

GENERAL NOTES

- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND ACCOMPANYING SPECIFICATIONS, IN ADDITION ALL WORK SHALL ALSO CONFORM WITH THE FOLLOWING:
 - LATEST REVISION OF THE COUNTY OF MONTEREY DESIGN STANDARDS AND SPECIFICATIONS
 - THE LATEST REVISION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS (STATE SPECIFICATIONS)
 - THE 2023 EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC).
- THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE PLANS, DETAILS, AND SPECIFICATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION. IN THE EVENT THAT THE CONTRACTOR FINDS ANY DISCREPANCIES, OMISSIONS, OR DEFICIENCIES IN THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER AND THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL REQUIRED PERMITS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE MONTEREY COUNTY BUILDING SERVICES DEPARTMENT (COUNTY) AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION.
- THE TOPOGRAPHY, LOCATIONS AND SIZE OF UNDERGROUND UTILITIES AND OR OTHER STRUCTURES SHOWN HEREON WERE OBTAINED FROM A FIELD SURVEY (BY OTHERS) AND OR FROM RECORD INFORMATION. NEITHER THE ENGINEER NOR THE OWNER MAKES ANY REPRESENTATION TO THE ACCURACY OF TOPOGRAPHY, SIZE AND OR LOCATION OF ANY OF THE UTILITIES OR STRUCTURES SHOWN ON THESE PLANS NOR FOR THE EXISTENCE OF ANY OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED THAT ARE NOT SHOWN ON THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE SIZE AND LOCATION OF EXISTING UNDERGROUND UTILITIES, SURFACE IMPROVEMENTS, AND OTHER STRUCTURES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THEM FROM DAMAGE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITY COMPANIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.
- THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 227-2600 AT LEAST 48 HOURS PRIOR TO EXCAVATION TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ANY CURRENTLY APPLICABLE SAFETY LAW OF ANY JURISDICTIONAL BODY. FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT THE STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND THE CONTROL OF TRAFFIC WITHIN THE CONSTRUCTION AREA. FOR ALL TRENCH EXCAVATION FIVE (5) FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH PRIOR TO BEGINNING ANY EXCAVATION. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
- EXISTING CURB, GUTTER, SIDEWALK, SURVEY MONUMENTS, AND OTHER IMPROVEMENTS WITHIN PROJECT SITE THAT ARE DAMAGED OR DISPLACED AS A RESULT OF THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THE PROJECT. THE CONTRACTOR AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE ENGINEER, AND ALL DESIGN CONSULTANTS FROM ANY AND ALL LIABILITY, CLAIMS, LOSSES OR DAMAGES ARISING FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN EXCEPT THOSE ARISING FROM THE SOLE NEGLIGENCE OF ANY OF THE PREVIOUSLY MENTIONED PEOPLE OR ENTITIES. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL LEAVE A 24-HOUR EMERGENCY TELEPHONE NUMBER WITH THE POLICE, FIRE DEPARTMENTS AND PRIVATE SECURITY COMPANY (IF APPLICABLE), AND KEEP THEM INFORMED DAILY REGARDING ANY CONSTRUCTION RELATED ACTIVITY IN THE PUBLIC RIGHT OF WAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, OFF-HAUL, AND PROPER DISPOSAL OF ALL ITEMS TO BE REMOVED INCLUDING BUT NOT LIMITED TO: CONCRETE, ASPHALT CONCRETE, STRIPPING, ANY AND ALL OTHER DEBRIS FROM THE SITE, EXCESS MATERIAL FROM TRENCHING AND PAVING CONSTRUCTION, TREES AND ROOT BALLS, FENCING AND SPOILS FROM EXCAVATION AT THE CONTRACTOR'S EXPENSE AND SHALL BE DISPOSED OF IN A LAWFUL MANNER.
- IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY HCD - PLANNING AND A QUALIFIED ARCHAEOLOGIST (I.E., AN ARCHAEOLOGIST REGISTERED WITH THE REGISTER OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.
- ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY THE ENGINEER AS WELL AS THE OWNER PRIOR TO THEIR CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON RECORD DRAWINGS PRIOR TO THE ACCEPTANCE OF THE WORK AS COMPLETE. ANY CHANGES TO OR DEVIATIONS FROM THE PLANS MADE WITHOUT AUTHORIZATION SHALL BE AT THE CONTRACTOR'S SOLE RISK AND SHALL ABSOLVE THE ENGINEER OF ANY AND ALL RESPONSIBILITY ASSOCIATED WITH THE THE CHANGE OR DEVIATION.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP THE SITE AND ADJACENT AREAS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH
 - COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
 - KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
 - LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
- A COPY OF ALL FIELD REPORTS/COMPACtions TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY AT SCHEDULED INSPECTIONS.
- PAD ELEVATION/S SHALL BE CERTIFIED TO 0.1 FEET, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.

GRADING AND DRAINAGE

- CONTRACTOR SHALL NOTIFY THE COUNTY 48 HOURS BEFORE STARTING ANY GRADING OPERATIONS.
- ALL GRADING SHALL CONFORM TO THE COUNTY GRADING ORDINANCE (CHAPTER 16.08) AND THE EROSION CONTROL ORDINANCE (CHAPTER 16.12) AS APPLICABLE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF GRADING. RIGHT-OF-ENTRY, PERMISSION TO GRADE, AND ENCROACHMENT PERMIT(S) MAY BE REQUIRED PRIOR TO GRADING.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PREPARE THE GROUND SURFACE TO RECEIVE THE FILLS AND TO PLACE, SPREAD, MIX, WATER, AND COMPACT THE FILL. THE CONTRACTOR SHALL ALSO REMOVE ALL MATERIAL CONSIDERED UNSATISFACTORY.
- WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND BACKFILLED WITH SELECT MATERIAL.
- MAXIMUM CUT AND FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.
- ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PLANTED WITH SUITABLE GROUND COVER.
- TREE REMOVAL SHALL INCLUDE REMOVAL OF TRUNKS, STUMPS, AND ROOTBALLS. THE REMAINING CAVITY SHALL BE CLEARED OF ALL ROOTS LARGER THAN 1/2" TO A DEPTH OF NOT LESS THAN 18" AND BACKFILLED WITH SUITABLE MATERIAL THEN COMPAcTED TO CONFORM WITH THE EXISTING GROUND.
- CONTRACTOR SHALL USE CAUTION WHEN GRADING AROUND AND/OR OVER EXISTING UNDERGROUND UTILITIES.
- ALL SURFACE DRAINAGE SHALL MAINTAIN 2% SLOPE MINIMUM UNLESS NOTED OTHERWISE.
- PERVIOUS SURFACES IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.
- DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15) THE FOLLOWING MEASURES MUST BE TAKEN:
 - DISTURBED SURFACES NOT INVOLVED IN IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON DOWNSHILL PROPERTIES.
 - RUN-OFF FROM THE SITE SHALL BE DETAILED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
 - DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGH THE LIFE OF THE PROJECT DURING WINTER OPERATIONS

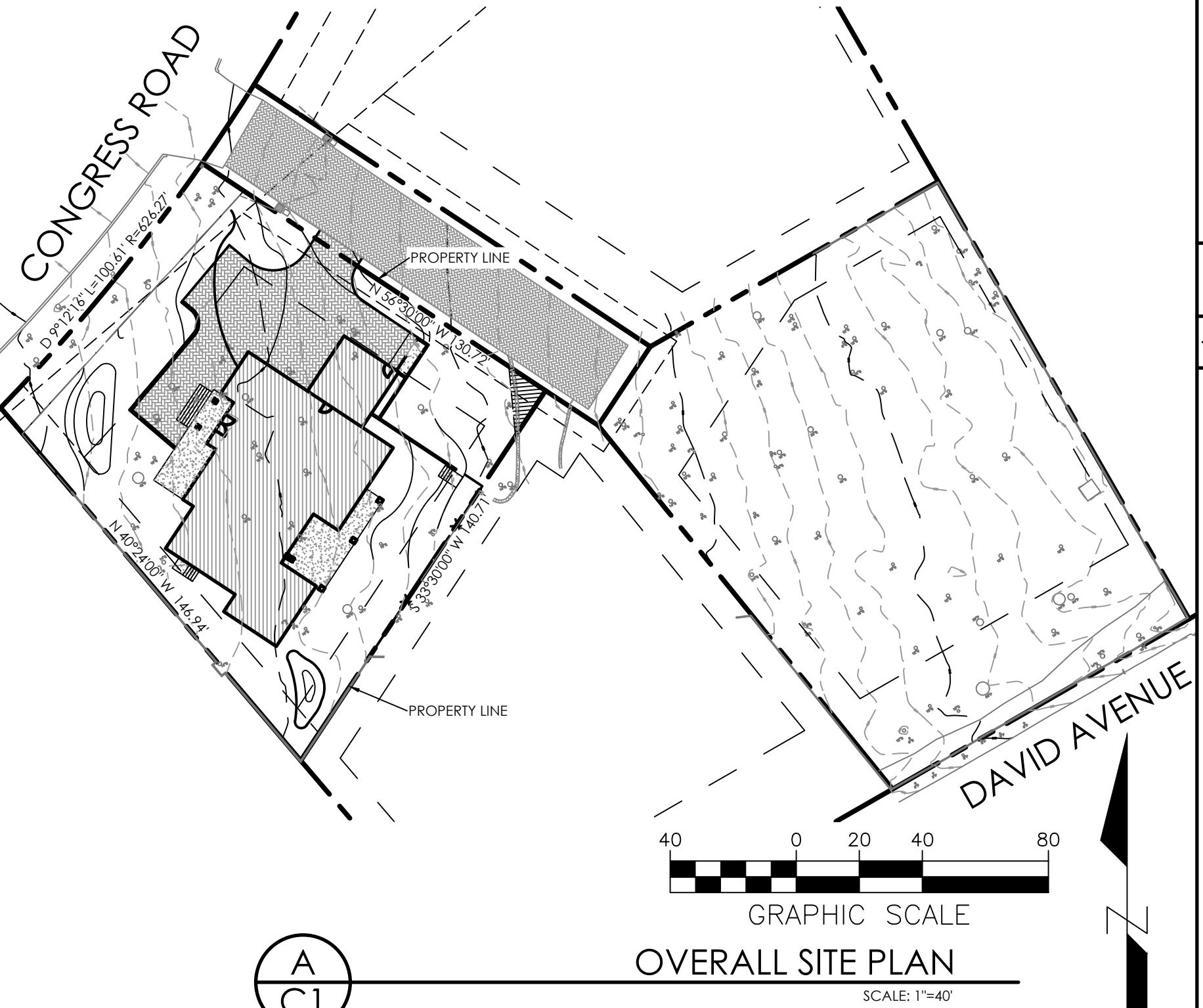
13. VEGETATION REMOVAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THAT AREA SHALL BE PLANTED.

14. NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION.

UNDERGROUND UTILITIES

- CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES, INCLUDING STORM DRAINS, SANITARY SEWERS AND WATER LINES, BEFORE ORDERING MATERIALS AND/OR CONSTRUCTING NEW FACILITIES.
- ALL EXISTING MANHOLES AND UTILITY BOXES WITHIN THE PROJECT AREA ARE TO BE SET FLUSH WITH FINISHED GRADE, UNLESS OTHERWISE NOTED.
- ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.
- PIPE MATERIALS AND INSTALLATION PROCEDURE SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.
- DAMAGE SHALL BE REPAIRED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE COUNTY.

GRADING AND DRAINAGE PLAN FOR SINGLE FAMILY RESIDENCE



ABBREVIATIONS

(E)	EXISTING
FG	FINISH GROUND GRADE
FF	FINISH FLOOR
FL	FLOW LINE
FP	FINISH PAVEMENT GRADE
G	GROUND
M.E.	MATCH EXISTING
(N)	NEW
SD	STORM DRAIN
SS	SANITARY SEWER
TC	TOP OF CURB GRADE
(TYP)	TYPICAL
W	WATER

SHEET INDEX

C1	TITLE SHEET
C2	GRADING AND DRAINAGE PLAN
C3	CONSTRUCTION DETAILS
C4	EROSION CONTROL PLAN

VICINITY MAP



LAND DISTURBANCE

LAND DISTURBANCE AREA = 10,780 SF

GRADING QUANTITIES

EARTHWORK QUANTITIES:

CUT = 70 CY
FILL = 356 CY

EARTHWORK QUANTITIES ARE ESTIMATES TO FINISH GRADE ONLY AND ASSUMES NO FILL IN RAISED FOUNDATION AREAS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACTUAL EARTHWORK QUANTITIES. NO ALLOWANCE HAS BEEN MADE TO ACCOUNT FOR QUANTITIES FROM PAVEMENT OR TRENCHING FOR FOUNDATION, FOOTINGS, PIERS AND/OR UTILITIES TRENCHES.

LEGEND

EXISTING	PROPOSED
-----	-----
-----	EASEMENT
→→→→→	DRAINAGE FLOW LINE
→→→→→	SAWCUT
—	GRADE BREAK
— 50 —	MAJOR CONTOUR
— 49 —	MINOR CONTOUR
RETAINING WALL (BY OTHERS)	RETAINING WALL (BY OTHERS)
—	FOUNDATION DRAINS (PERFORATED)
—	STORM DRAIN
—	SD
—	TC
—	49.99
—	SPOT ELEVATION
—	DRAINAGE FLOW
—	PAVERS
—	CONCRETE PAVEMENT
—	BUILDING

TITLE SHEET

NEW RESIDENCE FOR:
2825 CONGRESS ROAD
PEBBLE BEACH, CA
APN#007-03-009

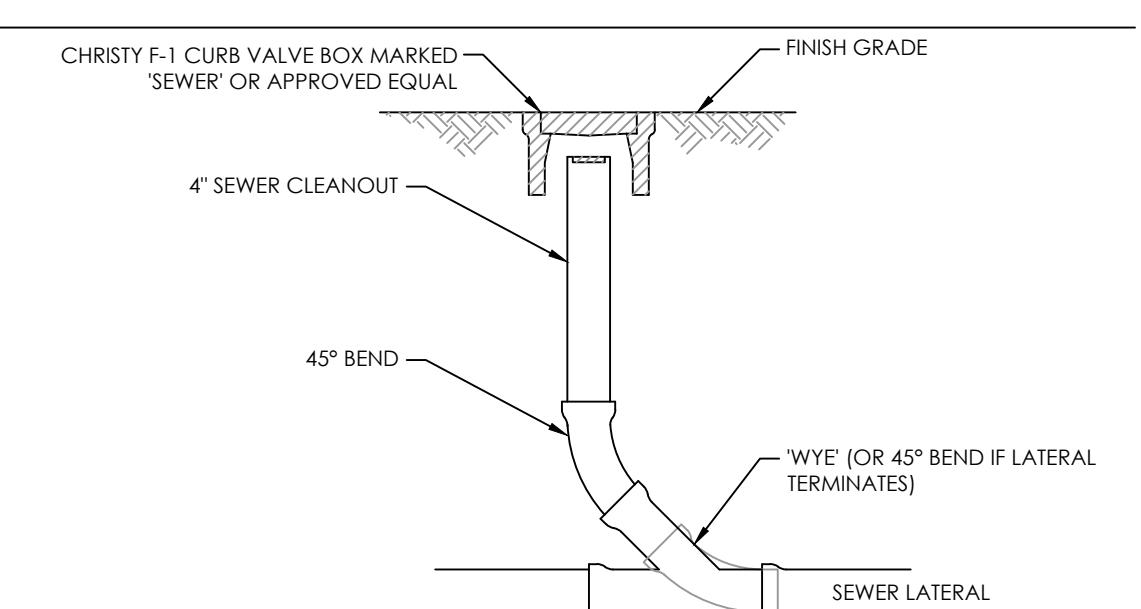
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DATE: 1/17/2025
DESIGN BY: JPR
DRAWN BY: JPR
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SHEET NUMBER: C1
OF 4 SHEETS
PROJECT# 124108

NC3 ENGINEERING INCORPORATED
CIVIL Engineering Land Development Stormwater Control
126 Bonifacio Place, Suite C, Monterey, CA 93940
Phone: (831) 447-1192 Fax: (831) 447-1194
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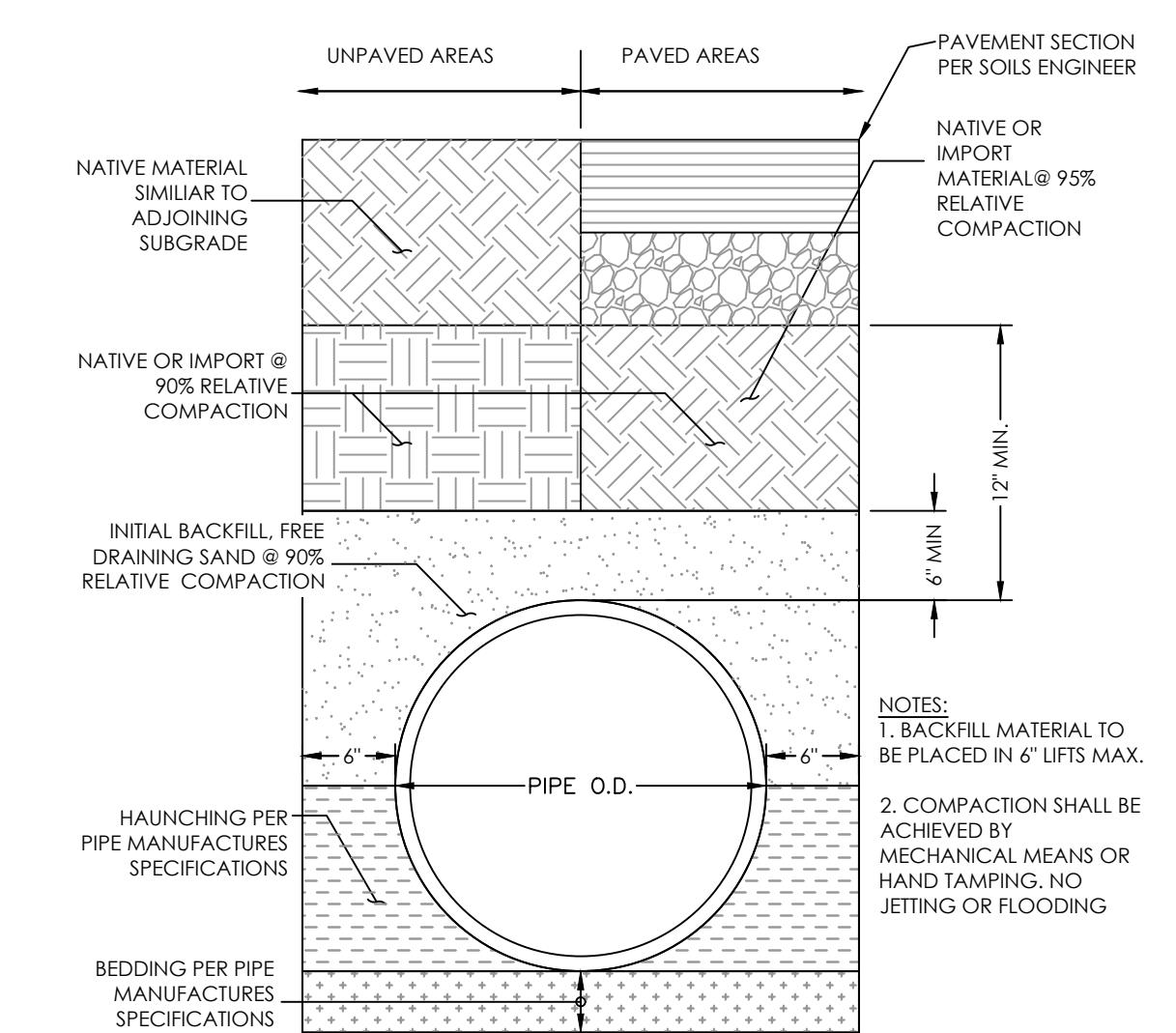
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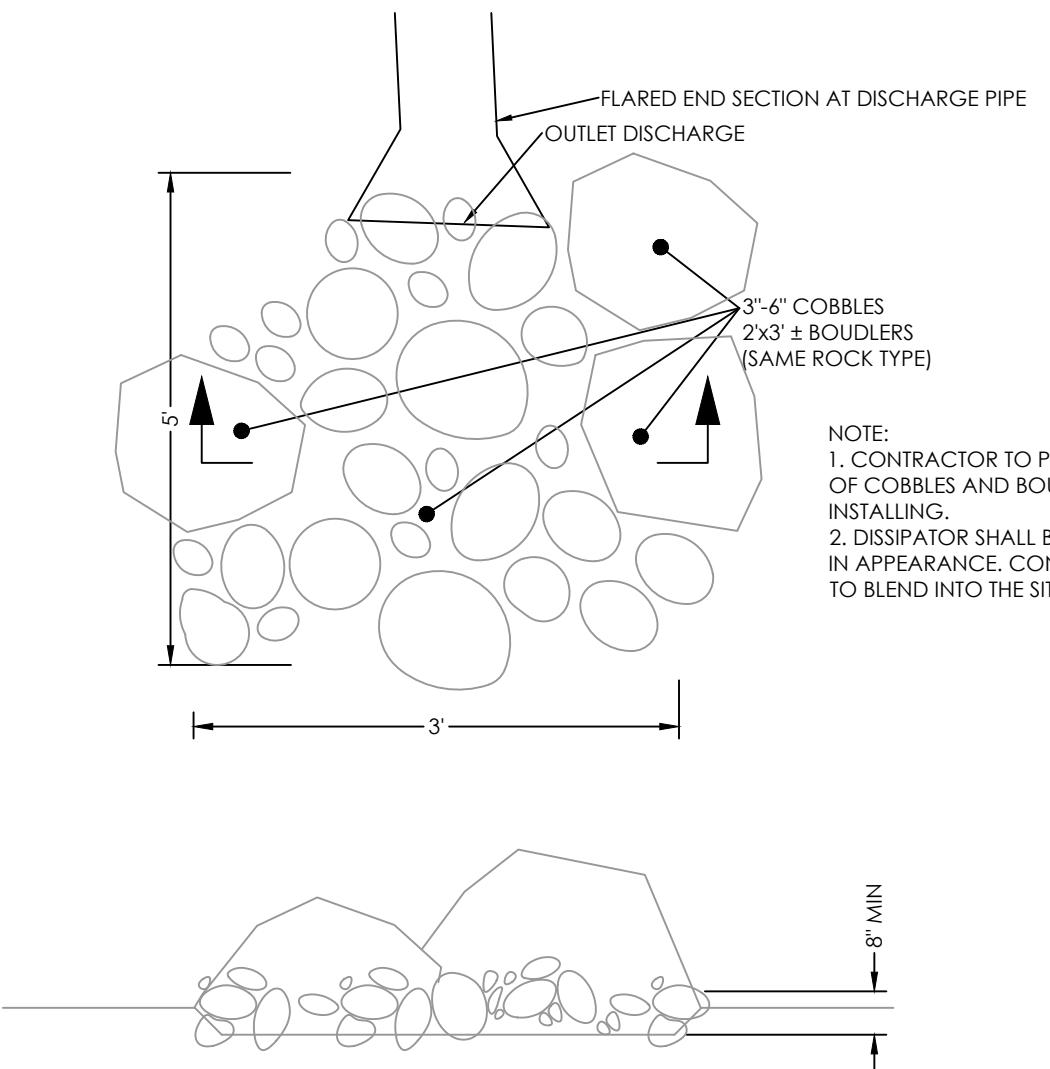




STORM DRAIN CLEANOUT
NTS



TRENCH BACKFILL
NTS



ENERGY DISSIPATOR
NTS

CONSTRUCTION DETAILS

NEW RESIDENCE FOR:
2825 CONGRESS ROAD
PEBBLE BEACH, CA
APN#007-03-009

C3 ENGINEERING
IN CORPORATED
Civil Engineering Land Development Stormwater Control
126 Bonifacio Place, Suite C, Monterey, CA 93940
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FOR
PLANNING

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DESIGN BY: JPR
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CHECKED BY:
SHEET NUMBER:
C3
OF 4 SHEETS
PROJECT# 124108

GENERAL NOTES

1. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES.
 - B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
 - C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
 - D) LANDSCAPE SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
2. THE CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL. IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE CITY, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
3. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
4. ALL CUT AND DRIED SLOPES EXPOSED DURING CONSTRUCTION SHALL BE COVERED, SEEDED OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING. CONTRACTOR SHALL REVEGETATE SLOPES AND ALL DISTURBED SLOPES THROUGH AN APPROVED PROCESS AS DETERMINED BY THE CITY. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.
5. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:
 - A) VEGETATION REMOVAL SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE. DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - B) ALL ROADS AND DRAINS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON ADJACENT TO THE ROADWAY OR THE DOWNSHILL PROPERTY.
 - C) PORTABLE TOILET AND SITE SANITATION SHALL BE PROVIDED BY THE CONTRACTOR. VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
 - D) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS. (GONZALEZ GRADING/EROSION ORD. 2806-16.12.09)
6. THE GRADING INSPECTOR MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
7. IF VEGETATION REMOVAL TAKES PLACE PRIOR TO A GRADING OPERATION AND THE ACTUAL GRADING DOES NOT BEGIN WITHIN 30 DAYS FROM THE DATE OF REMOVAL, THEN THAT AREA SHALL BE PLANTED UNDER THE PROVISION OF SECTION 16.08.340 TO CONTROL EROSION. NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION.
8. ALL POLLUTANTS AND THEIR SOURCES, INCLUDING SOURCES OF SEDIMENT ASSOCIATED WITH CONSTRUCTION, CONSTRUCTION SITE EROSION AND ALL OTHER ACTIVITIES ASSOCIATED WITH CONSTRUCTION ACTIVITY ARE CONTROLLED:
9. ALL NON-STORM WATER DISCHARGES ARE IDENTIFIED AND EITHER ELIMINATED, CONTROLLED, OR TREATED;
10. SITE BMP'S SHALL BE EFFECTIVE AND RESULT IN THE REDUCTION OR ELIMINATION OF POLLUTANTS IN STORM WATER DISCHARGES AND AUTHORIZED NON-STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITY.
11. STABILIZATION BMP'S INSTALLED TO REDUCE OR ELIMINATE POLLUTANTS AFTER CONSTRUCTION IS COMPLETED.
12. 10 BMP'S MAY BE USED AS PRACTICES (BMP'S) TO BE IMPLEMENTED BY THE PROJECT ARE LISTED BY CATEGORY, FACT SHEETS, AND DETAILS FOR THE BMP'S SELECTED FOR THIS PROJECT, CAN BE FOUND IN THE CASQA STORMWATER BEST MANAGEMENT PRACTICE HANDBOOK.

MONTEREY COUNTY INSPECTIONS

1. PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS NOT MONTEREY COUNTY'S CONCERN.
2. DURING CONSTRUCTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION, THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.
3. PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT TO ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

GOOD SITE MANAGEMENT "HOUSEKEEPING"

1. POLLUTANTS IN STORM WATER DISCHARGES FROM THE PROJECT DURING CONSTRUCTION MAY ORIGINATE FROM THE DAILY OPERATION OF EQUIPMENT, GRADING OPERATIONS, AND STOCKPILING OF MATERIALS.
2. DISCHARGERS SHALL IMPLEMENT GOOD HOUSEKEEPING MEASURES ON THE CONSTRUCTION SITE TO CONTROL THE AIR DEPOSITION OF SITE MATERIALS AND FROM SITE OPERATIONS. SUCH PARTICULATES CAN INCLUDE, BUT ARE NOT LIMITED TO, SEDIMENT, NUTRIENTS, TRASH, METALS, BACTERIA, OIL AND GREASE AND ORGANICS.

WASTE MANAGEMENT POLLUTION CONTROL

1. THE DISCHARGER SHALL PREVENT DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM.
2. DISCHARGERS SHALL IMPLEMENT CONCRETE WASHOUT FACILITIES (ACROSS THE ROAD FROM PORTABLE TOILET) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER. THE SANITATION FACILITIES SHALL BE CLEANED, REPLACED, AND INSPECTED REGULARLY FOR LEAKS AND SPILLS.
3. WASTE DISPOSAL CONTAINERS SHALL BE COVERED AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT. NO DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE ALLOWED.
4. STOCKPILED MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
5. PROCEDURES SHALL BE DEVELOPED TO PROACTIVELY ADDRESS HAZARDOUS AND NONHAZARDOUS SPILLS. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE. SPILLS AND LEAKS SHALL BE CLEANED IMMEDIATELY AND DISPOSED OF PROPERLY.
6. CONCRETE WASHOUT AREAS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.
7. DISCHARGER SHALL MAINTAIN VEHICLES TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACE WATERS. ALL EQUIPMENT OR VEHICLES SHALL BE FUELED, MAINTAINED AND STORED IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMP'S. LEAKS SHALL BE CLEANED IMMEDIATELY AND DISPOSED OF PROPERLY.
8. IN ADDITION TO THE ABOVE, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE WASTE MANAGEMENT POLLUTION CONTROL WHERE APPLICABLE:
 - WM-1. MATERIAL DELIVERY AND STORAGE
 - WM-2. CONCRETE WASHOUT
 - WM-3. STOCKPILE MANAGEMENT
 - WM-4. SPILL PREVENTION AND CONTROL
 - WM-5. SOLID WASTE MANAGEMENT
 - WM-6. HAZARDOUS WASTE MANAGEMENT
 - WM-7. HAZARDOUS WASTE MANAGEMENT
 - WM-8. CONCRETE WASTE MANAGEMENT
 - WM-9. SANITARY/SEPTIC WASTE MANAGEMENT
 - WM-10. LIQUID WASTE MANAGEMENT

(SOURCE: STORMWATER BEST MANAGEMENT HANDBOOK)

9. THE CONTRACTOR SHALL REVIEW CONSTRUCTION ACTIVITIES TO IDENTIFY AND QUANTIFY LIKELY CONSTRUCTION MATERIALS AND WASTES. SPECIAL NOTICE SHALL BE MADE OF MATERIALS AND WASTES WITH SPECIAL HANDLING OR DISPOSAL REQUIREMENTS, SUCH AS LEAD CONTAMINATED SOIL, CONCRETE SAW-CUTTING LIQUIDS, WASTE CHEMICALS AND EMPTY CHEMICAL CONTAINERS. THE CONTRACTOR SHALL FOLLOW ALL MANUFACTURER'S STORAGE AND HANDLING RECOMMENDATIONS AND FOLLOW ALL FEDERAL, STATE, AND LOCAL REGULATIONS. WHERE POSSIBLE, CONTRACTOR SHALL USE SAFER AND LESS POLLUTING PRODUCTS.

EROSION CONTROL (SOIL STABILIZATION)

1. SUFFICIENT EROSION CONTROL MEASURES WILL BE MAINTAINED ON-SITE TO ALLOW FOR IMMEDIATE DEPLOYMENT BEFORE THE ONSET OF RAIN.
2. DISCHARGERS SHALL PROVIDE EFFECTIVE SOIL COVERS FOR ACTIVE AREAS (MORE THAN 14 DAYS UN-DISTURBED) AND ALL FINISHED SLOPES, OPEN SPACE, UTILITY BACKFILL, AND COMPLETED LOTS.
3. DISCHARGERS SHALL MAINTAIN EROSION CONTROL MEASURES UNTIL MORE SUSTAINABLE, ENVIRONMENTALLY FRIENDLY ALTERNATIVES EXIST. WHERE PLASTIC MATERIALS ARE DEEMED NECESSARY, THE DISCHARGER SHALL CONSIDER THE USE OF PLASTIC MATERIALS RESISTANT TO SOLAR DEGRADATION.
4. IN ADDITION TO THE ABOVE, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE TEMPORARY AND FINAL EROSION CONTROL DURING CONSTRUCTION WHERE APPLICABLE:
 - EC-1. SCHEDULING
 - EC-2. PRESERVATION OF EXISTING VEGETATION
 - EC-3. HYDRAULIC MULCH
 - EC-4. SOIL PROTECTING
 - EC-5. SOIL BINDERS
 - EC-6. STRAW MULCH
 - EC-7. GEOTEXTILES AND MATS
 - EC-8. WOOD MULCHING
 - EC-9. EARTH DIKES AND DRAINAGE SWALES
 - EC-10. POLYACRYLAMIDE
 - EC-11. SLOPE DRAINS
 - EC-12. STREAMBANK STABILIZATION
 - EC-13. POLYACRYLAMIDE

(SOURCE: STORMWATER BEST MANAGEMENT HANDBOOK)

5. SPECIAL CARE SHALL BE TAKEN SO THAT NO FILL MATERIALS SHALL BE PLACED, SPREAD, OR ROLLED DURING UNFAVORABLE WEATHER CONDITIONS.

SEDIMENT CONTROL

1. SUFFICIENT QUANTITIES OF TEMPORARY SEDIMENT CONTROL MATERIALS WILL BE MAINTAINED ON-SITE THROUGHOUT THE DURATION OF THE PROJECT, TO ALLOW IMPLEMENTATION OF TEMPORARY SEDIMENT CONTROLS IN THE EVENT OF PREDICTED RAIN AND FOR RAPID RESPONSE TO FAILURES OR EMERGENCIES.
2. DISCHARGERS SHALL ESTABLISH AND MAINTAIN EFFECTIVE PERIMETER CONTROLS AND STABILIZE ALL CONSTRUCTION ENTRANCES AND EXITS TO SUFFICIENTLY CONTROL EROSION AND SEDIMENT DISCHARGES FROM THE SITE.
3. DISCHARGERS SHALL MAINTAIN EROSION CONTROL MEASURES ON ALL ROADS, ON THE SITE AND ALL RUNOFF THAT DISCHARGES OFF THE SITE. RUN-OFF FROM OFF-SITE SHALL BE DIRECTED AWAY FROM ALL DISTURBED AREAS OR SHALL COLLECTIVELY BE IN COMPLIANCE WITH THE EFFLUENT LIMITATION OF THIS PERMIT.
4. DISCHARGERS SHALL APPLY LINEAR SEDIMENT CONTROLS ALONG THE TOE OF THE SLOPE, FACE OF THE SLOPE, AND AT THE GRADE BREAKS OF EXPOSED SLOPES.
5. DISCHARGERS SHALL ENSURE THAT CONSTRUCTION ACTIVITY TRAFFIC TO AND FROM THE PROJECT IS LIMITED TO ENTRANCES AND EXITS THAT EMPLOY EFFECTIVE CONTROLS TO PREVENT OFFSITE TRACKING OF SEDIMENT.
6. DISCHARGERS SHALL ENSURE THAT ALL STORM DRAIN INLETS AND PERIMETER CONTROLS, RUNOFF CONTROL BMP'S, AND POLLUTANT CONTROLS AT ENTRANCES AND EXITS (E.G. TIRE WASHOFF LOCATIONS) ARE MAINTAINED AND PROTECTED FROM ACTIVITIES THAT REDUCE THEIR EFFECTIVENESS.
7. DISCHARGERS SHALL INSPECT ON A DAILY BASIS ALL IMMEDIATE ACCESS ROADS DAILY.
8. AT A MINIMUM DAILY (WHEN NECESSARY) AND PRIOR TO ANY RAIN EVENT, THE DISCHARGER SHALL REMOVE ANY SEDIMENT OR OTHER CONSTRUCTION ACTIVITY RELATED MATERIALS THAT ARE DEPOSITED ON THE ROADS (BY VACUUMING OR SWEEPING).

9. IN ADDITION TO THE ABOVE, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE TEMPORARY AND FINAL SEDIMENT CONTROL DURING CONSTRUCTION WHERE APPLICABLE:
 - SE-1. SILT FENCE
 - SE-2. SEDIMENT BASIN
 - SE-3. SEDIMENT TRAP
 - SE-4. CHECK DAMS
 - SE-5. FIBER ROLLS
 - SE-6. GRAVEL BAG BERM
 - SE-7. STREET SWEEPING AND VACUUMING
 - SE-8. SANDBAG BARRIER
 - SE-9. SEDIMENT CONTAINMENT
 - SE-10. STORM DRAIN INLET PROTECTION
 - SE-11. CHEMICAL TREATMENT

(SOURCE: STORMWATER BEST MANAGEMENT HANDBOOK)

TRACKING CONTROL

1. TRACKING CONTROLS SHALL BE IMPLEMENTED AND MAINTAINED YEAR-ROUND AND THROUGHOUT THE DURATION OF THE PROJECT, AT ALL ACCESS (INGRESS/EGRESS) POINTS TO THE PROJECT SITE WHERE VEHICLES AND/OR EQUIPMENT MAY TRACK SEDIMENT FROM THE CONSTRUCTION SITE ONTO PUBLIC OR PRIVATE ROADWAYS.
2. IN GENERAL, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE TRACKING CONTROL DURING CONSTRUCTION WHERE APPLICABLE:
 - TC-1. STABILIZED CONSTRUCTION ENTRANCE/EXIT
 - TC-2. STABILIZED CONSTRUCTION ROADWAY
 - TC-3. ENTRANCE/OUTLET TIRE WASH

(SOURCE: STORMWATER BEST MANAGEMENT HANDBOOK)

WIND EROSION CONTROL

1. WIND EROSION CONTROL BMP'S SHALL BE IMPLEMENTED AND MAINTAINED YEAR-ROUND AND THROUGHOUT THE DURATION OF THE PROJECT ON ALL DISTURBED SOILS ON THE PROJECT SITE THAT ARE SUBJECT TO WIND EROSION, AND WHERE SIGNIFICANT WIND AND RYD CONDITIONS ARE ANTICIPATED DURING PROJECT CONSTRUCTION. THE OBJECTIVE OF WIND CONTROLS IS TO PREVENT THE TRANSPORT OF SOIL FROM DISTURBED AREAS OF THE PROJECT BY WIND.
2. IN GENERAL, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE WIND EROSION CONTROL DURING CONSTRUCTION WHERE APPLICABLE:
 - WF-1. WIND EROSION CONTROL

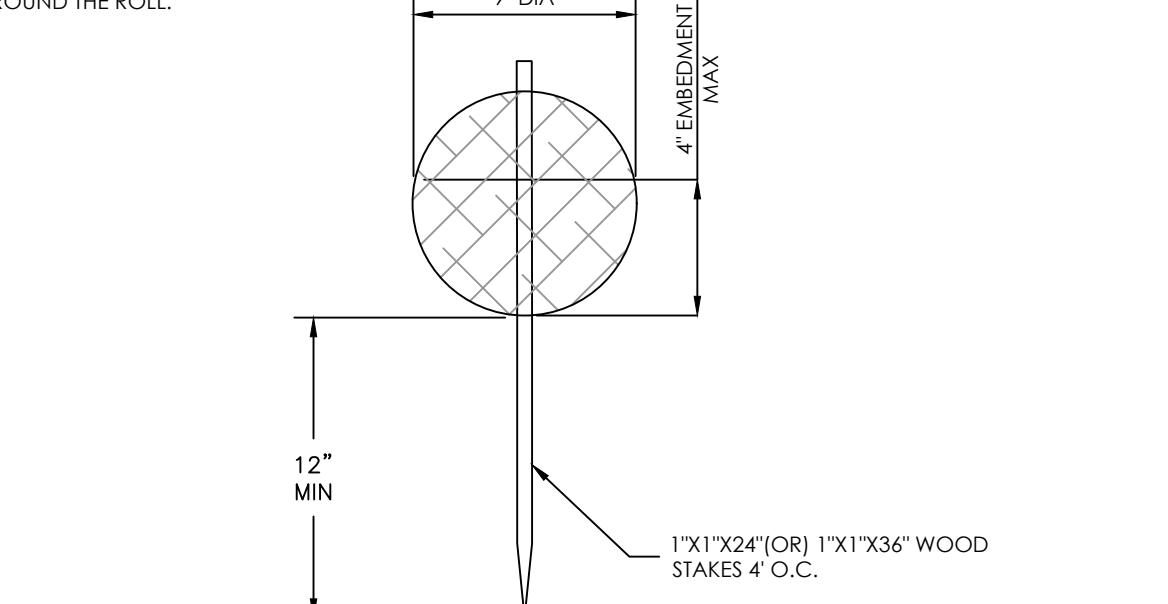
(SOURCE: STORMWATER BEST MANAGEMENT HANDBOOK)

NON-STORMWATER MANAGEMENT POLLUTION CONTROL

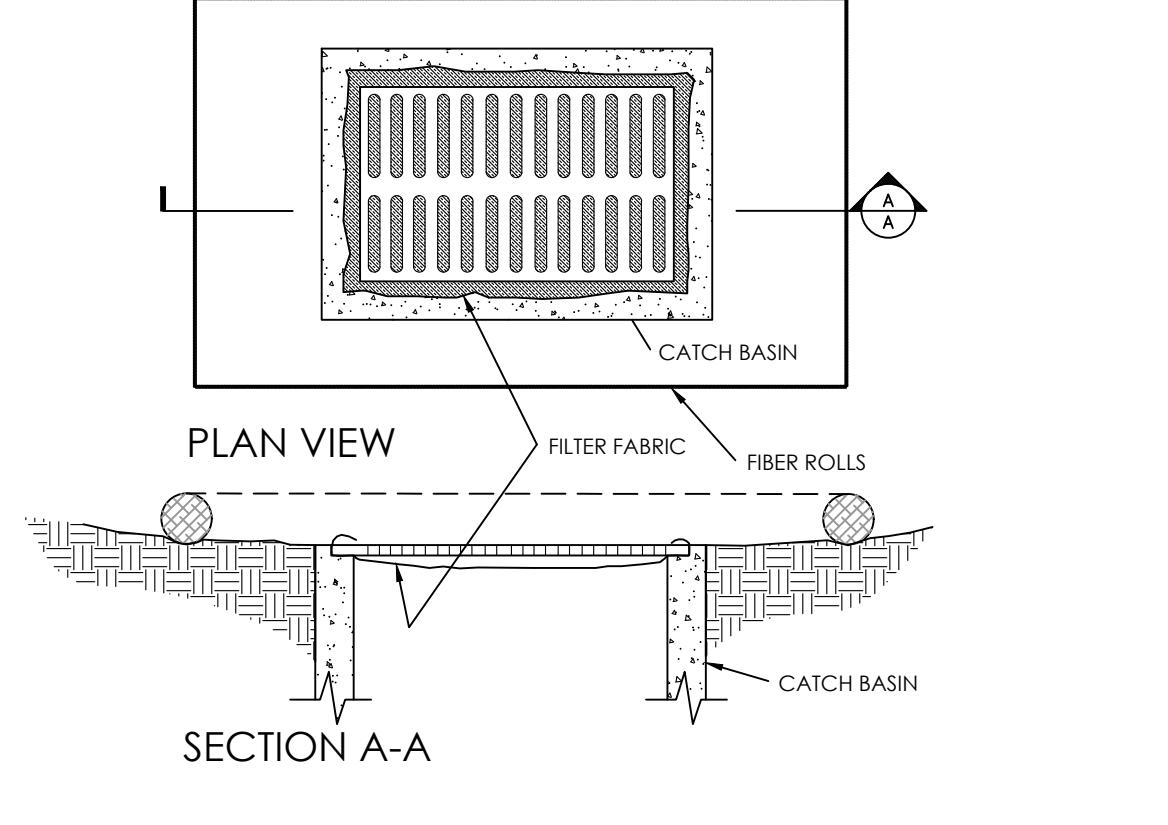
1. NON-STORM WATER DISCHARGES CONSIST OF ALL DISCHARGES TO/FROM A MUNICIPAL STORM WATER CONVEYANCE, WHICH DO NOT ORIGINATE FROM PRECIPITATION EVENTS (I.E., ALL DISCHARGES FROM A CONVEYANCE SYSTEM OTHER THAN STORM WATER).
2. DISCHARGERS SHALL IMPLEMENT MEASURES TO CONTROL ALL NON-STORM WATER DISCHARGES DURING CONSTRUCTION.
3. DISCHARGERS SHALL WASH VEHICLES IN SUCH A MANNER AS TO PREVENT NON-STORM WATER DISCHARGES.
4. DISCHARGERS SHALL CLEAN STREETS IN SUCH A MANNER AS TO PREVENT UNAUTHORIZED NON-STORM WATER DISCHARGES.
5. IN ADDITION TO THE ABOVE, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE NON-STORMWATER MANAGEMENT POLLUTION CONTROL WHERE APPLICABLE:
 - NS-1. WASHDOWN OPERATIONS
 - NS-2. Dewatering Operations
 - NS-3. PAVING AND GRINDING OPERATIONS
 - NS-4. TEMPORARY STREAM CROSSING
 - NS-5. CLEAR WATER DIVERSIONS
 - NS-6. DUST DILUTION AND PREVENTION
 - NS-7. POTABLE WATER / IRRIGATION
 - NS-8. VEHICLE AND EQUIPMENT CLEANING
 - NS-9. VEHICLE AND EQUIPMENT FUELING
 - NS-10. VEHICLE AND EQUIPMENT MAINTENANCE
 - NS-11. DUST DILUTION OPERATIONS
 - NS-12. CONCRETE FINISHING
 - NS-13. MATERIALS AND EQUIPMENT USE OVER WATER
 - NS-14. CONCRETE FINISHING
 - NS-15. STRUCTURE DEMOLITION/REMOVAL
 - NS-16. TEMPORARY BATCH PLANTS

(SOURCE: STORMWATER BEST MANAGEMENT HANDBOOK)

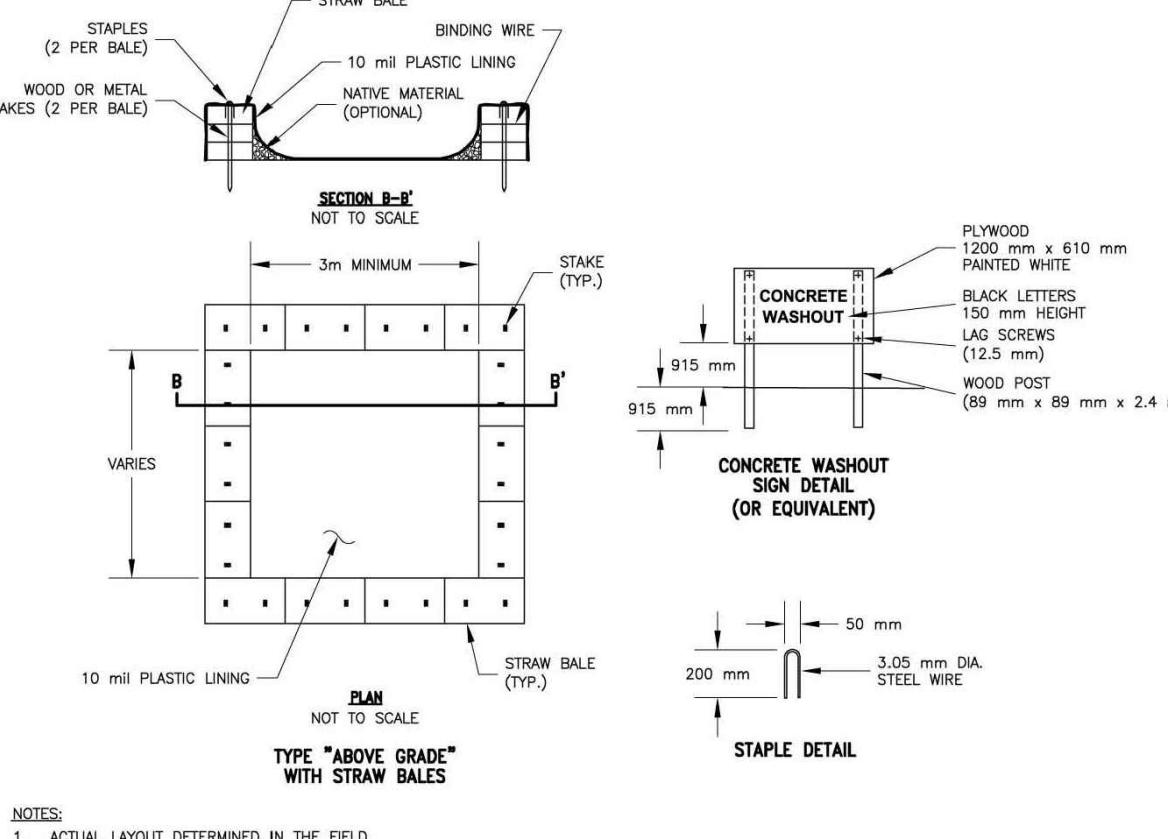
1. USE 1"X1"X2' OR 1"X1"X3' WOOD STAKES, DEPENDING ON THE SOIL AND SLOPE CONDITIONS. USE LONGER STAKES IN LOOSE SOIL, SHORTER STAKES IN DENSER SOILS.
2. CASQA RECOMMENDS IF MORE THAN ONE FIBER ROLL IS PLACED IN A ROW, THE ROLLS SHOULD BE OVERLAPPED, NOT BUTTED. IF CONTRACTOR DESIRES TO POSITION FIBER ROLLS END-TO-END, THEY SHALL TIE THE BUTTED ENDS TOGETHER WITH STRONG TWINE TO ENSURE A GOOD CONNECTION.
3. PLACE FIBER ROLLS SECURELY IN THE TRENCH SO THAT SILT LADEN RUN-OFF PASSES OVER OR THROUGH, NOT UNDER THE FIBER ROLL.
4. CONTRACTOR SHALL REVIEW CASQA MANUAL FOR INSTALLATION GUIDANCE. (SE-5)
5. CASQA RECOMMENDS THE ENDS OF THE FIBER ROLL BE TURNED UP-SLOPE TO PREVENT RUNOFF FROM GOING AROUND THE ROLL.



FIBER ROLL NTS

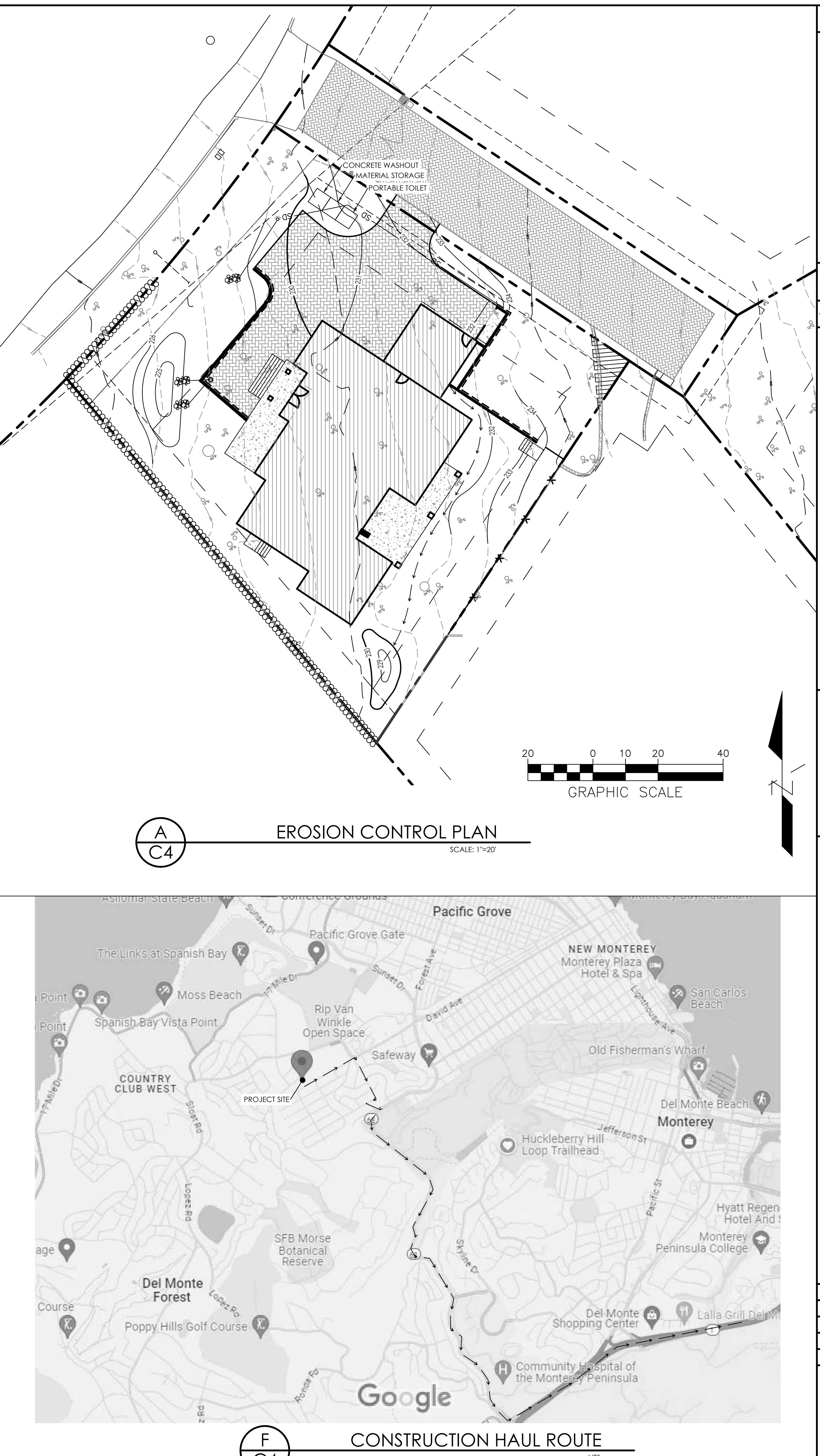


INLET PROTECTION NTS



CONCRETE WASHOUT SIGN DETAIL NTS

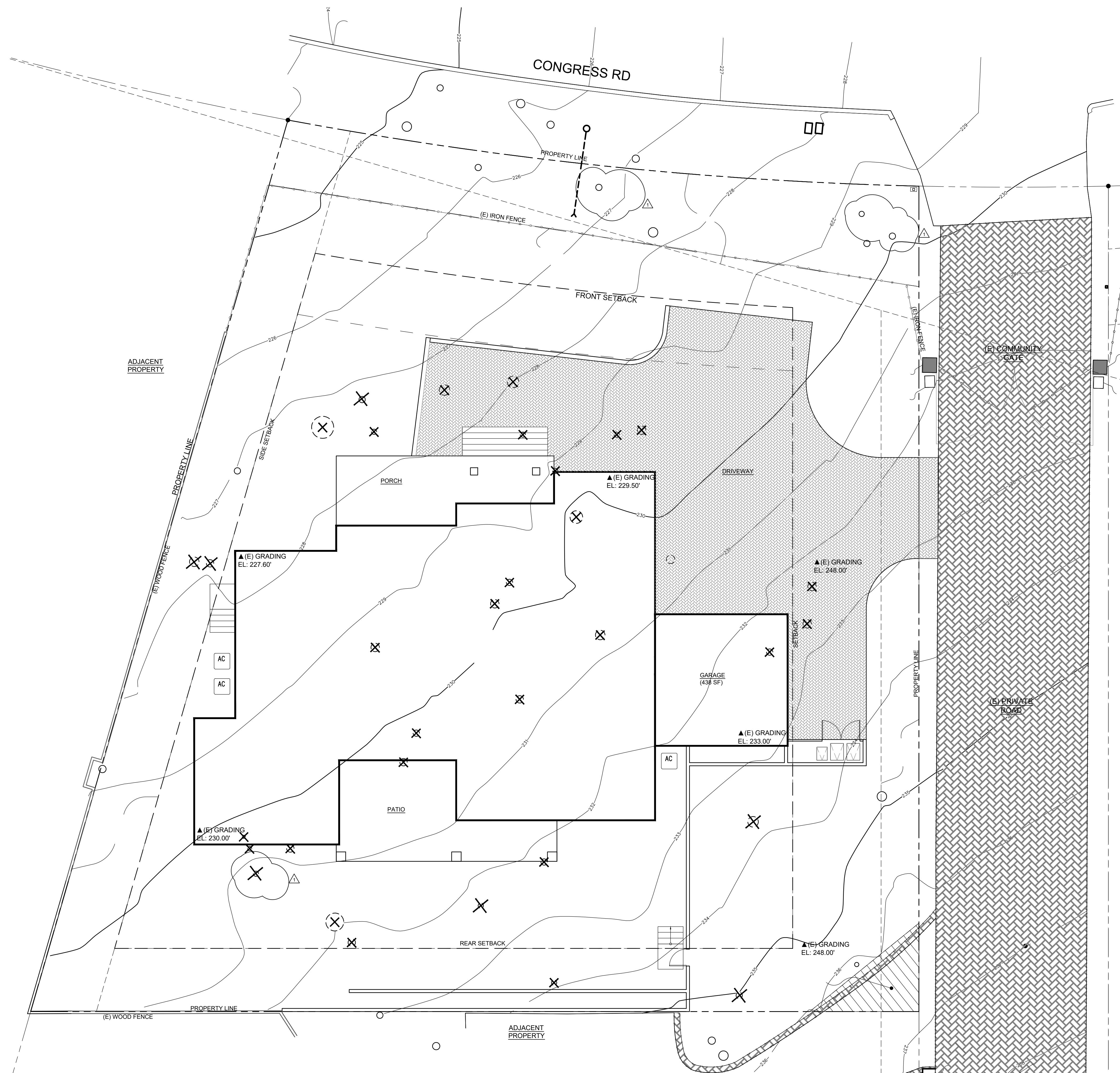
CONCRETE WASHOUT NTS

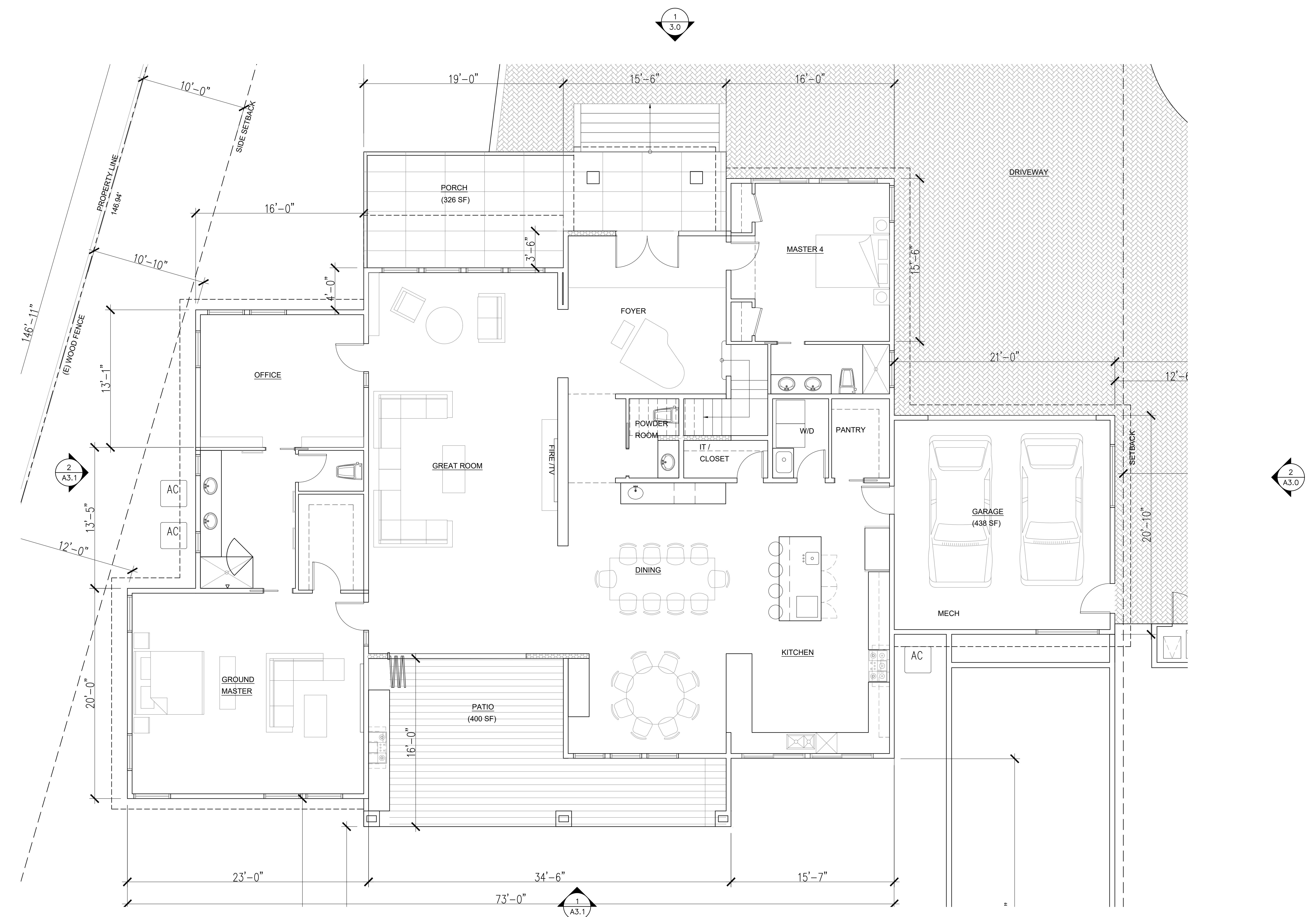


EROSION CONTROL PLAN NTS

CONSTRUCTION HAUL ROUTE NTS

NEW RESIDENCE FOR: 2825 CONGRESS ROAD PEBBLE BEACH, CA APN# 007-103-009	SCALE: AS NOTED
DESIGN BY: JPR	DATE: 1/17/2025
DRAWN BY: JPR	
CHECKED BY:	
SHEET NUMBER: C4	
PROJECT# 124108	





CHING RESIDENCE 2825

2825 CONGRESS RD., PEBBLE BEACH, CALIFORNIA

GROUND FLOOR PLAN

SCALE: 1/4" : 1'

GROUND FLOOR PLAN

1 01/27/2025 2ND PLANNING SUBMITTAL - COUNTY

1/27/2023 2ND PLANNING SUBMITTAL - COUNTY
1ST PLANNING SUBMITTAL - COUNTY

DATE 01-27-25

Ecotonic Architects & Associates

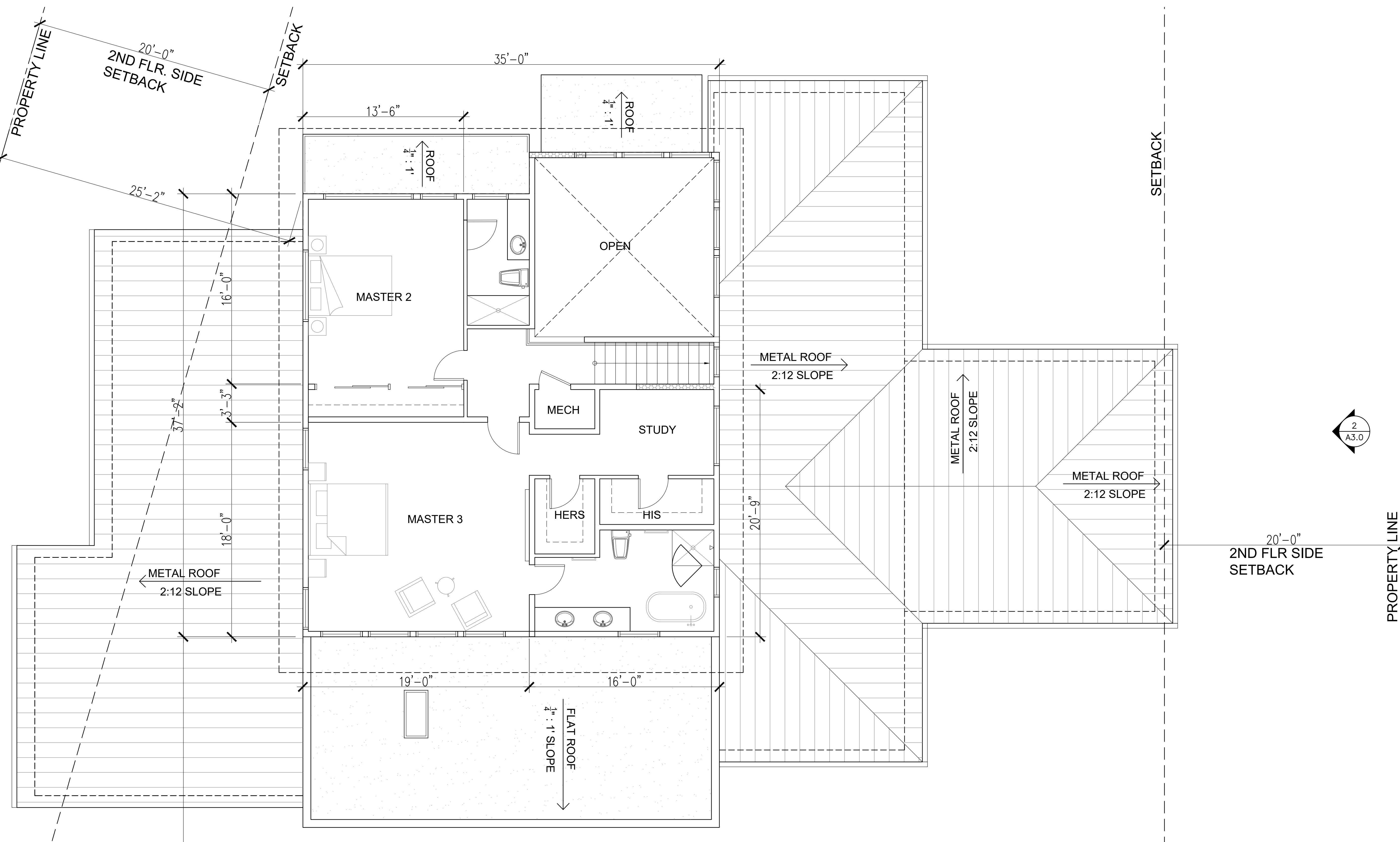
ecologic Architects & Associates
9118 Bandley Dr. #E

0118 Bandley Dr. #E
Cupertino, CA 95014

<div[](https://www.az.az/az.az)



A2.0



CHING RESIDENCE 2825
2825 CONGRESS RD., PEBBLE BEACH, CALIFORNIA

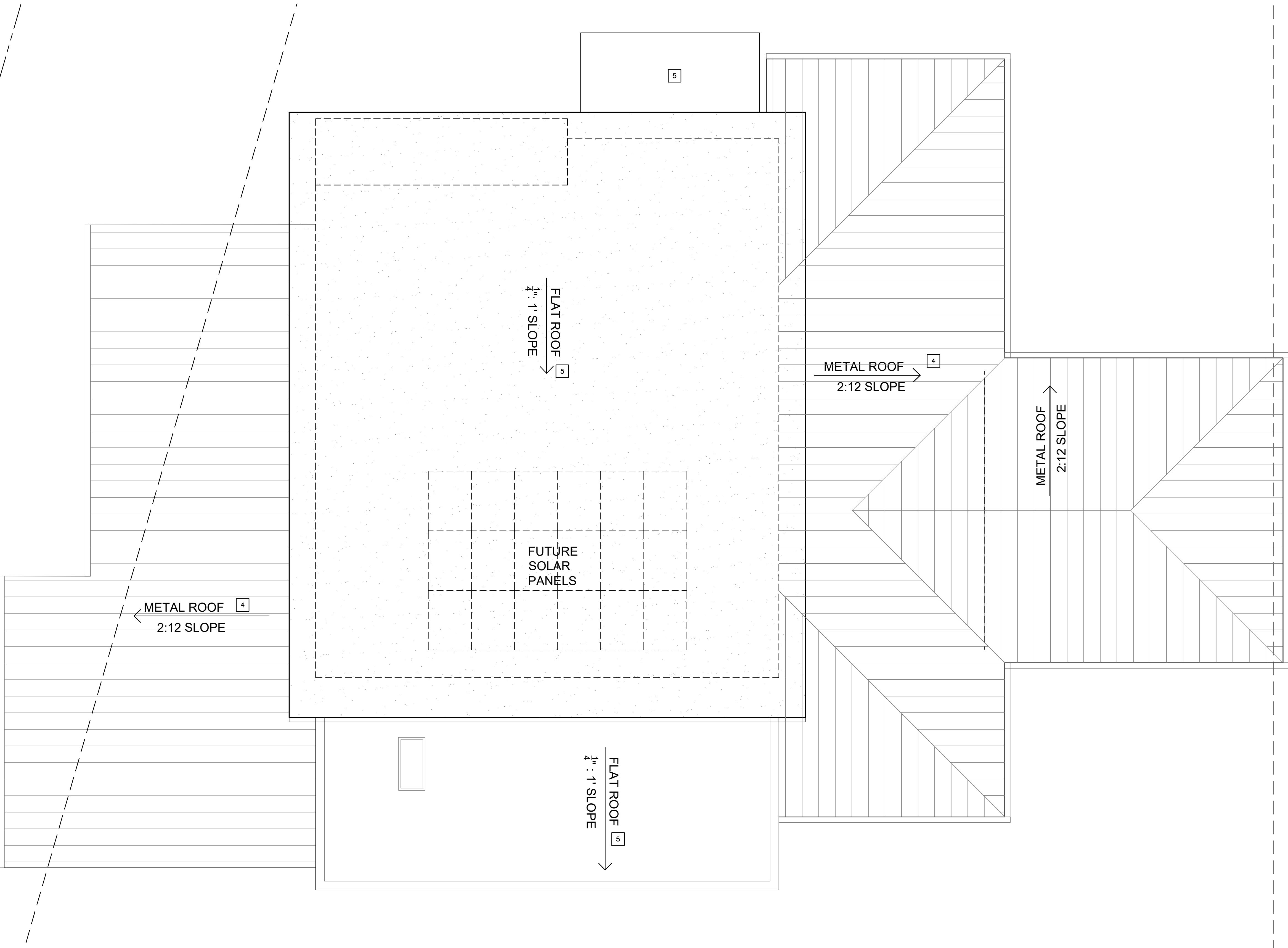
2ND FLOOR PLAN
SCALE: 1/4" : 1"



SECOND FLOOR PLAN
01/27/2025 2ND PLANNING SUBMITTAL - COUNTY
1ST PLANNING SUBMITTAL - COUNTY
DATE 01-27-25
Tectonic Architects & Associates
10118 Bandley Dr. #E
Cupertino, CA 95014
408-216-0804
A2.1

MATERIAL LIST

- 1 CONCRETE PAVER - SEE LANDSCAPE DWGS
- 2 EXTERIOR PORCELAIN TILE - LIGHT GRAY 24X48 OR LIMESTONE
- 3 EXTERIOR PORCELAIN TILE - LIGHT GRAY 8X48 - WOODPLANK
- 4 METAL ROOF - SNAP CLAD PANEL
- 5 SINGLE PLY ROOFING - CARLIE FLEECBACK TPO, WHITE
- 6 RETAILING WALL - SEE LANDSCAPE DWGS
- 7 WOOD FENCE - SEE LANDSCAPE DWGS



ROOF PLAN

SCALE: 1/4" : 1'



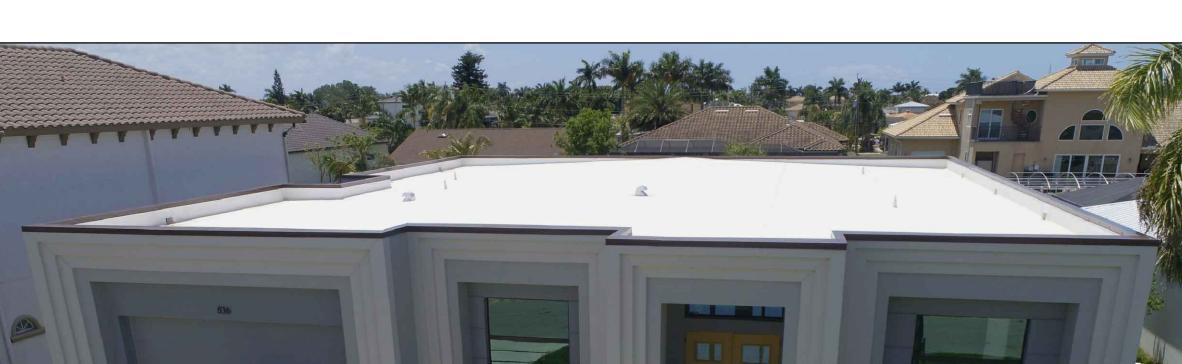
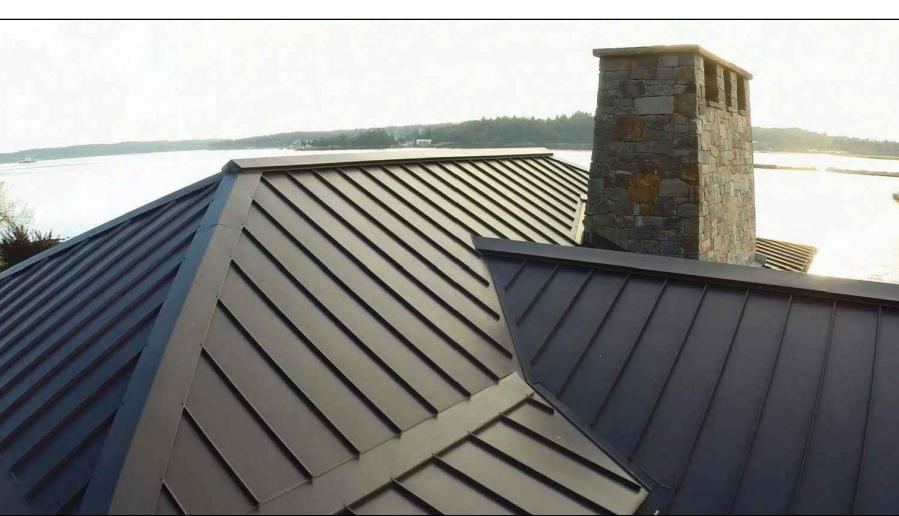
ROOF PLAN

01/27/2025 2ND PLANNING SUBMITTAL - COUNTY
1ST PLANNING SUBMITTAL - COUNTY

DATE 01-27-25

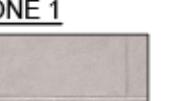
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10118 Bandley Dr. #E
Cupertino, CA 95014
408-216-0804

A2.2

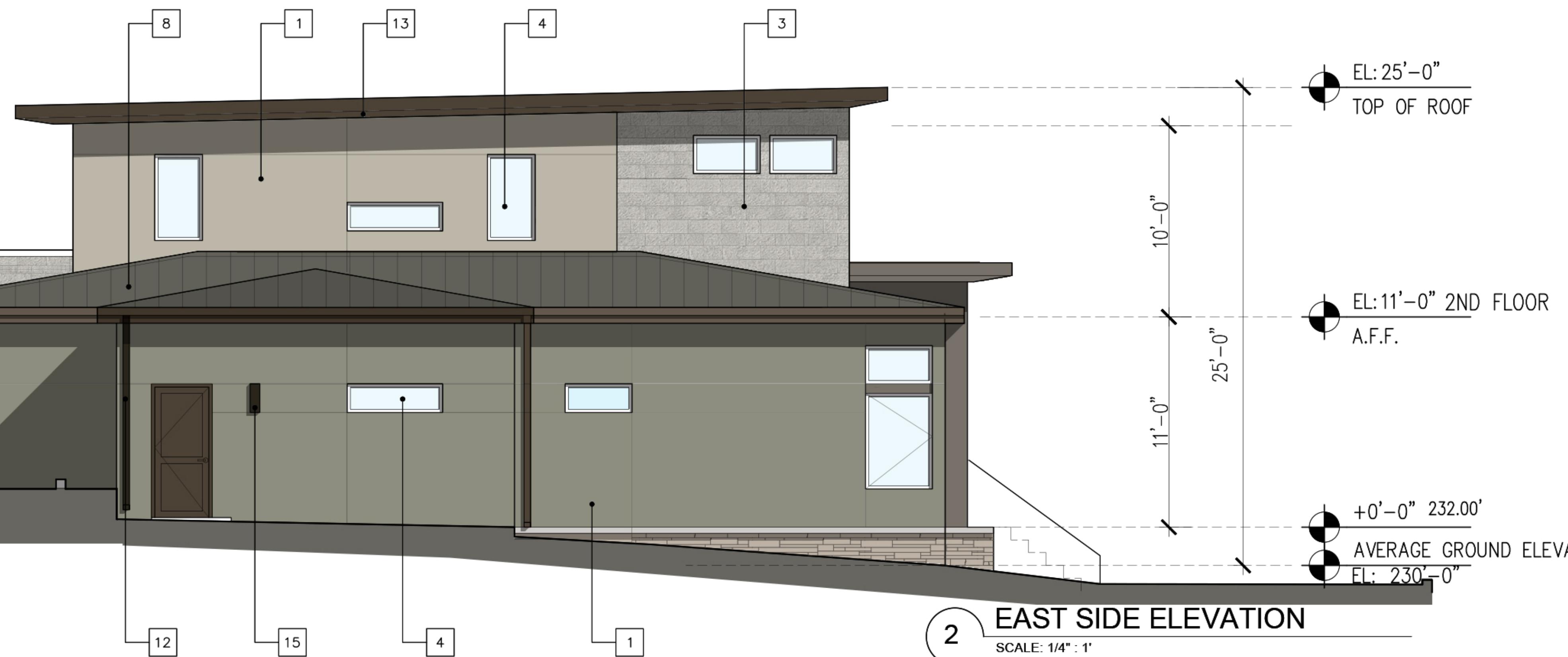
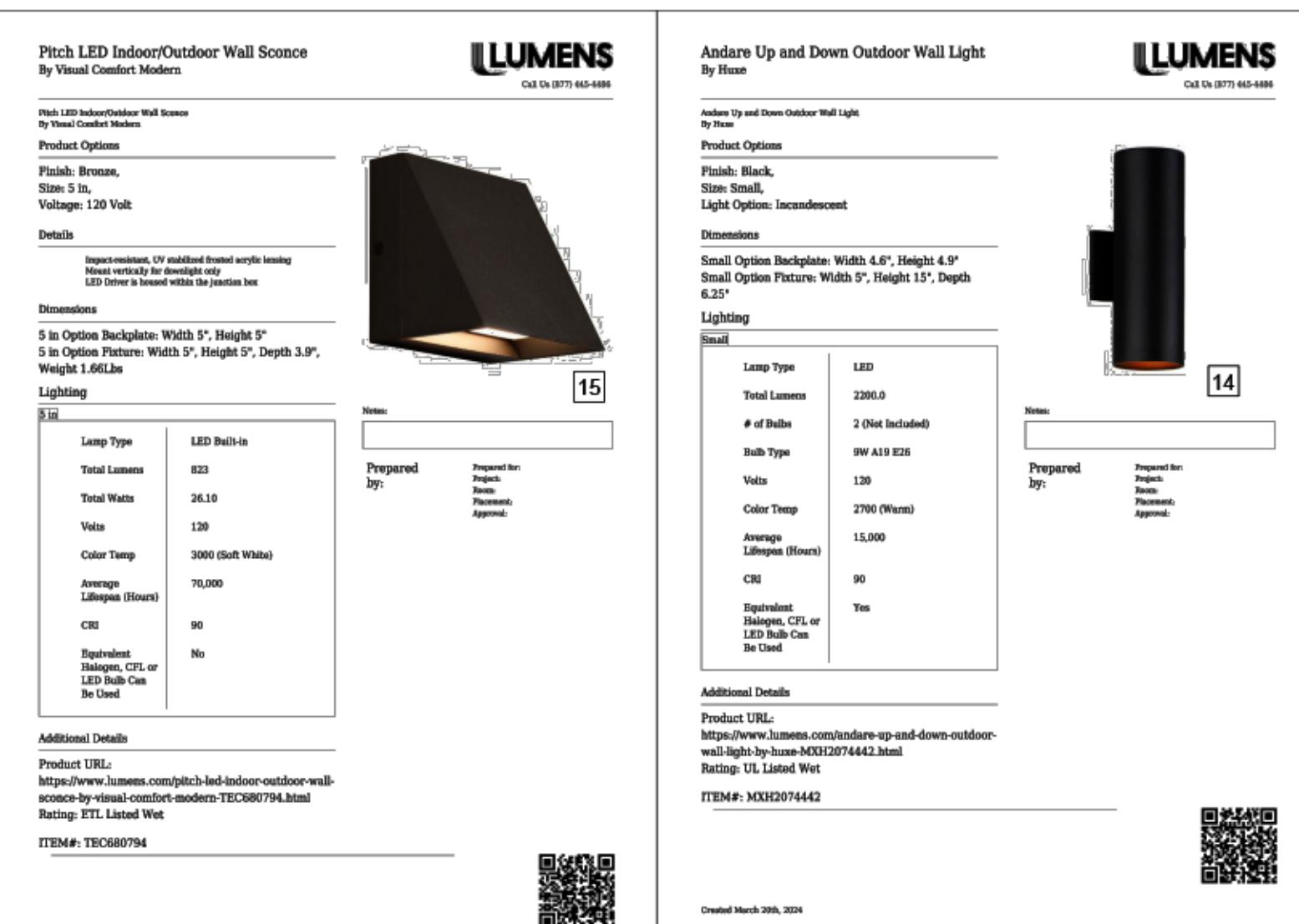
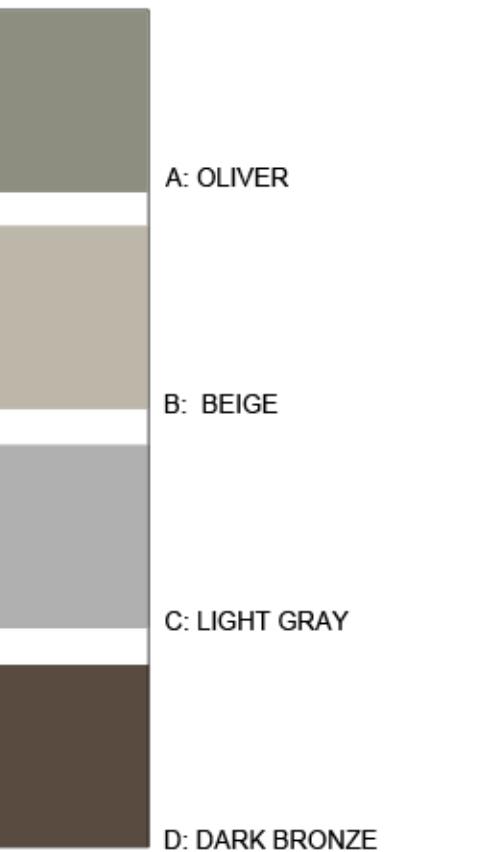


MATERIAL LIST

- 1 STUCCO - PAINTED
- 2 STONE 1 - CORONADO - ELEMENT LEDGSTONE OR EQ.
- 3 STONE TILE 2 - CORONADO STONE - HARVARD GREY OR EQ.
- 4 VINYL WINDOW
- 5 DOOR WITH SIDE LITES, FIBERGLASS / WOOD
- 6 GARAGE DOOR - METAL / FIBER GLASS PAINTED
- 7 ALUMINUM REVEAL TRIM
- 8 STANDING SEAM METAL ROOF
- 9 ALUMINUM FOLDING GLASS DOOR
- 10 MOLDING
- 11 GLASS RAILING W/ METAL FRAME
- 12 METAL GUTTER, DOWN SPOUT, PAINTED DARK BRONZE
- 13 FASCIA BOARD, PAINTED DARK BRONZE
- 14 OUTDOOR WALL LIGHT 1
- 15 OUTDOOR WALL LIGHT 2



PAINT COLOR



ELEVATIONS

PRELIMINARY SUBMITTAL - ARB & COUNTY
DATE 03-22-24
Tectonic Architects & Associates
10118 Bandley Dr. #E
Cupertino, CA 95014
408-216-0804



A3.0

CHING RESIDENCE 2825

2825 CONGRESS RD., PEBBLE BEACH, CALIFORNIA

CHING RESIDENCE 2825

2825 CONGRESS RD., PEBBLE BEACH, CALIFORNIA

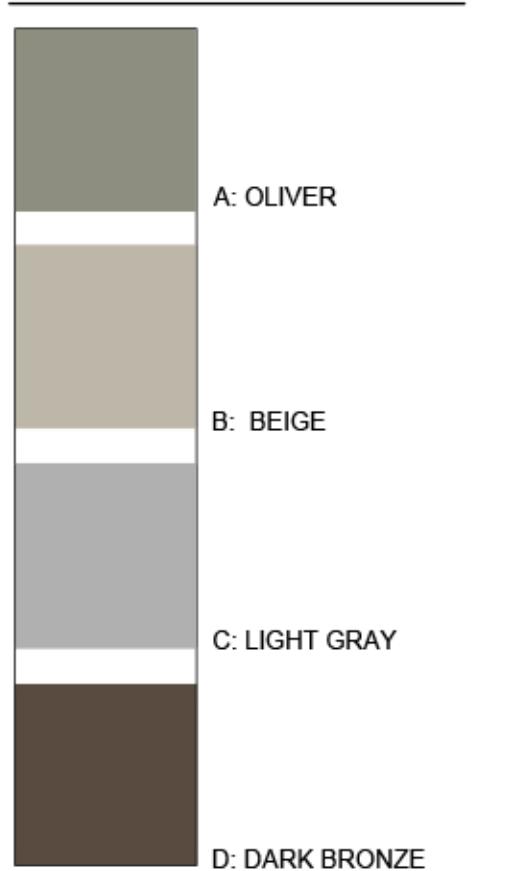


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- 15 OUTDOOR WALL LIGHT 2



PAINT COLOR



ELEVATIONS

PRELIMINARY SUBMITTAL - ARB & COUNTY

DATE 03-22-24

Tectonic Architects & Ass

10118 Bandley Dr. #E

Cupertino, CA 95014
408-216-0804

400-210-0804



A3.1

PLANT LEGEND AND NOTES

Symbol	Species	Size	Water	WUCOLS
	Arctostaphylos Little Sur/ Manzanita @60" ac	1 gallon	low	.2
	Achillea millefolium/ Yarrow @ 48" ac	1 gallon	low	.2
	Juncus patens/ California Rush @ 36" ac	1 gallon	low	.2
A	Salvia Allen Chickering/ Sage	5 gallon	low	.2
B	Ribes sanguineum/ Red Currant	5 gallon	low	.3
T1	Quercus agrifolia/ Coast Live Oak	15 gallon	low	.2
T2	Pinus radiata/ Monterey Pine	15 gallon	low	.3

- 1) Preparation of soil to be on an individual plant basis to protect the roots of existing trees to remain.
- 2) Incorporate compost into soil backfill.
- 3) Provide all required tree protection measures per the project arborist report and as determined in the field. Protection measures shall be to the satisfaction of the project arborist and the planning department.
- 4) Verify placement of all plant material prior to planting. Adjust as needed based on proximity to existing trees and project construction.
- 5) All plant material to be sourced from local nurseries only. Resources Code (PRC) Section 4291, only trees grown from locally collected seeds from trees uninfected with pitch canker or Phytophthora ramorum should be used. Special care should be taken to avoid contamination of seedlings with diseased materials. Trees propagated from nonnative genetic stock should not be used in landscaping and forest restoration.
- 6) Spread 3" of wood chip (Prochip Brown Tone, or equal) mulch around the base of all new planting only not in open areas and not within the 5' fire defense zone around the foundation of the house.

Proposed new tree as mitigation from removal of protected trees:
 From Denise Duffy & Associates, Inc./ Planning and Environmental Consulting - 1/16/25
 (2) T1 - Quercus agrifolia/ Coast Live Oak require for mitigation - (8) proposed at 15 gallon
 (2) T2 Pinus radiata/ Monterey Pine required for mitigation - (2) proposed at 15 gallon
 See report for other mitigation measures.

Existing tree to remain (Q) for Quercus/ Oak, (P) for Pinus/ Pine

Existing tree to be removed Existing off site tree to remain



ARCTOSTAPHYLOS ACHILLEA JUNCUS SALVIA RIBES LOT 8

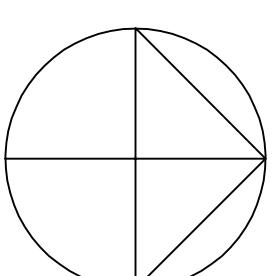


QUERCUS PINUS

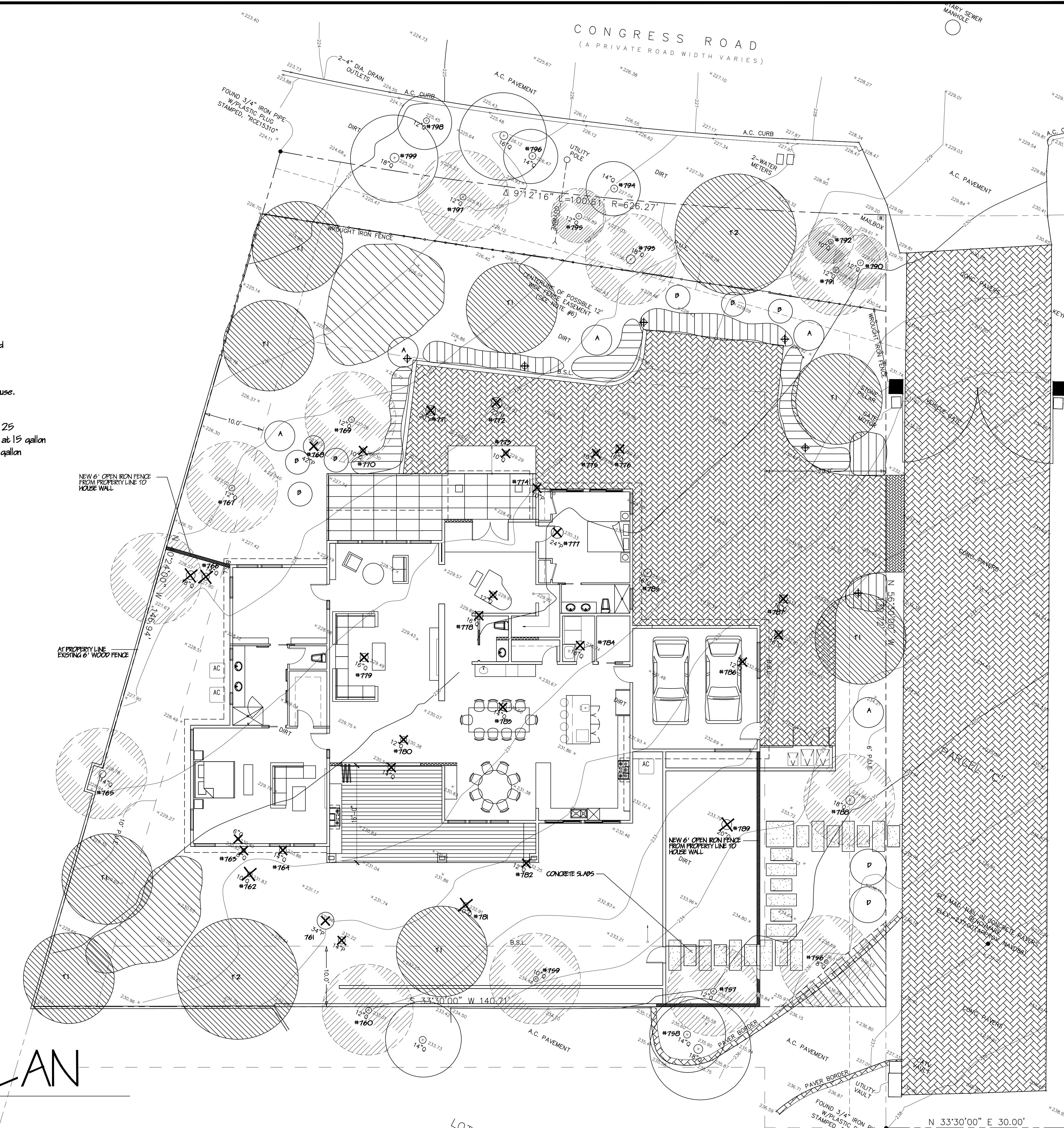
LIGHTING LEGEND

Low voltage black down lit path/ driveway light - FX or equal

- 1) Verify placement of all landscape lighting at front yard.
- 2) All lighting to be directed downwards.
- 3) Verify electrical and location of transformer.
- 4) All work to be done according to local and state electrical code.



PLANTING PLAN



W. Jeffrey Held
Landscape Architect
C-2235

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email wheldlada@gmail.com

OWNERSHIP AND USE OF DRAWINGS
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REVISED 3/18/24
 REVISED 5/11/24
 REVISED 9/9/24
 REVISED 9/20/24
 REVISED 1/16/25



CHING RESIDENCE

for:
 LILLY CHING
 2825 CONGRESS ROAD
 PEBBLE BEACH, CA, 93953

PLANTING PLAN

date: 3/16/24
 scale: NOTED
 drawn by: WJH
 job no. 202404
 sheet L
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Recommendations
Zone O: Ember Resistant Zone
 This is the ember resistant zone, which extends 5 feet from buildings, structures, stairs, decks, etc. A properly managed Zone O reduces the likelihood of structure ignition by reducing the potential for flame contact. Flames can be generated from embers that accumulate at the base of a wall and ignite vegetation, vegetative debris, or other combustible materials located close to the structure. Zone O is a critical component of structure defense and, when coupled with Zone I and Zone 2, is essential to defensible space. Management of the ember-resistant zone is now required by law (Assembly Bill [AB] 3074) beginning January 1, 2023. This zone includes the area under and around all attached decks and requires the most stringent wildfire fuel reduction. The ember-resistant zone is designed to keep fire or embers from igniting materials that can spread the fire to the home. Packards are considered Zone O. The following provides maintenance guidance for this zone.



Maintain a vertical clearance between shrubs and trees. Example: A five foot shrub is growing near a tree. $3 \times 5 = 15$ feet of clearance needed between the top of the shrub and the lowest tree branch.

Use landscape like gravel, pavers, concrete, and other noncombustible mulch materials. No synthetic lawns, combustible bark, woodchips, or mulch. No lumber or round logs, railroad ties, or creosote-treated or pressure-treated wood.

No combustible attached trellis, pergola, shade covering, planters, privacy wall, etc.; no combustible storage structures (e.g., woodsheds, potting bench, etc.); and replace combustible fencing, gates, and arbors attached to the home with noncombustible alternatives.

Wooden fences should not be directly attached to the residence, and a 10-foot non-combustible section (e.g., metal gate) should be placed between the wooden section of the fence and the house.

Potted plants should not exceed 2 feet in vegetation height and must be contained in non-combustible containers (no wooden planter boxes, wine barrels, etc.).

Remove all dead and dying weeds, grass, plants, shrubs, trees, branches, and vegetative debris (i.e., leaves, needles, cones, bark, etc.).

Check roofs, gutters, decks, porches, stairways, etc. for accumulated debris, leaf litter, and other flammable materials; clean regularly.

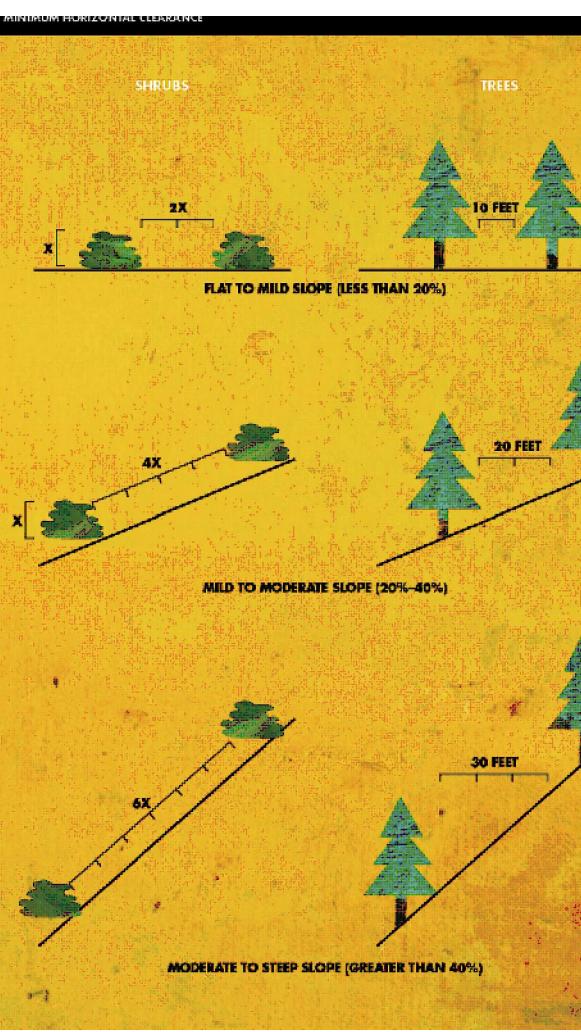
Remove all branches within 10 feet of any chimney or stovepipe outlet.

Limit plants in this area to low-growing, nonwoody, properly maintained plants.

Limit combustible items (e.g., outdoor furniture, planters, etc.) on top of decks.

Trim and prune woody vegetation that extends into Zone O. No trees should be planted if their canopy at maturity can be expected to extend closer than 5 feet to the structure's roof, balcony, decks, or exterior wall (10 feet from any chimney or stovepipe outlet).

Consider relocating garbage and recycling containers, woodsheds, and BBQs (propane) outside this zone.



Zone I: Lean, Clean, and Green Zone
 Zone I is the second layer of a defensible perimeter around a residential structure in wildfire-prone areas. It is designed to provide an additional level of protection for the building or structure, extending from 5 feet to 30 feet away from the structure and any attached balconies, patios, or outbuildings. The goal of fuel management in Zone I is to remove excess vegetation and to maintain the landscaping in a way that reduces ignition of the structure via heat transfer from burning vegetation. It also provides firefighters with space and access to protect the structure in case of a wildfire.

Fuel management in Zone I involves mowing, removing dead or dying plants, ladder fuels, pruning vegetation, and hauling away all materials. Remove branches that overlap with the roof or are closer than 10 feet from windows and chimneys. Dead vegetation removal includes fallen leaves, needles, twigs, bark, cones, and small branches. Cut and mow annual grass and herbaceous plants down to a height of 4 inches. Mow before 10:00 a.m. and never on a hot or windy day. String trimmers are a safer option (versus lawnmowers) for clearing vegetation. Avoid removing all vegetation to bare soil, as this may cause erosion.

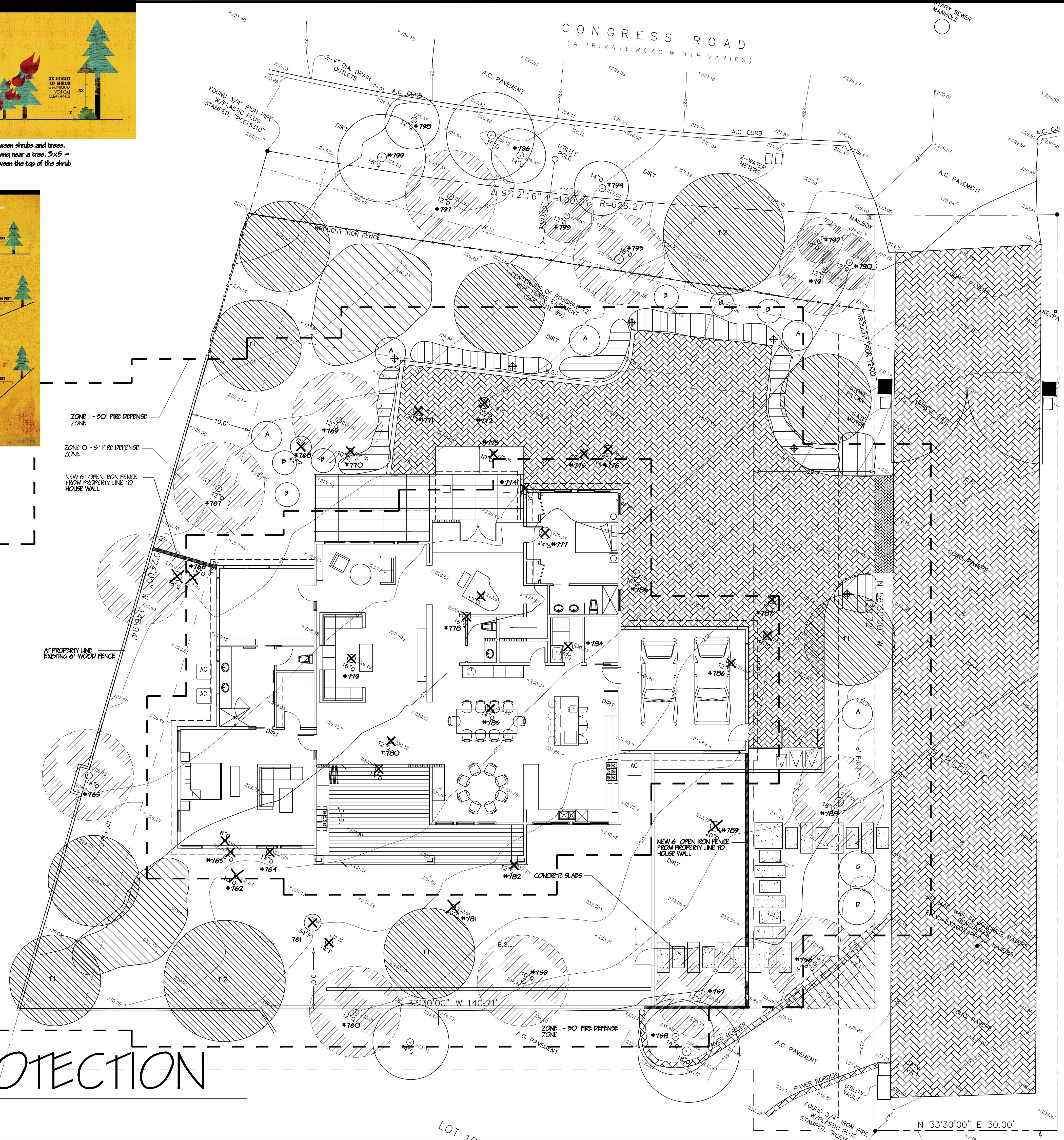
Vertical Spacing. An important aspect of vegetation management in Zone I is vertical spacing of trees, shrubs, and grasses (see Figure 7). Large trees do not need to be cut and removed as long as they fulfill the horizontal spacing requirement (see below) and all of the plants beneath them are managed to remove vertical fuel ladders. Healthy trees should be pruned (i.e., imbed) at least 6 feet from the ground. Allow extra vertical space between shrubs and trees. Lack of vertical space can allow a fire to move from the ground to the brush to the tree tops like a ladder. This leads to more intense fire closer to the home. To create vertical spacing and reduce fuel ladders created by shrubs under trees, tree branches should be limbed to a height of at least three times the height of the shrub.

Place woodpiles in Zone 2; establish a 10-foot clearance down to bare mineral soil around woodpiles.

Wood mulch is acceptable in Zone I if there is a transition from Zone I to Zone O and if the vegetation in Zone I is grouped/clumped with the required horizontal distance.

Zone 2: Fuel Reduction Zone
 Fuel management in this zone aims at reducing the potential behavior of an oncoming fire to prevent rapid spread of wildfire from plant to plant and to reduce flame lengths. Zone 2 actions reduce the amount of fuel, especially dead vegetation (e.g., leaves, needles, twigs, bark, cones, and small branches). Grasses and herbaceous vegetation should be mowed to a height of 4 inches. Mowing should occur before 10:00 a.m. and never on a hot or windy day. String trimmers are preferred, because they pose a low risk of sparking. Spacing of trees and shrubs is similar to that of Zone I, with a greater focus on vertical spacing (i.e., no ladder fuels). Horizontal space between trees should maintain a gap of at least 10 feet from the next tree. Where canopies overlap, selective removal of smaller trees can maintain the desired horizontal and vertical spacing of trees. Overlapping tree canopies should be avoided. Shrubs may be aggregated in clumps or islands that are well isolated from the surrounding shrubs and tree canopies. Spacing of shrubs and trees along fences should be managed according to the requirements of Zone O (i.e., 5-foot clearance to all structures).

WILDFIRE PROTECTION



W. Jeffrey Held
 Landscape Architect
 C-2235

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 email wheldlada@gmail.com

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REVISED 9/20/24
 REVISED 1/16/25



CHING RESIDENCE

for:
LILLY CHING
 2825 CONGRESS ROAD
 PEBBLE BEACH, CA, 93953

WILDFIRE PROTECTION

date: 9/9/24
 scale: NOTED
 drawn by: WJH
 job no. 202404
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 of shts

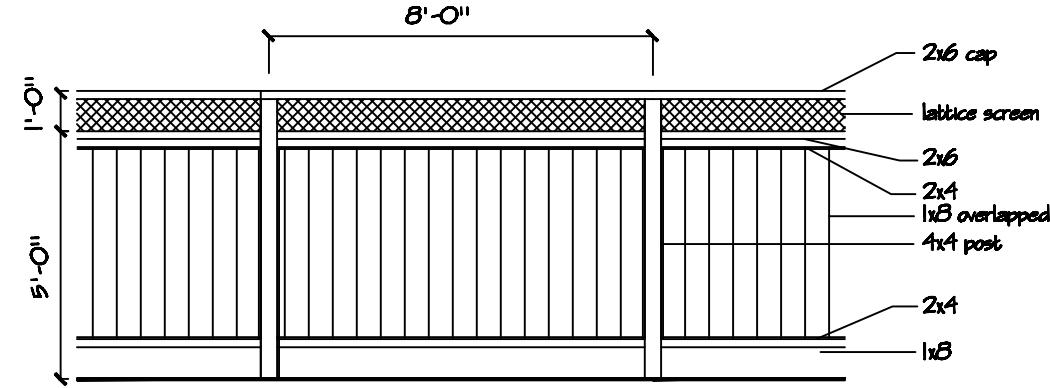
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REVISED 5/11/24

REVISED 9/20/24

REVISED 1/16/25

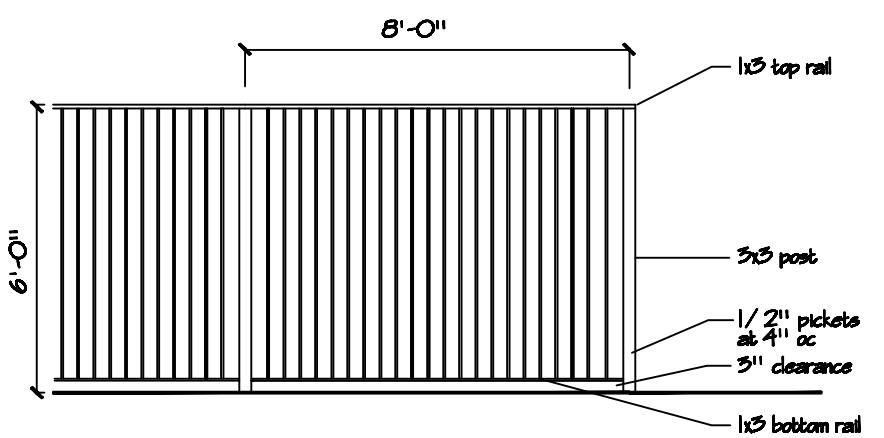


6' GOOD NEIGHBOR FENCE

1/4" = 1'-0"

PROPERTY LINE FENCE

(For new and replacement fencing)



6' IRON SECURITY FENCE

1/4" = 1'-0"

FENCING ADJACENT TO HOUSE

(For new fencing - black iron)



BELGARD CATALINA GRANA PAVER

(For driveway - in Scandia Gray color)



CHING
RESIDENCE

for:

LILLY CHING
2829 CONGRESS ROAD
PEBBLE BEACH, CA. 93953

DETAILS

date: 3/18/24

scale: NOTED

drawn by: WJH

job no. 202404

sheet

L 5

of shts