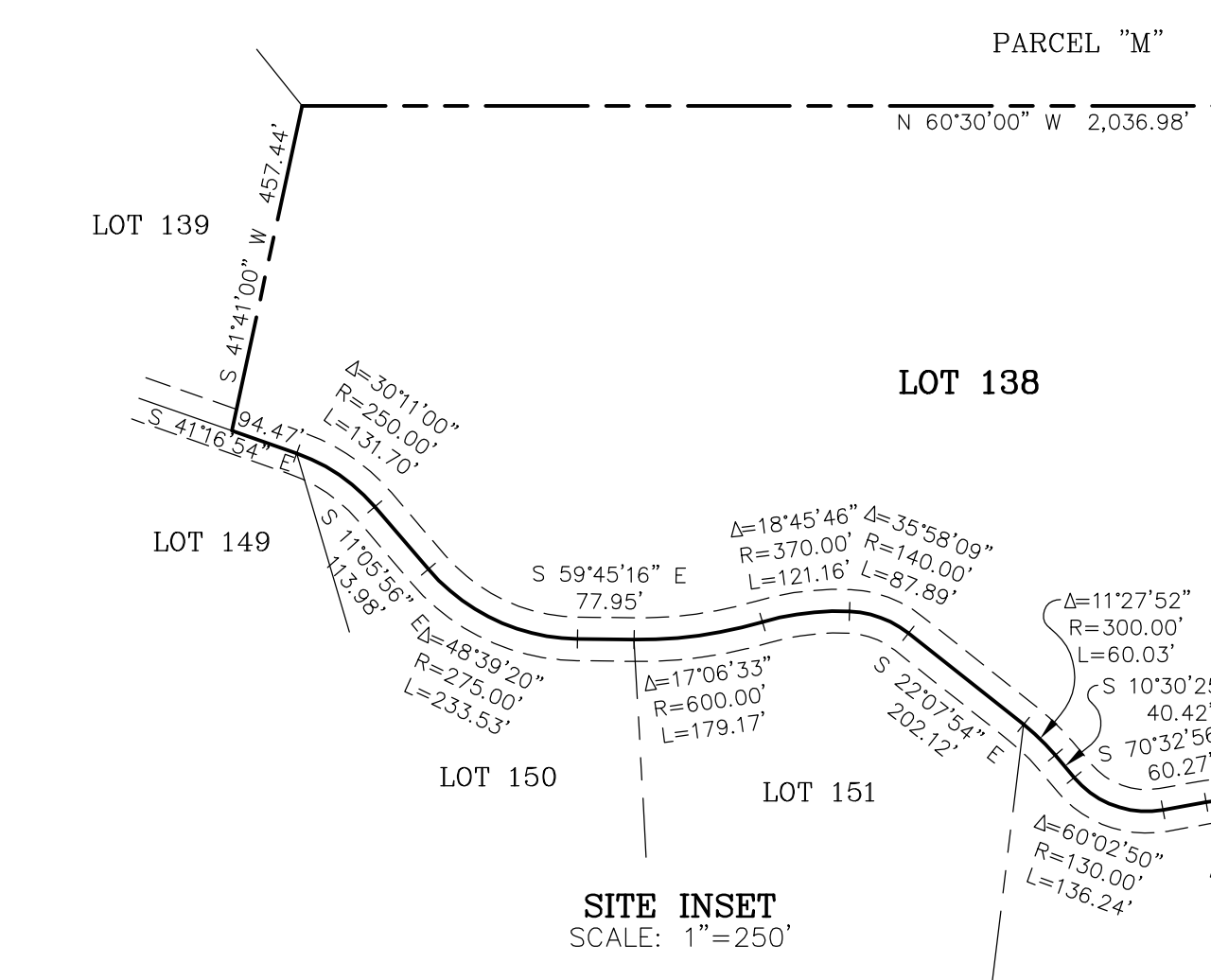
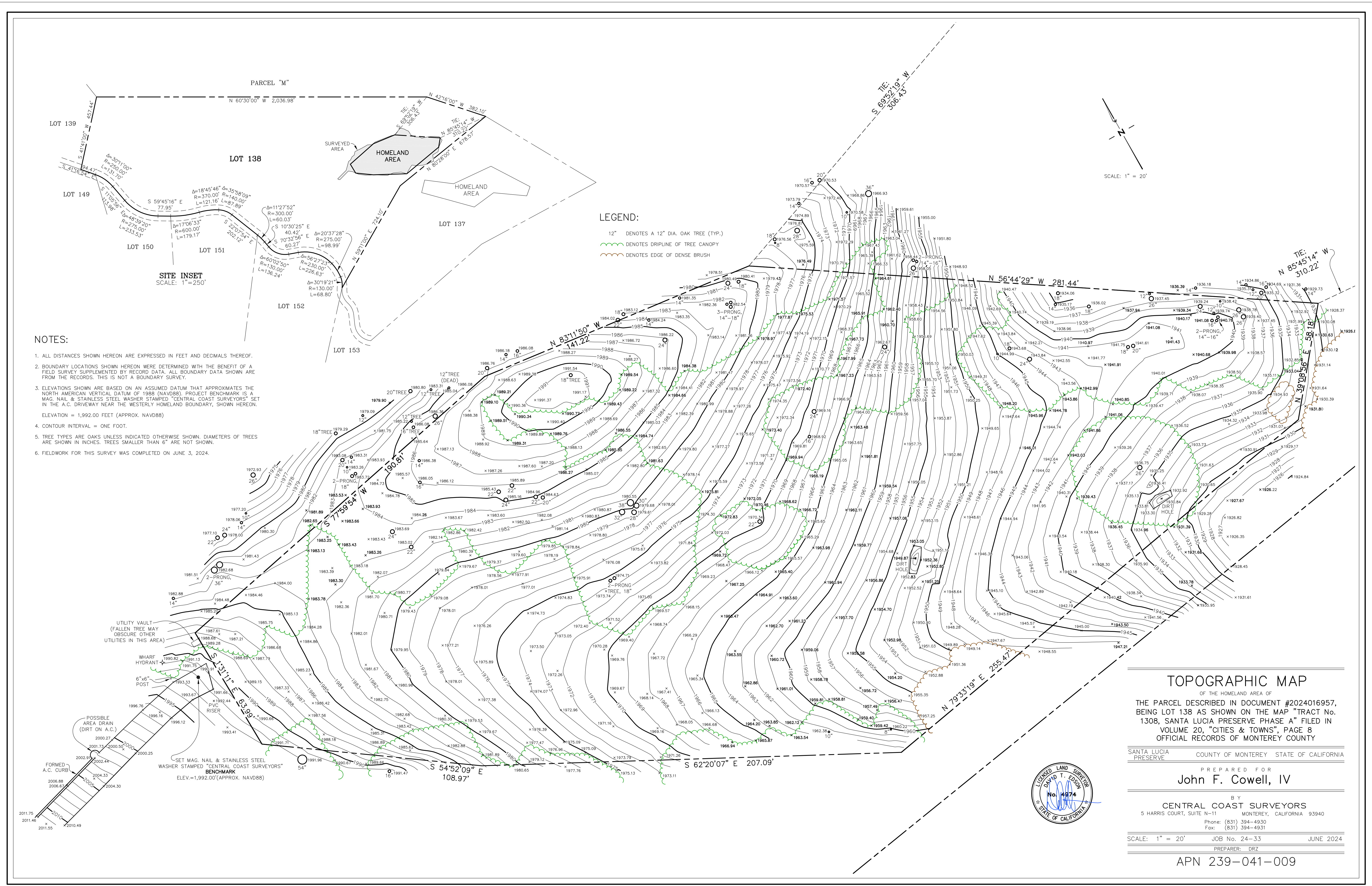


Stockler & Allaire
General Contractors, Inc.
Lic. # 594787
831.375.1880 Fax 831.375.1480
21 Mandeville Court Monterey, CA 93940

CONSTRUCTION MANAGEMENT PLAN
DATE: OCTOBER 24, 2025
SCALE : AS SHOWN

62 CHAMISAL PASS
CARMEL, CA 93923

CMP



LEGEND:

12" DENOTES A 12" DIA. OAK TREE (TYP.)

○ DENOTES DRIPLINE OF TREE CANOPY

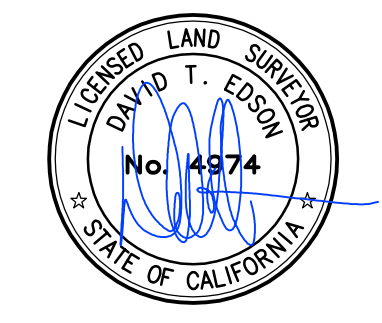
○ DENOTES EDGE OF DENSE BRUSH

- NOTES:
1. ALL DISTANCES SHOWN HEREON ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
 2. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY.
 3. ELEVATIONS SHOWN ARE BASED ON AN ASSUMED DATUM THAT APPROXIMATES THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). PROJECT BENCHMARK IS A MAG. NAIL & STAINLESS STEEL WASHER STAMPED "CENTRAL COAST SURVEYORS" SET IN THE A.C. DRIVEWAY NEAR THE WESTERLY HOMELAND BOUNDARY, SHOWN HEREON. ELEVATION = 1,992.00 FEET (APPROX. NAVD88)
 4. CONTOUR INTERVAL = ONE FOOT.
 5. TREE TYPES ARE OAKS UNLESS INDICATED OTHERWISE SHOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 6" ARE NOT SHOWN.
 6. FIELDWORK FOR THIS SURVEY WAS COMPLETED ON JUNE 3, 2024.

TOPOGRAPHIC MAP

OF THE HOMELAND AREA OF

THE PARCEL DESCRIBED IN DOCUMENT #2024016957,
BEING LOT 138 AS SHOWN ON THE MAP "TRACT No.
1308, SANTA LUCIA PRESERVE PHASE A" FILED IN
VOLUME 20, "CITIES & TOWNS", PAGE 8
OFFICIAL RECORDS OF MONTEREY COUNTY



SANTA LUCIA PRESERVE COUNTY OF MONTEREY STATE OF CALIFORNIA

PREPARED FOR
John F. Cowell, IV

BY
CENTRAL COAST SURVEYORS
5 HARRIS COURT, SUITE N-11 MONTEREY, CALIFORNIA 93940
Phone: (831) 394-4930
Fax: (831) 394-4931

SCALE: 1" = 20' JOB No. 24-33 JUNE 2024
PREPARER: DRZ

APN 239-041-009

EARTHWORK ANALYSIS*

	CUT ANALYSIS (CUBIC YARDS)	FILL ANALYSIS (CUBIC YARDS)
PROJECT	1,550	600
NET	950 CU YDS EXPORT	

*SHERWOOD DESIGN ENGINEERS IS NOT AN ENGINEERING CONTRACTOR, NOR SHOULD OUR RENDERING OF CUT AND FILL EARTHWORK VOLUMES BE CONSIDERED EQUIVALENT TO THE NATURE AND EXTENT OF SERVICE AN ENGINEERING CONTRACTOR WOULD PROVIDE. THIS ESTIMATE IS BASED SOLELY ON OUR OWN ANALYSIS, WHICH IS AS ACCURATE AS THE INFORMATION PROVIDED TO US IN REGARDS TO EXISTING TOPOGRAPHY AND CONCEPTUAL GRADING. THIS ANALYSIS WILL NOT REFLECT THE LOCALIZED SITE CONDITIONS NOT REPRESENTED ON THE TOPOGRAPHIC SURVEY, NOR DOES IT TAKE INTO EFFECT FACTORS SUCH AS SHRINKAGE, SWELL, LOSS DURING TRANSPORT AND SUDDENCE, UNLESS OTHERWISE STATED ON QUANTITIES TABLE ABOVE. THIS EARTHWORK VOLUME ANALYSIS SHOULD NOT BE USED FOR BID PURPOSES. DUE TO THESE FACTORS, SHERWOOD DESIGN ENGINEERS CANNOT GUARANTEE THE ACCURACY OF OUR EARTHWORK VOLUME ESTIMATE BEYOND USE AS A PLANNING TOOL.

DISTURBED AREA TOTAL

THE TOTAL DISTURBED AREA FOR THE PROJECT WILL BE 0.72 ± ACRES.



SCALE: 1" = 20'

Note: If the graphic scale does not equal 1", this sheet has been modified from its original size.

NO	DATE	REVISION
1	10.24.2025	PLANNING

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PROJECT NO. 25-091

DATE OCTOBER 2025

DRAWN JH

DESIGNED JHCN

CHECKED CN

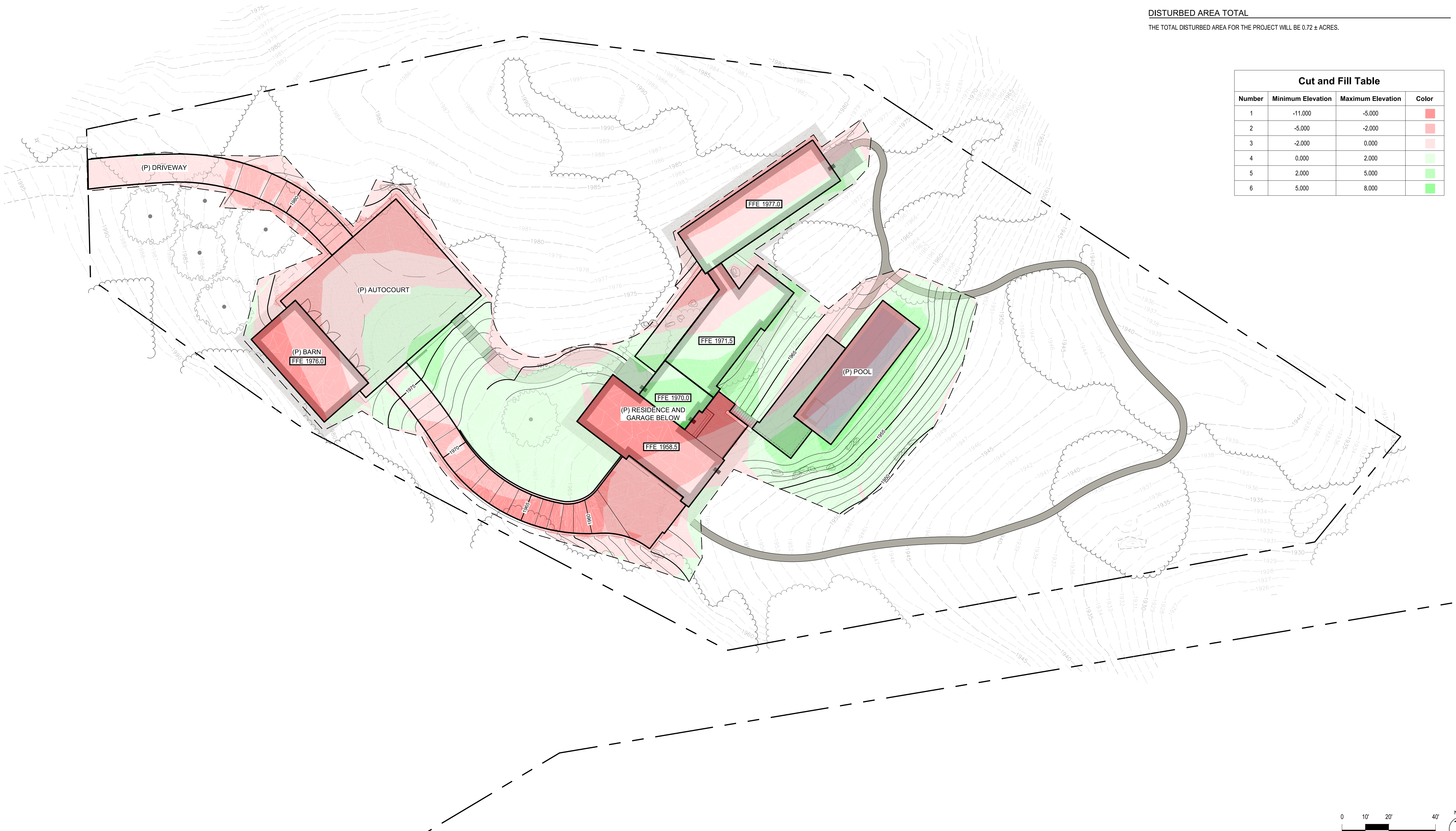
62 CHAMISAL PASS
SAINT LUCIA PRESERVE LOT 138
MONTEREY, CA

EARTHWORK ANALYSIS

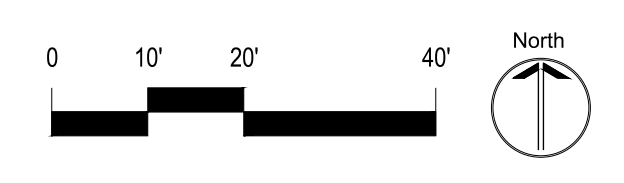
DRAWING NO.

C1.0
1 OF 6

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Number	Minimum Elevation	Maximum Elevation	Color
1	-11.000	-5.000	Red
2	-5.000	-2.000	Light Red
3	-2.000	0.000	Light Pink
4	0.000	2.000	Light Green
5	2.000	5.000	Light Green
6	5.000	8.000	Green



ONSITE WASTEWATER TREATMENT SYSTEM NOTES

1. THE OWTS SHALL COMPLY WITH MONTEREY COUNTY ENVIRONMENTAL HEALTH SERVICES REQUIREMENTS.
2. ALL SETBACKS SHALL BE STAKED PRIOR TO CONSTRUCTION OF WASTEWATER SYSTEM TO ASSURE PROPER LOCATION PER MONTEREY COUNTY REQUIREMENTS.
3. NO WATER WELLS ARE LOCATED WITHIN 100 FT OF PROPOSED SEPTIC SYSTEM ELEMENTS.
4. ALL GRAVITY SANITARY SEWER LINES SHALL BE INSTALLED AT A MINIMUM SLOPE OF 2%.
5. SANITARY SEWER CLEANOUTS SHALL BE INSTALLED AT EVERY BUILDING POINT OF CONNECTIONS, ON PIPE BENDS 45 DEGREES AND GRATER, AS WELL AS EVERY 100 FT.
6. SEP FOR ELECTRICAL AND CONTROL WIRING PLAN. CONTROL PANEL LOCATION TO BE CONFIRMED BY OWNER AND SDE IN THE FIELD PRIOR TO INSTALLATION.
7. THE CONTRACTOR SHALL CONTACT THE ENGINEER'S OFFICE TO ARRANGE A PRE-CONSTRUCTION MEETING FOR THE PURPOSE OF REVIEWING JOB REQUIREMENTS AND NAPA COUNTY PROCEDURES. CONSTRUCTION MAY PROCEED WHEN THE FOLLOWING REQUIREMENTS ARE CONFIRMED:
 - A. SOIL MOISTURE AT THE APPROPRIATE DEPTHS ARE NOT SO HIGH AS TO HAVE THE SOIL SMEAR OR COMPACT DUE TO CONSTRUCTION ACTIVITIES.
 - B. SOIL MOISTURE AT THE APPROPRIATE DEPTHS ARE NOT SO LOW AS TO HAVE SOIL LOSE ITS STRUCTURE AND TURN TO POWDER OR DUST DUE TO CONSTRUCTION ACTIVITIES.
 - C. IMMINENT WEATHER CONDITIONS APPEAR THAT THEY WILL NOT CREATE UNSUITABLE SOIL MOISTURE CONDITIONS DURING THE COURSE OF CONSTRUCTION.
 - D. LAYOUT AND STAKING OF THE ONSITE WASTEWATER DISPERSAL SYSTEM COMPONENTS SUBSTANTIALLY CONFORMS TO THESE PLANS.
8. THE APPROVED AREA FOR THE DISPERSAL SYSTEM AND THE PRIMARY, SECONDARY AND TERTIARY AREAS SHALL BE PROPERLY PROTECTED FROM ALL ACTIVITIES THAT COULD POTENTIALLY COMPACT OR OTHERWISE DESTROY THE DISPERSAL AREA OR THE RESERVE AREA. CONTRACTOR SHALL NOT DRIVE OR PARK ANY VEHICLE OR PLACE ANY HEAVY EQUIPMENT IN THE AREA OF THE PROPOSED DISPERSAL AREA. IF THE SITE IS SUBJECT TO CONSTRUCTION TRAFFIC, A PHYSICAL BARRIER WILL BE REQUIRED. THE ENGINEER SHALL APPROVE THE METHOD OF ACCESS TO THE WORK AREA PRIOR TO BEGINNING ANY WORK.

SEWER LEGEND

- SS — SS — SS — SS — SS — (P) 4" SDR35 GRAVITY SEWER PIPE, S-2% MIN
- SS — SS — SS — SS — SS — (P) 2.0" PVC SANITARY SEWER PRESSURE TRANSMISSION LINE (SUPPLY / RETURN)
- — — — — (P) SOLID DRIP TUBE MANIFOLD
- — — — — (P) DRIP TUBE LEACH LINE WITH EMITTERS SPACED 24" O.C.
- — — — — (P) TERTIARY DRIP TUBE LEACH LINE (NOT FOR CONSTRUCTION)
- SSCO (P) SEWER CLEANOUT
- (P) SEWER POC
- ⊙ ⊙ ⊙ (P) VALVES (AIR RELEASE, VACCUUM RELEASE, CHECK)
- ⊠ (P) ZONE VALVE WITH BOX
- ⊠ ⊠ (P) PERCOLATION TEST HOLE (SEE NOTES)
- ⊠ ⊠ (P) PERCOLATION TEST HOLE (SEE NOTES)
- ⊠ ⊠ (P) PERCOLATION TEST HOLE (SEE NOTES)

SEPTIC SYSTEM DESIGN CRITERIA

DESIGN FLOW
GARAGE (0 BEDROOMS, BATHROOM ONLY) = 0 GPD
MAIN RESIDENCE (6 BEDROOMS) = 600 GPD (PER TABLE 6)
TOTAL DESIGN FLOW = 600 GPD

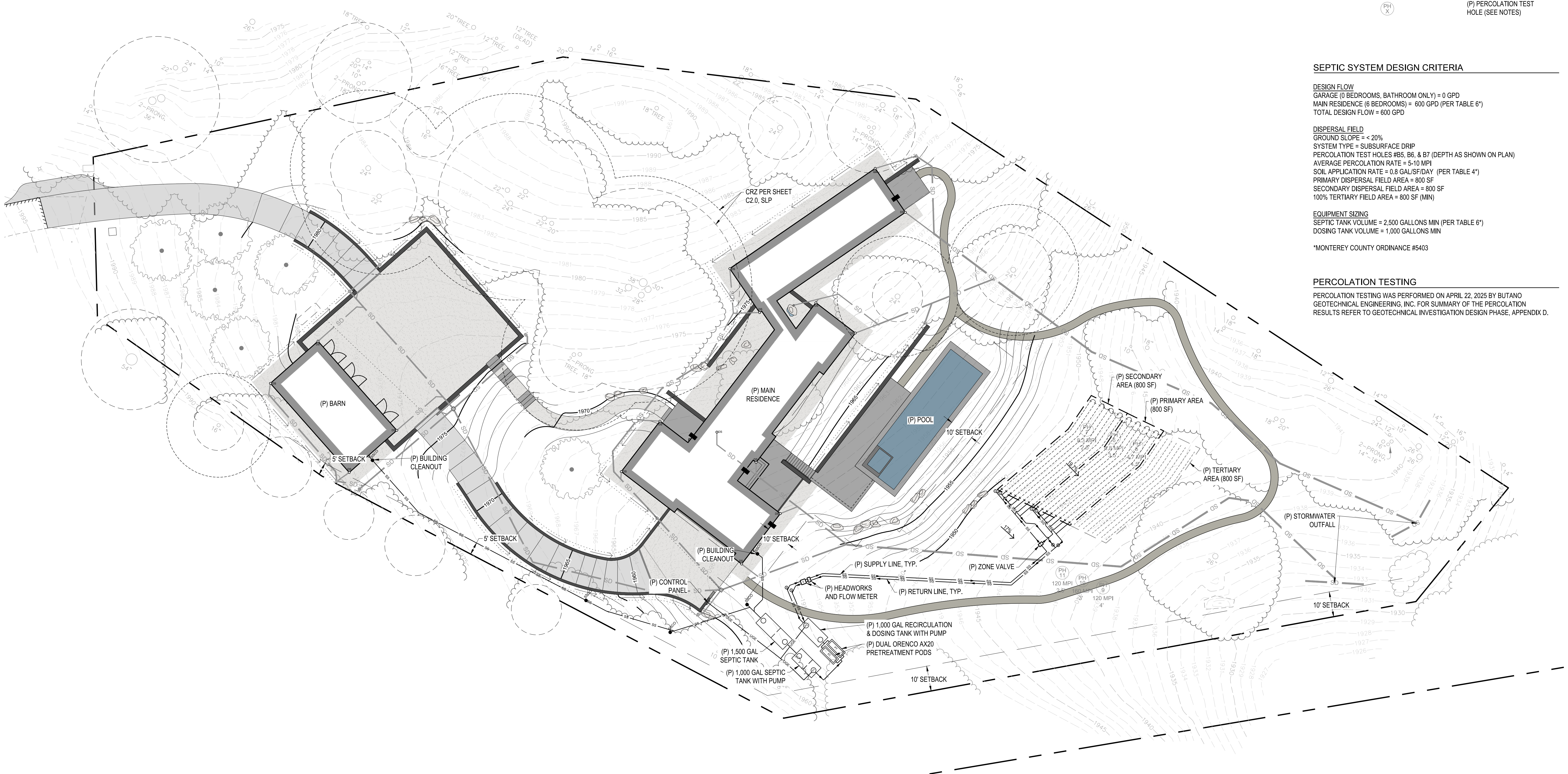
DISPERSAL FIELD
GROUND SLOPE = < 20%
SYSTEM TYPE = SUBSURFACE DRIP
PERCOLATION TEST HOLES #B5, B6, & B7 (DEPTH AS SHOWN ON PLAN)
AVERAGE PERCOLATION RATE = 5-10 MPI
SOIL APPLICATION RATE = 0.8 GAL/SF/DAY (PER TABLE 4)
PRIMARY DISPERSAL FIELD AREA = 800 SF
SECONDARY DISPERSAL FIELD AREA = 800 SF
100% TERTIARY FIELD AREA = 800 SF (MIN)

EQUIPMENT SIZING
SEPTIC TANK VOLUME = 2,500 GALLONS MIN (PER TABLE 6)
DOSING TANK VOLUME = 1,000 GALLONS MIN

*MONTEREY COUNTY ORDINANCE #5403

PERCOLATION TESTING

PERCOLATION TESTING WAS PERFORMED ON APRIL 22, 2025 BY BUTANO GEOTECHNICAL ENGINEERING, INC. FOR SUMMARY OF THE PERCOLATION RESULTS REFER TO GEOTECHNICAL INVESTIGATION DESIGN PHASE, APPENDIX D.



SCALE: 1" = 20'

Note: If this graphic scale does not equal 1", this sheet has been modified from its original state.

NO	DATE	REVISION
1	10.24.2025	PLANNING

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PROJECT NO.	DATE
25-091	OCTOBER 2025

DRAWN	DESIGNED	CHECKED
JH	JHCN	CN

62 CHAMISAL PASS
SAINT LUCIA PRESERVE LOT 138
MONTEREY, CA

PRELIMINARY WASTEWATER PLAN

P:\2025\60 - Chamisal\60 - Chamisal\DWG\PRELIMINARY WASTEWATER PLAN.dwg (3/1/25) 11:37 AM (ARCH) (M) (E) (D) (3/1/25) 3:38 PM (M) (E) (D) (3/1/25)

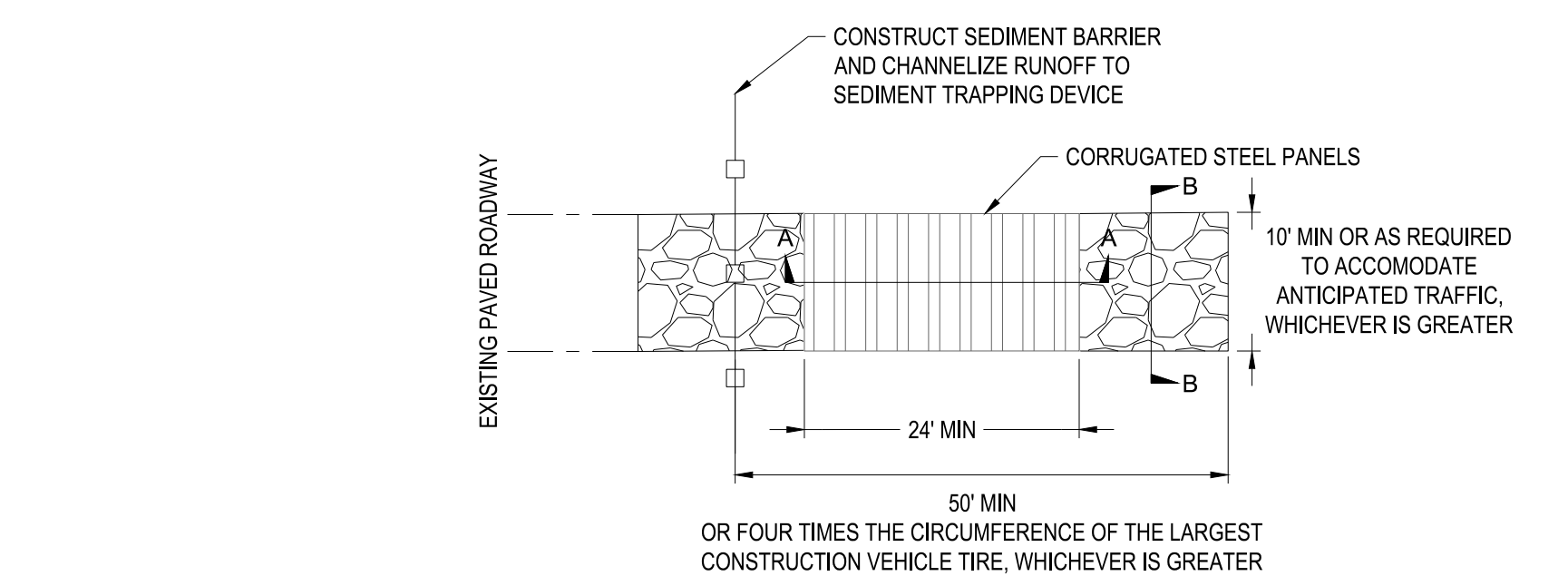
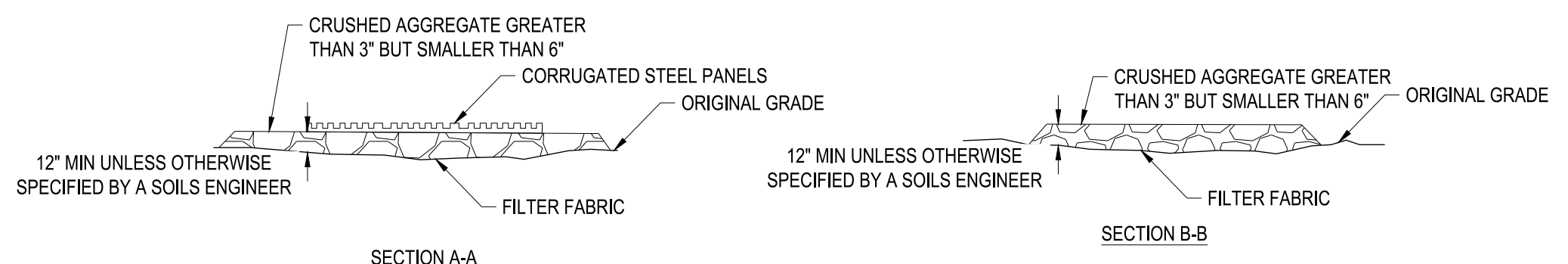


NO	DATE	REVISION
1	10.24.2025	PLANNING

PROJECT NO.	25-091
DATE	OCTOBER 2025
DRAWN	JH
DESIGNED	JHCN
CHECKED	CN

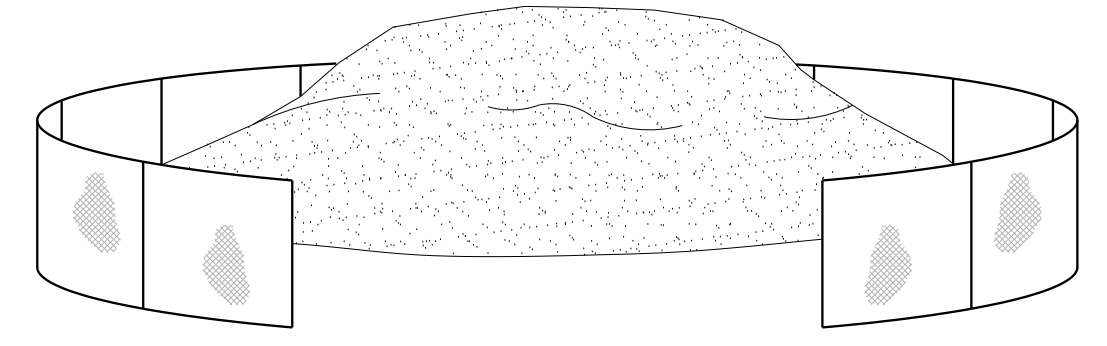
APN 008-455-019
62 CHAMISAL PASS
SAINT LUCIA PRESERVE LOT 138
MONTEREY, CA

EROSION CONTROL
DETAILS

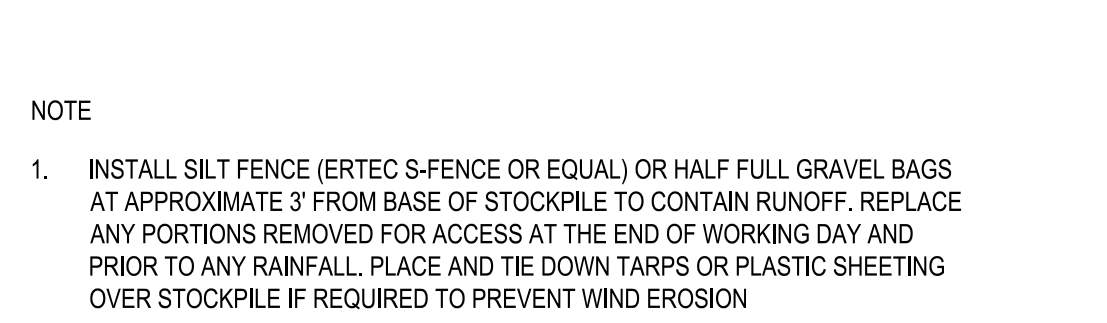


A CONSTRUCTION ENTRANCE WITH RUMBLE PLATES
EC-014

GRAVEL BAGS

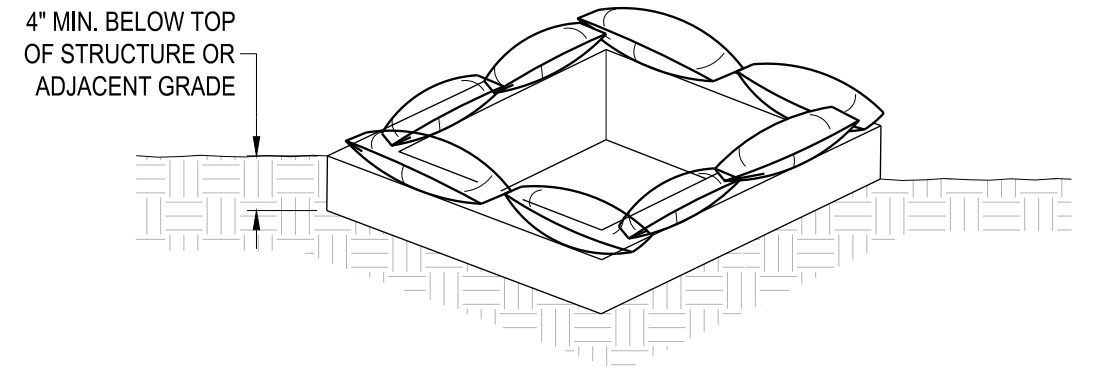


SILT FENCE



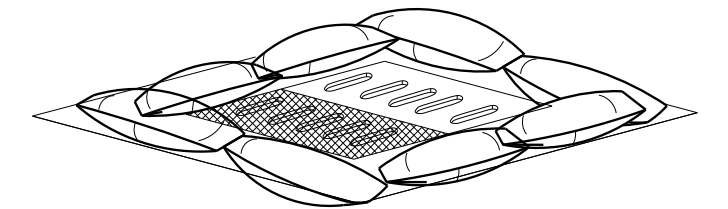
- NOTE
1. INSTALL SILT FENCE (ERTEC S-FENCE OR EQUAL) OR HALF FULL GRAVEL BAGS AT APPROXIMATE 3' FROM BASE OF STOCKPILE TO CONTAIN RUNOFF. REPLACE ANY PORTIONS REMOVED FOR ACCESS AT THE END OF WORKING DAY AND PRIOR TO ANY RAINFALL. PLACE AND TIE DOWN TARPS OR PLASTIC SHEETING OVER STOCKPILE IF REQUIRED TO PREVENT WIND EROSION.

B MATERIAL STOCKPILE
EC-014



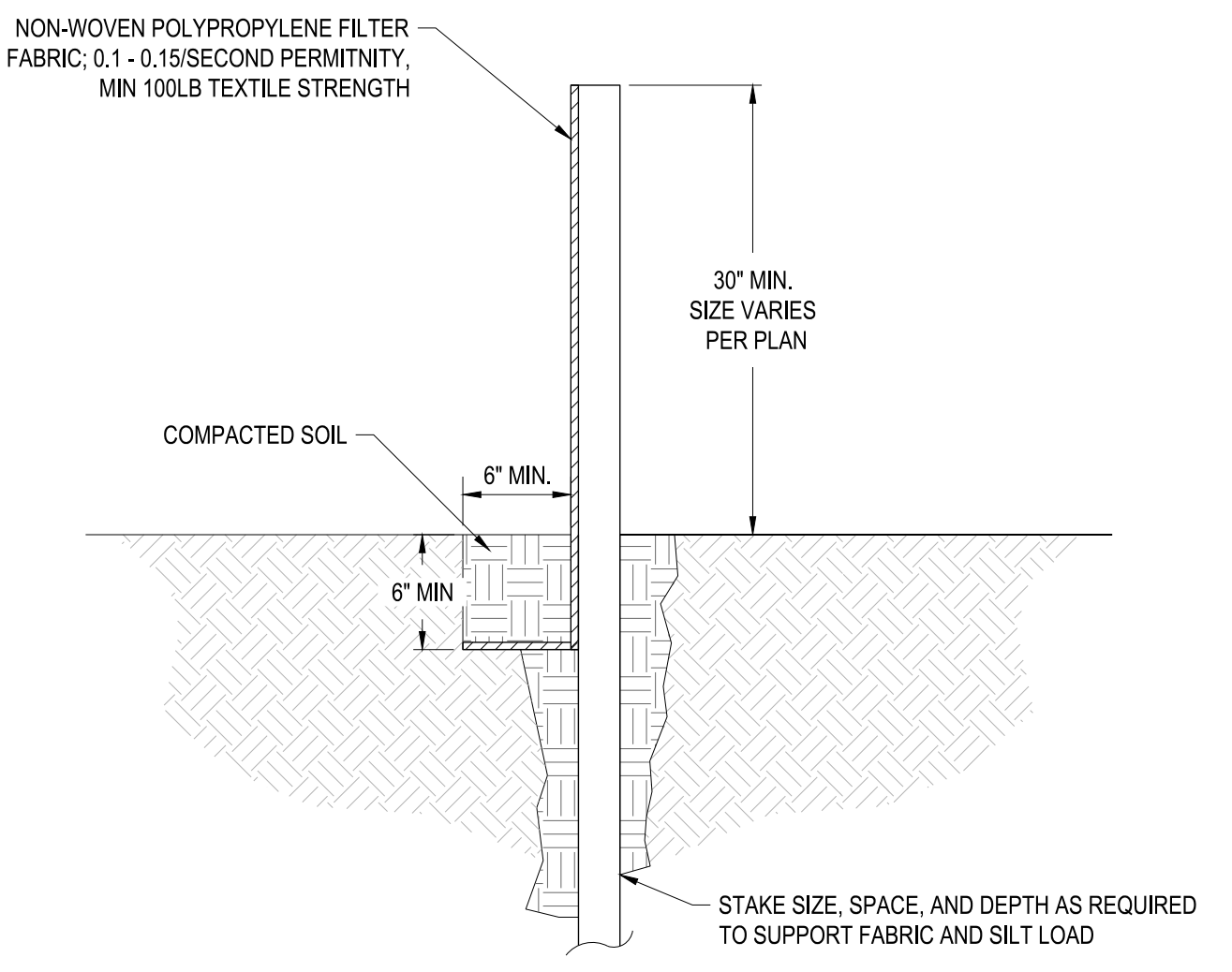
DRAIN INLET - LANDSCAPE AREAS

- NOTES
1. ENSURE TEMPORARY CONSTRUCTION MATERIALS OR DEBRIS NEAR PROTECTED INLETS WILL NOT DAMAGE ADJACENT IMPROVEMENTS OR SPILL INTO NEARBY STORM OR SANITARY IMPROVEMENTS OR FACILITIES.
 2. MANUFACTURED PRODUCTS SHOULD BE ERTEC COMBO GUARD OR APPROVED EQUAL WITH MAX 425Y FILTER OPENINGS.
 3. ALTERNATE INSTALLATION AT BYPASS INLETS NOT AT A LOW POINT; NO INFLOW REQUIRED: PLACE FILTER FABRIC (MIRAFI 140 N OR APPROVED EQUAL) OVER ENTIRE STRUCTURE OPENING, AND INSTALL GRATE TO HOLD IN PLACE. WRAP OVER VERTICAL OPENING AND CURB INLETS AND HOLD IN PLACE WITH SAND BAGS.



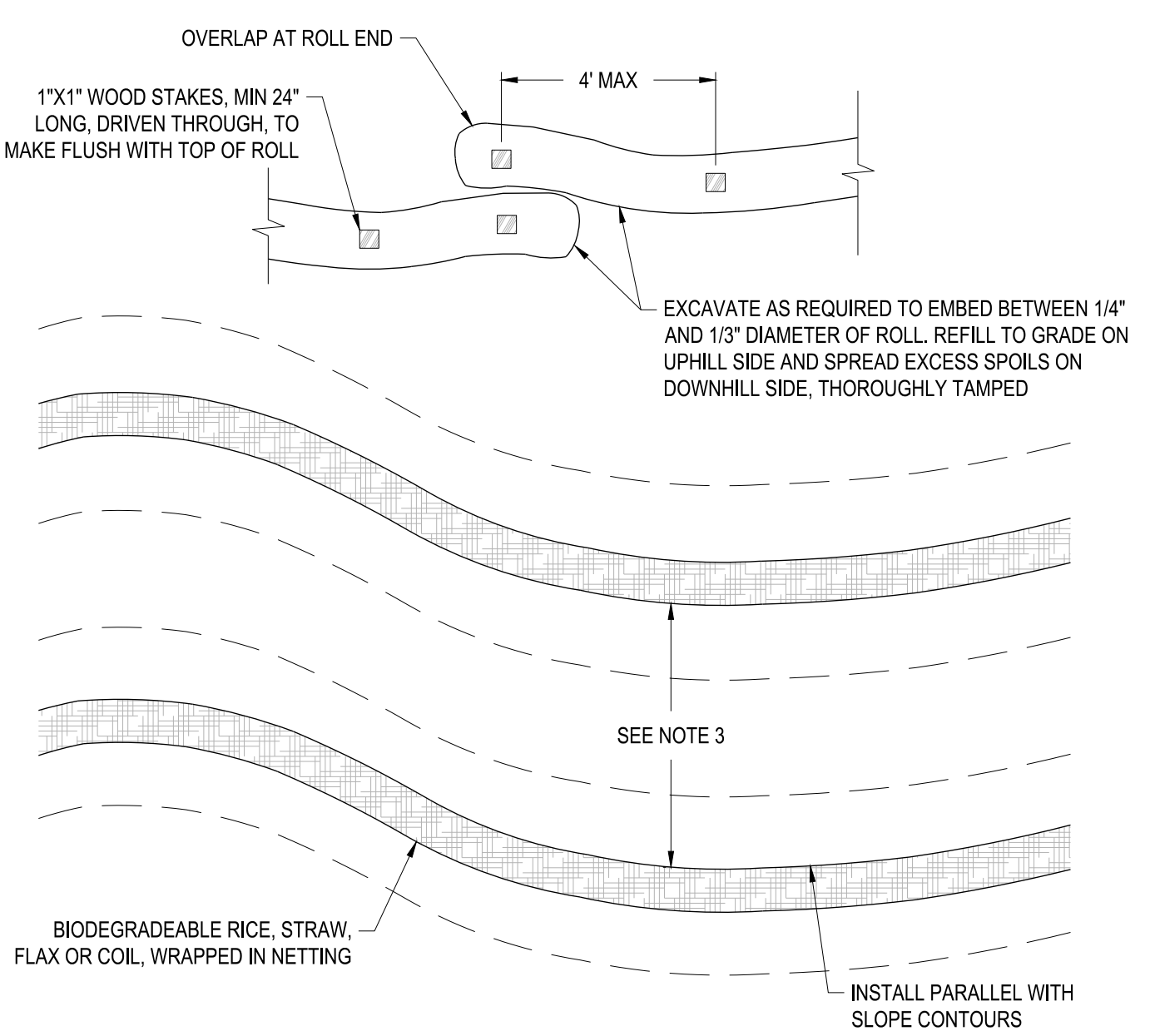
DRAIN INLET - PAVED SURFACE

C INLET PROTECTION - WITH SAND BAGS
ER-00-006



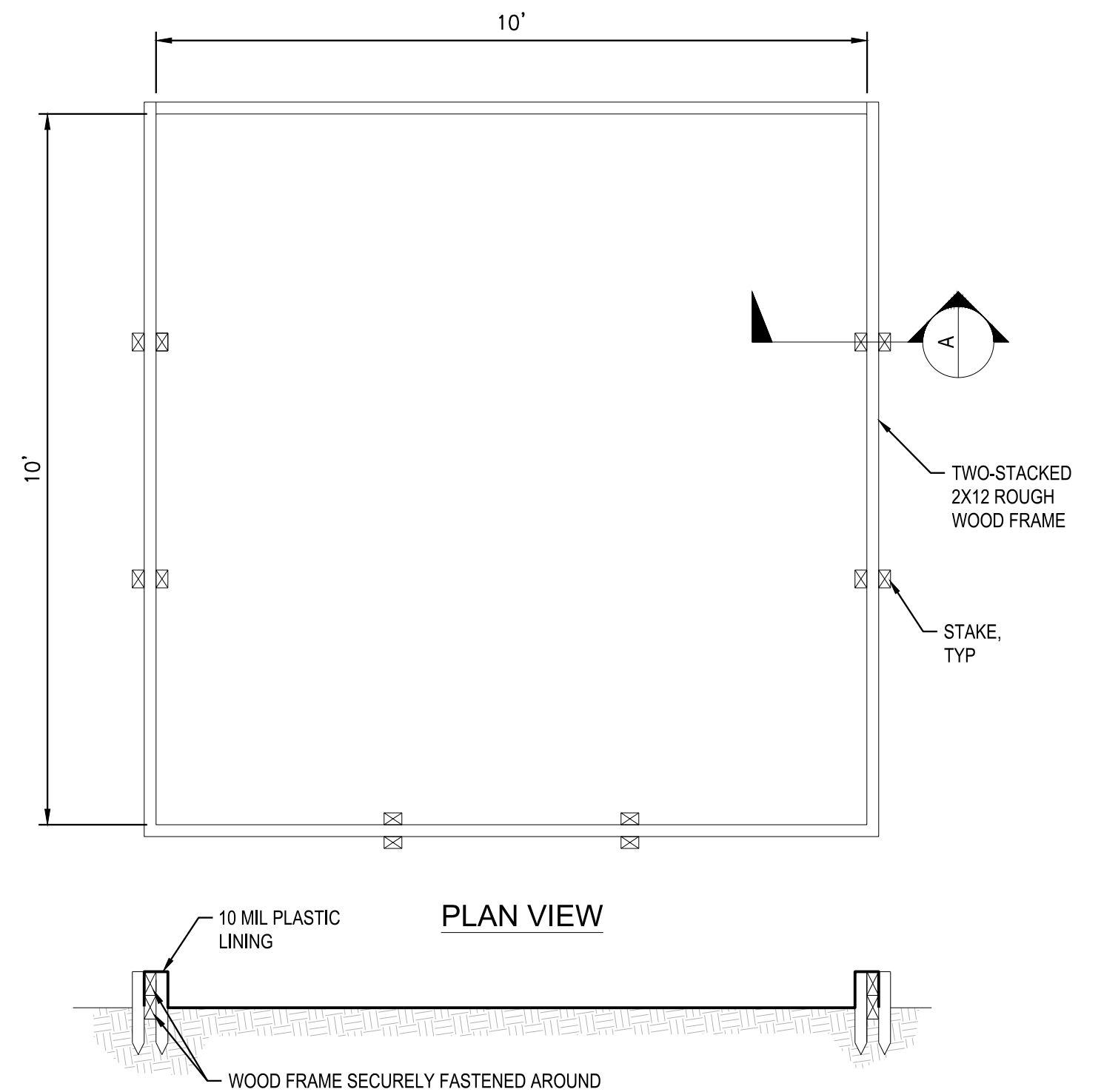
- NOTES
1. REFER TO CASQUA BMP DETAIL SE-1 FOR ADDITIONAL INSTALLATION DETAILS AND MAINTENANCE INSTRUCTIONS.
 2. ALTERNATE INSTALLATION: ERTEC S-FENCE, 10 HIGH, OR EQUAL BY APPROVED MANUFACTURERS, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

D SILT S-FENCE
ER-00-001



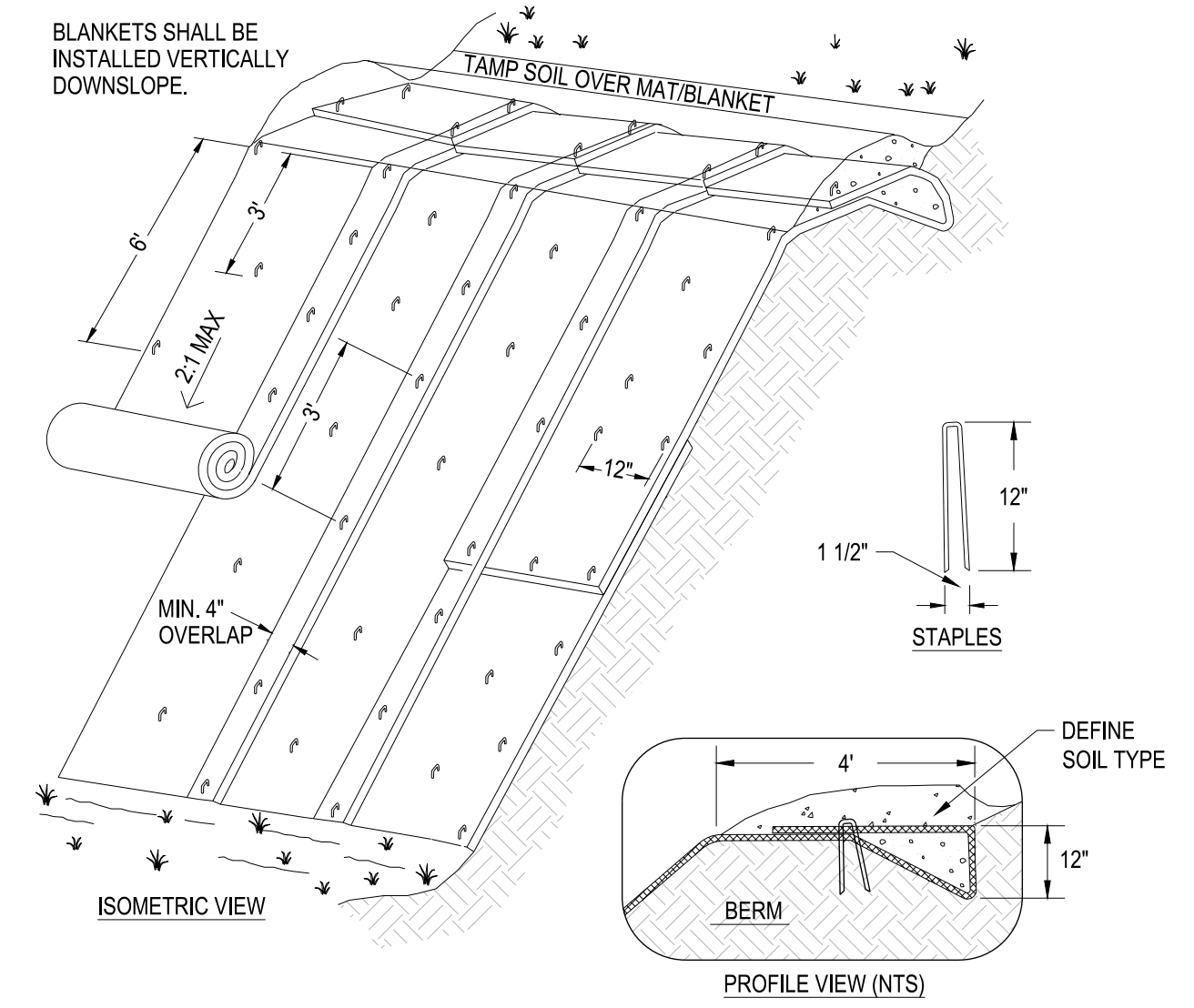
- NOTES
1. FIBER ROLLS SHALL BE MANUFACTURED PRODUCTS CONSISTING OF RICE, STRAW, FLAX, COIL OR SIMILAR BIODEGRADABLE MATERIAL WRAPPED INTO A TUBULAR SHAPE WITH NETTING.
 2. CONTRACTOR TO USE ERTEC STRAW WATTLES OR APPROVED EQUAL.
 3. SPACE FIBER ROLLS PER MANUFACTURER'S REQUIREMENTS.

E FIBER ROLLS
SCALE: NTS



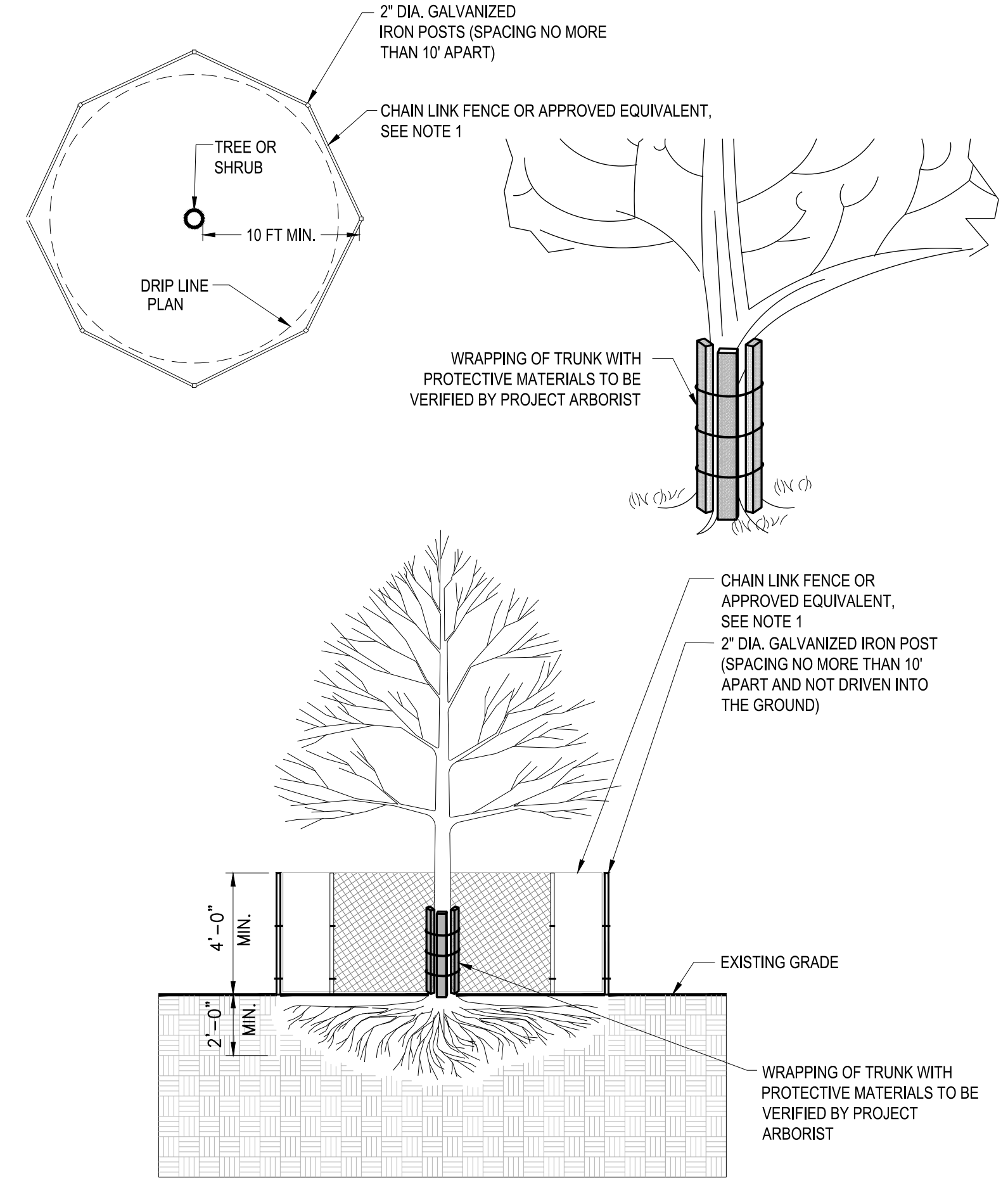
- NOTES
1. ACTUAL LAYOUT DETERMINED IN FIELD
 2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30FT OF THE TEMPORARY CONCRETE WASHOUT FACILITY

F CONCRETE WASHOUT
SCALE: NTS



- NOTES
1. FOR EMBANKMENT FACE AND FILL SLOPES, USE DOUBLE-NET BIODEGRADABLE STRAW BLANKET.
 2. SLOPE SURFACE SHALL BE FREE OF ROCKS AND CLODS LARGER THAN 3", AND ORGANIC DEBRIS. BLANKETS SHALL LAY FLAT ON THE SOIL.
 3. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
 4. LAY BLANKETS LOOSELY AND STAPLE AS SHOWN TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

G EROSION CONTROL BLANKET
EC-00-002

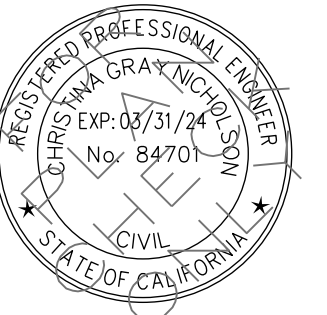


- NOTES
1. FENCING SHALL CONSIST OF CHAIN LINK, SNOWDRIFT, PLASTIC MESH, HAY BALES, OR FIELD FENCE. FENCING IS NOT TO BE ATTACHED TO THE TREE BUT FREE-STANDING OR SELF-SUPPORTING SO AS NOT TO DAMAGE TREES. FENCING SHALL BE RIGIDLY SUPPORTED AND SHALL STAND A MINIMUM HEIGHT OF FOUR FEET ABOVE GRADE AND SHOULD BE PLACED TO THE FARTHEST EXTENT POSSIBLE FROM THE TREE'S BASE TO PROTECT THE AREA WITHIN THE TREE'S DRIP LINE (TYPICALLY 10-12 FEET AWAY FROM THE BASE OF A TREE)
 2. CONTRACTOR AND/OR ARBORIST CAN PROPOSE AN ALTERNATE TREE PROTECTION PLAN TO THE ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION

H TREE PROTECTION
SCALE: NTS

P:\2025\25-091 Chamisal\01 Erosion Control Details.dwg, C:\Users\jcham\OneDrive\Desktop\25-091\25-091.dwg, 11/11/2025 3:11 PM ARCHITECTURE

Slope Summary Table	
Slope	Color
30.00% or Greater	



SCALE: 1" = 20'

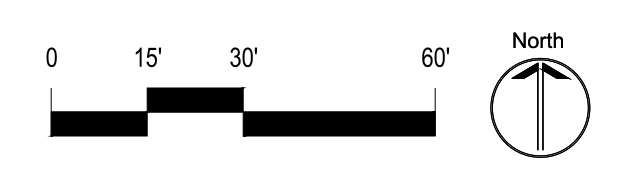
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NO	DATE	REVISION
1	10.24.2025	PLANNING

PROJECT NO. 25-091
DATE: OCTOBER 2025
DRAWN: JH
DESIGNED: JHCN
CHECKED: CN

62 CHAMISAL PASS
SAINT LUCIA PRESERVE LOT 138
MONTEREY, CA

SLOPE ANALYSIS



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62 CHAMISAL PASS

COWELL RESIDENCE
 SANTA LUCIA PRESERVE LOT 138, MONTEREY CA
 APN: 239-041-009-000
 MONTEREY COUNTY PLANNING SUBMITTAL
 LANDSCAPE PACKAGE
 OCTOBER 24, 2025

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 CONTACT: MICHELLE COWELL
 EMAIL: MICHELLECOWELL@ME.COM

ARCHITECT:
 KEN LINSTEADT ARCHITECTS
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 SAN FRANCISCO, CA 94109
 TEL: 415-351-1018
 CONTACT: KEN LINSTEADT
 EMAIL: KLA-PERMITS@KENLINSTEADT.COM

LANDSCAPE ARCHITECT:
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 SANTA CRUZ, CA 95060
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 TEL: (831) 423-6040
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CIVIL ENGINEER:
 SHERWOOD DESIGN ENGINEERS
 2548 MISSION STREET
 SAN FRANCISCO, CA 94110
 TEL: 415-677-7300
 CONTACT: CHRISTINA NICHOLSON
 EMAIL: CNICHOLSON@SHERWOODENGINEERS.COM

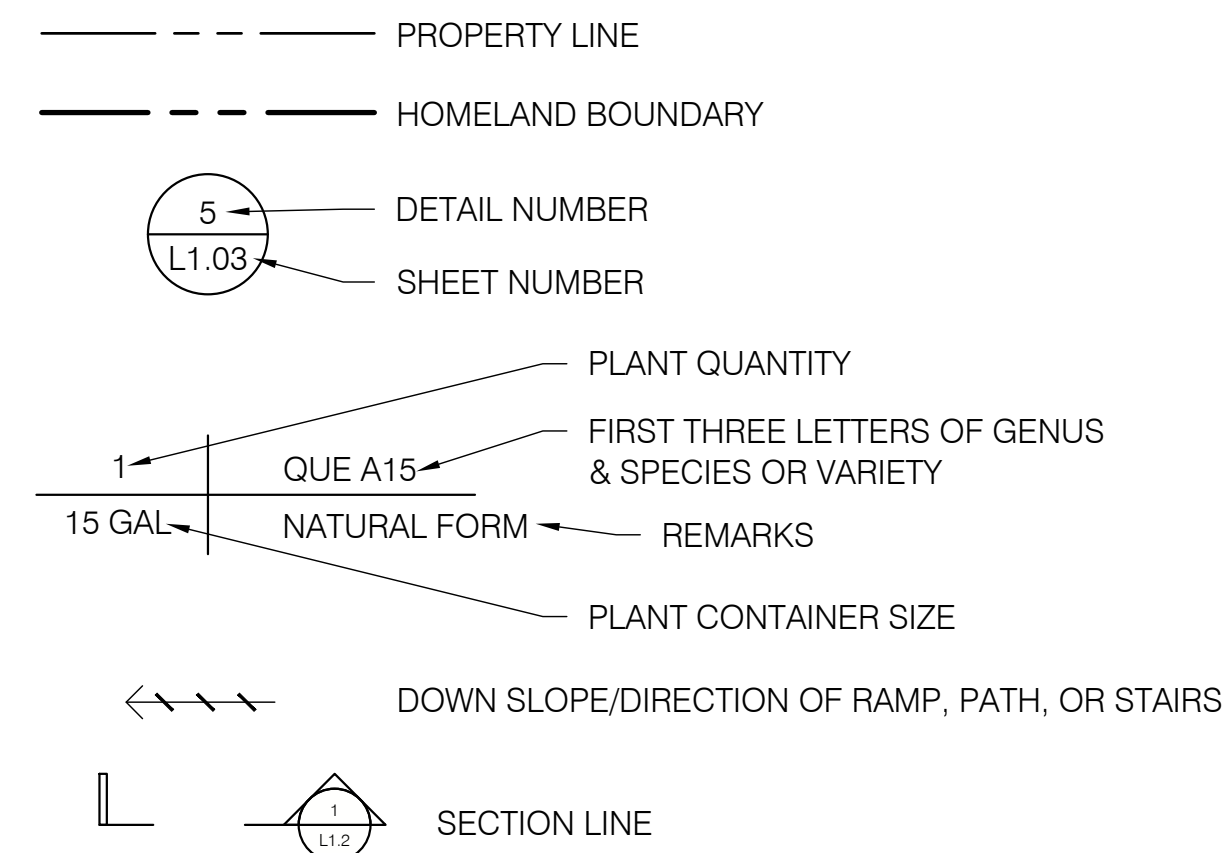
GENERAL CONTRACTOR:
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 21 MANDEVILLE COURT
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 MONTEREY, CA 93940
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FUEL MANAGEMENT:
 BEN EICHORN
 EMAIL: BEN@COASTWILDLAND.COM

SURVEYOR:
 CENTRAL COAST SURVEYORS
 5 HARRIS COURT #N11
 MONTEREY, CA 93940
 CONTACT: DAVE EDSON
 PHONE: (831) 394-4930
 EMAIL: DAVE@CCSURVEYORS.COM

LEGEND



ABBREVIATIONS

&	AND	GA.	GUAGE
∠	ANGLE	GALV.	GALVANIZED
@	AT	GND.	GROUND
CL	CENTERLINE	GR.	GRADE
Ø	DIAMETER OR ROUND	HDR	HEADER
#	POUND OR NUMBER	HT	HEIGHT
ADJ.	ADJACENT	LT	LIGHT
AGGR.	AGGREGATE	MAX	MAXIMUM
AL.	ALUMINUM	MET.	METAL
APPROX.	APPROXIMATE	MFR.	MANUFACTURER
ARCH.	ARCHITECTURAL	MIN.	MINIMUM
A.C.	ASPHALT	MTD.	MOUNTED
ACC.	ACCESSIBLE	MTL	MATERIAL
B.C.	BOTTOM OF CURB	N	NEW
B.C.R.	BEGINNING OF CURVE RADIUS	NIC	NOT IN CONTRACT
B.O.C.	BACK OF CURB	NTS	NOT TO SCALE
B.O.W.	BOTTOM OF WALL	O.C.	ON CENTER
B.O.S.	BOTTOM OF SLOPE	O.C.E.W.	ON CENTER EACH WAY
BLDG.	BUILDING	OD	OUTSIDE DIAMETER (DIM.)
BLK.	BLOCK	PA	PLANTING AREA
C.E.	CIVIL ENGINEER	PRCST.	PRECAST
CIP	CAST IN PLACE	PIP	POURED IN PLACE
CL	CENTER LINE	POT	POINT OF TANGENCY
CLKG.	CAULKING	PVC	POLYVINYL CHLORIDE
CMU.	CONCRETE MASONRY UNIT	QTY	QUANTITY
CONC.	CONCRETE	R	RISER
CONSTR.	CONSTRUCTION	RAD	RADIUS
CONT.	CONTINUOUS	REINF.	REINFORCED
CTR.	CENTER	REQ.	REQUIRED
D.A.	DISABLED ACCESS	SCH	SCHEDULE
DET.	DETAIL	SHT.	SHEET
DIA.	DIAMETER	SPEC.	SPECIFICATION
DIM.	DIMENSION	S.S.	STAINLESS STEEL
DN.	DOWN	STD	STANDARD
DWGS	DRAWINGS	STRL.	STRUCTURAL
E	EXISTING	T	TREAD
EJ	EXPANSION JOINT	T.C.	TOP OF CURB
EL.	ELEVATION	T.O.S.	TOP OF SLOPE
ELEC.	ELECTRICAL	T.O.W.	TOP OF WALL
EQ	EQUAL	TYP	TYPICAL
EXP.	EXPANSION	TBS	TO BE SELECTED
EXT.	EXTERIOR	UBC	UNIFORM BUILDING CODE
FG	FINISH GRADE	VERT.	VERTICAL
FL	FLOW LINE	W/	WITH
FS	FINISH SURFACE	W/O	WITHOUT
FOW	FACE OF WALL		
FOB	FACE OF BUILDING		
FOC	FACE OF CURB		

SHEET INDEX

SHEET	DESCRIPTION
L0.0	COVER SHEET
L0.1	SITE ANALYSIS
L0.2	TREE PROTECTION, TREE REMOVAL, & MEADOW PROTECTION PLAN
L0.3	TREE MITIGATION PLAN
L1.0	HOMELAND SITE PLAN
L1.1	LANDSCAPE SECTIONS
L2.0	IRRIGATION PLAN
L2.1	IRRIGATION NOTES AND LEGEND
L2.2	IRRIGATION WATER CALCULATION
L3.0	PLANTING PLAN
L3.1	PLANTING NOTES & SCHEDULE & FUEL MODIFICATION ZONES
L4.0	LANDSCAPE CHARACTER & MATERIALS IMAGES
L5.0	LIGHTING PLAN

PREPARED BY

LANDSCAPE ARCHITECT:
 JONI L. JANECKI & ASSOCIATES, INC.
 515 SWIFT STREET
 SANTA CRUZ, CA 95060
 CONTACT: JONI L. JANECKI
 TEL: (831) 423-6040
 EMAIL: JLJ@JLJA.COM

WATER USE CERTIFICATION

I CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT-TOLERANT, NON-INVASIVE SPECIES; LIMITED TURF; AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES.

Joni L. Janekki 10/24/2025
 JONI L. JANECKI, ASLA DATE

GENERAL NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR THE INTENT OF THESE PLANS AND SHALL IMMEDIATELY REPORT ANY DISCREPANCIES TO THE OWNER PRIOR TO CONSTRUCTION.
- WORK, ONCE BEGUN, SHALL BE PURSUED TO COMPLETION WITHOUT DELAY SO AS TO PROVIDE MINIMUM INCONVENIENCE TO THE OWNERS OR NEIGHBORS.
- CONTRACTOR SHALL TAKE PROPER PRECAUTIONS TO PROTECT EXISTING UTILITIES. IF AN EXISTING UTILITY IS DAMAGED BY CONTRACTOR'S WORK, THE CONTRACTOR WILL SEE THAT REPAIR OF OF THE UTILITY IS COMPLETED AT NO COST TO THE OWNER. CALL BEFORE YOU DIG: 811
- EMERGENCY TELEPHONE NUMBERS:
 POLICE DEPARTMENT 911
 FIRE DEPARTMENT 911
 MONTEREY PENINSULA WATER MANAGEMENT DISTRICT (831) 658-5601
 PG&E (800) 743-5000
- THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT EXISTING IMPROVEMENTS FROM ANY AND ALL DAMAGE OR DEPOSITION OF DEBRIS THAT MAY RESULT FROM ANY AND ALL WORK IN CONNECTION WITH PROJECT CONSTRUCTION. CONTRACTOR TO BE RESPONSIBLE FOR ALL COSTS RELATED TO DAMAGE, INCLUDING IN-KIND REPLACEMENT.
- ALL UTILITY BOXES AND VALVE BOXES WITHIN THE LIMITS OF THIS WORK SHALL BE ADJUSTED FLUSH WITH FINISH GRADE.
- DO NOT SCALE FROM DRAWINGS. USE PROVIDED DIMENSIONS, WHERE GIVEN OR VERIFY WITH OWNER.
- FIELD VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS PRIOR TO COMMENCEMENT OF ANY WORK UNDER THIS CONTRACT, INCLUDING BUT NOT LIMITED TO: PROPERTY LINES, RIGHT-OF-WAYS, EASEMENTS, SETBACKS, TOP AND BOTTOM OF SLOPES, UTILITIES, STRUCTURES, AND PROJECT LIMITS OF WORK. IMMEDIATELY REPORT DISCREPANCIES BETWEEN THE PLAN AND SITE CONDITIONS TO THE OWNER FOR RESOLUTION BEFORE BEGINNING WORK.
- PARKING: COORDINATE SITE ACCESS AND VERIFY PARKING WITH OWNER PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR TO COMPLY WITH ALL MONTEREY COUNTY REGULATIONS AND PERMIT FILINGS FOR ANY WORK WITHIN THE PUBLIC RIGHT OF WAY.

NO.	DATE	DESCRIPTION
1	04/03/2025	PRELIMINARY DRB
2	06/05/2025	FINAL DRB
3	10/24/2025	PLANNING
4		
5		
6		



JONI L. JANECKI
 & ASSOCIATES

515 SWIFT ST. SANTA CRUZ CA 95060
 PHONE 831.423.6040 | WWW.JLJA.COM
 California Landscape Architect License 3183

PROJECT:
 62 CHAMISAL PASS
 SANTA LUCIA PRESERVE LOT 138
 MONTEREY, CA

PROJECT:

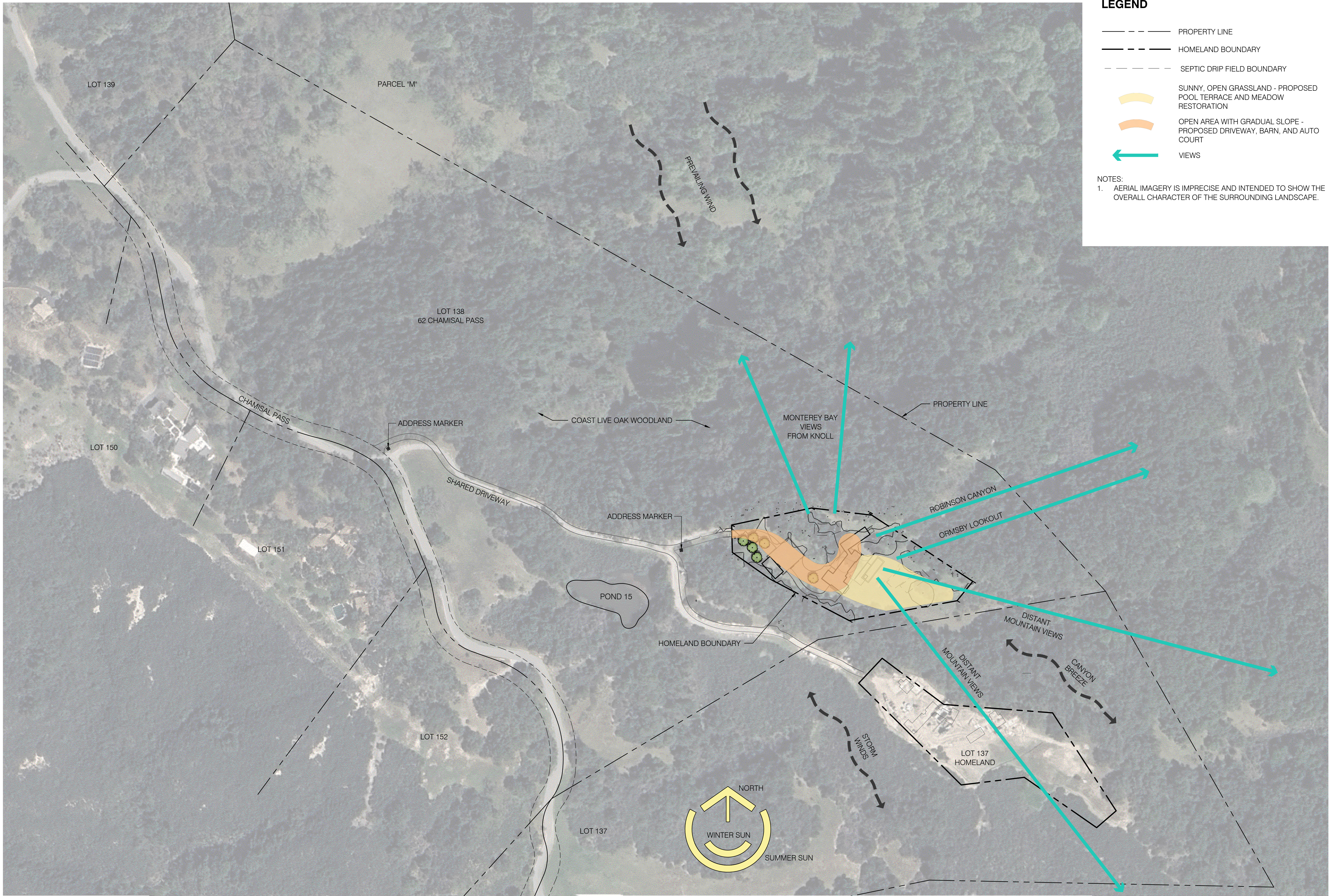
SHEET TITLE:
 COVER SHEET

SHEET TITLE:

SCALE:
 DRAWN BY: ND/CJ
 DATE: 10/24/2025

NOT FOR CONSTRUCTION ORIGINAL SHEET SIZE: 24" X 36"

L0.0



LEGEND

- PROPERTY LINE
- - - HOMELAND BOUNDARY
- - - SEPTIC DRIP FIELD BOUNDARY
- ☀️ SUNNY, OPEN GRASSLAND - PROPOSED POOL TERRACE AND MEADOW RESTORATION
- 🟠 OPEN AREA WITH GRADUAL SLOPE - PROPOSED DRIVEWAY, BARN, AND AUTO COURT
- ➡️ VIEWS

NOTES:
 1. AERIAL IMAGERY IS IMPRECISE AND INTENDED TO SHOW THE OVERALL CHARACTER OF THE SURROUNDING LANDSCAPE.

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 62 CHAMISAL PASS
 SANTA LUCIA PRESERVE LOT 138
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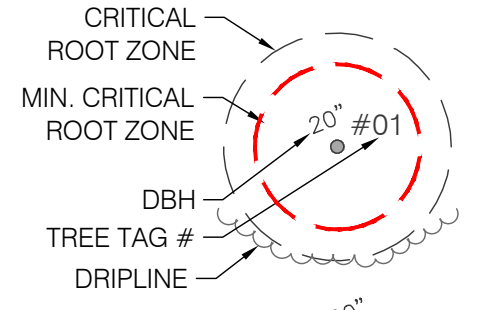
SHEET TITLE:
 SITE ANALYSIS

SCALE: 1" = 100'-0"
 DRAWN BY: ND/CJ
 DATE: 10/24/2025

NOT FOR CONSTRUCTION ORIGINAL SHEET SIZE: 24" X 36"

LEGEND

- HOMELAND BOUNDARY
- - - 5' HOMELAND SETBACK
- - - 1970 EXISTING CONTOUR
- - - 1970 PROPOSED CONTOUR
- - - SEPTIC DRIP FIELD BOUNDARY

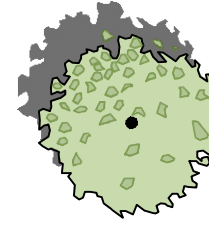


EXISTING TREE TO REMAIN

EXISTING TREE TO BE REMOVED

TREE PROTECTION FENCING, SEE NOTE 3

42" STAKES AND ROPE FENCING FOR MEADOW PROTECTION



MITIGATION TREE, REFER TO PLANTING PLAN, L3.0

TREES TO BE REMOVED

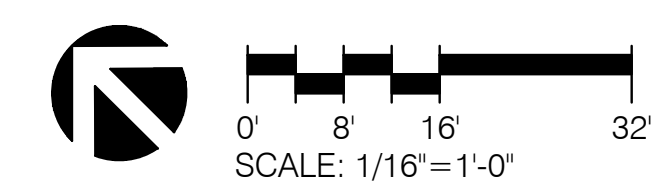
TREE TAG #	SPECIES	DBH (DIAMETER AT BREAST HEIGHT IN INCHES)	MITIGATION REQUIREMENT
18	QUERCUS AGRIFOLIA (COAST LIVE OAK)	20	3:1
19	QUERCUS AGRIFOLIA (COAST LIVE OAK)	15	3:1

TREE PROTECTION NOTES

- REFER TO TREE IMPACT ASSESSMENT REPORT PREPARED BY ROB THOMPSON DATED MARCH 28, 2025.
- GRADING AND CONSTRUCTION DISTURBANCE SHOULD BE AVOIDED WITHIN A RADIUS A MINIMUM OF FIVE TIMES THE DIAMETER (DBH) OR THE INNER HALF OF THE CANOPY DRIPLINE OF THE SUBJECT TREES (WHICHEVER IS GREATER), WHICH IS THE MOST SENSITIVE PORTION OF A TREE'S CRITICAL ROOT ZONE (CRZ). THE CRZ IS GENERALLY DEFINED AS THE AREA WITHIN THE CANOPY DRIPLINE THAT CONTAINS THE MOST SENSITIVE AND IMPORTANT ROOTS. THE MINIMUM CRZ AREA MUST BE PROTECTED AND, WHERE POSSIBLE, ROOT ZONE DISTURBANCE SHOULD BE AVOIDED WITHIN THE ENTIRE CANOPY DRIPLINE AND EVEN EXPANDED TO THE AREA BEYOND THE CANOPY DRIPLINE.
- TREE PROTECTION TO BE INSTALLED BEFORE CONSTRUCTION BEGINS. FENCING SHALL BE WELDED WIRE OR CHAIN LINK FENCING INSTALLED ALONG THE OUTER CANOPY DRIPLINE WHERE POSSIBLE, OR BEYOND THE CANOPY DRIPLINE OF TREES LOCATED WITHIN AND/OR ADJACENT TO THE PROJECT SITE TO AVOID AND MINIMIZE IMPACTING CRITICAL ROOTS.
- WHERE IT IS NECESSARY TO PERFORM GRADING ACTIVITIES WITHIN CANOPY DRIPLINE AND CRZ OF TREES, (1) TRY TO MAINTAIN NATURAL GRADE AS MUCH AS POSSIBLE, (2) WHERE FEASIBLE USE PERMEABLE SURFACE MATERIALS AT FINAL GRADE, (3) AVOID CUT AND FILL (PARTICULARLY CUT) WITHIN THE CRZ THAT COULD RESULT IN SIGNIFICANT ROOT LOSS OR DAMAGE TO LARGE PRIMARY ROOTS. CAREFULLY EXCAVATE AROUND SIGNIFICANT ROOTS UNDER GUIDANCE OF PROJECT ARBORIST.

SOIL SALVAGE & MEADOW PROTECTION NOTES

- AT AREAS TO BE GRADED, NATIVE TOPSOIL SHALL BE REMOVED TO A DEPTH OF 6-INCHES AND STOCKPILED AT A PROTECTED LOCATION ON-SITE, REFER TO CIVIL DRAWINGS. AFTER ROUGH GRADING, STOCKPILED NATIVE TOPSOIL SHALL BE DEPOSITED ON TOP OF GRADED AREAS TO ACHIEVE FINISH GRADE.
- CONSTRUCTION ACTIVITIES TO TAKE PLACE INSIDE ALL FENCING, INCLUDING MEADOW PROTECTION FENCING. NO VEHICLES, EQUIPMENT, OR MATERIALS SHALL BE STORED WITHIN TREE OR MEADOW PROTECTION AREAS.
- DISTURBED AREAS SHALL BE REVEGETATED, REFER TO PLANTING PLAN, L3.0.



NOT FOR CONSTRUCTION ORIGINAL SHEET SIZE: 24" X 36"

PROJECT:
62 CHAMISAL PASS
SANTA LUCIA PRESERVE LOT 138
MONTEREY, CA

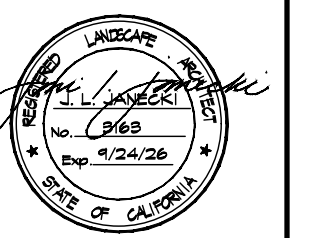
SHEET TITLE:
TREE PROTECTION, TREE
REMOVAL, AND MEADOW
PROTECTION PLAN

SCALE: 1/16" = 1'-0"
DRAWN BY: ND/CJ
DATE: 10/24/2025

L0.2

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LEGEND

- HOMELAND BOUNDARY
- - - SEPTIC DRIP FIELD BOUNDARY
- 20" #01
DBH
TREE TAG #
DRIPLINE
EXISTING TREE TO REMAIN
- 20" #18
EXISTING TREE TO BE REMOVED
- MITIGATION TREE, REFER TO TABLE

LEGEND - IRRIGATION

- Ⓣ HUNTER DRIPLINE (ON-GRADE) WITH 12" O.C. EMITTER DRIP RING FOR TREES (3 RINGS PER TREE), MODEL #: HDL-06-12. NOZZLE GPM: 0.10. OPERATING PSI: 30.
- HUNTER ECO-INDICATOR . MODEL #: ECO-ID.
- ✕ NIBCO BRASS BALL VALVE (LINE SIZE), MODEL #: T-FP600A-LF.
- 1.5IN MAIN LINE, REFER TO IRRIGATION PLANS, L2.0
- ON-GRADE LATERAL LINE TO MITIGATION TREES: HUNTER UV RESISTANT POLYETHYLENE TUBING TWPE-700 1/2" WITH HUNTER PLD FITTINGS. REFER TO IRRIGATION PLAN, L2.0, FOR LATERALS TO SHRUB PLANTINGS.
- ===== SLEEVING: SCHEDULE 40 PVC PLASTIC PIPE. COVER TO BE AS INDICATED IN SPECIFICATIONS OR AS INDICATED ABOVE FOR PIPE DEPTH OF COVER.

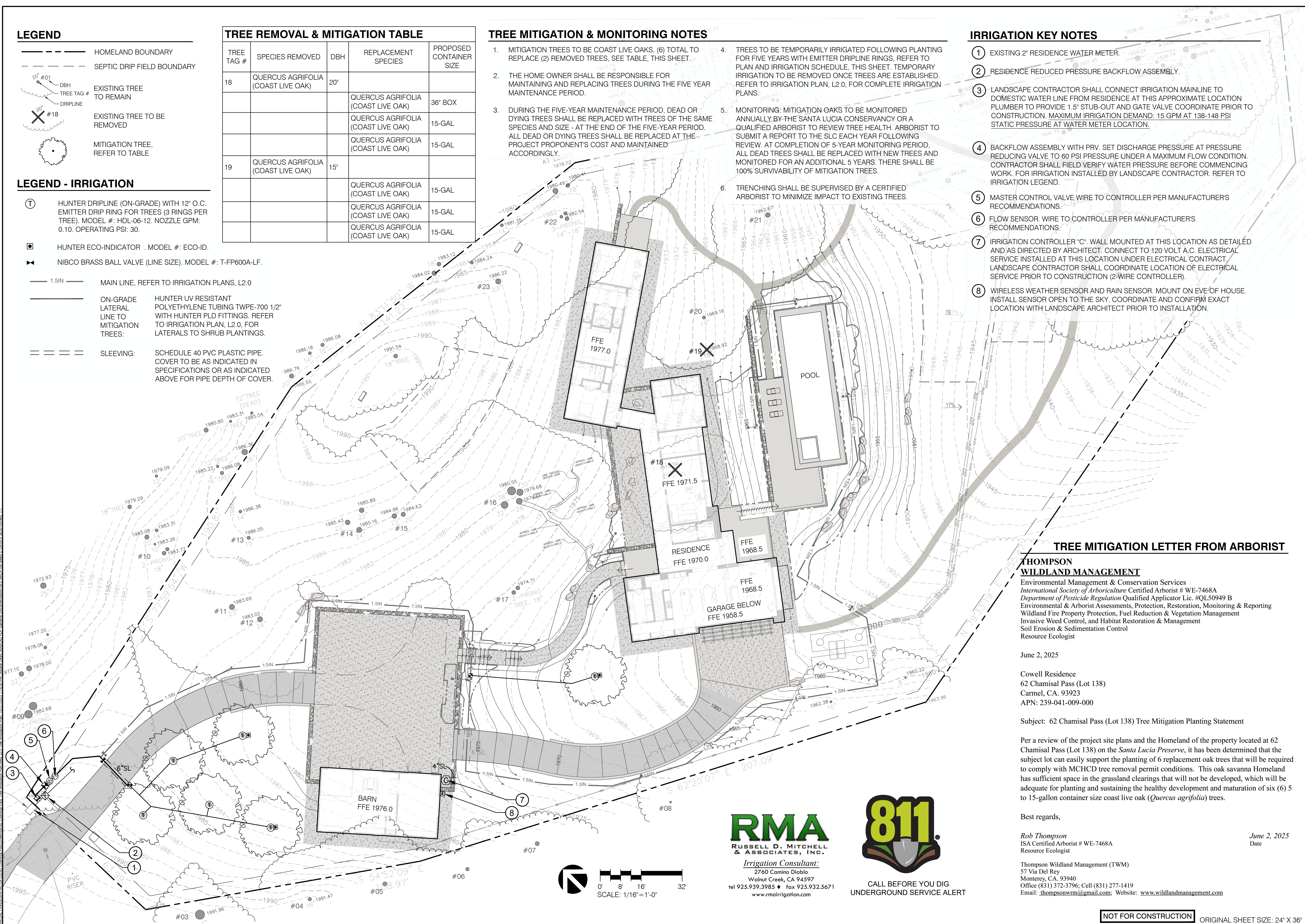
TREE TAG #	SPECIES REMOVED	DBH	REPLACEMENT SPECIES	PROPOSED CONTAINER SIZE
18	QUERCUS AGRIFOLIA (COAST LIVE OAK)	20"	QUERCUS AGRIFOLIA (COAST LIVE OAK)	36" BOX
			QUERCUS AGRIFOLIA (COAST LIVE OAK)	15-GAL
			QUERCUS AGRIFOLIA (COAST LIVE OAK)	15-GAL
19	QUERCUS AGRIFOLIA (COAST LIVE OAK)	15"	QUERCUS AGRIFOLIA (COAST LIVE OAK)	15-GAL
			QUERCUS AGRIFOLIA (COAST LIVE OAK)	15-GAL
			QUERCUS AGRIFOLIA (COAST LIVE OAK)	15-GAL

TREE MITIGATION & MONITORING NOTES

- MITIGATION TREES TO BE COAST LIVE OAKS, (6) TOTAL TO REPLACE (2) REMOVED TREES, SEE TABLE, THIS SHEET.
- THE HOME OWNER SHALL BE RESPONSIBLE FOR MAINTAINING AND REPLACING TREES DURING THE FIVE YEAR MAINTENANCE PERIOD.
- DURING THE FIVE-YEAR MAINTENANCE PERIOD, DEAD OR DYING TREES SHALL BE REPLACED WITH TREES OF THE SAME SPECIES AND SIZE - AT THE END OF THE FIVE-YEAR PERIOD. ALL DEAD OR DYING TREES SHALL BE REPLACED AT THE PROJECT PROPONENT'S COST AND MAINTAINED ACCORDINGLY.
- TREES TO BE TEMPORARILY IRRIGATED FOLLOWING PLANTING FOR FIVE YEARS WITH EMITTER DRIPLINE RINGS. REFER TO PLAN AND IRRIGATION SCHEDULE, THIS SHEET. TEMPORARY IRRIGATION TO BE REMOVED ONCE TREES ARE ESTABLISHED. REFER TO IRRIGATION PLAN, L2.0, FOR COMPLETE IRRIGATION PLANS.
- MONITORING: MITIGATION OAKS TO BE MONITORED ANNUALLY BY THE SANTA LUCIA CONSERVANCY OR A QUALIFIED ARBORIST TO REVIEW TREE HEALTH. ARBORIST TO SUBMIT A REPORT TO THE SLC EACH YEAR FOLLOWING REVIEW. AT COMPLETION OF 5-YEAR MONITORING PERIOD, ALL DEAD TREES SHALL BE REPLACED WITH NEW TREES AND MONITORED FOR AN ADDITIONAL 5 YEARS. THERE SHALL BE 100% SURVIVABILITY OF MITIGATION TREES.
- TRENCHING SHALL BE SUPERVISED BY A CERTIFIED ARBORIST TO MINIMIZE IMPACT TO EXISTING TREES.

IRRIGATION KEY NOTES

- EXISTING 2" RESIDENCE WATER METER.
- RESIDENCE REDUCED PRESSURE BACKFLOW ASSEMBLY.
- LANDSCAPE CONTRACTOR SHALL CONNECT IRRIGATION MAINLINE TO DOMESTIC WATER LINE FROM RESIDENCE AT THIS APPROXIMATE LOCATION PLUMBER TO PROVIDE 1.5" STUB-OUT AND GATE VALVE COORDINATE PRIOR TO CONSTRUCTION. MAXIMUM IRRIGATION DEMAND: 15 GPM AT 138-148 PSI STATIC PRESSURE AT WATER METER LOCATION.
- BACKFLOW ASSEMBLY WITH PRV. SET DISCHARGE PRESSURE AT PRESSURE REDUCING VALVE TO 60 PSI PRESSURE UNDER A MAXIMUM FLOW CONDITION. CONTRACTOR SHALL FIELD VERIFY WATER PRESSURE BEFORE COMMENCING WORK. FOR IRRIGATION INSTALLED BY LANDSCAPE CONTRACTOR. REFER TO IRRIGATION LEGEND.
- MASTER CONTROL VALVE WIRE TO CONTROLLER PER MANUFACTURERS RECOMMENDATIONS.
- FLOW SENSOR. WIRE TO CONTROLLER PER MANUFACTURERS RECOMMENDATIONS.
- IRRIGATION CONTROLLER "C". WALL MOUNTED AT THIS LOCATION AS DETAILED AND AS DIRECTED BY ARCHITECT. CONNECT TO 120 VOLT A.C. ELECTRICAL SERVICE INSTALLED AT THIS LOCATION UNDER ELECTRICAL CONTRACT. LANDSCAPE CONTRACTOR SHALL COORDINATE LOCATION OF ELECTRICAL SERVICE PRIOR TO CONSTRUCTION (2-WIRE CONTROLLER).
- WIRELESS WEATHER SENSOR AND RAIN SENSOR. MOUNT ON EVE OF HOUSE. INSTALL SENSOR OPEN TO THE SKY. COORDINATE AND CONFIRM EXACT LOCATION WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.



TREE MITIGATION LETTER FROM ARBORIST

THOMPSON WILDLAND MANAGEMENT
 Environmental Management & Conservation Services
 International Society of Arboriculture Certified Arborist # WE-7468A
 Department of Pesticide Regulation Qualified Applicator Lic. #QL50949 B
 Environmental & Arborist Assessments, Protection, Restoration, Monitoring & Reporting
 Wildland Fire Property Protection, Fuel Reduction & Vegetation Management
 Invasive Weed Control, and Habitat Restoration & Management
 Soil Erosion & Sedimentation Control
 Resource Ecologist

June 2, 2025

Cowell Residence
 62 Chamisal Pass (Lot 138)
 Carmel, CA. 93923
 APN: 239-041-009-000

Subject: 62 Chamisal Pass (Lot 138) Tree Mitigation Planting Statement

Per a review of the project site plans and the Homeland of the property located at 62 Chamisal Pass (Lot 138) on the Santa Lucia Preserve, it has been determined that the subject lot can easily support the planting of 6 replacement oak trees that will be required to comply with MCHCD tree removal permit conditions. This oak savanna Homeland has sufficient space in the grassland clearings that will not be developed, which will be adequate for planting and sustaining the healthy development and maturation of six (6) 5 to 15-gallon container size coast live oak (*Quercus agrifolia*) trees.

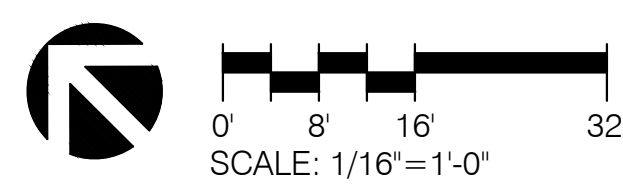
Best regards,

Rob Thompson
 ISA Certified Arborist # WE-7468A
 Resource Ecologist

June 2, 2025
 Date

Thompson Wildland Management (TWM)
 57 Via Del Rey
 Monterey, CA. 93940
 Office (831) 372-3796; Cell (831) 277-1419
 Email: thompsonwrm@gmail.com; Website: www.wildlandmanagement.com

RMA
 RUSSELL D. MITCHELL & ASSOCIATES, INC.
 Irrigation Consultant:
 2760 Camino Diablo
 Walnut Creek, CA 94597
 tel 925.939.3985 • fax 925.932.5671
 www.rmairrigation.com



NOT FOR CONSTRUCTION ORIGINAL SHEET SIZE: 24" X 36"

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515 SWIFT ST. SANTA CRUZ CA 95060
 PHONE 831.423.8040 | WWW.JLJA.COM
 California Landscape Architect License 3183

JONI L. JANECKI & ASSOCIATES

PROJECT: 62 CHAMISAL PASS
 SANTA LUCIA PRESERVE LOT 138
 MONTEREY, CA

SHEET TITLE: TREE MITIGATION PLAN

SCALE: 1/16" = 1'-0"
 DRAWN BY: ND/JC
 DATE: 10/24/2025

L0.3

KEY NOTES

- | CODE | DESCRIPTION |
|------|--|
| 1 | 12'-0" WIDE ASPHALT DRIVEWAY WITH STUCCO RETAINING WALLS WHERE NEEDED TO RETAIN GRADE. |
| 2 | CRUSHED GRAVEL OR CHIP SEAL AUTO COURT WITH GUEST/BARN PARKING, FIRE TRUCK TURNAROUND, AND STONE RETAINING WALL. |
| 3 | WOOD AND STEEL SLIDING VEHICULAR GATE, 42" TALL. |
| 4 | GRAVEL ENTRY PATH THROUGH OAK GROVE WITH STONE STEPS. |
| 5 | VIEWING COURTYARDS: GRAVEL, BOULDERS, AND WATER FEATURE. |
| 6 | BACK TERRACE WITH EXPANSIVE VIEWS. |
| 7 | POOL TERRACE. |
| 8 | 58'X16' RAISED POOL WITH STONE COPING, STONE FACE, AND BUILT-IN SPA. |
| 9 | CRUSHED GRAVEL OR CHIP SEAL LOWER AUTO COURT AND ENTRANCE TO LOWER-LEVEL GARAGE. |
| 10 | TRELLIS, REFER TO ARCHITECTURAL DRAWINGS. |
| 11 | MAINTENANCE ACCESS TO LOWER PORTION OF LOT. |
| 12 | SEPTIC TREATMENT SYSTEM, REFER TO CIVIL DRAWINGS. |
| 13 | SEPTIC DRIP FIELD, REFER TO CIVIL DRAWINGS. |
| 14 | WIRE-FENCED DOG ENCLOSURE. |
| 15 | FIRETRUCK TURNOUT, REFER TO CIVIL DRAWINGS. |
| 16 | PG&E TRANSFORMER. |
| 17 | UNDERGROUND PROPANE TANK. |

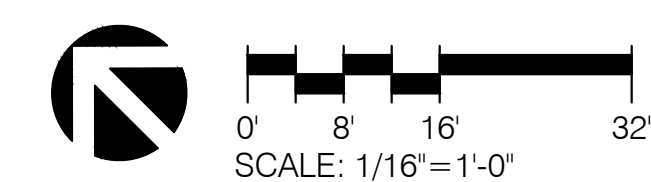
LEGEND

- | | | | |
|--|----------------------------|--|------------------------------------|
| | HOMELAND BOUNDARY | | BOULDERS |
| | 5' HOMELAND SETBACK | | BENCH |
| | EXISTING CONTOUR | | STEPS DOWN |
| | PROPOSED CONTOUR | | PLANTING AREA, REFER TO L3.0 |
| | SEPTIC DRIP FIELD BOUNDARY | | PROPOSED TREE, REFER TO L3.0, L0.3 |
| | EXISTING TREE TO REMAIN | | NATURAL MULCHED TRAIL |
| | SITE WALL - STONE | | LIGHTING, REFER TO L5.0 |
| | SITE WALL - STUCCO | | |
| | CRUSHED GRAVEL | | |
| | ASPHALT | | |
| | STONE OR CONCRETE PAVING | | |



LANDSCAPE WALL SCHEDULE

CODE	DESCRIPTION
W-01	STUCCO, 8" WIDE, 12"-36" HIGH
W-02	CONCRETE WITH STONE VENEER, 18" WIDE, 42" HIGH
W-03	STUCCO, 12" WIDE, 6"-48" HIGH
W-04	CONCRETE WITH STONE VENEER, 18" WIDE, 18" HIGH
W-05	CONCRETE WITH STONE VENEER, 18" WIDE, 42" HIGH
W-06	CONCRETE WITH STONE VENEER, 18" WIDE, 42" HIGH
W-07	CONCRETE WITH STONE VENEER, 18" WIDE, 21" HIGH
W-08	CONCRETE WITH STONE VENEER, 18" WIDE, 36" HIGH
W-09	CONCRETE WITH STONE VENEER, 30" HIGH MAX.
W-10	CONCRETE WITH STONE VENEER, 24" WIDE, 48" HIGH MAX.



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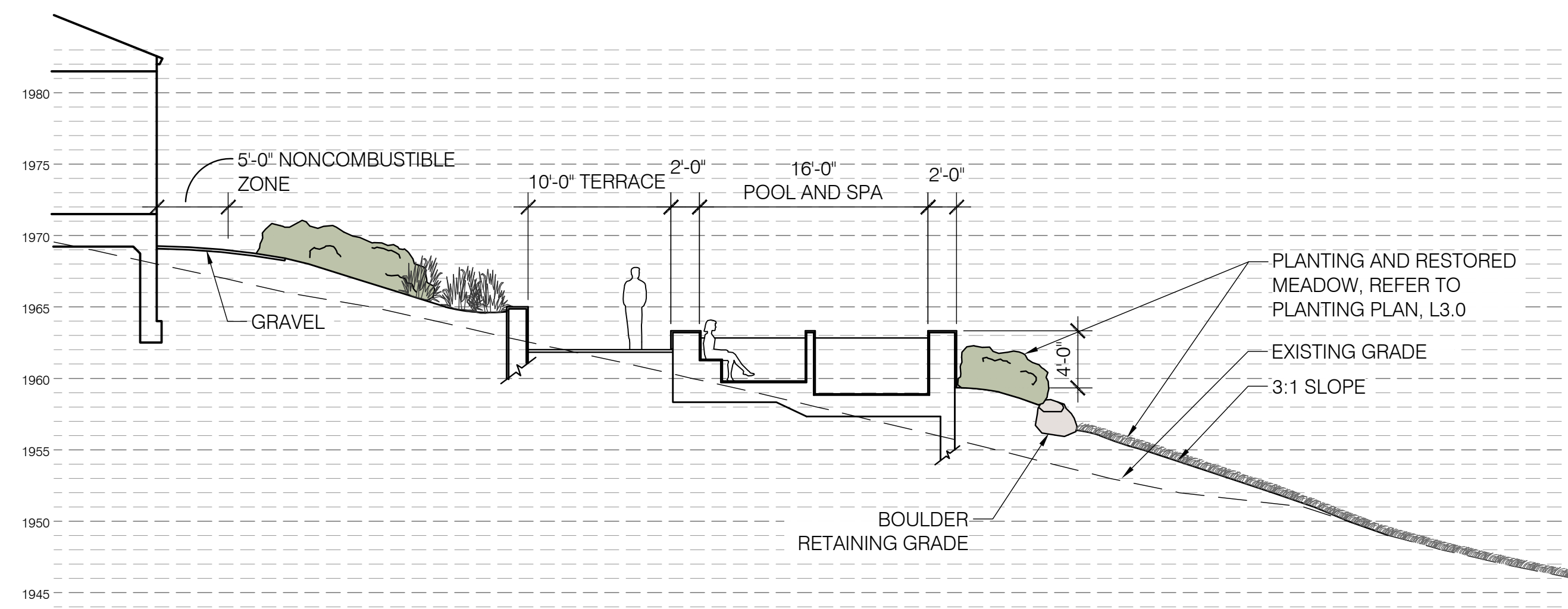
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PROJECT: 62 CHAMISAL PASS
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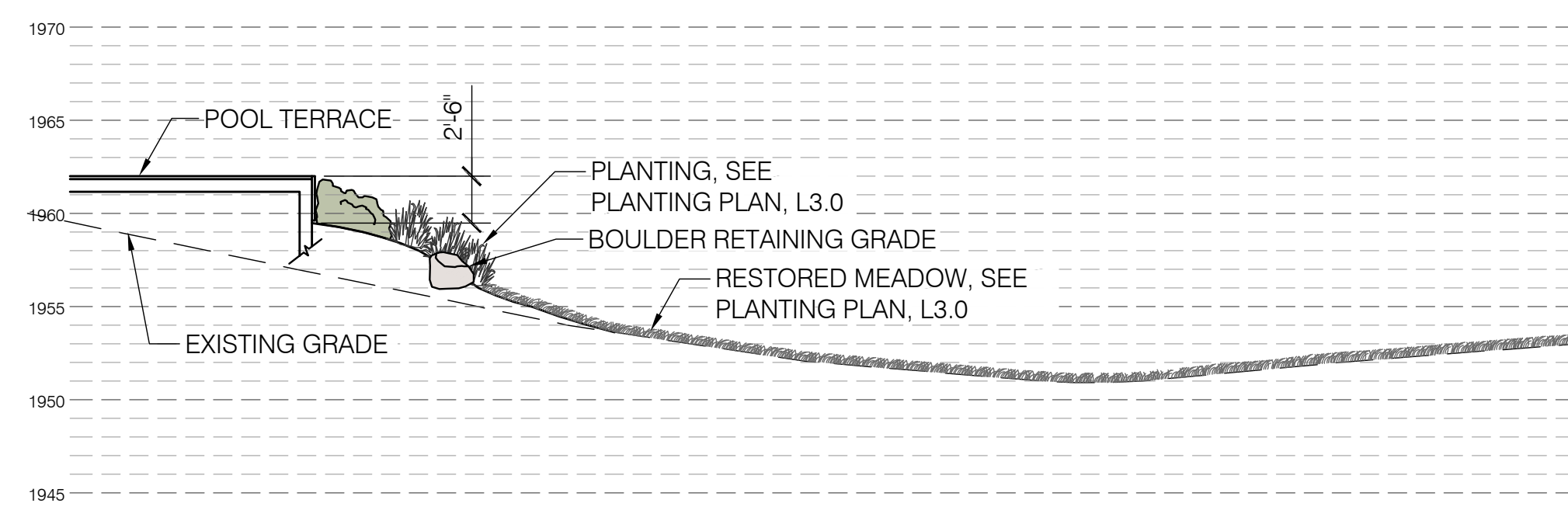
SHEET TITLE: HOMELAND SITE PLAN

SCALE: 1/16" = 1'-0"
 DRAWN BY: ND/CJ
 DATE: 10/24/2025

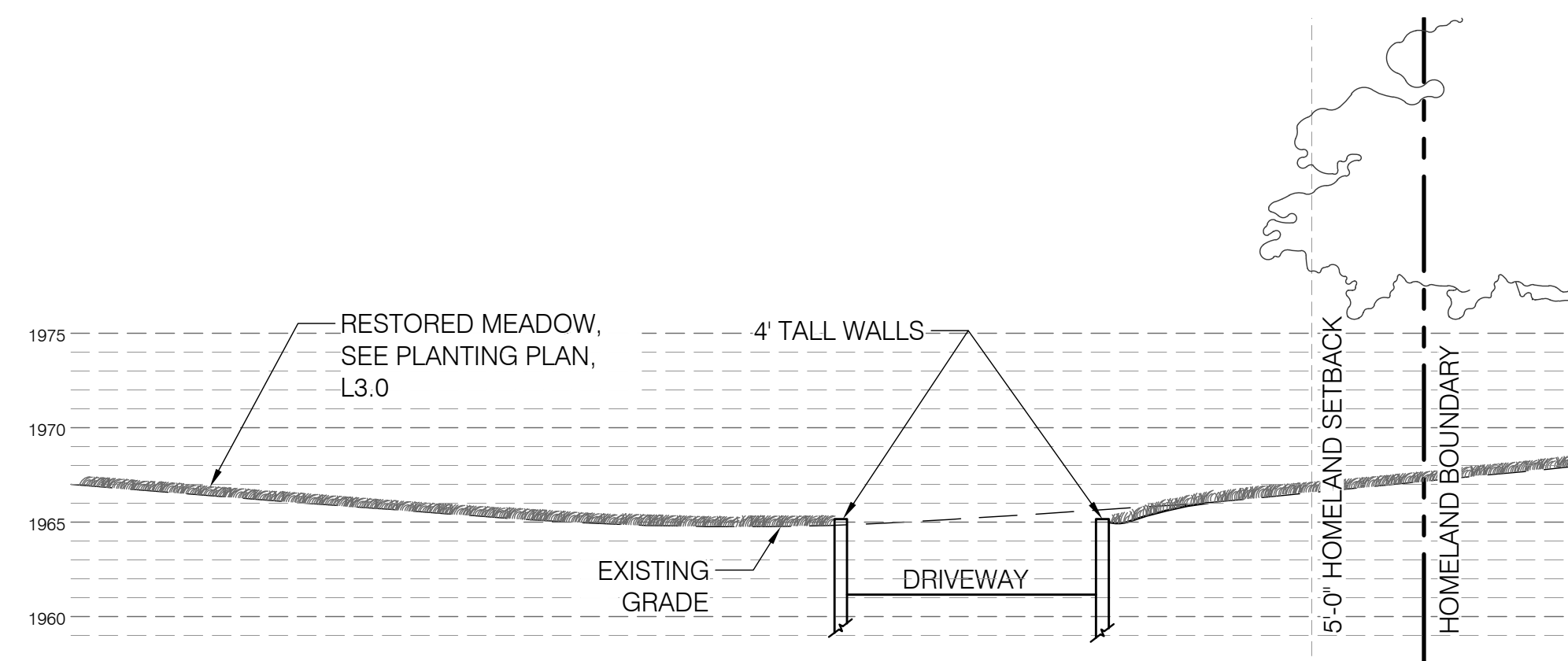
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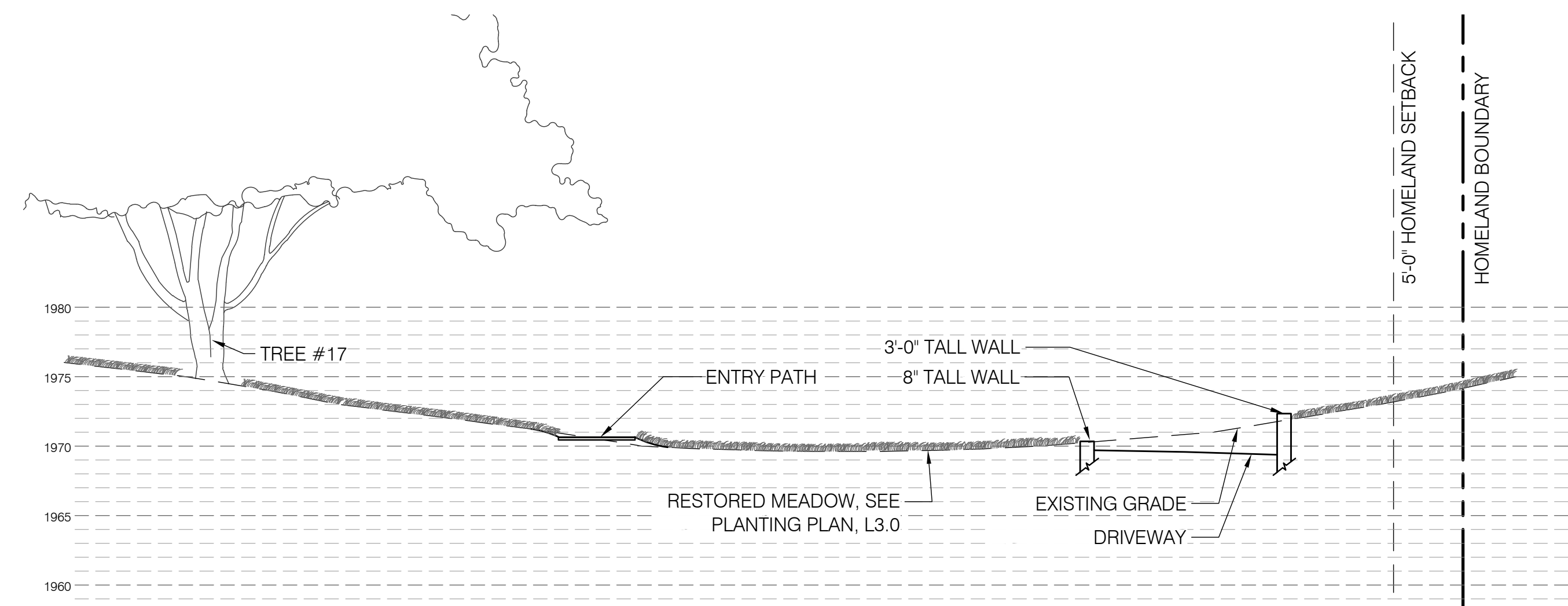
6 SECTION AT TERRACE, POOL AND SPA, AND RESTORED HILLSIDE - FACING NORTH
SCALE = 1/8" = 1'-0"



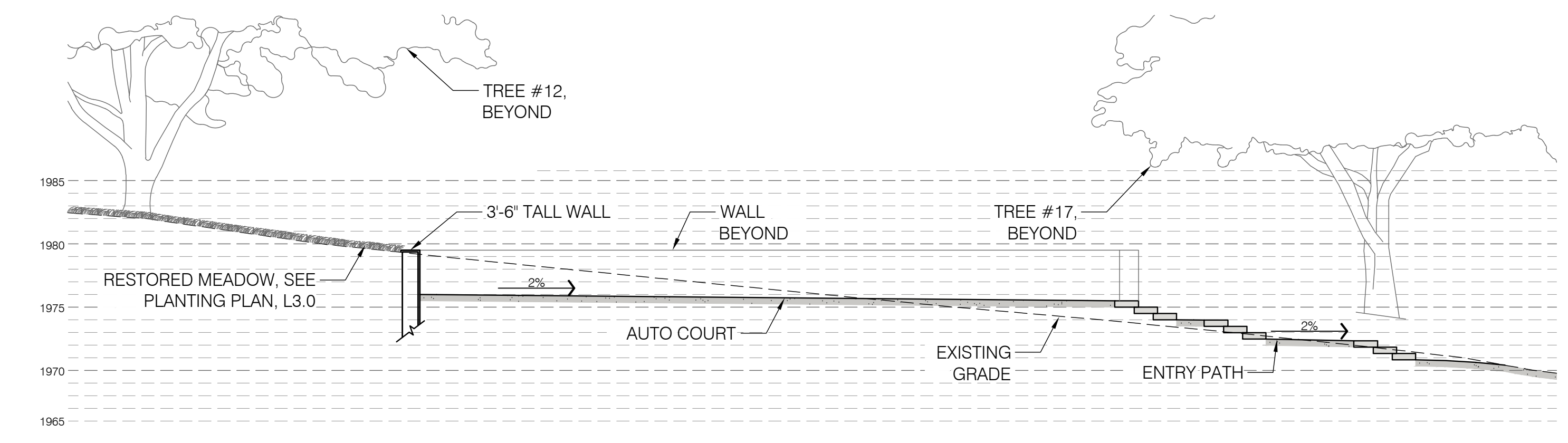
5 SECTION AT POOL TERRACE AND RESTORED HILLSIDE - FACING EAST
SCALE = 1/8" = 1'-0"



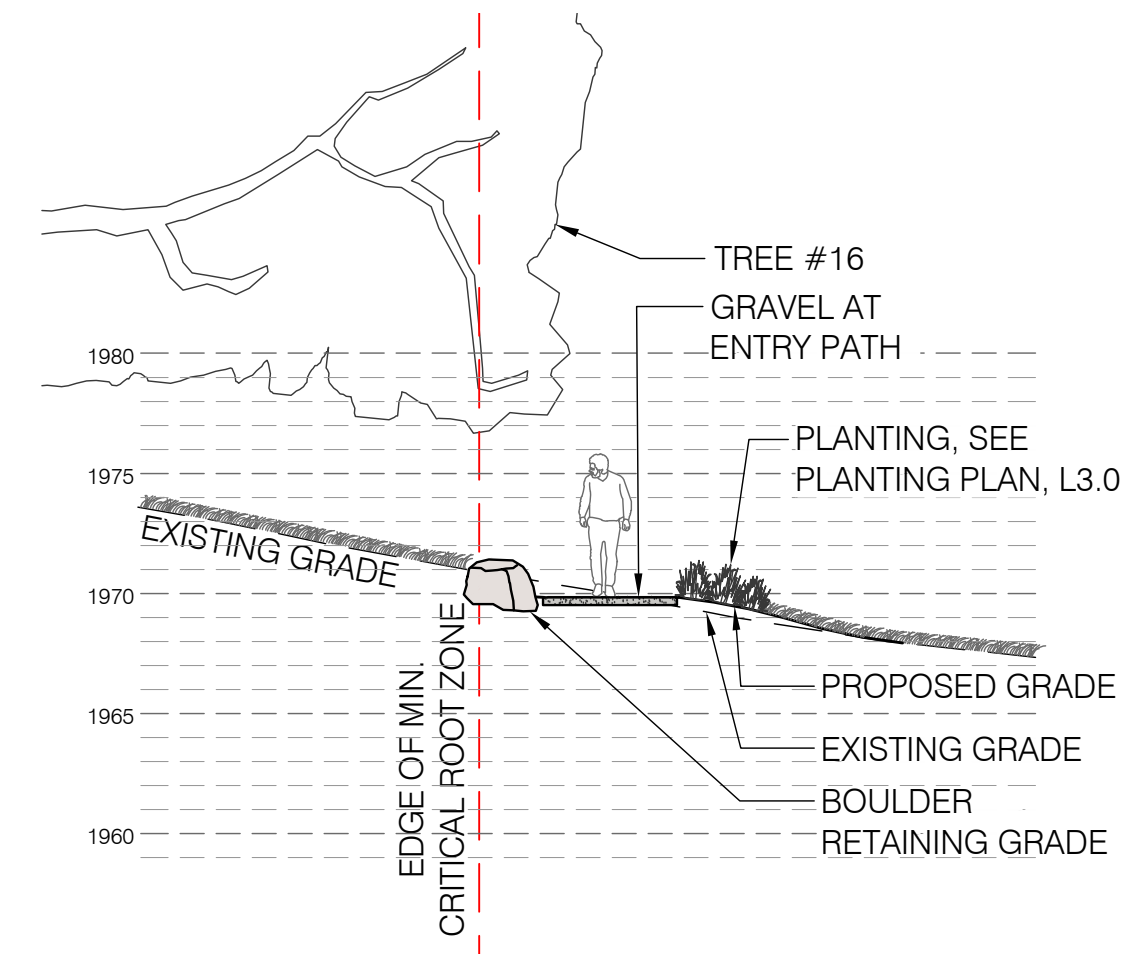
4 SECTION AT RESTORED MEADOW AND LOWER DRIVEWAY - FACING EAST
SCALE = 1/8" = 1'-0"



2 SECTION AT ENTRY PATH, RESTORED MEADOW, AND LOWER DRIVEWAY - FACING EAST
SCALE = 1/8" = 1'-0"

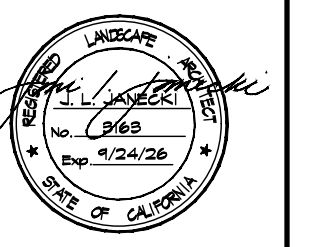


1 SECTION AT AUTO COURT AND ENTRY PATH - FACING NORTH
SCALE = 1/8" = 1'-0"



3 SECTION AT LOWER ENTRY PATH - FACING EAST
SCALE = 1/8" = 1'-0"

REVISIONS AND RECORD OF ISSUE:	
NO.	DATE DESCRIPTION
1.	04/03/2025 PRELIMINARY DRB
2.	06/05/2025 FINAL DRB
3.	10/24/2025 PLANNING
4.	
5.	
6.	



JONI L. JANECKI & ASSOCIATES

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California Landscape Architect License 3183

PROJECT:
**62 CHAMISAL PASS
SANTA LUCIA PRESERVE LOT 138
MONTEREY, CA**

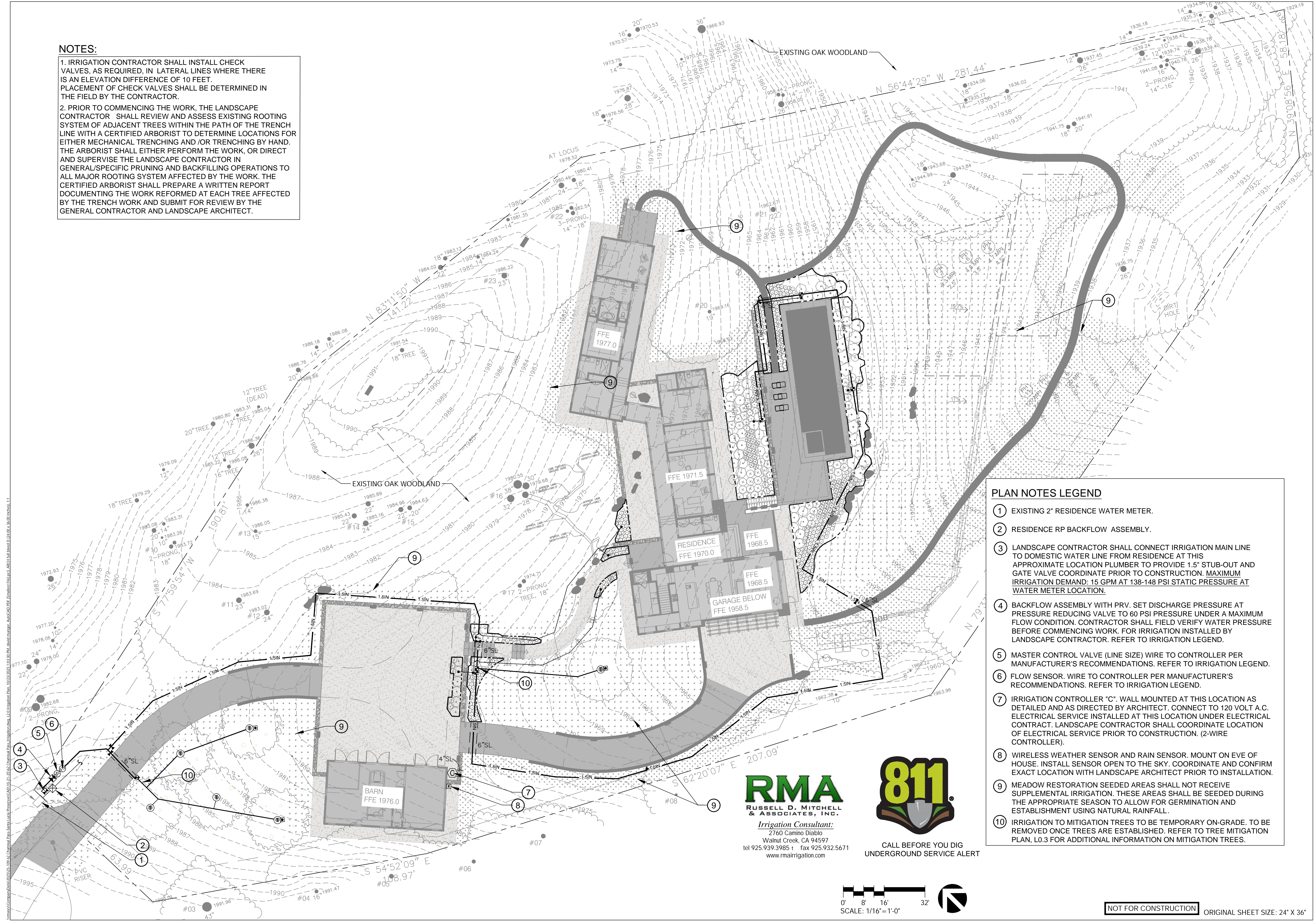
SHEET TITLE:
LANDSCAPE SECTIONS

SCALE: 1/8" = 1'-0"
DRAWN BY: ND/CJ
DATE: 10/24/2025

NOT FOR CONSTRUCTION ORIGINAL SHEET SIZE: 24" X 36"

NOTES:

1. IRRIGATION CONTRACTOR SHALL INSTALL CHECK VALVES, AS REQUIRED, IN LATERAL LINES WHERE THERE IS AN ELEVATION DIFFERENCE OF 10 FEET. PLACEMENT OF CHECK VALVES SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR.
2. PRIOR TO COMMENCING THE WORK, THE LANDSCAPE CONTRACTOR SHALL REVIEW AND ASSESS EXISTING ROOTING SYSTEM OF ADJACENT TREES WITHIN THE PATH OF THE TRENCH LINE WITH A CERTIFIED ARBORIST TO DETERMINE LOCATIONS FOR EITHER MECHANICAL TRENCHING AND/OR TRENCHING BY HAND. THE ARBORIST SHALL EITHER PERFORM THE WORK, OR DIRECT AND SUPERVISE THE LANDSCAPE CONTRACTOR IN GENERAL/SPECIFIC PRUNING AND BACKFILLING OPERATIONS TO ALL MAJOR ROOTING SYSTEM AFFECTED BY THE WORK. THE CERTIFIED ARBORIST SHALL PREPARE A WRITTEN REPORT DOCUMENTING THE WORK REFORMED AT EACH TREE AFFECTED BY THE TRENCH WORK AND SUBMIT FOR REVIEW BY THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT.



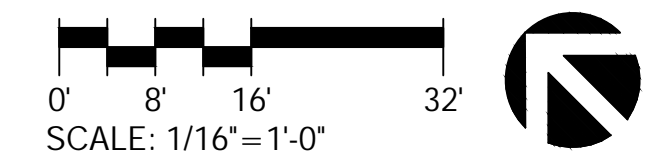
PLAN NOTES LEGEND

- 1 EXISTING 2" RESIDENCE WATER METER.
- 2 RESIDENCE RP BACKFLOW ASSEMBLY.
- 3 LANDSCAPE CONTRACTOR SHALL CONNECT IRRIGATION MAIN LINE TO DOMESTIC WATER LINE FROM RESIDENCE AT THIS APPROXIMATE LOCATION PLUMBER TO PROVIDE 1.5" STUB-OUT AND GATE VALVE COORDINATE PRIOR TO CONSTRUCTION. MAXIMUM IRRIGATION DEMAND: 15 GPM AT 138-148 PSI STATIC PRESSURE AT WATER METER LOCATION.
- 4 BACKFLOW ASSEMBLY WITH PRV. SET DISCHARGE PRESSURE AT PRESSURE REDUCING VALVE TO 60 PSI PRESSURE UNDER A MAXIMUM FLOW CONDITION. CONTRACTOR SHALL FIELD VERIFY WATER PRESSURE BEFORE COMMENCING WORK. FOR IRRIGATION INSTALLED BY LANDSCAPE CONTRACTOR. REFER TO IRRIGATION LEGEND.
- 5 MASTER CONTROL VALVE (LINE SIZE) WIRE TO CONTROLLER PER MANUFACTURER'S RECOMMENDATIONS. REFER TO IRRIGATION LEGEND.
- 6 FLOW SENSOR. WIRE TO CONTROLLER PER MANUFACTURER'S RECOMMENDATIONS. REFER TO IRRIGATION LEGEND.
- 7 IRRIGATION CONTROLLER "C". WALL MOUNTED AT THIS LOCATION AS DETAILED AND AS DIRECTED BY ARCHITECT. CONNECT TO 120 VOLT A.C. ELECTRICAL SERVICE INSTALLED AT THIS LOCATION UNDER ELECTRICAL CONTRACT. LANDSCAPE CONTRACTOR SHALL COORDINATE LOCATION OF ELECTRICAL SERVICE PRIOR TO CONSTRUCTION. (2-WIRE CONTROLLER).
- 8 WIRELESS WEATHER SENSOR AND RAIN SENSOR. MOUNT ON EVE OF HOUSE. INSTALL SENSOR OPEN TO THE SKY. COORDINATE AND CONFIRM EXACT LOCATION WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 9 MEADOW RESTORATION SEEDING AREAS SHALL NOT RECEIVE SUPPLEMENTAL IRRIGATION. THESE AREAS SHALL BE SEEDING DURING THE APPROPRIATE SEASON TO ALLOW FOR GERMINATION AND ESTABLISHMENT USING NATURAL RAINFALL.
- 10 IRRIGATION TO MITIGATION TREES TO BE TEMPORARY ON-GRADE. TO BE REMOVED ONCE TREES ARE ESTABLISHED. REFER TO TREE MITIGATION PLAN, L0.3 FOR ADDITIONAL INFORMATION ON MITIGATION TREES.

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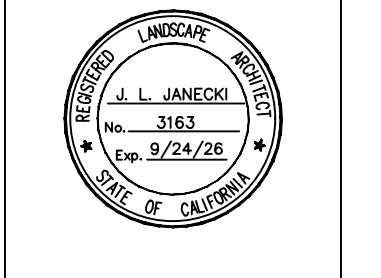


CALL BEFORE YOU DIG
 UNDERGROUND SERVICE ALERT



NOT FOR CONSTRUCTION ORIGINAL SHEET SIZE: 24" X 36"

NO.	DATE	DESCRIPTION
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PROJECT:
62 CHAMISAL PASS
SANTA LUCIA PRESERVE LOT 138
MONTEREY, CA

SHEET TITLE:
IRRIGATION PLAN

SCALE: 1/16" = 1'-0"
 DRAWN BY: DM/JC
 DATE: 10/24/2025


L2.0

IRRIGATION NOTES

- THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, AND OTHER IRRIGATION COMPONENTS MAY BE SHOWN WITHIN PAVED AREAS FOR GRAPHIC CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, CONDUIT, AND OTHER ITEMS WHICH MAY BE REQUIRED. INVESTIGATE THE STRUCTURAL AND FINISHED CONDITION AFFECTING THE CONTRACT WORK INCLUDING OBSTRUCTIONS, GRADE DIFFERENCES OR AREA DIMENSIONAL DIFFERENCES. IN THE EVENT OF FIELD DISCREPANCY WITH CONTRACT DOCUMENTS, PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATIONS. NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALLS, ROADWAYS, PAVING AND STRUCTURES BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REQUIRED REVISIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, STANDARDS, AND REGULATIONS. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL ELECTRIC CODE, THE UNIFORM PLUMBING CODE, PUBLISHED BY THE WESTERN PLUMBING OFFICIALS ASSOCIATION, AND OTHER STATE OR LOCAL LAWS OR REGULATIONS. NOTHING IN THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES OR REGULATIONS. THE CONTRACTOR SHALL FURNISH WITHOUT ANY EXTRA CHARGE, ANY ADDITIONAL MATERIAL AND LABOR WHEN REQUIRED BY THE COMPLIANCE WITH THESE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH LAYOUT AND INSTALLATION OF THE PLANT MATERIALS TO INSURE THAT THERE WILL BE COMPLETE AND UNIFORM IRRIGATION COVERAGE OF PLANTING IN ACCORDANCE WITH THESE DRAWINGS, AND CONTRACT DOCUMENTS. THE IRRIGATION LAYOUT SHALL BE CHECKED BY THE CONTRACTOR AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO CONSTRUCTION TO DETERMINE IF ANY CHANGES, DELETIONS, OR ADDITIONS ARE REQUIRED. IRRIGATION SYSTEM SHALL BE INSTALLED AND TESTED PRIOR TO INSTALLATION OF PLANT MATERIAL.
- THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
- IT IS THE RESPONSIBILITY OF THE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLER(S) TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, MOUNDS, SLOPES, SUN, SHADE AND WIND EXPOSURE.
- IT IS THE RESPONSIBILITY OF A LICENSED ELECTRICAL CONTRACTOR TO PROVIDE 120 VOLT A.C. (2.5 AMP DEMAND PER CONTROLLER) ELECTRICAL SERVICE TO THE CONTROLLER LOCATION(S). IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE THE ELECTRICAL SERVICE STUB-OUT TO THE CONTROLLER(S). PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS AND IN ACCORDANCE WITH LOCAL CODES.
- PROVIDE EACH CONTROLLER WITH ITS OWN GROUND ROD. SEPARATE THE GROUND RODS BY A MINIMUM OF EIGHT FEET. THE GROUND ROD SHALL BE AN EIGHT FOOT LONG BY 5/8" DIAMETER U.L. APPROVED COPPER CLAD ROD. INSTALL NO MORE THAN 6" OF THE GROUND ROD ABOVE FINISH GRADE. CONNECT #6 GAUGE WIRE WITH A U.L. APPROVED GROUND ROD CLAMP TO ROD AND BACK TO GROUND SCREW AT BASE OF CONTROLLER WITH APPROPRIATE CONNECTOR. MAKE THIS WIRE AS SHORT AS POSSIBLE, AVOIDING KINKS OR BENDING.
- SCHEDULE A MEETING WHICH INCLUDES REPRESENTATIVES OF THE IRRIGATION CONTROLLER MANUFACTURER, THE MAINTENANCE CONTRACTOR, THE OWNER AND THE IRRIGATION CONTRACTOR AT THE SITE FOR INSTRUCTION ON THE PROPER PROGRAMMING AND OPERATION OF THE IRRIGATION CONTROLLER.
- INSTALL 2-WIRE CABLE ALONG THE MAIN LINE. CONTACT CONTROLLER REPRESENTATIVE FOR A PRE-CONSTRUCTION MEETING.
- IRRIGATION CONTROL WIRES: SOLID COPPER WITH U.L. APPROVAL FOR DIRECT BURIAL IN GROUND. SIZE #14AWG WIRE WITH A JACKETED 2-CONDUCTOR, PREFERRED WIRE MAKE AND MODEL IS P7354D (HUNTER) THE PAIGE IRRIGATION WIRE. ALL SPLICING SHALL BE MADE WITH 3-M DBR/Y-6 WATERPROOF SPLICE KIT.
- DECODER GROUNDING SHALL BE PROVIDED EVERY 600 FEET OR EVERY 8 DECODERS, WHICHEVER IS SMALLER. AT THE CONTROLLER AND AT THE LAST DECODER OR AT THE END OF THE 2 WIRE PATH, GROUND WITH A 5/8" X 8' COPPER CLAD GROUNDING ROD. #6 COPPER WIRE TO SURGE DEVICE/DECODER. INCLUDE A SURGE ARRESTOR AT EACH GROUNDING LOCATION. A SPLIT BOLT CONNECTION TO BE USED TO CONNECT THE SURGE DEVICE TO THE GROUND WIRE WITH A DBR/Y-6.
- SPLICING OF JACKETED 2-WIRE IS PERMITTED IN VALVE BOXES ONLY. LEAVE A 36" LONG COIL OF WIRE AT EACH SPLICE AND A 36" LONG EXPANSION LOOP EVERY 100 FEET ALONG WIRE RUN.
- INSTALL BLACK PLASTIC VALVE BOXES WITH BOLT DOWN, NON HINGED COVER MARKED "IRRIGATION". BOX BODY SHALL HAVE KNOCK OUTS. ACCEPTABLE VALVE BOX MANUFACTURER'S INCLUDE NDS, CARSON OR APPROVED EQUAL.
- INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, BUILDING OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, INSTALL EACH BOX AN EQUAL DISTANCE FROM THE WALK, CURB, BUILDING OR LANDSCAPE FEATURE AND PROVIDE 12" BETWEEN BOX TOPS. ALIGN THE SHORT SIDE OF RECTANGULAR VALVE BOXES PARALLEL TO WALK, CURB, BUILDING OR LANDSCAPE FEATURE.
- THE CONTRACTOR SHALL LABEL CONTROL LINE WIRE AT EACH REMOTE CONTROL VALVE WITH A 2 1/4" X 2 3/4" POLYURETHANE I.D. TAG, INDICATING IDENTIFICATION NUMBER OF VALVE (CONTROLLER AND STATION NUMBER). ATTACH LABEL TO CONTROL WIRE. THE CONTRACTOR SHALL PERMANENTLY STAMP ALL VALVE BOX LIDS WITH APPROPRIATE IDENTIFICATION AS NOTED IN CONSTRUCTION DETAILS.
- FLUSH AND ADJUST IRRIGATION OUTLETS AND NOZZLES FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ONTO WALKS, ROADWAYS, AND/OR BUILDINGS. SELECT THE BEST DEGREE OF THE ARC AND RADIUS TO FIT THE EXISTING SITE CONDITIONS AND THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH CONTROL ZONE.
- LOCATE BUBBLERS ON UPHILL SIDE OF PLANT OR TREE.
- INSTALL A HUNTER HCV SERIES, KBI CV SERIES, OR APPROVED EQUAL SPRING LOADED CHECK VALVE IN SPRINKLER RISER ASSEMBLIES WHERE LOW OUTLET DRAINAGE WILL CAUSE EROSION AND/OR EXCESS WATER.
- WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, USE CAUTION TO AVOID INJURY TO TREES AND TREE ROOTS. EXCAVATE BY HAND IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR. BACK FILL TRENCHES ADJACENT TO TREE WITH TWENTY-FOUR (24) HOURS. WHERE THIS IS NOT POSSIBLE, SHADE THE SIDE OF THE TRENCH ADJACENT TO THE TREE WITH WET BURLAP OR CANVAS.
- NOTIFY LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.
- THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.
- IRRIGATION DEMAND: REFER TO PLANS.
- PIPE SIZING SHOWN ON THE DRAWINGS IS TYPICAL. AS CHANGES IN LAYOUT OCCUR DURING STAKING AND CONSTRUCTION THE SIZE MAY NEED TO BE ADJUSTED ACCORDINGLY.
- PIPE THREAD SEALANT COMPOUND SHALL BE RECTOR SEAL #5.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR CHANGES IN THE IRRIGATION LAYOUT DUE TO OBSTRUCTIONS NOT SHOWN ON THE IRRIGATION DRAWINGS SUCH AS LIGHTS, FIRE HYDRANTS, SIGNS, ELECTRICAL ENCLOSURES, ETC.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CHANGES IN THE IRRIGATION LAYOUT AND VALVE ZONING DUE TO VARIATIONS IN THE EXISTING SITE CONDITIONS SUCH AS EXPOSURE FROM BUILDINGS, TRELLISES, TREES, ETC., AS WELL AS SLOPE AND SOIL CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND IRRIGATION CONSULTANT OF THE PROPOSED CHANGES PRIOR TO INSTALLATION FOR APPROVAL.

- WHEN WORK OF THIS SECTION HAS BEEN COMPLETED AND SUCH OTHER TIMES AS MAY BE DIRECTED, REMOVE ALL TRASH, DEBRIS, SURPLUS MATERIALS AND EQUIPMENT FROM SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLEMENTAL HAND WATERING OF ALL PLANT MATERIAL WITHIN DRIPLINE AREAS UNTIL THE PLANTS ARE SUFFICIENTLY ESTABLISHED.
- VERIFY LOCATIONS OF ALL IRRIGATION COMPONENTS INSTALLED WITHIN A VALVE BOX WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. DO NOT INSTALL UNTIL LANDSCAPE ARCHITECT PROVIDES ACCEPTABLE LOCATIONS.

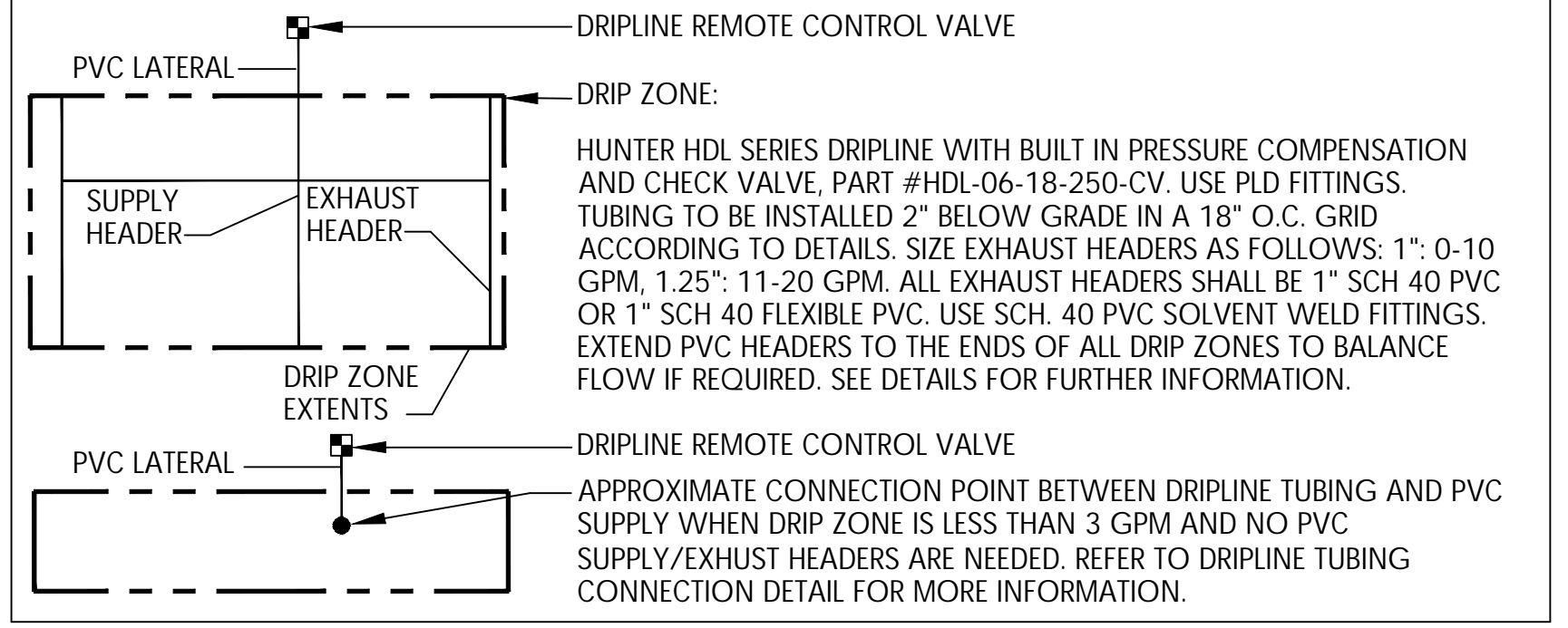
"A Landscape Irrigation Audit is require. This Audit must be completed by a Certified Landscape Irrigation Auditor, not the designer or installer. The Audit must be submitted to the Building Department, with Certificate of Completion (Appendix C) as required by the Department of Water Resources, prior to scheduling a Final Inspection of the Water Efficient Landscape permit."

WATER CONSERVATION STATEMENT
 RUSSELL D MITCHELL AND ASSOCIATES, INC. (RMA) HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

 JOSE L. CRUZ
 IRRIGATION CONSULTANT-PROJECT MANAGER

- NOTES:**
- IRRIGATION EQUIPMENT MAY BE SHOWN WITHIN HARDSCAPE FOR GRAPHIC CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT WITHIN PLANTED AREAS. IRRIGATION PIPE AND WIRE CROSSING BENEATH HARDSCAPE SURFACES SHALL BE CONTAINED WITHIN SLEEVING OR SCHEDULE 40 PVC CONDUIT. SLEEVING SIZE SHALL BE A MINIMUM OF TWO TIMES THE AGGREGATE DIAMETER OF ALL PIPES CONTAINED WITH SLEEVE. PROVIDE VERTICAL SWEEP FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF HARDSCAPE AND TERMINATE ENDS AT 12" MINIMUM DEPTH AND 12" FROM HARDSCAPE SURFACE.
 - UNSIZE LATERAL LINE PIPING LOCATED DOWN STREAM OF 1" PIPING SHALL BE 3/4" IN SIZE (TYPICAL).
 - SIZING OF LATERAL PIPE SHALL BE AS FOLLOWS:
 0.75" 0-6 GPM
 1" 7-12 GPM
 1.25" 13-20 GPM
 - SIZING OF LATERAL PIPE FOR DRIPLINE (12" O.C. GRID WITH 0.6 GPH OR LESS EMITTERS) SHALL BE AS FOLLOWS:
 0.75 0-500 FT
 1" 501-1100 FT
 - EACH DRIP ZONE SHALL RECEIVE A FLUSH VALVE AND OPERATION INDICATOR AT FARTHEST ENDS OF EACH SYSTEM.
 - CONTRACTOR TO INSTALL ALL IRRIGATION PIPING AND DRIPLINE TO GO AROUND ALL UTILITY BOX, LIGHTS, SIGNS, ETC. (DRAWINGS ARE DIAGRAMMATIC).
 - CONTRACTOR TO LOCATE REMOTE CONTROL VALVE BOXES AWAY FROM PROMINENT, HIGHLY VISIBLE LOCATION. CONTACT LANDSCAPE ARCHITECT FOR EXACT LOCATIONS.

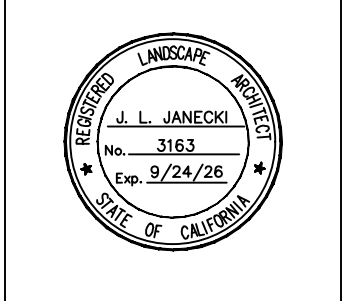
IRRIGATION LEGEND

SYMBOL	MODEL NUMBER	DESCRIPTION	NOZZLE GPM	OPERATING PSI	OPERATING RADIUS (FEET)
(T)	HDL-06-12	ON-GRADE HDL DRIPLINE WITH 12" O.C. EMITTER DRIP RING FOR TREES (3 RINGS PER TREE)	0.10	30	TRICKLE
⊙	PGV-101G	HUNTER REMOTE CONTROL VALVE			
⊠	PCZ-101-40	HUNTER REMOTE CONTROL DRIP KIT WITH 40 PSI REGULATOR			
●	WLT-0500-T	NDS SCH 40 BALL VALVE OR APPROVED EQUAL			
⊕	PLD-AVR	HUNTER AIR RELIEF VALVE			
⊞	ECO-ID	HUNTER ECO-INDICATOR			
⊗	T-FP600A-LF	NIBCO BRASS BALL VALVE (LINE SIZE)			
⊘	KC OR KSC	NDS KSC SERIES CHECK VALVE FOR UPHILL FLOW DIRECTION OR KC SERIES SPRING CHECK VALVE FOR DOWNHILL FLOW DIRECTION (LINE SIZE)			
⊠	975XLSEU-1"/PBB-20 NR3XL-1-DU	WILKINS REDUCED PRESSURE BACKFLOW ASSEMBLY WITH FREEZE BLANKET. WILKINS PRESSURE REDUCING VALVE. SET DISCHARGE PRESSURE AS INDICATED ON PLANS REFER TO DETAIL.			
(M)	ICV-151G	HUNTER MASTER VALVE-1.5" (NORMALLY CLOSED)			
(FS)	HC-150-FLOW	HUNTER 1.5" FLOW METER			
(C)	HCC-800-PL/EZ-DM	HUNTER HCC (54) STATION CONTROLLER IN A PLASTIC WALL MOUNTED ENCLOSURE WITH A EZ DECODER SYSTEM.			
-	EZ-1	HUNTER SINGLE STATION DECODER (1 PER VALVE)			
-	EZ-DM	HUNTER DECODER OUTPUT MODULE FOR HCC CONTROLLERS			
-	DUAL-S	HUNTER SURGE ARRESTOR (1 EVERY 1000 FEET ALONG MAIN) REFER TO DETAILS FOR INSTALLATION INSTRUCTIONS.			
-	NOT SHOWN ON PLANS	ROUTE TWO WIRE CABLE TO ALL REMOTE CONTROL VALVES. SIZE #14AWG WIRE WITH A JACKETED 2-CONDUCTOR. PREFERRED WIRE MAKE AND MODEL IS PAIGE ELECTRIC WIRE P7354D. ALL SPLICING SHALL BE MADE WITH 3-M DBR/Y-6 WATERPROOF SPLICE KITS OR APPROVED EQUAL. REFER TO DETAIL FOR INSTALLATION INSTRUCTIONS.			
(R)	WR-CLIK	WIRELESS RAIN-CLIK SENSOR AND RECIEVER.			
		CONTROLLER AND STATION NUMBER			
		REMOTE CONTROL VALVE SIZE (IN INCHES)			
		FLOW (GPM)			
		WATER USE CLASSIFICATION OF ZONE			
		APPLICATION RATE (IN/HR) OR DRIPLINE SPACING			
		AREA (SQ. FT.)			
		ASSOCIATED REMOTE CONTROL VALVE			
		MAIN LINE:	1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 18" COVER.		
		LATERAL LINE:	3/4" AND LARGER: 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 12" COVER.		
		ON-GRADE LATERAL LINE:	HUNTER UV RESISTANT POLYETHYLENE TUBING TVPVE-700 1/2" POLYETHYLENE TUBING WITH HUNTER PLD FITTINGS.		
		DRIPLINE LATERAL LINE:	3/4" AND LARGER: 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 12" COVER.		
		SLEEVING:	SCHEDULE 40 PVC PLASTIC PIPE. COVER TO BE AS INDICATED IN SPECIFICATIONS OR AS INDICATED ABOVE FOR PIPE DEPTH OF COVER.		
		DRIPLINE REMOTE CONTROL VALVE			
		DRIP ZONE:			
		HUNTER HDL SERIES DRIPLINE WITH BUILT IN PRESSURE COMPENSATION AND CHECK VALVE, PART #HDL-06-18-250-CV. USE PLD FITTINGS. TUBING TO BE INSTALLED 2" BELOW GRADE IN A 18" O.C. GRID ACCORDING TO DETAILS. SIZE EXHAUST HEADERS AS FOLLOWS: 1": 0-10 GPM, 1.25": 11-20 GPM. ALL EXHAUST HEADERS SHALL BE 1" SCH 40 PVC OR 1" SCH 40 FLEXIBLE PVC. USE SCH. 40 PVC SOLVENT WELD FITTINGS. EXTEND PVC HEADERS TO THE ENDS OF ALL DRIP ZONES TO BALANCE FLOW IF REQUIRED. SEE DETAILS FOR FURTHER INFORMATION.			
		DRIPLINE REMOTE CONTROL VALVE			
		APPROXIMATE CONNECTION POINT BETWEEN DRIPLINE TUBING AND PVC SUPPLY WHEN DRIP ZONE IS LESS THAN 3 GPM AND NO PVC SUPPLY/EXHUST HEADERS ARE NEEDED. REFER TO DRIPLINE TUBING CONNECTION DETAIL FOR MORE INFORMATION.			



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 www.rmairrigation.com

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PROJECT: **62 CHAMISAL PASS
 SANTA LUCIA PRESERVE LOT 138
 MONTEREY, CA**

SHEET TITLE: **IRRIGATION NOTES AND LEGEND**

SCALE: NONE
 DRAWN BY: DM/JC
 DATE: 10/24/2025

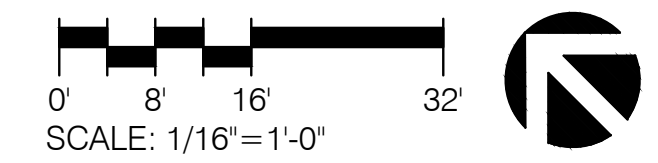


- 60 | ARC ECR
1 GAL
- 48 | ERI FOL
1 GAL
- 1 | MAL FAS
5 GAL
- 20 | ARC CRU
1 GAL
- 390 | MEL IM2
1 GAL
- 73 | ERI CON
1 GAL
- 26 | PEN MAR
1 GAL

SEEDED RESTORATION MIX 2: PART SHADE (6,789 sf)
 SEEDED RESTORATION SEED MIX 1: SUN (15,429 sf)

LEGEND

	HOMELAND BOUNDARY
	EXTENT OF 5'-0" NONCOMBUSTIBLE ZONE, REFER TO L3.1 AND FUEL MANAGEMENT PLAN
	EXISTING TREE TO REMAIN
	DRIPLINE



NOT FOR CONSTRUCTION ORIGINAL SHEET SIZE: 24" X 36"

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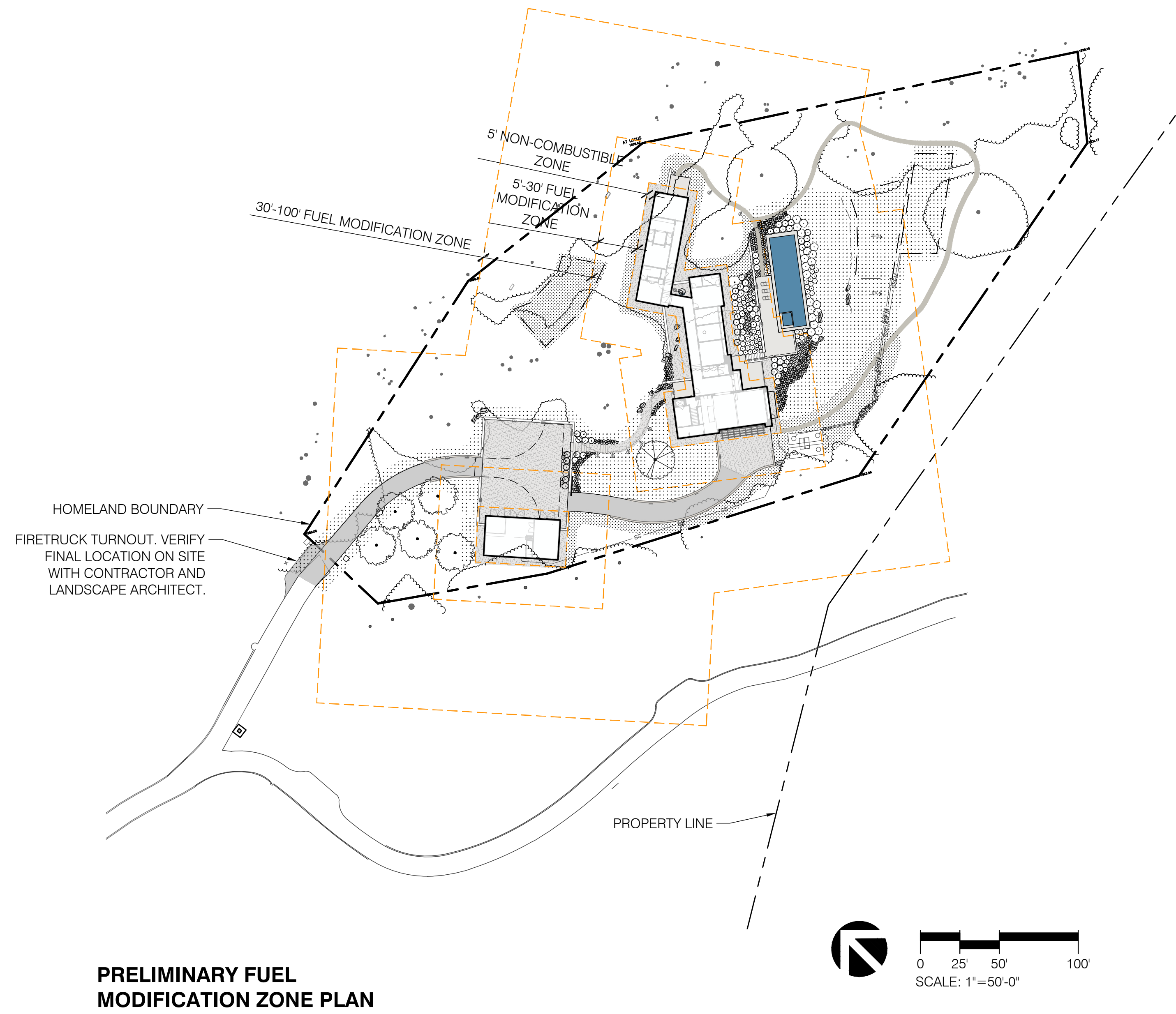
SHEET TITLE: **PLANTING PLAN**

SCALE: 1/16" = 1'-0"
 DRAWN BY: ND/CJ
 DATE: 10/24/2025

L3.0

FIRE DEPARTMENT & FUEL MODIFICATION NOTES

1. FIRE HOSE ACCESS TO BE CONFIRMED WITH FIRE DEPARTMENT. DISTANCE BETWEEN FIRETRUCK TURNAROUND AND FURTHEST BUILDING CORNER IS APPROXIMATELY 175'.
2. FIRETRUCK TURNOUT PER CIVIL DRAWINGS. TURNOUT IS LOCATED ALONG DRIVEWAY NEAR MIDPOINT, AS REQUIRED BY FIRE DEPARTMENT AND TO MINIMIZE HABITAT DISTURBANCE.
3. 0'-30' FROM STRUCTURES, ALL DEAD BRANCHES WILL BE REMOVED, TREES WILL BE LIMBED UP, AND UNDERSTORY "LADDER FUEL" SHRUBS WILL BE REMOVED OR REDUCED. ALL NEW PLANTS WILL BE IRRIGATED AND MAINTAINED FOR FUEL MANAGEMENT.
4. 30'-100' FROM STRUCTURES AND WITHIN 15' FROM THE DRIVEWAY, ALL WEEDS AND POISON OAK WILL BE MOWED, AND SMALL TREE BRANCHES WILL BE TRIMMED UP TO ONE-THIRD THE HEIGHT OF THE TREE OR EIGHT FEET, WHICHEVER IS LESS.
5. FUEL MODIFICATION ZONES AND NOTES SHOWN ON THIS SHEET ARE PRELIMINARY. REFER TO LOT-SPECIFIC FUEL MANAGEMENT (FMP) FOR FINAL DIRECTION.



PRELIMINARY FUEL MODIFICATION ZONE PLAN

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE	CALIPER	SPACING
TREES							
	QUE A15	5	QUERCUS AGRIFOLIA / COAST LIVE OAK MULTI-TRUNK	15 GAL	VERY LOW	1/2"	
	QUE A36	1	QUERCUS AGRIFOLIA / COAST LIVE OAK MULTI-TRUNK	36" BOX	VERY LOW	1-1/2"-2"	
SHRUBS							
	ARC CRU	20	ARCTOSTAPHYLOS CRUSTACEA SSP. CRUSTACEA / BRITTLE LEAF MANZANITA	1 GAL	VERY LOW		60" o.c.
	ARC ECR	60	ARCTOSTAPHYLOS EDMUNDII 'CARMEL SUR' / CARMEL SUR LITTLE SUR MANZANITA	1 GAL	LOW		48" o.c.
	ERI FOL	48	ERIOGONUM FASCICULATUM FOLIOLOSUM / CALIFORNIA BUCKWHEAT	1 GAL	VERY LOW		36" o.c.
	ERI CON	74	ERIOPHYLLUM CONFERTIFLORUM / GOLDEN YARROW	1 GAL	LOW		24" o.c.
	MAL FAS	1	MALACOTHAMNUS FASCICULATUS / BUSH MALLOW	5 GAL	VERY LOW		96" o.c.
	MEL IM2	390	MELICA IMPERFECTA / IMPERFECT MELIC	1 GAL	VERY LOW		18" o.c.
	PEN MAR	26	PENSTEMON HETEROPHYLLUS 'MARGARITA BOP' / MARGARITA BOP PENSTEMON	1 GAL	LOW		30" o.c.
GROUND COVERS							
		15,401 SF	MEADOW RESTORATION SEED MIX 1: SUN				
	BRO ELE		BRODIAEA ELEGANS / HARVEST BRODIAEA	SEEDS	LOW		
	CLA UNG		CLARKIA UNGUICULATA / ELEGANT CLARKIA	SEEDS	LOW		
	DIP SAS		DIPTEROSTEMON CAPITATUS / BLUE DICKS	SEEDS	LOW		
	FES SAM		FESTUCA MICROSTACHYS / SMALL FESCUE	SEEDS	LOW		
	LUP NAN		LUPINUS NANUS / SKY LUPINE	SEEDS	LOW		
	PLA ERE		PLANTAGO ERECTA / DOTSEED PLANTAIN	SEEDS	LOW		
	STI LEP		STIPA LEPIDA / FOOTHILL NEEDLEGRASS	SEEDS	LOW		
	TRI WIL		TRIFOLIUM WILLDENOVII / TOMCAT CLOVER	SEEDS	LOW		
		6,678 SF	MEADOW RESTORATION SEED MIX 2: PART SHADE				
	AGR PAL		AGROSTIS PALLENS / THINGRASS	SEEDS	LOW		
	DES HOL		DESCHAMPSIA CAESPITOSA SSP. HOLCIFORMIS / COASTAL HAIRGRASS	SEEDS	LOW		
	PRI CLE		PRIMULA CLEVELANDII / PADRE'S SHOOTING STAR	SEEDS	LOW		
	SAN CRA		SANICULA CRASSICAULIS / PACIFIC SANICLE	SEEDS	LOW		
	WYE EYA		WYETHIA HELENIOIDES / GRAY MULE EARS	SEEDS	LOW		

PLANTING NOTES

1. ALL NEW PLANTING, AND EXISTING VEGETATION WITHIN FUEL MANAGEMENT ZONES, SHALL BE MAINTAINED TO LIMIT FUEL LOAD. REFER TO LOT-SPECIFIC FUEL MANAGEMENT PLAN AND TO FUEL MODIFICATION NOTES, THIS SHEET.
2. STOCKPILED TOPSOIL TO BE SPREAD AT SEPTIC DRIP FIELD AND OTHER DISTURBED LOCATIONS WHICH ARE TO BE SEEDED WITH MEADOW RESTORATION SEED MIX.
4. SEED FOR MEADOW RESTORATION AREAS TO BE COLLECTED ON SITE WHEN POSSIBLE. FORBS (WILDFLOWERS) TO BE SEEDED 1 YEAR BEFORE GRASSES. SEEDING TO OCCUR DURING FALL OR EARLY SPRING.
5. 3-INCH LAYER OF ORGANIC MULCH SHALL BE ADDED TO ALL SHRUB PLANTING AREAS AND TO A 6-FOOT RADIUS AROUND NEW TREES. MULCH AT SEEDED AREAS IS TBD.

NO.	DATE	DESCRIPTION
1.	04/03/2025	PRELIMINARY DRB
2.	06/05/2025	FINAL DRB
3.	10/24/2025	PLANNING
4.		
5.		
6.		



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PHONE 831.423.8040 WWW.JLA.COM
California Landscape Architect License 3183

PROJECT:
**62 CHAMISAL PASS
SANTA LUCIA PRESERVE LOT 138
MONTEREY, CA**

SHEET TITLE:
**PLANTING NOTES & SCHEDULE
& FUEL MODIFICATION ZONES**

SCALE: 1/16" = 1'-0"
DRAWN BY: ND/CJ
DATE: 10/24/2025

LANDSCAPE MATERIALS



GRAVEL: 3/8" ENZ/VINEYARD ROCK QUARRY



BOULDERS: ENZ/VINEYARD ROCK QUARRY



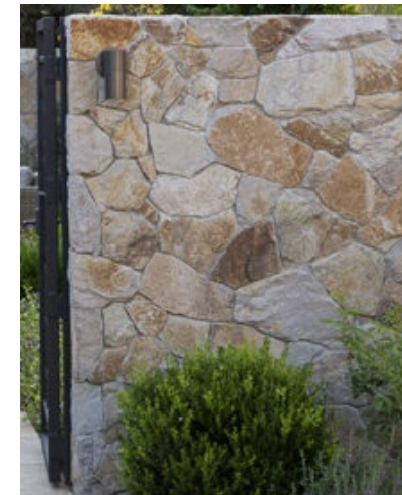
PAVING - FAUNE LIMESTONE, FLAMED FINISH



SITE STUCCO WALLS: PORTLAND CEMENT PLASTER, SHERWIN WILLIAMS #7030 'ANEW GRAY'



VEHICULAR GATE: WEATHERED CEDAR & BLACKENED STEEL

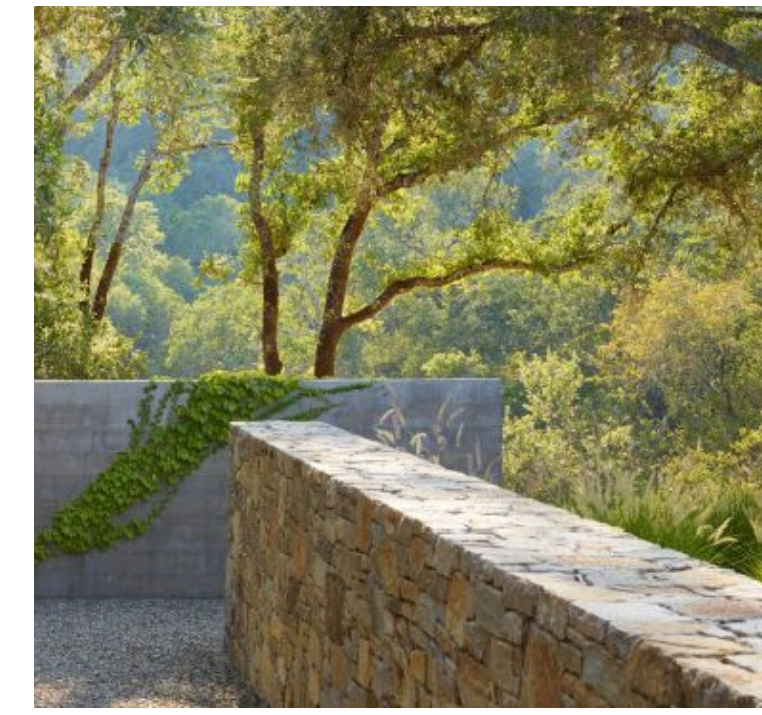


SITE STONE WALLS: ST. HELENA COTTAGE STONE

INSPIRATION



STONE, GRAVEL, AND PLANTING CHARACTER



GRAVEL COURTYARDS AND NON-COMBUSTIBLE ZONE



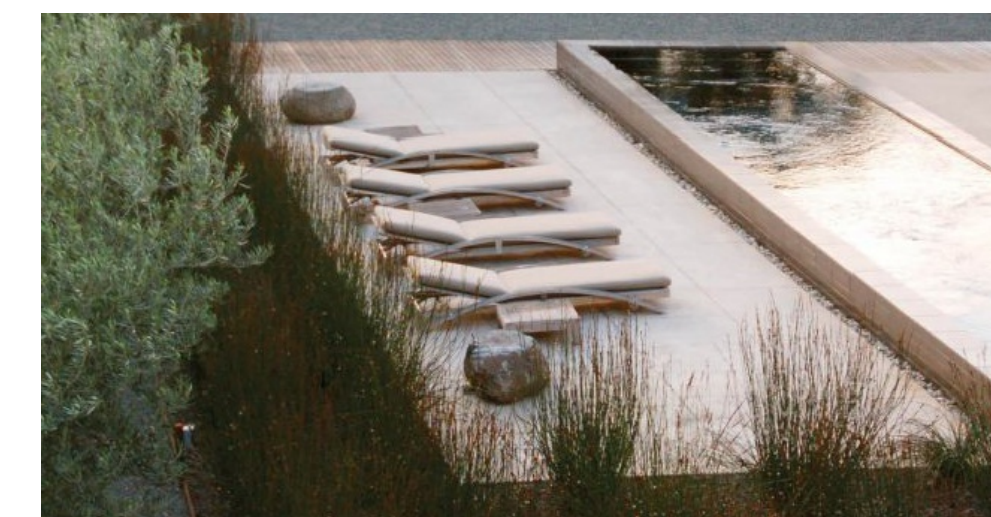
GRAVEL, STUCCO, AND PLANTING CHARACTER

AUTO COURT

STAIRS TO POOL



POOL



SITE CHARACTERISTICS



NO.	DATE	DESCRIPTION
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**62 CHAMISAL PASS
SANTA LUCIA PRESERVE LOT 138
MONTEREY, CA**

PROJECT:

**LANDSCAPE CHARACTER &
MATERIALS IMAGES**

SHEET TITLE:





SCALE:
DRAWN BY: ND/CJ
DATE: 10/24/2025

NOT FOR CONSTRUCTION ORIGINAL SHEET SIZE: 24" X 36"

L4.0

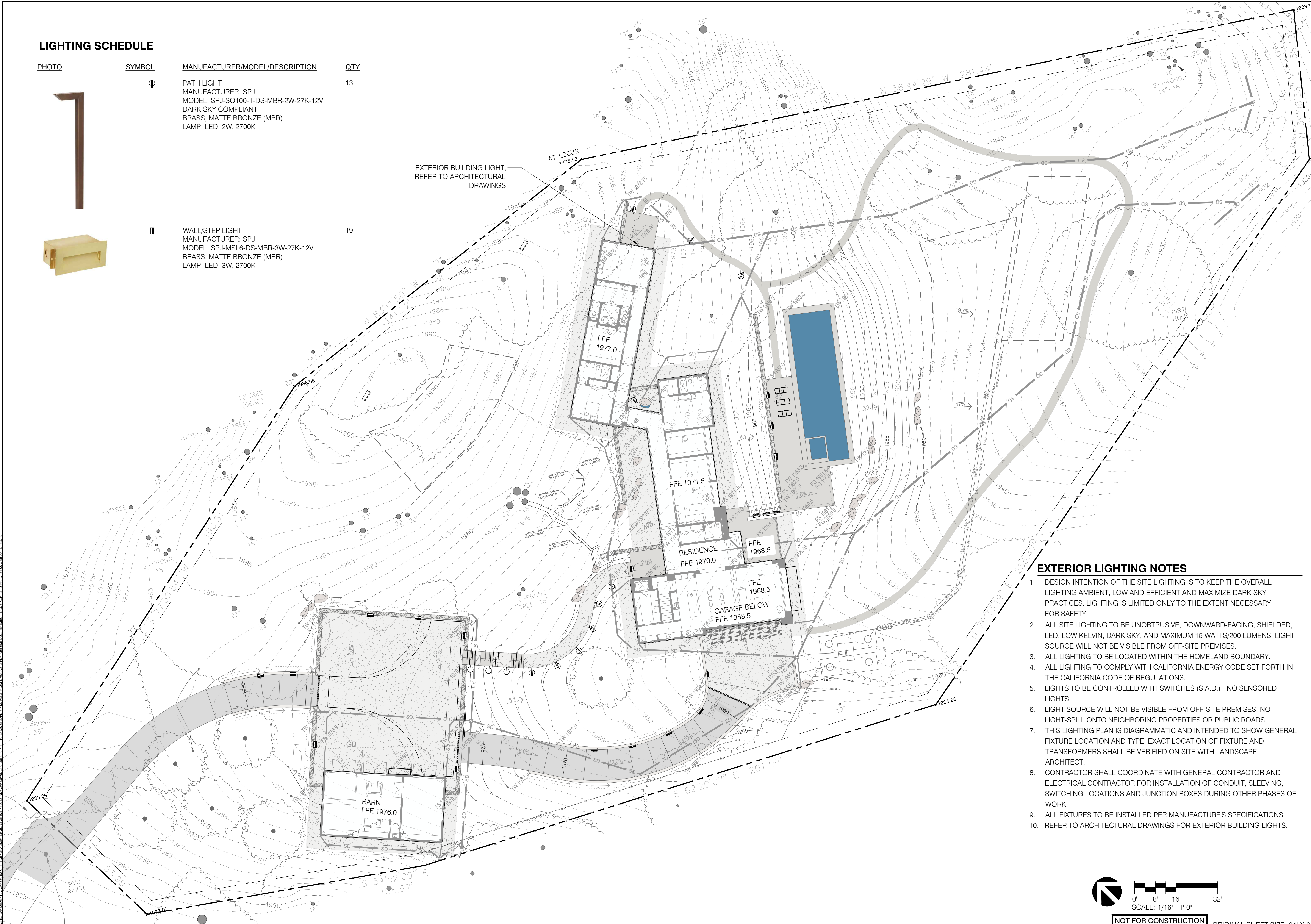
PROJECT: 62 CHAMISAL PASS, 2025, Santa Lucia Preserve, Monterey, CA. L4.0 - Landscape Character & Materials Images. 10/24/2025, 4:41:10 PM. Joni L. Janecki, Landscape Architect. 831.423.8040 | www.jlja.com

LIGHTING SCHEDULE

PHOTO	SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
		PATH LIGHT MANUFACTURER: SPJ MODEL: SPJ-SQ100-1-DS-MBR-2W-27K-12V DARK SKY COMPLIANT BRASS, MATTE BRONZE (MBR) LAMP: LED, 2W, 2700K	13
		WALL/STEP LIGHT MANUFACTURER: SPJ MODEL: SPJ-MSL6-DS-MBR-3W-27K-12V BRASS, MATTE BRONZE (MBR) LAMP: LED, 3W, 2700K	19

EXTERIOR BUILDING LIGHT,
REFER TO ARCHITECTURAL
DRAWINGS

AT LOCUS
1978.52



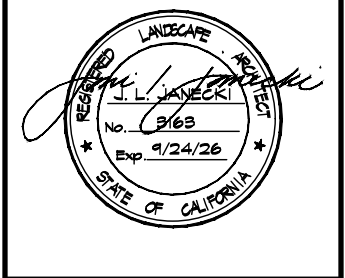
EXTERIOR LIGHTING NOTES

- DESIGN INTENTION OF THE SITE LIGHTING IS TO KEEP THE OVERALL LIGHTING AMBIENT, LOW AND EFFICIENT AND MAXIMIZE DARK SKY PRACTICES. LIGHTING IS LIMITED ONLY TO THE EXTENT NECESSARY FOR SAFETY.
- ALL SITE LIGHTING TO BE UNOBTRUSIVE, DOWNWARD-FACING, SHIELDED, LED, LOW KELVIN, DARK SKY, AND MAXIMUM 15 WATTS/200 LUMENS. LIGHT SOURCE WILL NOT BE VISIBLE FROM OFF-SITE PREMISES.
- ALL LIGHTING TO BE LOCATED WITHIN THE HOMELAND BOUNDARY.
- ALL LIGHTING TO COMPLY WITH CALIFORNIA ENERGY CODE SET FORTH IN THE CALIFORNIA CODE OF REGULATIONS.
- LIGHTS TO BE CONTROLLED WITH SWITCHES (S.A.D.) - NO SENSORED LIGHTS.
- LIGHT SOURCE WILL NOT BE VISIBLE FROM OFF-SITE PREMISES. NO LIGHT-SPILL ONTO NEIGHBORING PROPERTIES OR PUBLIC ROADS.
- THIS LIGHTING PLAN IS DIAGRAMMATIC AND INTENDED TO SHOW GENERAL FIXTURE LOCATION AND TYPE. EXACT LOCATION OF FIXTURE AND TRANSFORMERS SHALL BE VERIFIED ON SITE WITH LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR AND ELECTRICAL CONTRACTOR FOR INSTALLATION OF CONDUIT, SLEEVING, SWITCHING LOCATIONS AND JUNCTION BOXES DURING OTHER PHASES OF WORK.
- ALL FIXTURES TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXTERIOR BUILDING LIGHTS.



NOT FOR CONSTRUCTION ORIGINAL SHEET SIZE: 24" X 36"

NO.	DATE	DESCRIPTION
1	04/03/2025	PRELIMINARY DRB
2	06/05/2025	FINAL DRB
3	10/24/2025	PLANNING
4		
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6		



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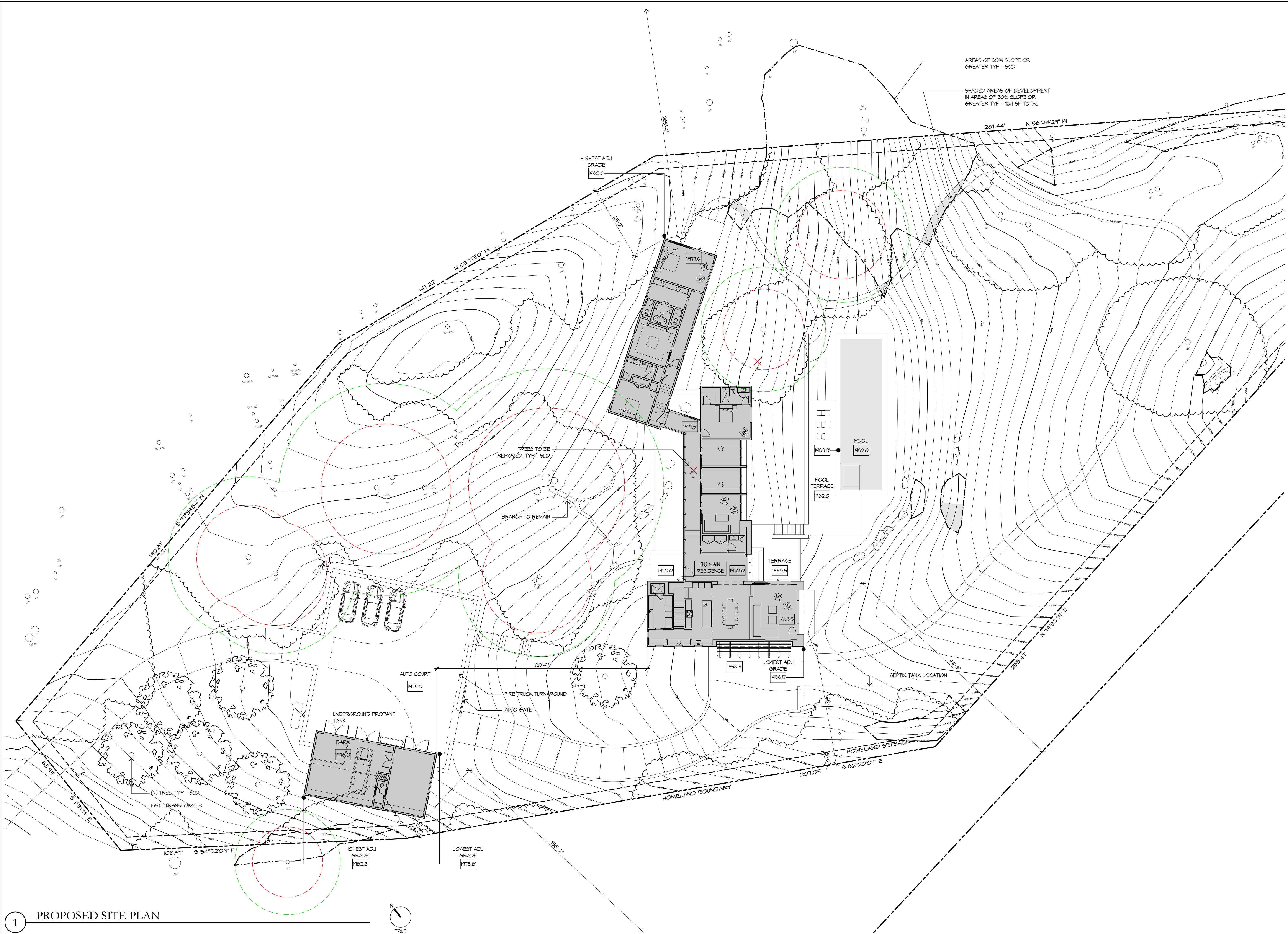
PROJECT: **62 CHAMISAL PASS**
SANTA LUCIA PRESERVE LOT 138
MONTEREY, CA

SHEET TITLE: **LIGHTING PLAN**

SCALE: 1/16" = 1'-0"
 DRAWN BY: ND/CJ
 DATE: 10/24/2025

L5.0

P:\Chamisal 6200-Drawings\00_90-Drawing Record Sets\251024_CM PLANNING SUBMITTAL\A1.01_CM PROPOSED SITE PLAN.dwg May 05, 2025-9:53



1 PROPOSED SITE PLAN



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62 CHAMISAL PASS
 CARMEL, CA 93923

APN: 239-041-009-000

DRAWN BY:	TQ
DATE:	ISSUE:
07.23.2025	APP REQUEST
10.24.2025	PLANNING

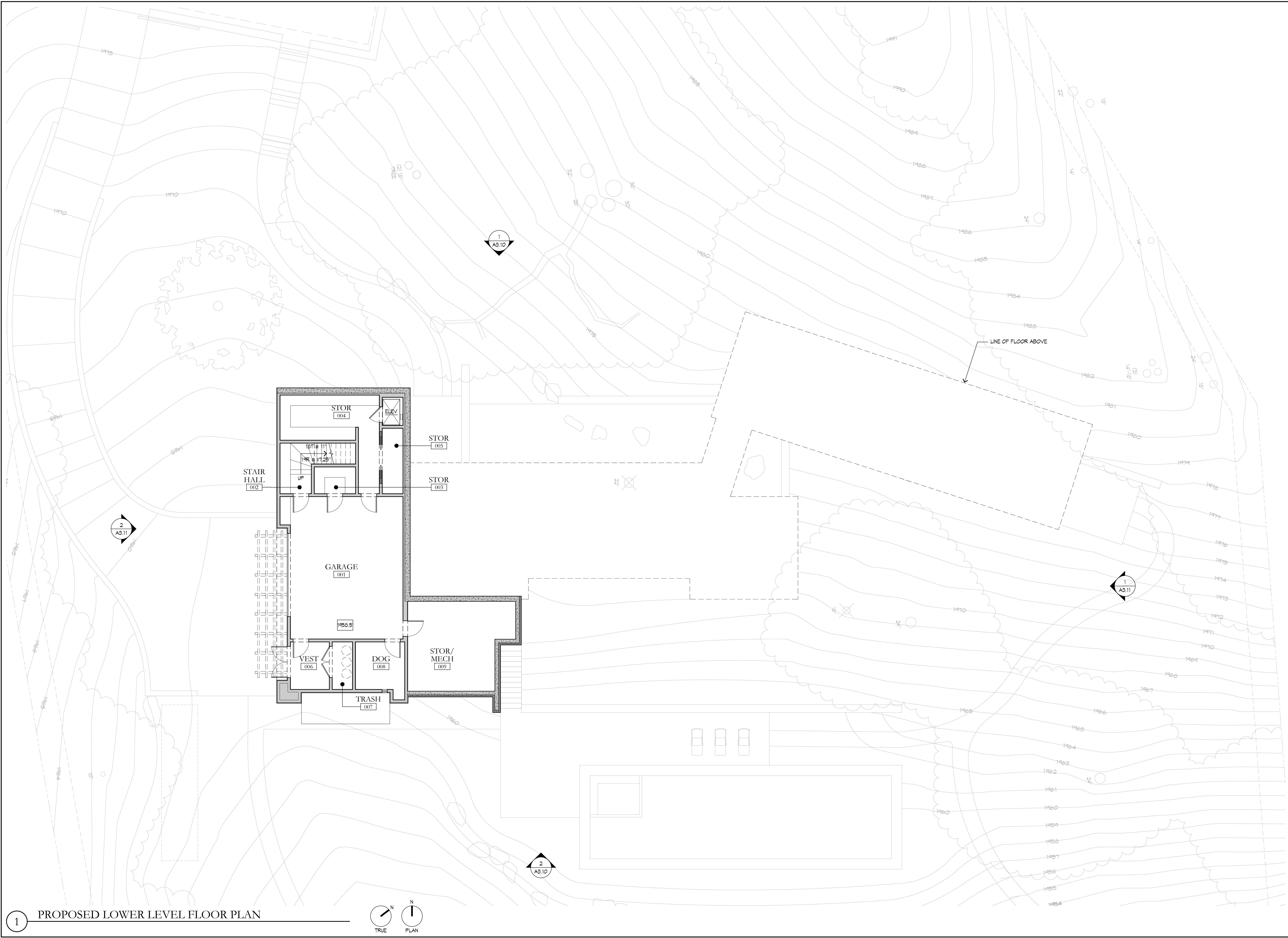
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SCALE: 1/16"=1'-0"

A1.01

10.24.2025

P:\Chamisal 62\00-Drawings\A2.00 CM LOWER LEVEL FLOOR PLAN.dwg Oct. 16, 2025-9:01



1 PROPOSED LOWER LEVEL FLOOR PLAN

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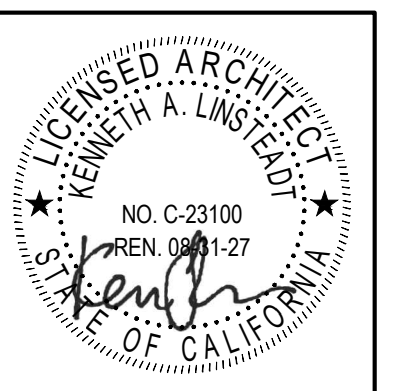
62 CHAMISAL PASS
 CARMEL, CA 93925
 APN: 239-041-009-000

DRAWN BY:	TQ
DATE:	ISSUE:
07.23.2025	APP REQUEST
10.24.2025	PLANNING

PROPOSED
 LOWER LEVEL
 FLOOR PLAN
 SCALE: 1/8"=1'-0"
A2.00
 10.24.2025



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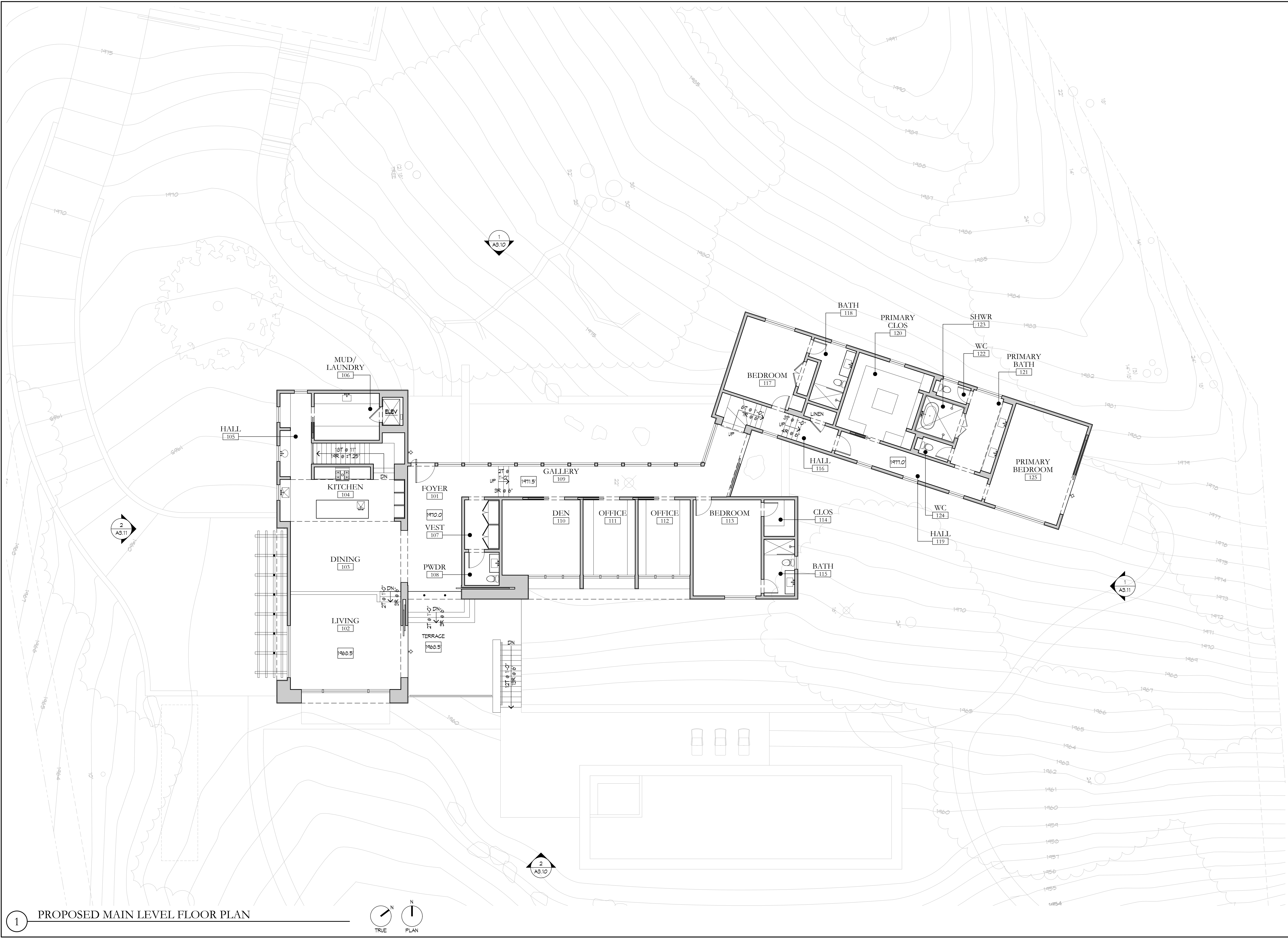


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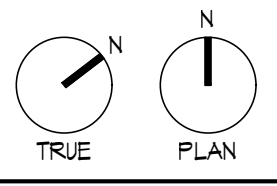
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DATE:	ISSUE:
07.23.2025	APP REQUEST
10.24.2025	PLANNING

PROPOSED
 MAIN LEVEL
 FLOOR PLAN
 SCALE: 1/8"=1'-0"
A2.01
 10.24.2025



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1 PROPOSED MAIN LEVEL FLOOR PLAN





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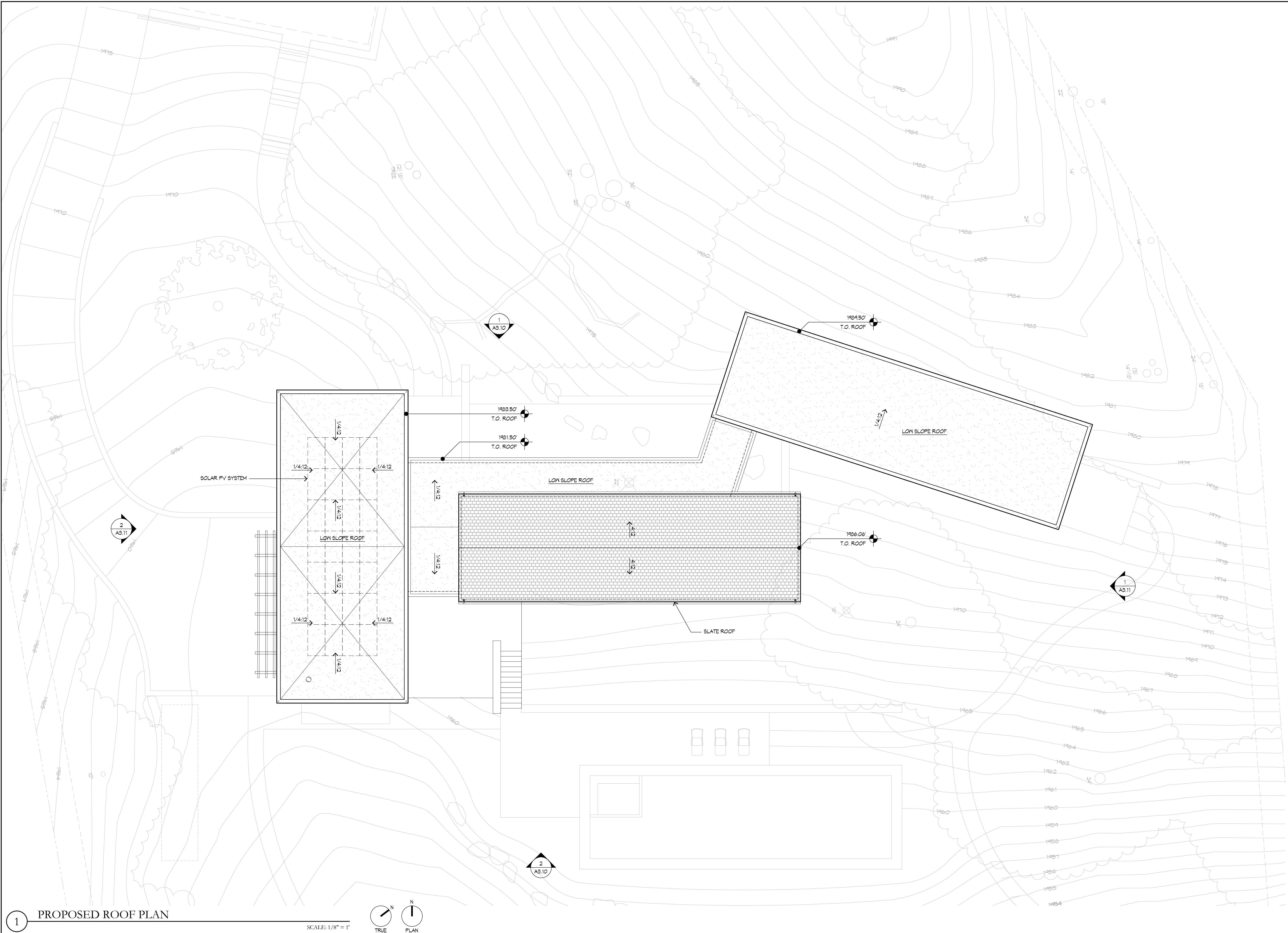
ISSUE	DATE
APP REQUEST	07.23.2025
PLANNING	10.24.2025

PROPOSED ROOF PLAN

SCALE: 1/8"=1'-0"

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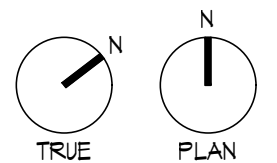
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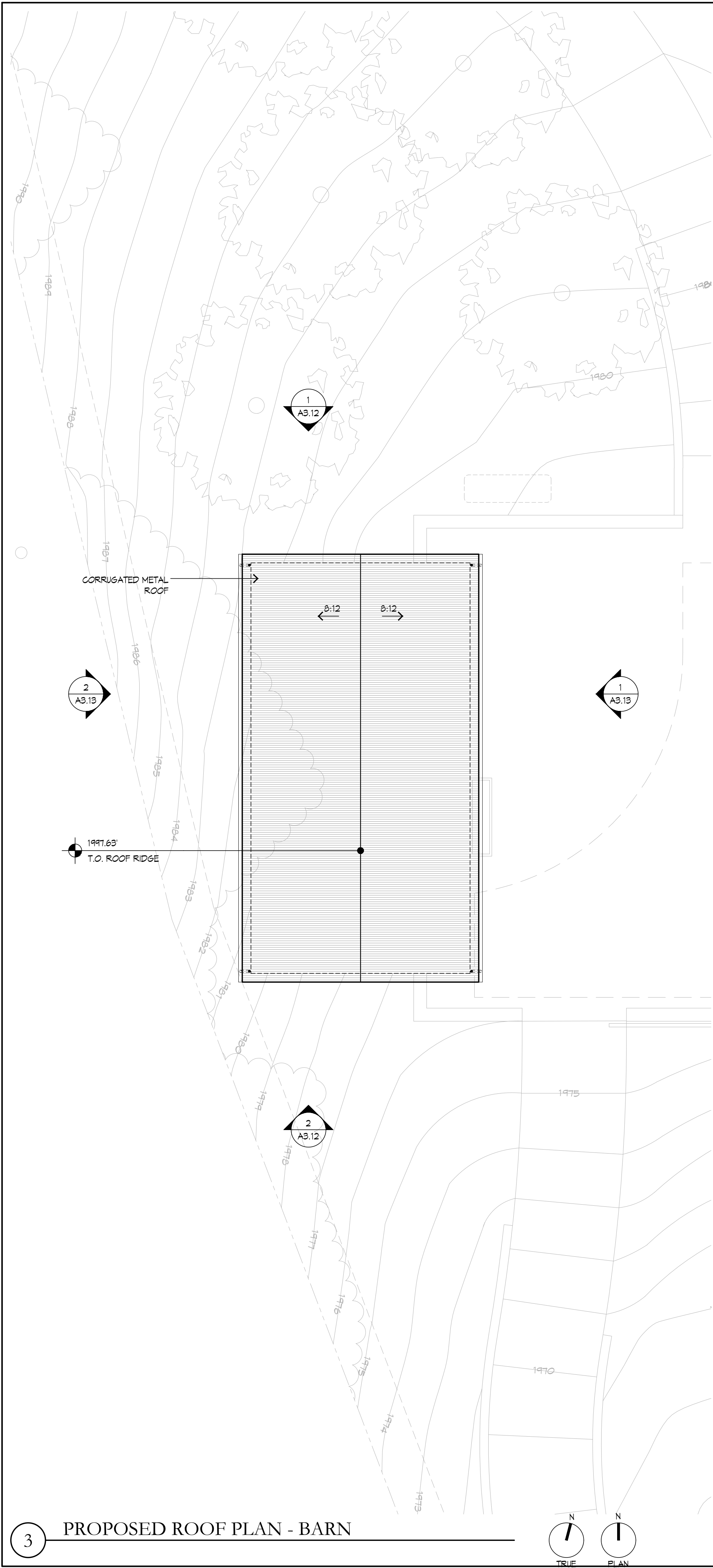
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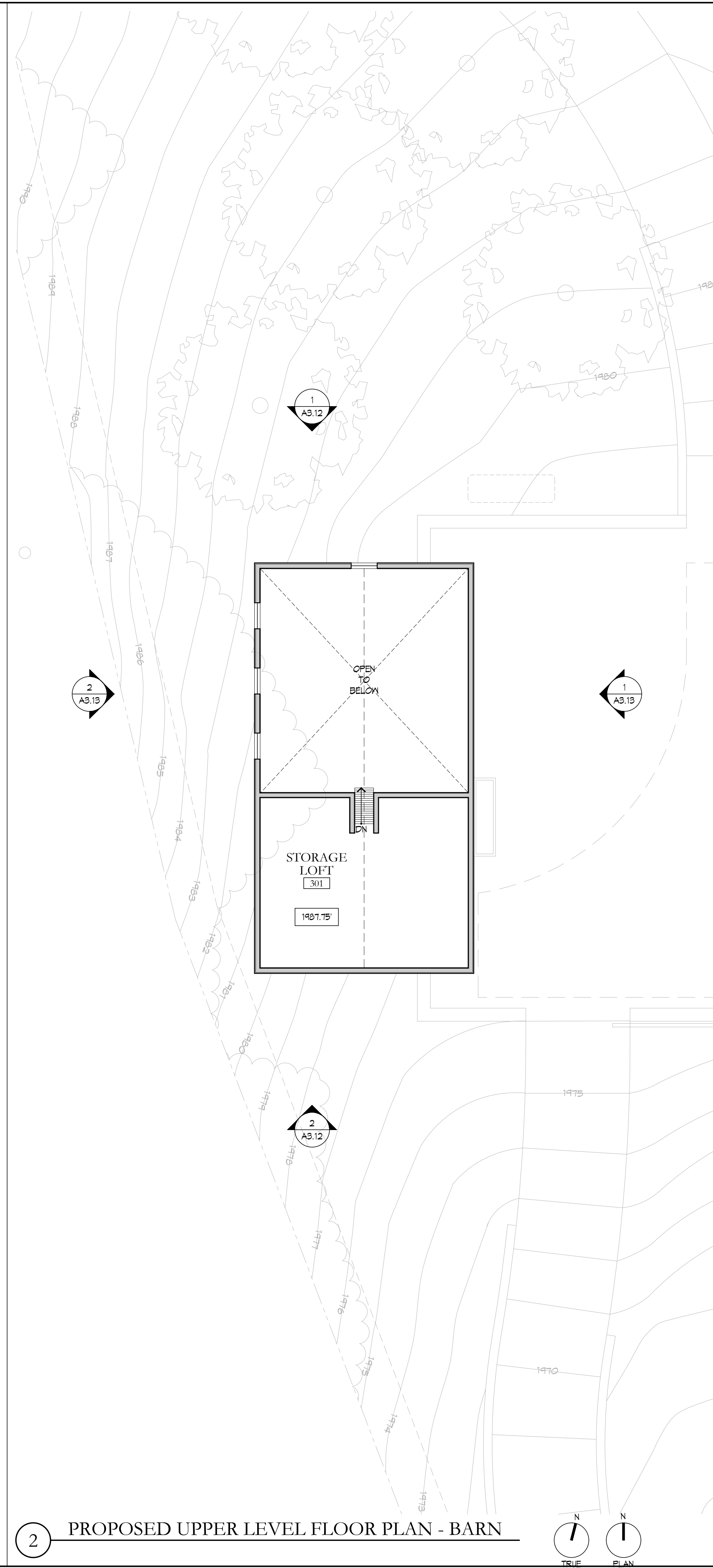
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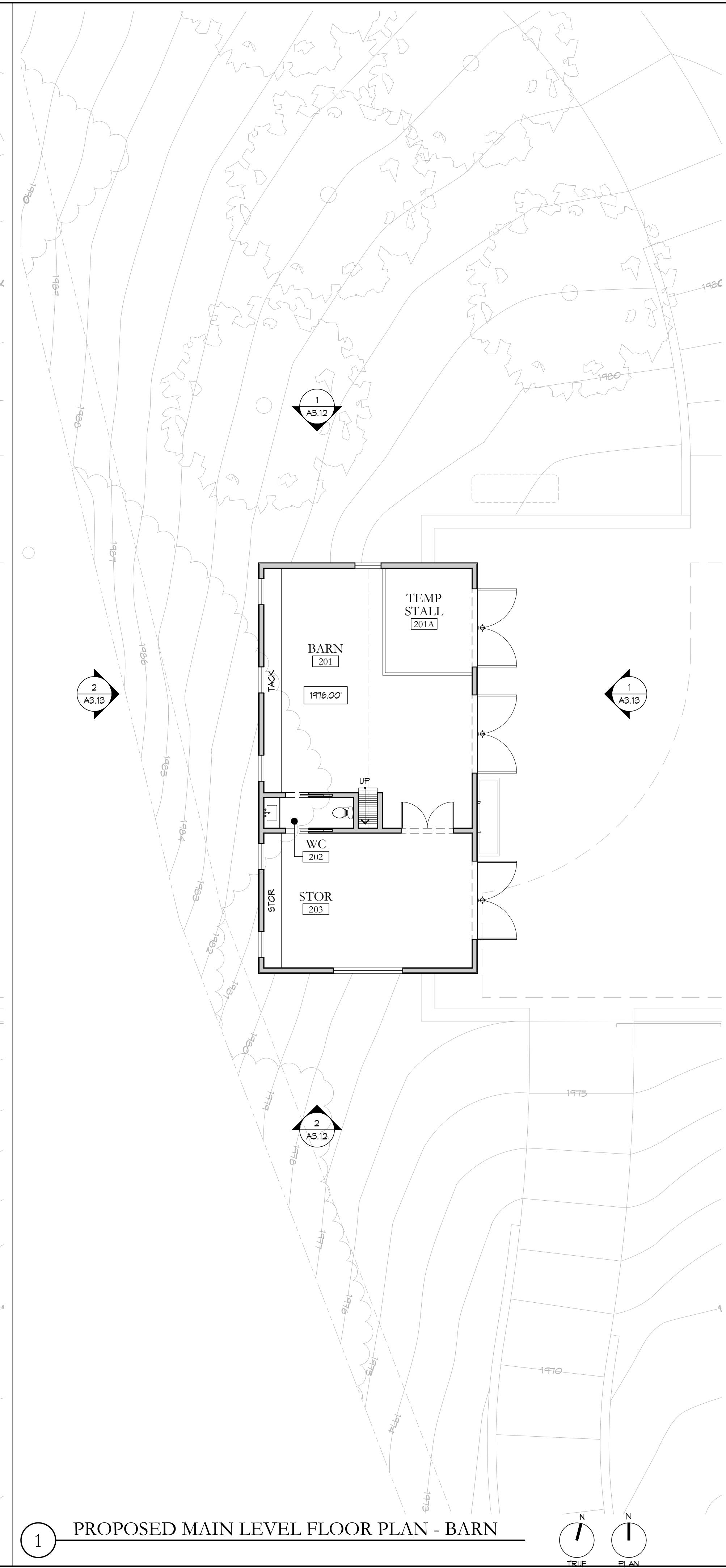
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3 PROPOSED ROOF PLAN - BARN



2 PROPOSED UPPER LEVEL FLOOR PLAN - BARN



1 PROPOSED MAIN LEVEL FLOOR PLAN - BARN

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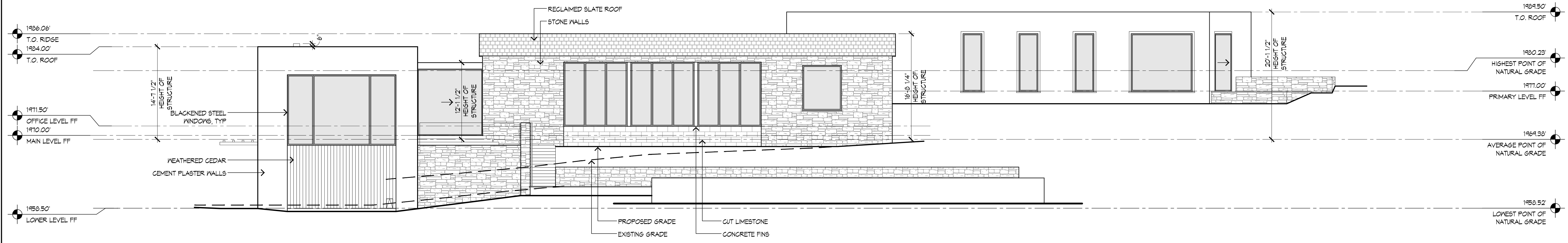
62 CHAMISAL PASS
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 APN: 239-041-009-000

DRAWN BY: TQ, AP
 DATE: 07.23.2025
 10.24.2025
 ISSUE: APP REQUEST
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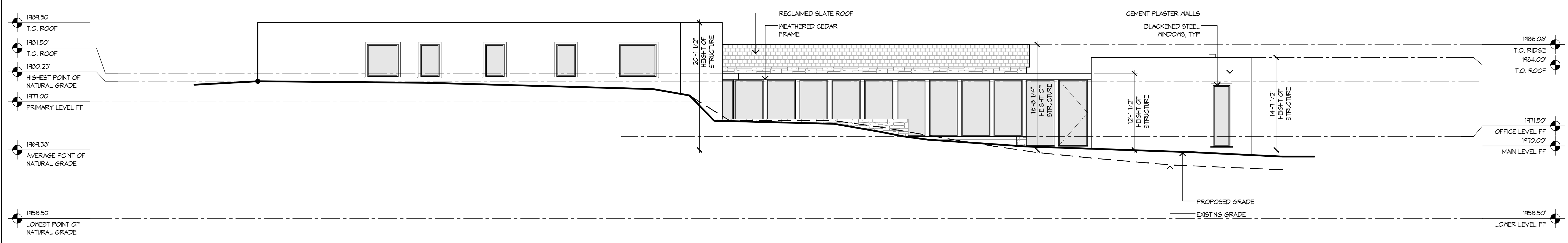
PROPOSED
 FLOOR AND ROOF
 PLANS
 BARN
 SCALE: 1/8"=1'-0"
A2.03
 10.24.2025



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2 PROPOSED SOUTH EXTERIOR ELEVATION



1 PROPOSED NORTH EXTERIOR ELEVATION

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APN: 239-041-009-000

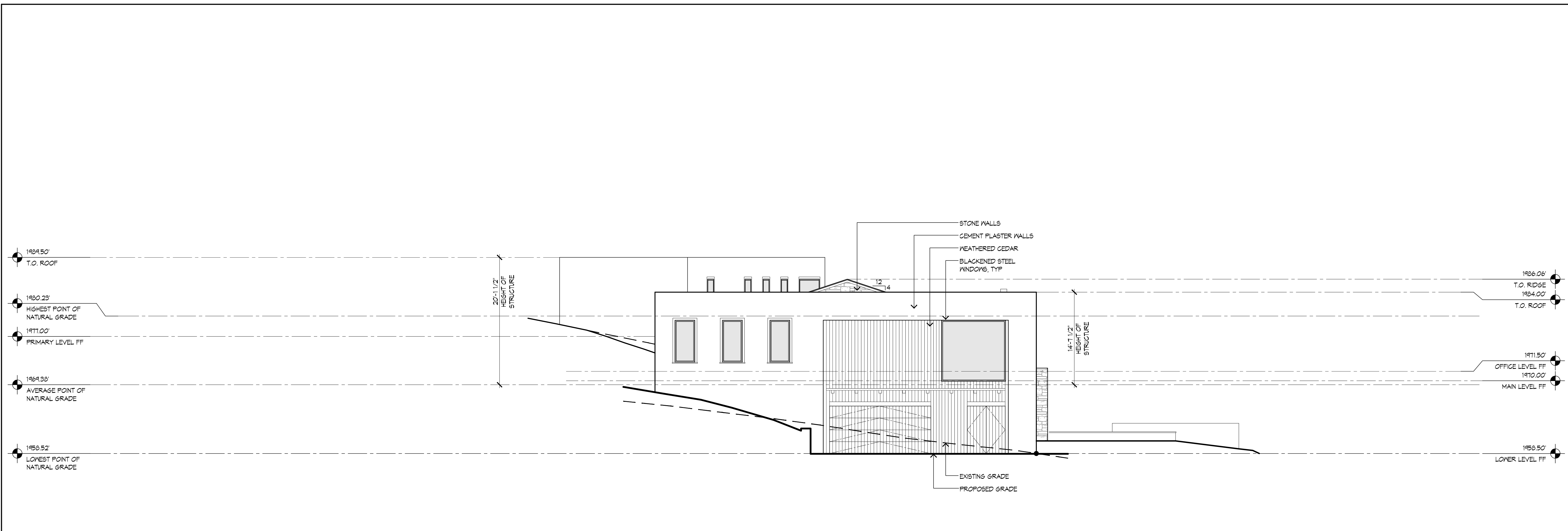
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PROPOSED EXTERIOR ELEVATIONS

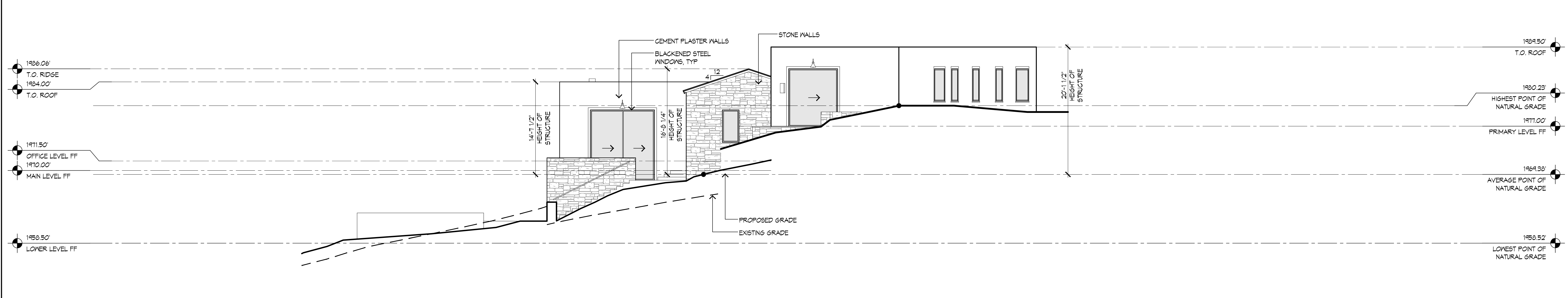
SCALE: 1/8"=1'-0"

A3.11

10.24.2025



2 PROPOSED WEST EXTERIOR ELEVATION



1 PROPOSED EAST EXTERIOR ELEVATION



2 RENDERED WEST EXTERIOR ELEVATION



1 RENDERED EAST EXTERIOR ELEVATION

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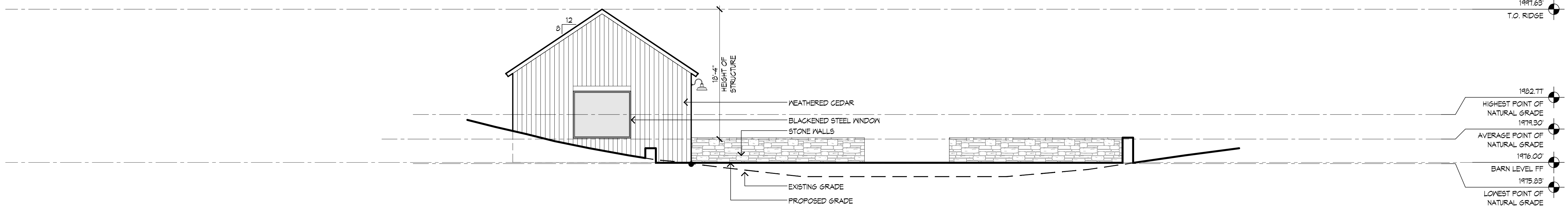
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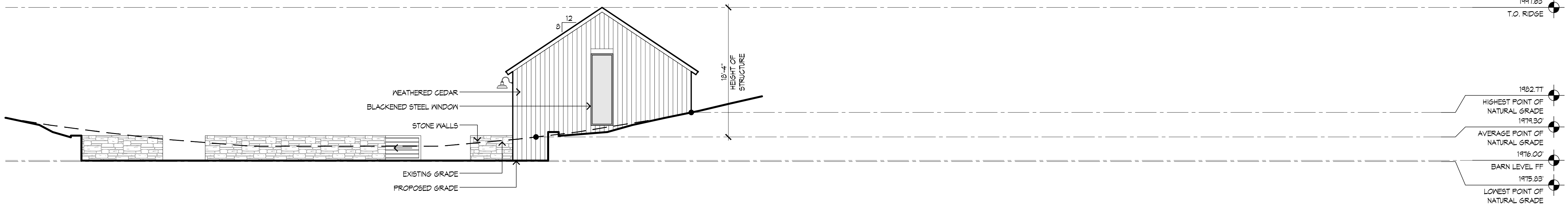
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DATE:	ISSUE:
10.24.2025	PLANNING

RENDERED EXTERIOR ELEVATIONS
 SCALE: 1/8"=1'-0"
A3.11A
 10.24.2025

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DATE:	ISSUE:
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10.24.2025	PLANNING

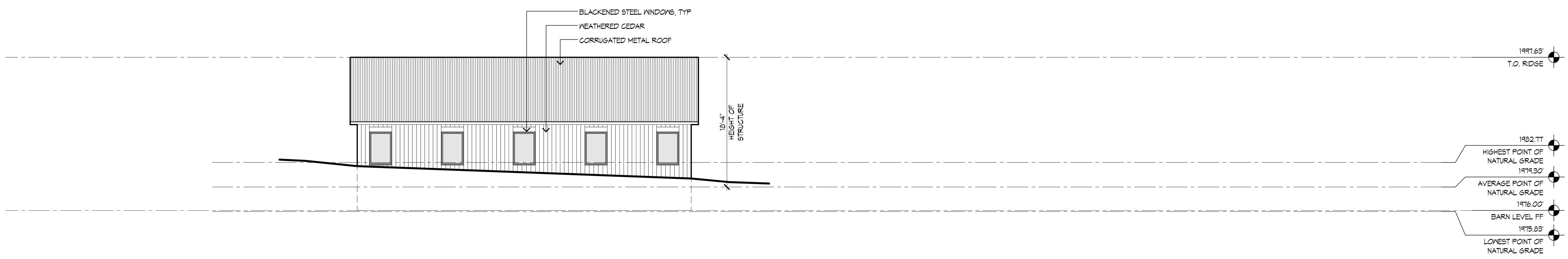


2 PROPOSED SOUTH EXTERIOR ELEVATION - BARN

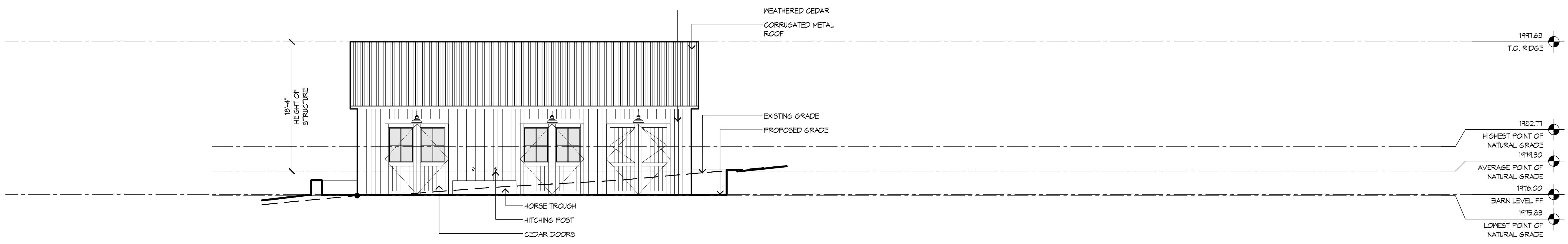


1 PROPOSED NORTH EXTERIOR ELEVATION - BARN

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2 PROPOSED WEST EXTERIOR ELEVATION - BARN



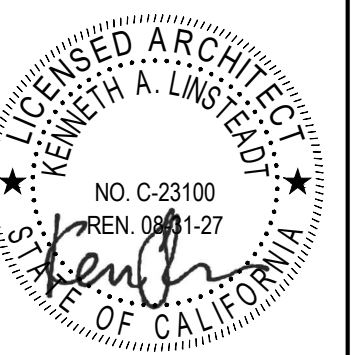
1 PROPOSED EAST EXTERIOR ELEVATION - BARN

P:\Chamisal 6200-Drawings\A3.13 CM PROPOSED EXTERIOR ELEVATIONS - BARN.dwg Oct 16, 2025-9:12



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APN: 239-041-009-000

DRAWN BY: TQ

DATE: 10.24.2025

ISSUE: PLANNING

PROPOSED BUILDING SECTIONS

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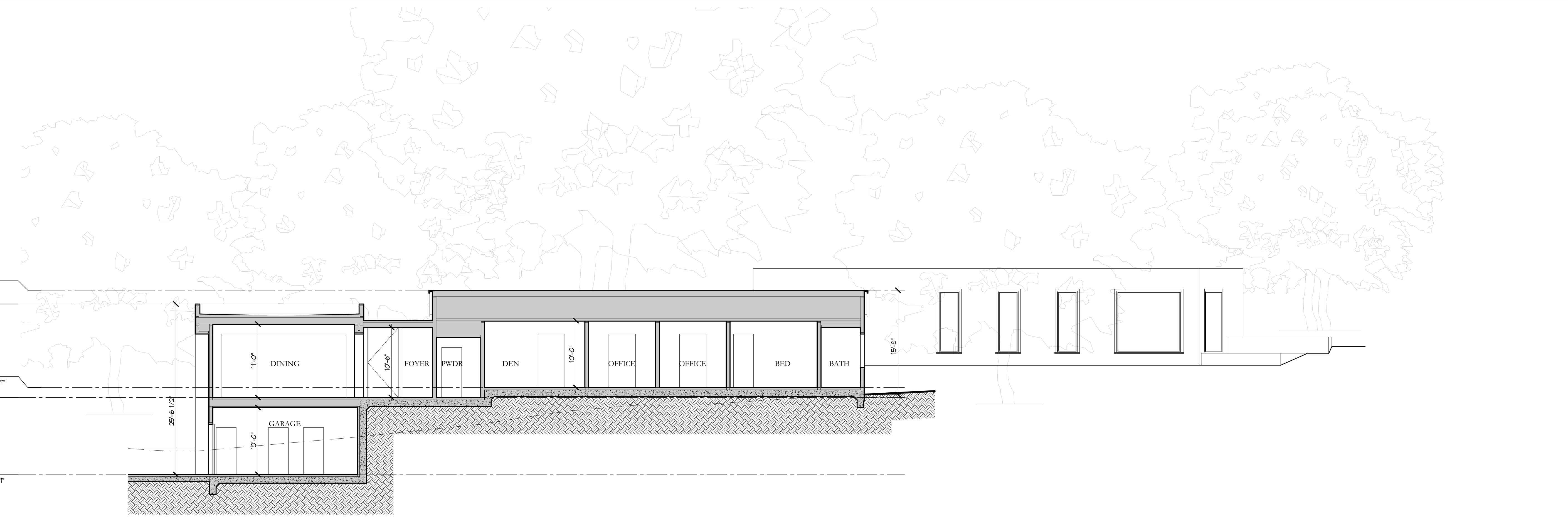
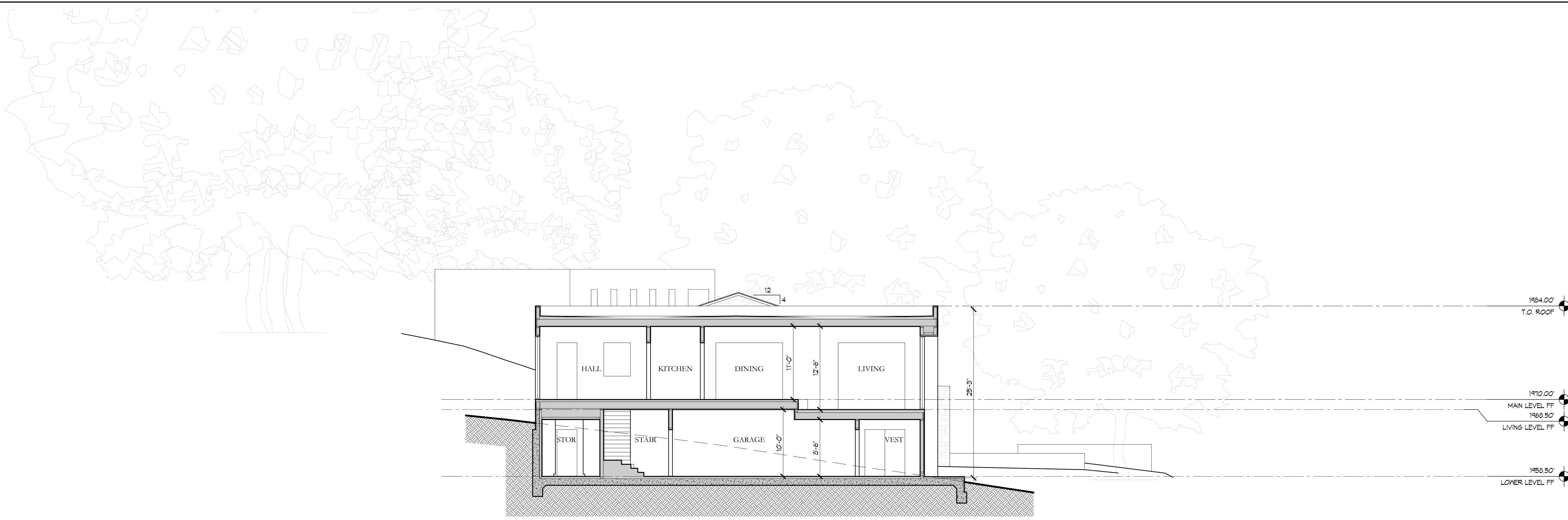
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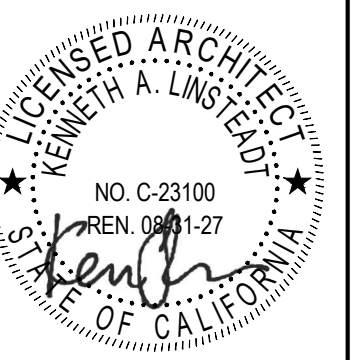
2 PROPOSED BUILDING SECTION

1 PROPOSED BUILDING SECTION





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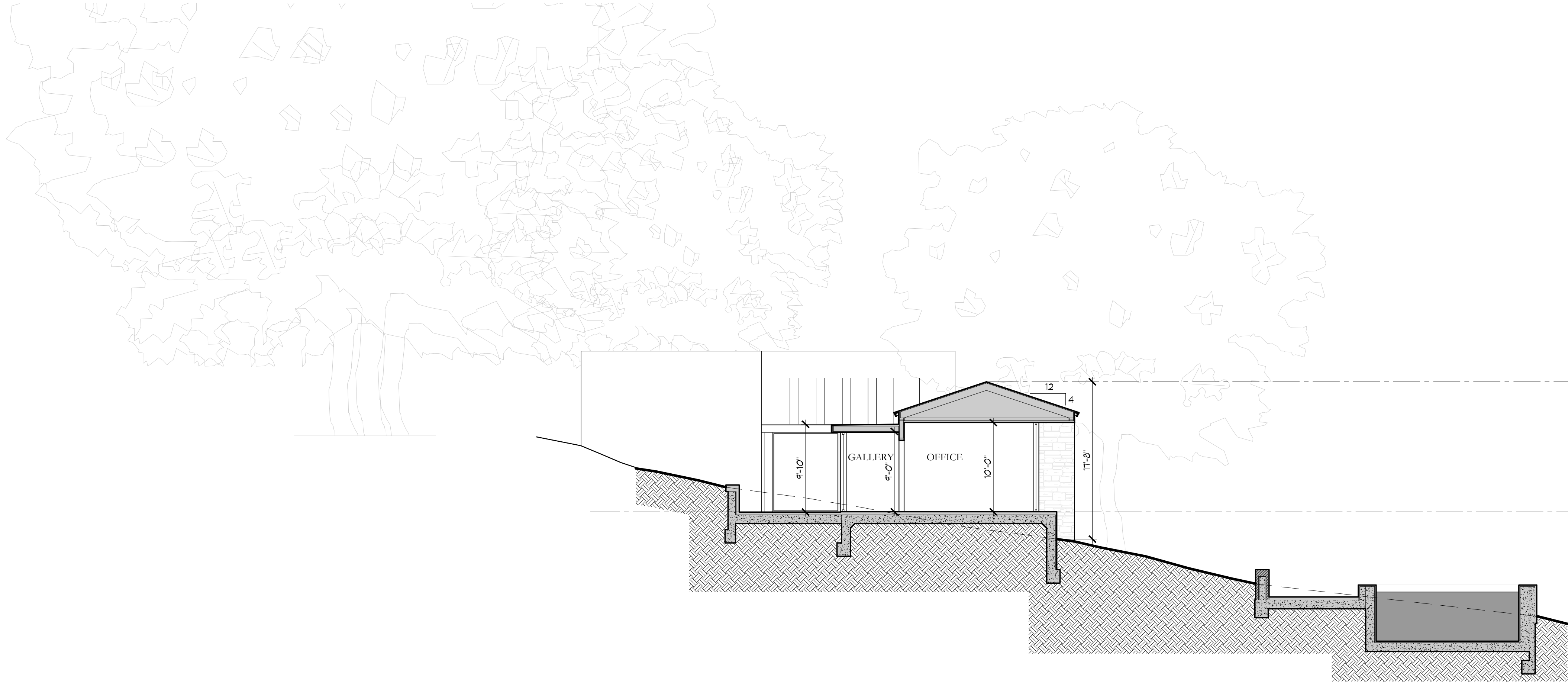
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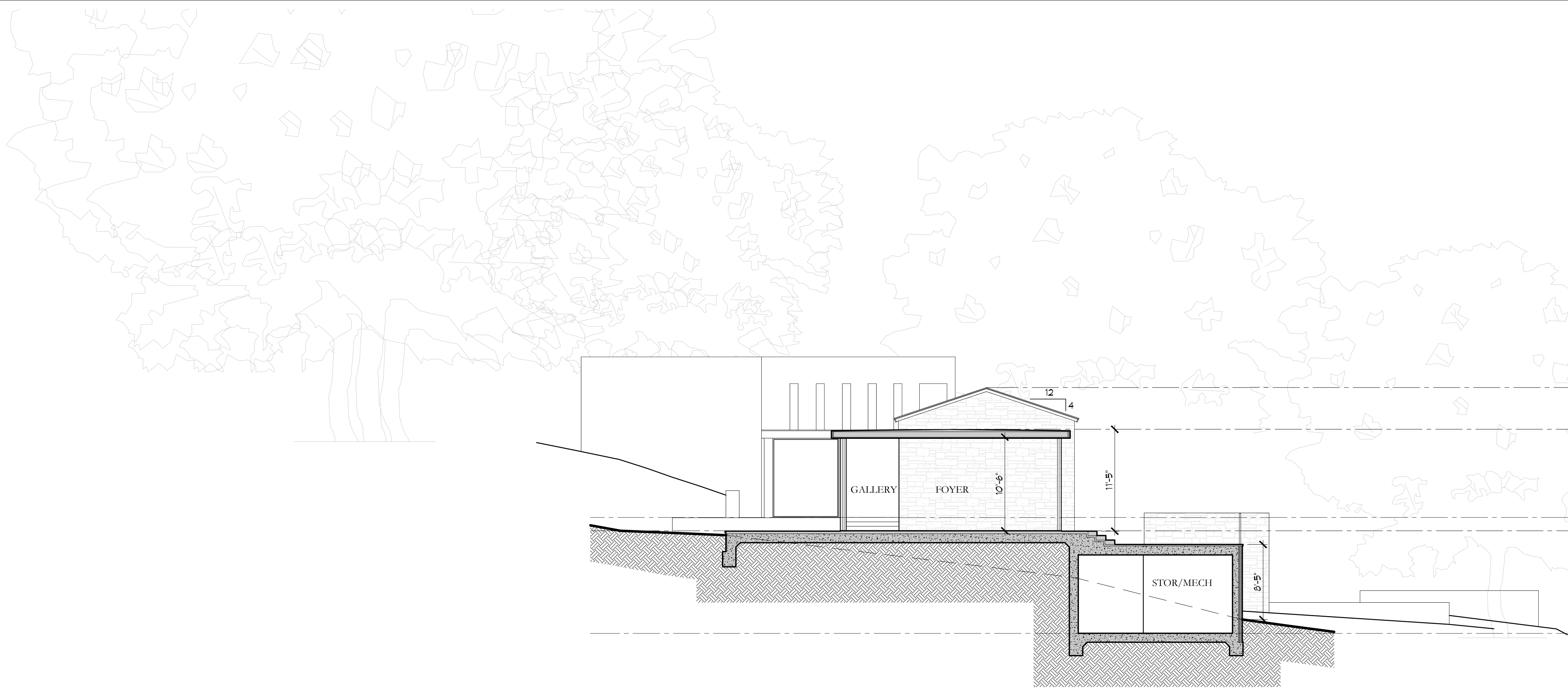
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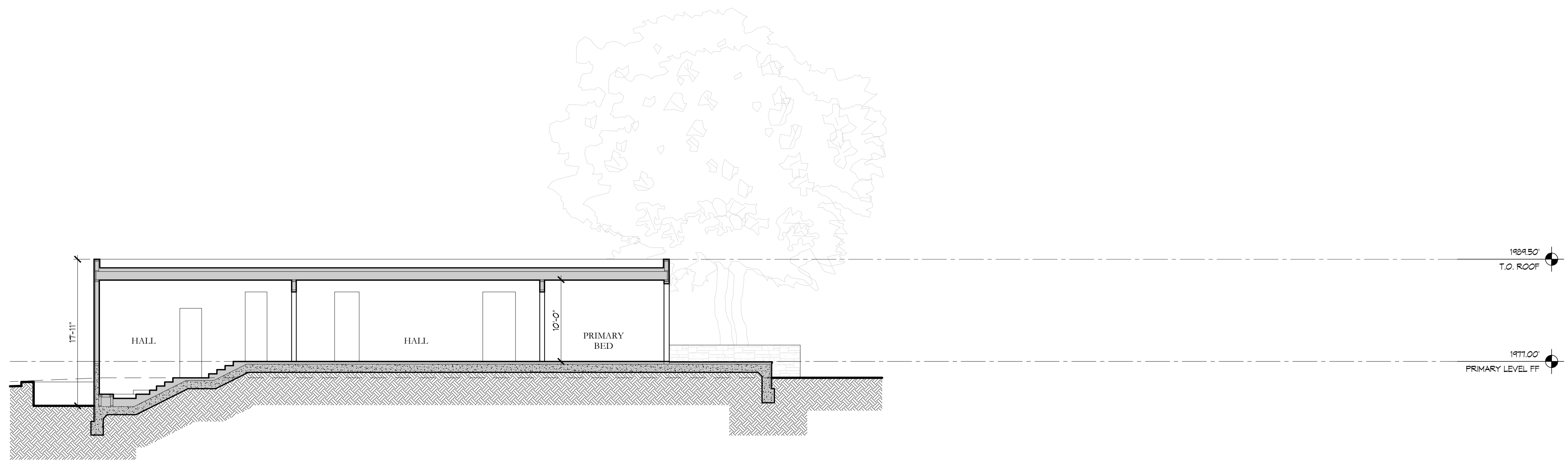


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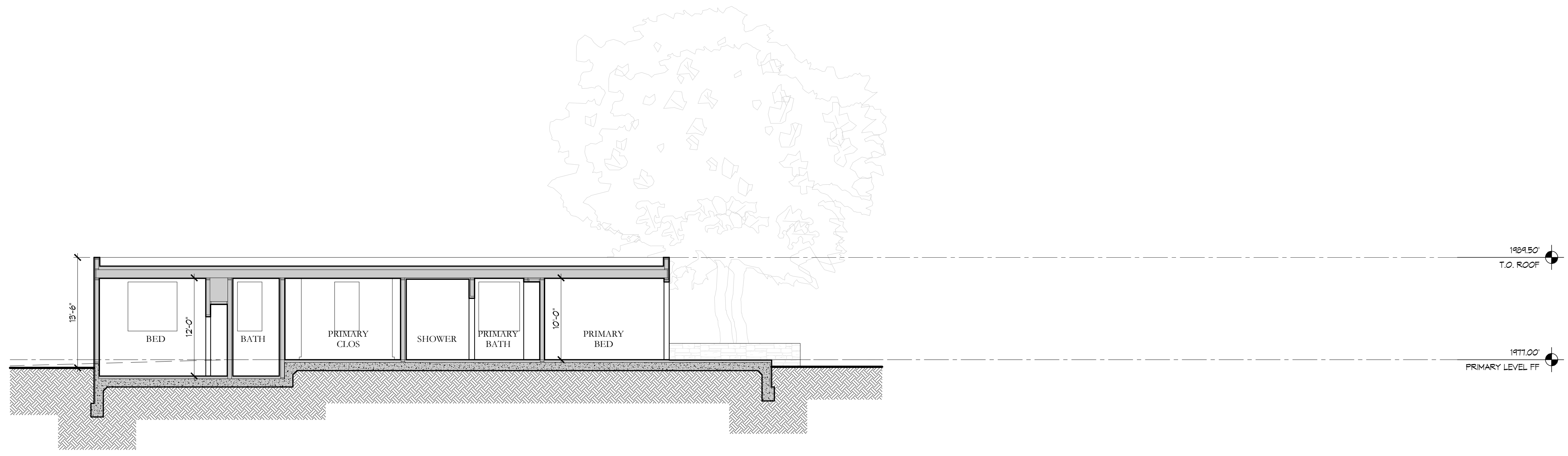


1 PROPOSED BUILDING SECTION

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10.24.2025	PLANNING

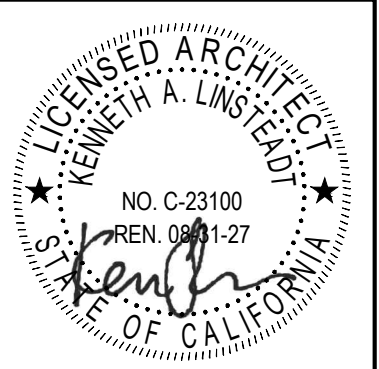


2 PROPOSED BUILDING SECTION - PRIMARY



1 PROPOSED BUILDING SECTION - PRIMARY

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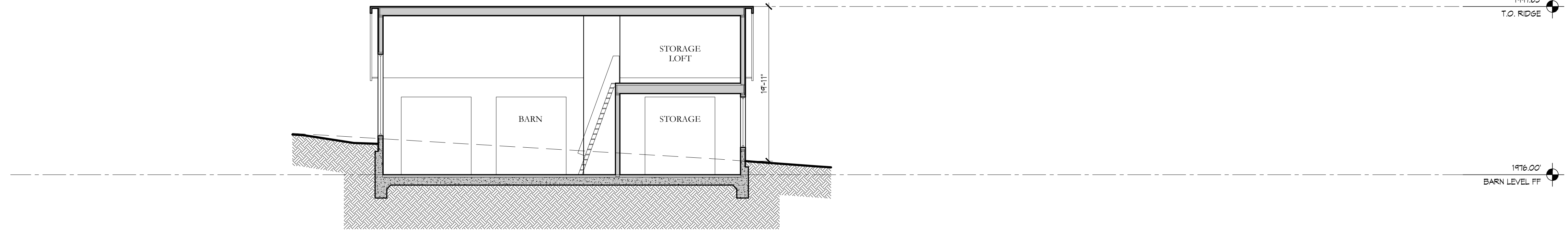


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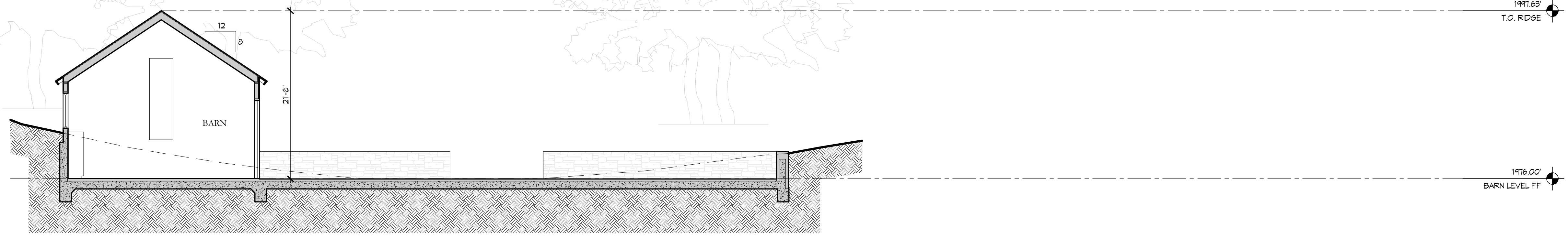
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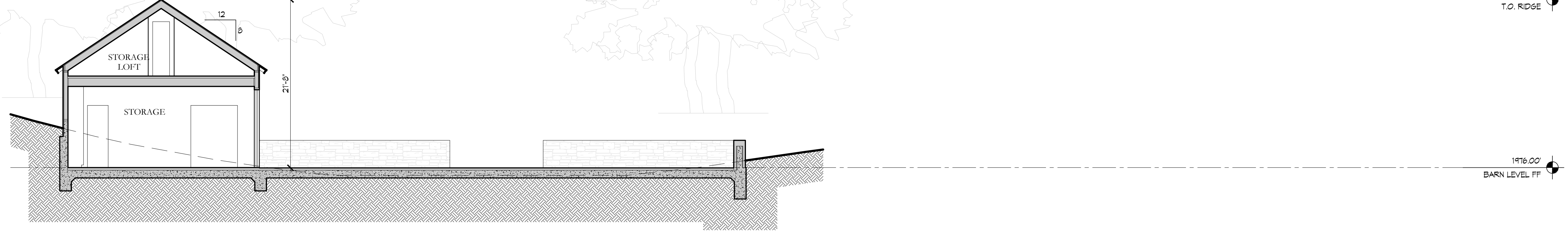
PROPOSED BUILDING SECTIONS
 BARN
 SCALE: 1/8"=1'-0"
A3.23
 10.24.2025



3 PROPOSED BUILDING SECTION - BARN



2 PROPOSED BUILDING SECTION - BARN



1 PROPOSED BUILDING SECTION - BARN

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9 LOCATION 9



8 LOCATION 8



7 LOCATION 7



6 LOCATION 6



5 LOCATION 5



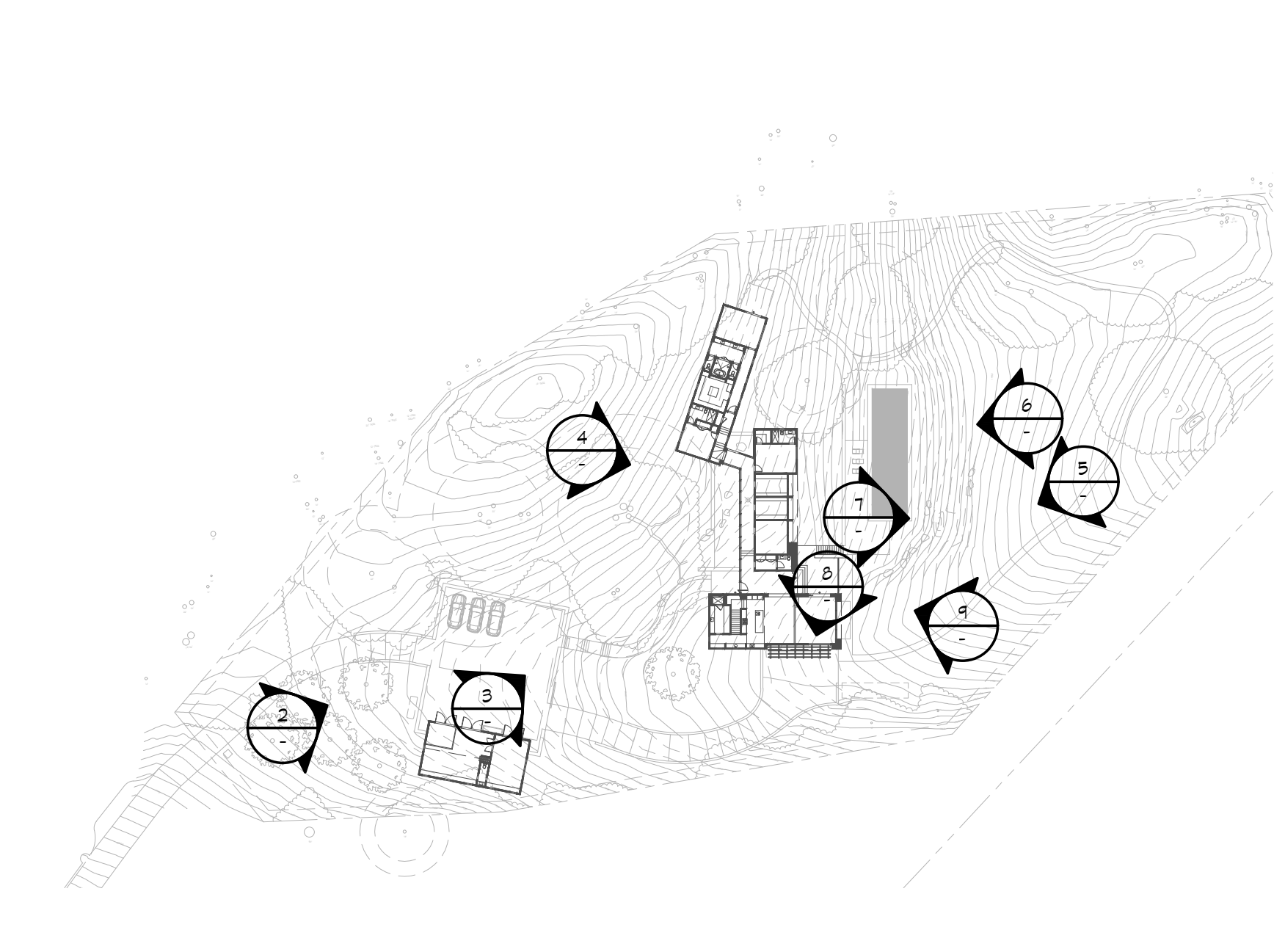
4 LOCATION 4



3 LOCATION 3



2 LOCATION 2



1 REFERENCE SITE PLAN

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DATE: 07.23.2025
ISSUE: APP REQUEST
10.24.2025 PLANNING

SITE PHOTOS
A9.00
10.24.2025

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