

Exhibit B

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**EXHIBIT B
DRAFT RESOLUTION**

**Before the Zoning Administrator in and for the
County of Monterey, State of California**

In the matter of the application of:

CAMPBELL S JAMES JR & LYNDA R TRS (PLN230137)

RESOLUTION NO. 25-

Resolution by the County of Monterey Zoning Administrator

- 1) Finding that the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines sections 15303 and none of the exceptions pursuant to Section 15300.2 apply; and
- 2) Approve a Combined Development Permit consisting of a:
 - a. Administrative Permit and Design Approval to allow demolition of existing 1,173 square foot single family dwelling, a 364 square foot detached garage, and a 111 square foot guesthouse, construction of a 3,403 square foot single family dwelling and an attached 805 square foot garage with a second story 606 square foot Accessory Dwelling Unit, and associated site improvements; and
 - b. Use Permit to allow development within the Carmel Valley floodplain.

[PLN230137, Campbell, 23 Wawona Road, Carmel Valley, Carmel Valley Master Plan (APN: 197-101-019-000)]

The Campbell application (PLN230137) came on for a public hearing before the County of Monterey Zoning Administrator on February 13, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;

- Carmel Valley Master Plan (CVMP);
- Monterey County Zoning Ordinance (Title 21);

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) The project involves demolition of an existing residence and garage and guesthouse, and redevelopment of the site with a 3,403 square foot single family dwelling and an attached 805 square foot garage with a second story 606 square foot Accessory Dwelling Unit within the floodway fringe of the Carmel Valley floodplain.
- c) Allowed Use. The property is located at 23 Wawona Road, Carmel Valley (Assessor's Parcel Number [APN]: 197-101-019-000), Carmel Valley Master Plan. The parcel is zoned Low Density Residential with a 2.5 acres per unit density, Design Control overlay, Site Plan Review overlay, and Residential Allocation Zoning overlay in the inland area, or "LDR/2.5-D-S-RAZ", which allows for the construction of a single-family dwelling and accessory structures, subject to the granting of an Administrative Permit and Design Approval in each case, per Title 21 Chapters 21.45 and 21.44. Development within the Carmel Valley River's floodway fringe (floodplain) is also an allowed use, subject to the granting of a Use Permit, pursuant to Title 21 section 21.64.130. Therefore, the project is an allowed land use for this site.
- d) Lot Legality. The subject property (APN: 197-101-019-000) is approximately 1.78 acres (77,536 square feet) and is identified in its current configuration as Parcel B of the Rancho Los Tularcitos Subdivision, as shown on the Record of Survey, Volume X-4S, Page 97 dated July 20th, 1967. Therefore, the County recognizes the subject property as a legal lot of record.
- e) Design/Neighborhood and Community Character. Pursuant to Title 21, Chapter 21.44, the project site and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which is intended to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The single-family dwelling and attached garage with a second-story Accessory Dwelling Unit, will have modern ranch architectural style with exterior colors and materials that consist of: gray siding, aluminum clad windows and doors, brown/gray composition roof shingles, and Carmel River stone stairs and garden walls. The residences within the vicinity are rustic in architecture; ranging from ranch homes to craftsmen-style homes. The exterior finishes blend with the surrounding environment and are consistent with the surrounding residential neighborhood character. The property is surrounded by mature Coast live oaks and other native vegetation, with the elevations significantly lower than Carmel Valley Road, further avoiding visual impacts. Due to intervening topography and vegetation, the proposed residence and accessory structures will not create any adverse visual impacts. The proposed development will blend in with the surrounding residential neighborhood and natural colors and materials that exist in this community. The project, as designed and

sited, assures protection of the public viewshed, is consistent with the neighborhood character, and assures visual integrity.

- f) Development Standards. The project meets all required development standards. Pursuant to Title 21 section 21.14.060.C, the subject main structures shall have setbacks of at least 30 feet for the front, and 20 feet for the sides and rear, and a maximum allowable height of 30 feet. The attached garage and ADU are structurally attached to the proposed residence via a trellis, and therefore are subject to the same site development standards as the main structure (Title 21 sections 21.62.030.D, 21.62.040.K, 21.64.030.E(5)). As proposed, the residence and attached accessory structures will have a 30 feet front, 20 feet side, over 20 feet from the rear, and a proposed height of 29 feet 11 inches from the average natural grade. Condition No. 13 ensures that the final ridge height does not exceed 30 feet. The subject property has an allowable building site coverage of 25 percent, and as proposed the lot coverage will be 4.8 percent. Therefore, the property complies with the required site development standards based on the applicable zoning district.
- g) Scenic and Visual Resources. 2010 General Plan Policy OS-1.2 requires new development be subordinate to the natural features of the area. The subject property is within an area identified as “Sensitive” per County Geographical Information System (GIS). Policy CV-1.20 of the Carmel Valley Master Plan requires that development be sited and designed in a manner that is visually compatible with the character of the Valley and immediate surrounding areas. Staff conducted a site visit on June 17, 2024, and determined that the project would not be visible from any common public viewing area, including Carmel Valley Road, Laureles Grade, and Highway 1. The project’s staking and flagging was not visible from any public viewshed due to intervening mature vegetation, changes in elevations, and development (see preceding Evidence “e”). The proposed residence will be positioned towards the rear of the property, at the base of a hillside, further ensuring the residence and accessory structures will not be visible from public viewshed areas. Additionally, the proposed residence and associated accessory structures will be sited in the same location as the previous residence, which is currently screened by mature trees, and neighboring residences. Therefore, the proposed project is consistent with the Scenic Resources Element of 2010 General Plan and would have no impact on visual resources.
- h) Cultural Resources. The project site is in an area identified in County records as having a moderate/high archaeological sensitivity. In accordance with General Plan Open Space Policy OS-6.3, any new development being proposed within moderate or high sensitivity zones, or within 150 feet of a known recorded archaeological and/or cultural site, shall complete a Phase One Archaeological survey. According to the prepared Phase One Archaeological Survey (County of Monterey Library No. LIB240129), no cultural resources or indications of archaeological resources were identified during the Project Archaeologist’s pedestrian survey of the project site. Therefore, there is no evidence that any cultural resources would be disturbed with project

implementation, and the potential for inadvertent impacts to cultural resources is limited and will be addressed by the County's standard project condition (Condition No. 3). This condition requires the contractor to stop work if previously unidentified resources are discovered during construction.

- i) Forest Resources. No native tree removal is proposed; however, two Bay Laurel trees (10" and 11" in diameter at breast height [DBH]), one Cottonwood tree (24" in DBH) and one Buckeye tree (11" in DBH) are proposed for removal. To protect nearby mature Oaks from construction-related activities, Condition No. 9 has been applied to ensure the construction will not negatively impact any surrounding native trees.
- j) Historical Resources. The existing residence is 98 years old and was constructed in 1927. The prepared Phase 1 Historic Assessment (County of Monterey Library No. LIB240131) confirmed that while the age of the house is over 50 years, the residence retains no historical significance, its design does not provide any distinctive historical design or style, and is not associated with any specific event that could be considered historical. The existing residence was previously owned by a local couple that has no historical significance. Therefore, the project will not impact historical resources.
- k) Land Use Advisory Committee (LUAC). Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application did warrant referral to the Carmel Valley LUAC because the project involves a Design Approval subject to the consideration by the Zoning Administrator. The Carmel Valley LUAC voted 6-0 in support of the project, with one member absent. The LUAC had questions about Monterey County Code requirements for development in the Carmel Valley Floodplain. See Finding No. 6 and supporting evidence.
- l) Development on Slopes in Excess of 25%. Although the property does contain slopes in excess of 25 percent, the project proposed is primarily sited on level grade. However, the construction of the residence will require a minimal amount of development on steeper slopes. Per Policy OS-3.5 of the Conservation and Open Space Element, a Use Permit is required to allow development on slopes in excess of 25%, unless the proposed development impacting slopes in excess of 25% does not exceed ten percent (10%), or 500 square feet of the total development footprint (whichever is less). In this case, the project has a footprint of approximately 3,800 square feet and involves 369 square feet of development on steeper slopes. Therefore, the project meets this exemption and a Use Permit was not applied.
- m) Accessory Dwelling Unit. The proposed project includes construction of a second story 606 square foot accessory dwelling unit (ADU) subject to the regulations listed in Title 21 section 21.64.030. Consistent with these requirements, the ADU is less than 1,200 square feet, is designed in such a manner visually consistent and compatible with the proposed principal dwelling, has independent utilities, does not have internal circulation with the garage or main residence, and provides all required sleeping, cooking, and living facilities.

- n) The project planner conducted a site inspection on June 17, 2024, to verify that the project on the subject parcel conforms to the plans listed above.
- o) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN230137.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

EVIDENCE: a) The project has been reviewed for site suitability by the following departments and agencies: HCD- Planning, Monterey County Regional Fire Protection District, HCD-Engineering Services, HCD-Environmental Services, and Environmental Health Bureau. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.

b) Staff identified potential impacts to archaeological, biological, historic resources; soils and development within 200 feet of the Carmel River. The following reports have been prepared:

- “Phase 1 Archaeological Assessment Study of Assessor’s Parcel No. 197-101-019, 23 Wawona Road, Carmel Valley, Monterey County, California 93924” (County of Monterey Library No. LIB240129) prepared by Dana Supernowicz, Pebble Beach (July 2023);
- “Biological Assessment” (County of Monterey Library No. LIB240130) prepared by Nicole Nedeff, Carmel Valley (March 2024);
- “Percolation and Groundwater Study with Septic Recommendations for the proposed Campbell Residence 23 Wawona Road Carmel Valley, California A.P.N. 191-101-019” (County of Monterey Library No. LIB240143) prepared by Grice Engineering, Salinas (September 2019);
- “Phase One Historic Assessment for 23 Wawona Road, Carmel Valley, CA APN 197-101-019-000” (County of Monterey Library No. LIB240131) prepared by Seth Bergstein, Pacific Grove (April 2023).

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions.

- c) Staff conducted a site inspection on June 17, 2024, to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD - Planning for the proposed development found in Project File PLN230137.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of

this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use. Additionally, the establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD- Planning, Monterey County Regional Fire Protection District, HCD-Engineering Services, Environmental Health Bureau, and HCD - Environmental Services. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities will be provided. The project site is supplied water by California American Water, which will continue to serve the proposed main residence. The existing on-site well with a reported 5 gallons per minute will be used as a domestic water source to serve the proposed ADU and for irrigation. The Environmental Health Bureau received report Title 22 California Water Quality Testing report that found the well to meet standards for Primary Standards, Inorganic Chemical Analysis, and Secondary Drinking Water Standards. However, bacteriological results were positive for Total Coliforms at a concentration of 13 MPN/100mL and negative for E. Coli. A chlorinator was installed on the onsite well to ensure drinking water is disinfected prior to any domestic use and is required to be maintained.
 - c) As recommended by the Environmental Health Bureau, an alternative onsite wastewater treatment system (OWTS) system is proposed to provide adequate wastewater treatment for the proposed main residence and ADU. Additionally, the alternative OWTS design is needed to address the groundwater encountered at 15 feet below grade, with an average percolation rate of 1.0 minute to 1.4 minutes per inch. The shallow groundwater levels require supplemental treatment to be introduced into the proposed OWTS. Condition No. 5 has been applied to require that the Applicant/Owner locate the system above the 10-year floodplain to avoid damage and/or contamination, comply with Monterey County Code 15.20.100.h, and incorporate a Nitrogen reduction treatment into the alternative OWTS design due to shallow depth to the groundwater per Monterey County Code Title 15 section 15.20.11.R.2.
 - d) Staff conducted a site inspection on June 17, 2024, to verify that the site is suitable for this use.
 - e) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD - Planning for the proposed development found in Project File PLN230137.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD - Planning and Building Services Department records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on June 17, 2024, and researched County records to assess if any violation exists on the subject property.
 - c) There are no known violations on the subject parcel.
 - d) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN230137.

5. **FINDING:** **CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) –**
The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines section 15303 allows the construction of new residences and accessory structures on residentially zoned properties.
 - b) The project proposes demolition of an existing residence and accessory structures and the construction of a new residence, with an attached garage and second-story accessory dwelling unit. Therefore, the proposed development qualifies as a Class 3 Categorical Exemption pursuant to section 15303 of the CEQA Guidelines.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, unusual circumstances that would result in a significant effect, or development that would result in a cumulative significant impact. Although the property is located in close proximity to a scenic road (Carmel Valley Road) and located in an area designated as “Highly Sensitive”, the project as sited will not be visible from any scenic vista or scenic corridor (see Finding No. 1, Evidence “g”). Additionally, although the project is located within a floodplain, the proposed residence and accessory structures have been found to comply with applicable floodplain requirements, including finished floor elevations, pass-through vents, etc. The project does have an environmentally sensitive habitat (riparian habitat) but is not occupied by special-status wildlife (County of Monterey Library No. LIB240130). Due to the project site’s proximity to the Carmel Valley River, there is a limited potential that sensitive species of concern may occupy the construction site. To further reduce this low potential and ensure no impacts on biological resources occur, the project has been conditioned to comply with the recommendations of the project biologist (see Finding No. 7 and supporting evidence). Therefore, as designed and conditioned, the proposed project would not result in an environmental impact. There is no substantial evidence that would support a fair argument that the project has a reasonable possibility of having a significant effect on the environment or that it would result in a cumulative significant impact.
 - d) No adverse environmental effects were identified during staff review of the development application.

- e) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning can be found in Project File PLN230137.

6. **FINDING:** **CARMEL FLOODWAY FRINGE-** The project complies with the applicable policies and regulations found in the Carmel Valley Master Plan and Title 21 to allow development within the Carmel Valley floodway fringe, and sufficient setbacks and measures to avoid erosion are proposed.

- EVIDENCE:**
- a) The project includes development within the 200 feet of the Carmel River top of bank and therefore, is subject to Monterey County Code Chapter 16.16 – Regulations for Floodplains in Monterey County, and Title 21 section 21.64.130 – Regulations for Land Use in the Carmel Valley Floodplain. Pursuant to Title 21 section 21.64.130.D.2, development within 200 feet of the riverbank or the floodway fringe (floodplain) is prohibited except where it can be shown that the development will accommodate sufficient setbacks to avoid erosion. Additionally, Title 21 section 21.64.130 establishes regulations and standards for which development within the Carmel Valley floodway fringe may be permitted. The proposed project does not meet the exclusions listed in Title 21 section 21.64.130.G, and therefore requires the granting of a Use Permit. The Zoning Administrator is the appropriate authority to grant a Use Permit.
 - b) The “Floodway Fringe” is defined in Title 21 section 21.64.130.C.4 as the portion of the valley floor outside of the floodway normally required to carry the flow which may on average occur once every 100 years.
 - c) Approximately two-thirds of the parcel is within the Carmel Valley River floodway fringe. The remainder of the property (eastern portion) contains steep slopes that abut Carmel Valley Road. The only non-steeply sloped portions of the property are within 200 feet of the Carmel Valley River’s top of bank. The proposed single-family dwelling and attached accessory structures are approximately 100 feet from the Carmel Valley River’s top of bank edge.
 - d) A Topographic Map was completed by Grice Engineering on October 21, 2024, and determined that the project site takes place within the Carmel Valley River’s 100-year floodplain, with a base flood elevation indicated of 310 feet. In Flood Zone AE, the required flood height (or elevation) for building construction is at or above the Base Flood Elevation (BFE) plus a freeboard of at least 1 foot (Title 21 section 21.64.130.D.2). As designed, the proposed single-family dwelling will be raised 2 feet above this 100-year base flood elevation, with a finished flood height of 312 feet. The proposed garage and ADU will be raised 1.5 feet over the base flood elevation, with a finished floor height of 311.5 feet.
 - e) The project complies, to the maximum extent feasible, with the regulations contained in Title 21 section 21.64.130. Although the project site is not over 200 feet away from the Carmel Valley River’s edge, the nearby riparian habitat will not be impacted (See Finding No. 8 and supporting evidence), the natural course of the river will not be altered by the proposed development, and there will be no alteration to

the existing riparian vegetation. The project involves minimal grading, and the proposed structures are to be constructed in the same general building footprint as the previous residence and accessory structures. The soils on site have high permeability and do not bring concern of erosion issues per the soils report prepared by Grice Engineering (County of Monterey Library No. LIB240143).

- f) Monterey County Environmental Health Bureau reviewed the septic system and determined that a conventional onsite wastewater treatment system (OWTS) could not meet minimum standards specific by the Monterey County Local Agency Management Program (LAMP) for
 - g) OWTS and Monterey County Code, Chapter 15.20. As part of Environmental Health's approval, they required the applicant to add a Nitrogen reduction treatment to be incorporated due to shallow depth due to groundwater (See Finding 3, Evidence "c").
- The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN230137.

7. FINDING: ENVIRONMENTALLY SENSITIVE HABITAT- The subject project avoids all impacts on environmentally sensitive habitat areas in accordance with the applicable goals and policies of the 2010 General Plan, Carmel Valley Master Plan and Title 21.

- EVIDENCE:**
- a) Carmel Valley Master Plan Policy CV-3.8 establishes the goal to protect riparian vegetation, minimize erosion, and preserve the visual aspects of the Carmel River. Consistent with this policy, the project does not include the removal of indigenous vegetation, proposes minimal grading (46 cubic yards of cut and 845 cubic yards of fill), and incorporates a rural architectural design for the structures. See Finding No. 1 and supporting evidence.
 - b) Title 21 section 21.66.020 establishes regulations and standards for which development within 100 feet of an environmentally sensitive habitat may be permitted. The environmentally sensitive habitat located on this property consists of the Carmel Valley's River riparian corridor and associated wildlife and fauna. The riparian habitat refers to the natural plant community which is dependent upon a water body or water course. This habitat can foster different species of native animals, in addition to the native plant species.
 - c) The biological report prepared for this project was inclusive of a description of survey methods, impact determination, and precautionary suggestions from a certified biologist (Finding No. 2, Evidence "b"). The biological survey contained all the required elements mentioned in Title 21 section 21.66.020.C.4.
 - d) The proposed development will be located over 100 feet from the Carmel River riparian corridor (See Finding No. 6 and supporting evidence). The project site consists entirely of pre-disturbed land. As proposed, the demolition and rebuild of the single-family dwelling and accessory structures will take place in the same location on the property as the original development.

- e) The biological survey did not identify any sensitive native habitat or vegetation, native wildlife, or sensitive natural resources within the proposed development area. However, based on the California Natural Diversity Database, the report concluded that there is an unlikely potential for construction to impact California Red-legged Frogs, Legless Lizards, and Southwestern Pond Turtles during the ground clearance stage and/or brush trimming to allow equipment mobilization. The biologist recommended that each morning before construction activities, the entire work site and all equipment and materials be inspected for the presence of California Red-Legged Frogs and Southwestern Pond Turtles. In the event any species is encountered during the inspection, a qualified biologist should be contacted immediately to arrange trapping and relocating the sensitive species to a safe location. Additionally, the project biologist recommended that temporary exclusionary fencing and silt fencing be placed along the riverside edge of the existing driveway to separate the Carmel River and its riparian corridor from the project area. The fencing shall be installed under supervision from the project biologist to ensure no sensitive resources on site are damaged. No construction activities, materials storage, or staging shall occur beyond the exclusionary fencing. Accordingly, no impacts to sensitive Riparian vegetation or Aquatic steelhead habitat will occur. Condition No. 8 has been applied to require the Applicant/Owner to prepare a comprehensive construction management plan that illustrates the location of the protective fencing, areas suitable for construction staging, and other measures to protect onsite and nearby sensitive resources, while avoiding construction nuisance impacts to nearby properties. Additionally, Condition No. 12 requires a pre-construction meeting to be conducted with the purpose of requiring this permit's conditions of approval and all recommendations indicated in the biological report (County of Monterey Library No. LIB240130), including designating a construction member to inspect the site for unlikely special status species. Exclusionary fencing required by Condition No. 8 shall be installed prior to this pre-construction meeting. Consistent with General Plan Policy OS-4.3 and Carmel Valley Master Plan Policies CV-3.7 and CV-3.8, the project has been designed at a density compatible with the surrounding sensitive habitats, and conditioned to protect riparian vegetation and the Carmel Valley River.
- f) The project biologist includes in their recommendation that in areas not proposed for post-project landscaping, revegetation of exposed soils or areas disrupted during construction should be implemented with native seed mix of native plant species and other native grass species that would naturally occur on the property. This recommendation is incorporated into Condition No. 8 and will ensure the project will not result in accelerated erosion (Title 16, Chapter 16.12)
- g) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN230137.

8. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Planning Commission

EVIDENCE: a) Planning Commission. Pursuant to Title 21 section 21.80.040.B, an appeal may be made to the Planning Commission by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Monterey County Zoning Administrator does hereby:

1. Find that the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines sections 15303 and none of the exceptions pursuant to Section 15300.2 apply; and
2. Approve a Combined Development Permit consisting of: 1) Administrative Permit and Design Approval to allow demolition of an existing 1,173 square foot single family residence, a 364 square foot detached garage and 111 square foot guesthouse; and construction of a 3,403 square foot single family residence, attached 805 square foot three-car garage with a second story 606 square foot accessory dwelling unit; and 2) Use Permit to allow development within the Carmel Valley Floodplain.

PASSED AND ADOPTED this 13th day of February, 2025:

Mike Novo, AICP
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230137

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Combined Development Permit (PLN230137) allows demolition of existing 1,173 square foot single family residence, a 364 square foot detached garage and 111 square foot guest house; and construction of a 3,403 square foot single family residence, attached 805 square foot three-car garage with a second story 606 square foot accessory dwelling unit; and a Use Permit to allow development within the floodway fringe of the Carmel Valley Floodplain. The property is located at 23 Wawona Road, Carmel Valley (Assessor's Parcel Number 197-101-019-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Combined Development Permit (Resolution Number _____) was approved by Zoning Administrator for Assessor's Parcel Number 197-101-019-000 on February 13, 2025. The permit was granted subject to 13 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. EHSP01- WATER QUALITY MONITORING PROGRAM (Non-Standard)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: Subject parcel is located adjacent to the Carmel River, within the FEMA Flood Zone and groundwater recharge area. Groundwater levels did not meet required vertical setback as stated in Table 4 of Monterey County Code, Chapter 15.20; therefore, installation of a groundwater monitoring well will be required as stated in Monterey County Code, Chapter 15.20.110. Two (2) groundwater monitoring wells will be installed on this parcel, positioned upstream and downstream of the proposed alternative onsite wastewater treatment system ("OWTS") leachfields and will be subject to all permit and construction requirements as specified by Monterey County Code, Chapter 15.08. The existing domestic water well (EHB Record No. WP0013733) will be utilized as a tertiary sample unit. A site-specific water quality monitoring program shall be prepared by a Qualified Professional for Environmental Health Bureau review and acceptance that will ensure the OWTS is operating in a manner that will not impact the Carmel River. (Environmental Health)

Compliance or Monitoring Action to be Performed: Prior to the issuance of construction permit, the applicant shall submit to the Environmental Health Bureau for review and approval a site-specific water quality monitoring program prepared by a Qualified Professional for review and acceptance.

5. EHSP02 – ALTERNATIVE ONSITE WASTEWATER TREATMENT SYSTEM PERMIT (Non-Standard)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: The Environmental Health Bureau has determined that a conventional onsite wastewater treatment system ("OWTS" or septic system) on the subject property could not meet minimum standards specified by the Monterey County Local Agency Management Program (LAMP) for OWTS and Monterey County Code, Chapter 15.20, specifically, located within the FEMA Flood Zone, groundwater recharge area and shallow separation to groundwater. The applicant has demonstrated that adequate area exists to accommodate an alternative OWTS. Nitrogen reduction treatment shall be incorporated into the alternative OWTS design due to shallow depth to groundwater per Monterey County Code, Chapter 15.20.110.R.2. (Environmental Health)

Compliance or Monitoring Action to be Performed: Prior to issuance of construction permit, the applicant shall submit to the Environmental Health Bureau for review and approval an alternative OWTS permit application, supporting documentation and all applicable fees.

6. EHSP03- ALTERNATIVE ONSITE WASTEWATER TREATMENT SYSTEM: DEED RESTRICTION (Non-standard)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: The property owner shall record a deed restriction with the Monterey County Recorder for Assessor's Parcel No. 197-101-019-000 which indicates that an alternative onsite wastewater treatment system ("OWTS") is installed on the property. The deed restriction shall include, but is not limited to, the following details:

- The alternative OWTS is subject to all future federal, state or local laws and ordinances regarding the permitting, operation and maintenance and/or monitoring of alternative OWTS
- The alternative OWTS is subject to an annual operating permit with applicable fees paid to the Environmental Health Bureau
- Property owner agrees to enter into and maintain a maintenance contract with an authorized service provider

The property owner will be responsible to pay cost recovery fees associated with Environmental Health Bureau staff time to prepare the deed restriction. (Environmental Health)

Compliance or Monitoring Action to be Performed: Prior to issuance of construction permit, the applicant shall provide a legal description for the parcel and a copy of the Grant Deed to the Environmental Health Bureau ("EHB"). The EHB will prepare the deed restriction form.

Prior to final inspection of construction permit, the property owner(s) shall sign and notarize the deed restriction form obtained from the EHB and return to the EHB for approval to form by the EHB and County Counsel. Record the executed deed restriction with the Monterey County Recorder. Proof of recordation shall be provided to the EHB.

7. EHSP04- ALTERNATIVE ONSITE WASTEWATER TREATMENT SYSTEM: MAINTENANCE CONTRACT (Non-Standard)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: The proposed alternative onsite wastewater treatment system ("OWTS") requires ongoing maintenance and monitoring to function as designed. An executed operations and maintenance contract with an authorized service provider must be submitted to the Environmental Health Bureau ("EHB"). The contract must include, but is not limited to:

- Contract term, specification of services to be performed and frequency of service; and
- Statement indicating that EHB will be notified if either party fails to comply with the contract terms; and
- A monitoring/ maintenance report, including effluent quality as specified by the associated alternative OWTS operating permit, shall be submitted to the EHB every 6 months, or as specified by the EHB operating permit; and
- The EHB shall be notified at each contract renewal term, and a copy of the contract shall be submitted to the EHB.

Compliance or Monitoring Action to be Performed: Prior to final inspection of construction permit, submit an executed operations and maintenance contract with an authorized service provider to the Environmental Health Bureau.

8. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a site-specific Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval that describes how the site will be managed during construction to reduce potential impacts protect onsite and nearby sensitive resources, avoid construction nuisance impacts to nearby properties, and reduce congesting/circulation impacts to the local transportation network. The applicant shall be required to adhere to the approved CMP. The Construction Management Plan shall include the following:

- Names and contact information (primary and secondary) of parties responsible for project during construction.
- Summary table including:
 - Types of construction vehicles and number of truck and/or vehicle trips/day.
 - Amount Quantity and extent (acreage) of grading per day (Air Quality Management District Standards).
 - Hours of operation.
 - Project scheduling (dates) and duration of construction.
- Map illustrating:
 - Location of project (vicinity map).
 - Proposed route for hauling material.
 - Location of Sensitive Receptors (schools, hospitals, etc) along haul route.
 - Location of stockpiles and parking for construction vehicles.
 - Sensitive areas (tree protection zones, drainage, environmentally sensitive habitat, slopes, etc) where no parking, stockpiling, construction will occur. Temporary exclusionary fencing and silt fencing be placed along the riverside edge of the existing driveway, under supervision of a qualified biologist.
- The CMP shall: Prescribe measures to reduce traffic impacts including but not limited to scheduling hauling and material deliveries off-peak hours and encouraging carpooling,
 - Avoid impacting access to private properties by not parking on neighboring properties or impinging on the travel lane of access roads.
 - Construction vehicles shall be encouraged to not park directly in-front of neighboring properties.
 - Ensure pedestrian paths of travel are not impeded or that alternative paths of travel are provided.
 - Provide adequate on-site storage and staging areas. On-site staging and storage areas shall be sited on-site to maximum the extent possible to reduce potential noise, dust, glare, and other impacts to neighboring property.
 - If on-site storage and staging areas cannot be accommodated, appropriate best management practices shall be implemented to ensure that off-site storage and staging areas do not adversely impact access or cause excessive noise, dust, or lighting for neighboring properties.
 - The Applicant/Owner may need to obtain separate authorization to utilize off-site storage and staging areas. The owner/applicant shall be responsible for securing this authorization prior to approval of the CMP.
 - Recommendations from the project biologist (LIB240130) , arborist, archaeologist, and/or other qualified professionals relating to construction activities shall be included in the CMP .

- Compliance or Monitoring Action to be Performed:**
1. Prior to issuance of a construction permit, the Owner/Applicant/Contractor shall prepare and submit a CMP meeting the requirements of this condition to HCD-Planning and HCD-Engineering Services for review and approval.
 2. Prior to issuance of a construction permit, the Applicant/Owner/Contractor shall submit a letter from a qualified biologist confirming that the exclusionary fencing has been installed.
 2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

9. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

10. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

11. PD012(F) - LANDSCAPE PLAN & MAINTENANCE (SFD ONLY)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to the HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

12. PD052 - PRE-CONSTRUCTION MEETING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to the commencement of any grading or construction activities, a pre-construction meeting shall be held on the site with the project biologist. The meeting shall include representatives of each of the selected contractors, any consultant who will conduct required monitoring, the Owner/Applicant, the HCD -Planning Department and any other appropriate County Departments. The purpose of the meeting is to review the conditions of approval that are applicable to the grading and construction of the approved development. Specially, the biologist shall discuss the recommendations of the biological report (LIB240130), educate construction crew on how to identify special status species that may occupy the site, and designate a daily monitor. An attendance sheet shall be signed by all attendees and provided to HCD-Planning.

Compliance or Monitoring Action to be Performed: Prior to commencement of any grading or construction activities, the Owner/Applicant/Biologist shall contact HCD -Planning to schedule a pre-construction meeting prior to commencement of any grading or construction activities. The Owner/Applicant shall be responsible for ensuring that all appropriate contractors and technical consultants are in attendance. HCD -Planning staff shall be responsible for identifying and notifying other County Departments that should attend the meeting (if applicable).

13. PD041 - HEIGHT VERIFICATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (HCD - Planning and HCD - Building Services)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

UPDATED SURVEY
OF
PARCEL B AS SHOWN ON
VOLUME X-4 OF SURVEYS AT PAGE 97
23 WAWONA ST, CARMEL VALLEY
MONTEREY COUNTY, CALIFORNIA

Parcel D
12-PM-203
APN 197-101-014

Parcel B
X4-Sur-97
CR #2118
APN 197-101-019

APN 197-261-003

Camp Steffani Rd.

APN 197-091-002

2-C&T-14

APN 197-091-001

APN 197-091-003

APN 197-261-004

Parcel A
35-Sur-14
APN
197-101-018

LEGEND

● FOUND MONUMENT, AS NOTED	--- PROPERTY LINE
○ SEWER CLEANOUT	--- LOT LINE
⊙ MANHOLE	--- OLD LOT LINE
⊕ WATER METER	--- UTILITY EASEMENT LINE
⊕ HOSE BIB	--- TREE DRIP LINE
⊕ FIRE HYDRANT	--- WOOD FENCE LINE
⊕ WELL	--- EDGE OF PAVEMENT
⊕ ELECTRIC METER	--- LIMITS OF FLOOD HAZARD AREAS
⊕ ELECTRIC RISER	--- STONE WALL
⊕ UTILITY POLE	--- BUILDING
--- GUY WIRE	--- CONCRETE
--- SIGN	--- ASPHALT
⊕ POST	--- BRICK
● TREE, TYPE AND DIAMETER SPECIFIED	--- PAVER
X SPOT ELEVATION (IN FEET)	--- DIRT/GRAVEL DRIVEWAY
R1 X4-SUR-97	
R2 12-PM-203	
R3 2-SUR-45	
R4 8-PM-106	
() Record data as noted	
(A) AREA SURVEYED IN APRIL 2023	
(B) AREA SURVEYED IN JULY 2018 AND UPDATED IN 2023 TO REFLECT PERMITTED TREE REMOVAL ACTIVITIES.	

SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION, IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF JIM & LYNDA CAMPBELL, IN JULY, 2018 AND UPDATED IN APRIL 2023.

Lynn A. Kovach

DATED 05-03-2023

LYNNA A. KOVACH
P.L.S. 5321



BASIS OF BEARINGS

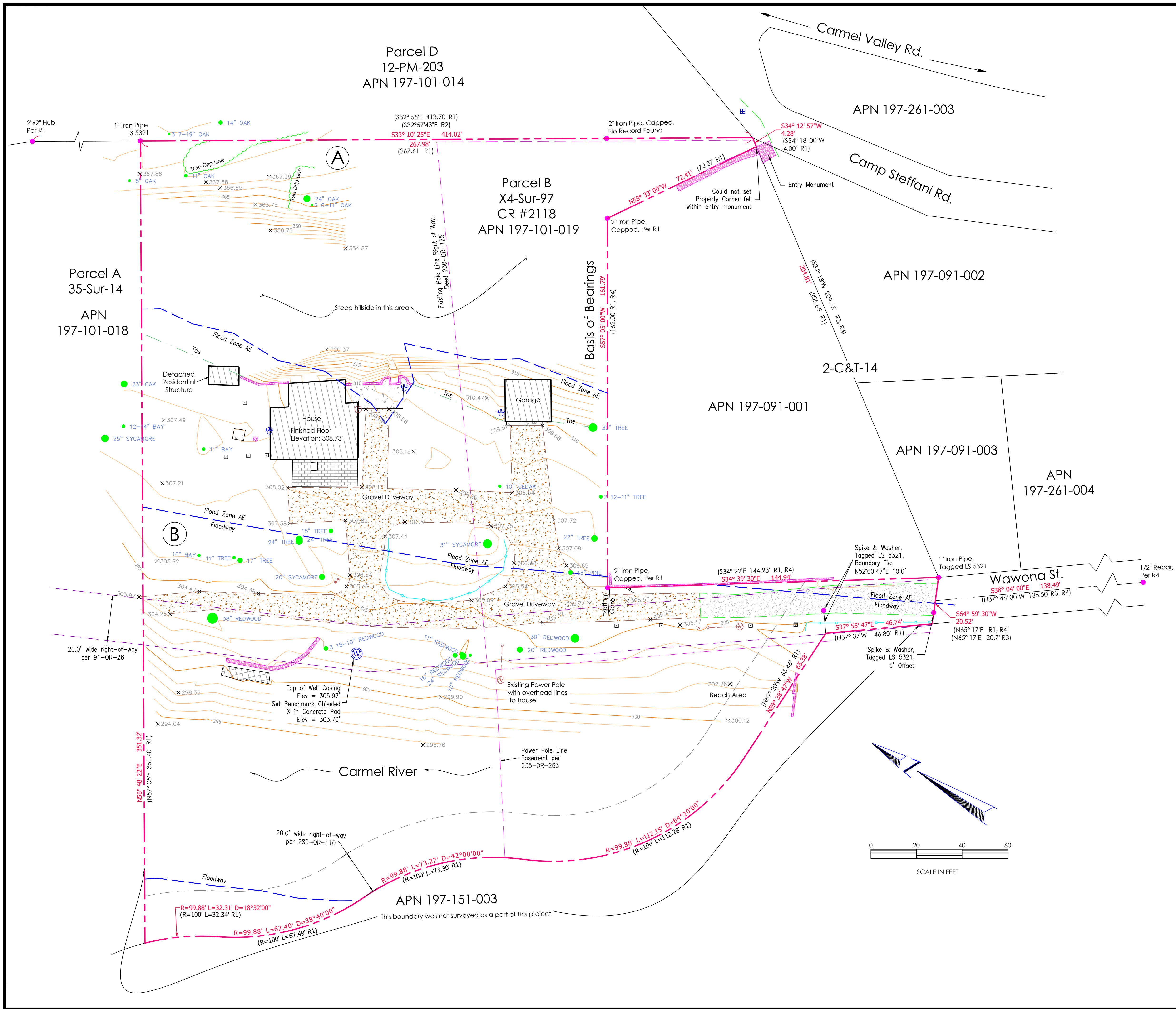
THE BEARING OF S 57°05' W ALONG THE EASTERLY PROPERTY LINE AS SHOWN ON THE MAP RECORDED IN VOLUME X4 OF SURVEYS AT PAGE 97 AS FOUND MONUMENTED, WAS TAKEN AS BASIS OF BEARINGS SHOWN UPON THIS MAP.

NOTES

- DISTANCES ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
- FLOOD HAZARD LINES SHOWN HEREON ARE APPROXIMATE AND DO NOT CONSTITUTE A FLOOD ZONE DETERMINATION.
- THE PARCEL TOPOGRAPHY ABOVE THE TOE OF SLOPE (EXCEPT AREA LABELED (A)) WAS NOT SURVEYED. IT EXCEEDS 30% SLOPE AND HAS AREAS OF MANY TREES.
- ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 1988 DATUM AS ESTABLISHED BY TIES TO NGS BENCHMARK GU 2842, ELEVATION = 411.4'.
- THE EASEMENTS SHOWN HEREON ARE LISTED IN PRELIMINARY TITLE REPORT ORDER NUMBER FWMN-5251800061-MM., DATED 2/7/18, PREPARED BY CHICAGO TITLE COMPANY.

PREPARED FOR: Jim & Lynda Campbell
SURVEYED BY: POLARIS LAND SURVEYING
P. O. BOX 1378
CARMEL VALLEY, CA 93924
831-659-9564

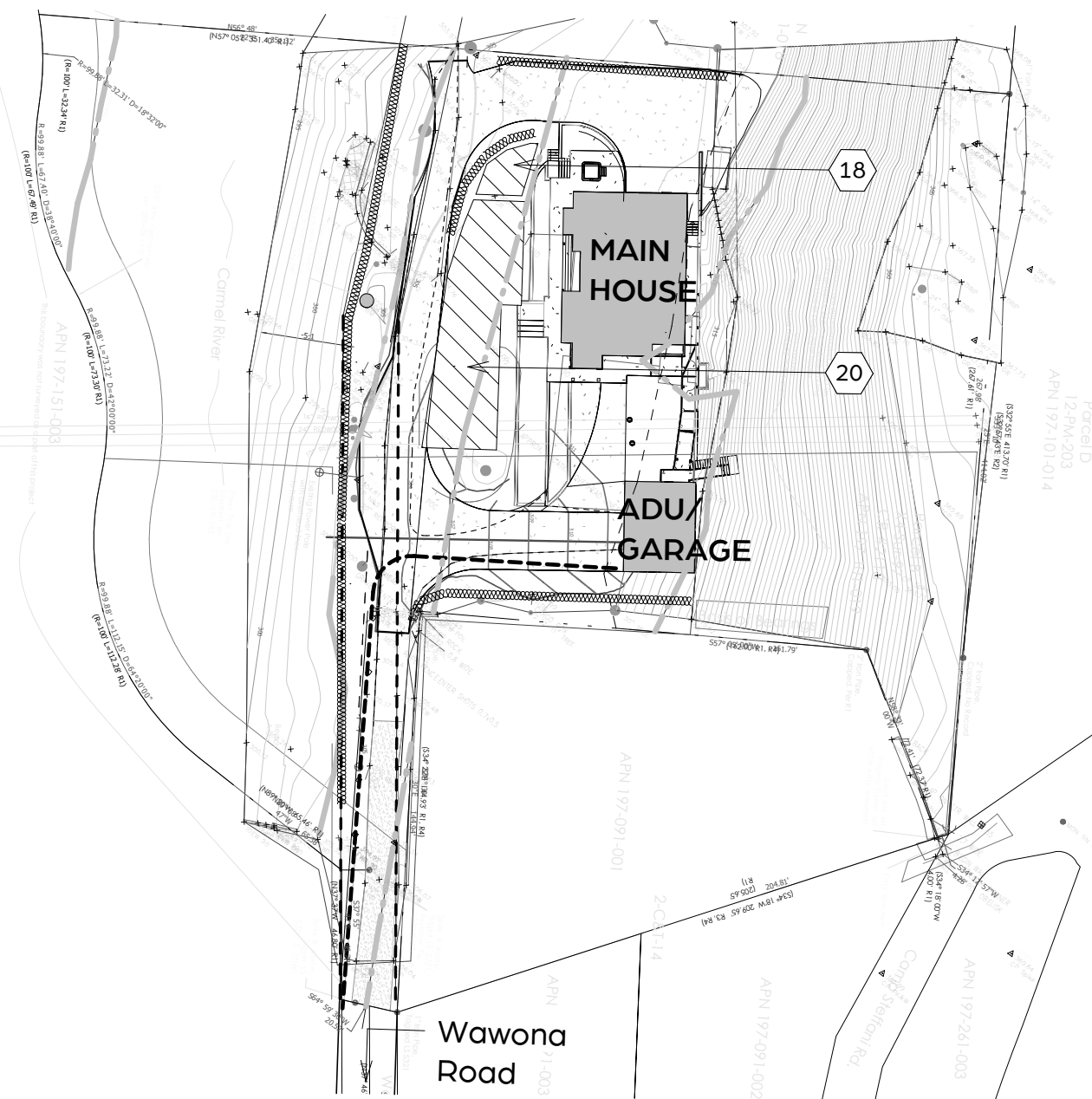
SCALE: 1" = 20' VIEW: ARCH D DATE: May 03, 2023
FILE NAME: Campbell Site.dwg JOB #23-155 Sheet 1 of 1



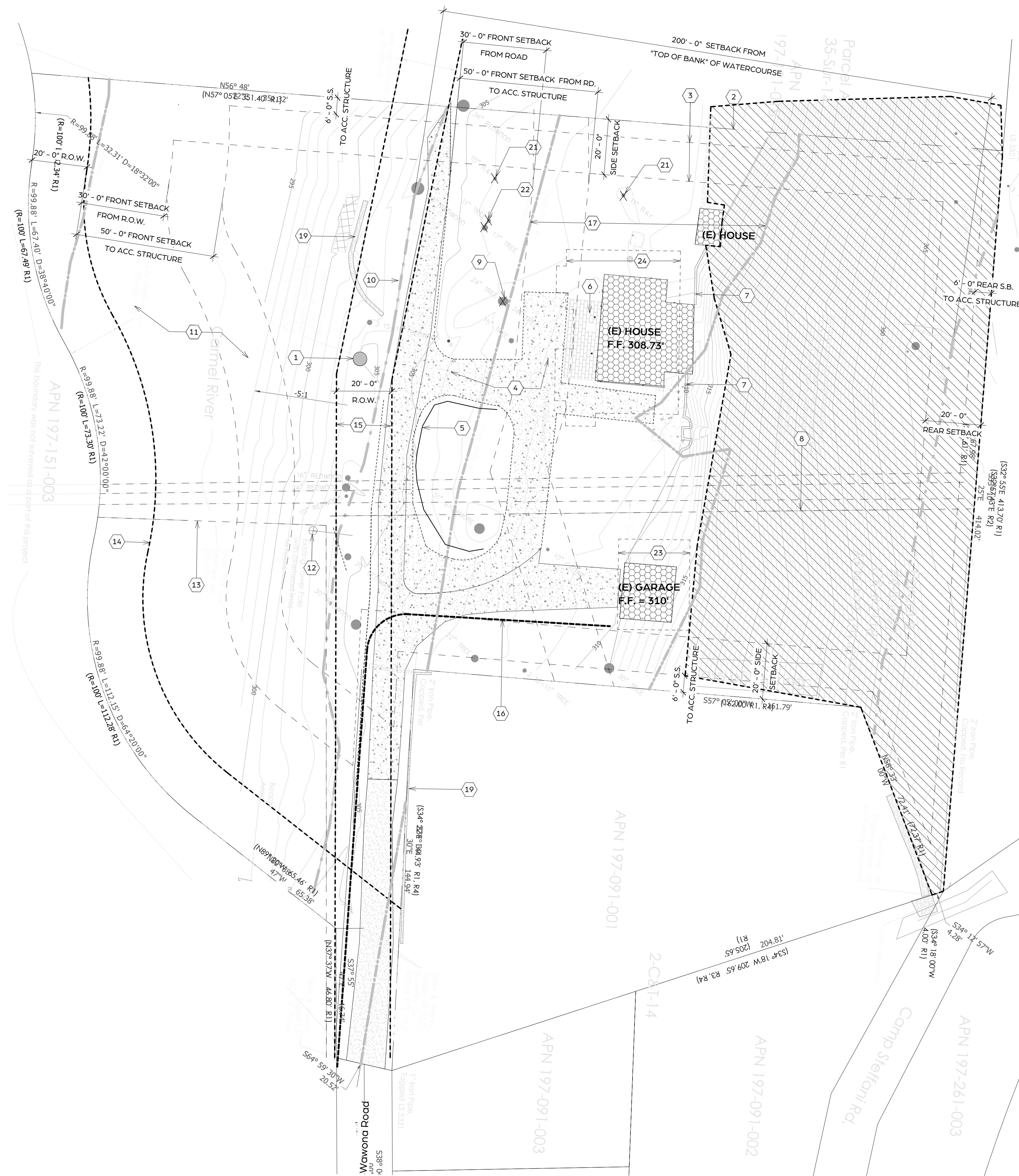
CONSTRUCTION

MANAGEMENT NOTES:

1. NO WORK ON EAST HILL. NO PROTECTIVE MEASURES
2. (E) DRIVEWAY IS GRAVEL & EXTENDS 100 FEET PAST EXIT. NO CONSTRUCTION ENTRANCE NECESSARY
3. SPOILS WILL BE MOVED FROM EXCAVATION AREA TO FILL AREA WITH MINIMUM STORAGE TIME. COVER W/PLASTIC IF STORED
4. REFER TO CIVIL DRAWINGS FOR MORE DETAILS & EROSION CONTROL PLAN



(B) Construction Waste Plan
1" = 60'-0"



(A) Demolition Site Plan
1" = 20'-0"



SHEET NOTES

- 1 (E) WELL TO REMAIN
- 2 (E) PROPERTY LINE
- 3 (E) SETBACK LINES
- 4 (E) GRAVEL DRIVEWAY TO BE REPLACED/EXPANDED
- 5 (E) FENCE TO BE REPLACED
- 6 PATIO TO BE REMOVED
- 7 (E) GARDEN WALL TO BE REMOVED
- 8 (E) PG & E R.O.W.
- 9 (E) COTTONWOOD TREE TO BE REMOVED
- 10 EDGE OF CARMEL RIVER BANK
- 11 CARMEL RIVER. SEE SURVEY
- 12 (E) POWER POLE
- 13 (E) POWER POLE LINE EASEMENT
- 14 (E) 20 FOOT R.O.W. AT RIVERBANK
- 15 (E) 20 FOOT R.O.W. AT DRIVE
- 16 (E) CALAM WATER SUPPLY LINE
- 17 100 YEAR FLOOD WAY
- 18 TRASH STORAGE
- 19 PROTECT (E) GARDEN WALL
- 20 CONSTRUCTION MATERIAL STORAGE
- 21 (E) BAY LAUREL TREE TO BE REMOVED
- 22 (E) BUCKEYE TREE TO BE REMOVED
- 23 EXTENTS OF PROPOSED ADU/GARAGE
- 24 EXTENTS OF PROPOSED MAIN HOUSE

LEGEND

- PROPOSED STRUCTURES
- ▣ EXISTING STRUCTURES TO BE REMOVED
- ▤ AREA OF 25% OR GREATER SLOPE
- ▥ 5'-0" WIDE OVER-EXCAVATION IN AREAS OF 25% SLOPE
- ▩ FIBER ROLL
- PROPOSED CONTOUR LINES/CHANGES TO TOPOGRAPHY - SEE CIVIL DRAWINGS

PROJECT:
CAMPBELL HOUSE
23 WAWONA ROAD
CARMEL VALLEY, CA
93924

OWNER:
CAMPBELL FAMILY TRUST

APN:
197-101-019-000

PROJECT NO: 0091



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SCALE: As indicated

DRAWN BY: MH
PRINT DATE: 10.16.24
DRAWING DATE: 5.3.24
DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

SHEET TITLE:
DEMOLITION SITE PLAN & CONSTRUCTION MANAGEMENT PLAN

SHEET NUMBER:
A1.1

PROJECT:
CAMPBELL HOUSE
 23 WAWONA ROAD
 CARMEL VALLEY, CA
 93924
 OWNER:
 CAMPBELL FAMILY TRUST
 APN:
 197-101-019-000
 PROJECT NO: 0091



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SHEET NOTES

- 1 (N) GRAVEL DRIVEWAY, 12 FT WIDE MIN.
- 2 (E) PROPERTY LINE
- 3 (E) SETBACK LINES
- 4 EDGE OF ROOF LINE
- 5 (E) 20 FOOT R.O.W. AT RIVERBANK
- 6 (E) 20 FOOT R.O.W. AT DRIVE
- 7 (N) GRAVEL PATH
- 8 (N) STONE CLAD STEPS AT GRADE
- 9 (N) FLAGSTONE PAVERS @ PATHS NEAR HOUSE, TYP.
- 10 (N) TURNOUT MIDWAY ALONG DRIVEWAY. SEE FIRE DEPARTMENT NOTES
- 11 (N) SOLAR PANELS @ EASTERN ROOF
- 12 (N) WOOD DECK ACCESS TO ADU w/42" H GUARDRAIL
- 13 (N) FENCE
- 14 (N) DG PATHWAY w/TRELLIS ABOVE
- 15 (N) PLANTED AREA & 24" HIGH MAX GARDEN WALLS
- 16 (N) DG BOCCO COURT & STONE CLAD STEPS
- 17 (N) HOT TUB
- 18 (N) RETAINING WALL. SEE CIVIL DRAWINGS
- 19 (N) 42" HIGH GUARDRAIL @ UPPER TERRACE
- 20 SEE CIVIL PLANS FOR PROPOSED GRADING
- 21 EXTENTS OF (E) GRAVEL DRIVEWAY
- 22 DRIVEWAY TURNAROUND. SEE FIRE DEPARTMENT NOTES
- 23 (E) PG & E R.O.W.
- 24 EDGE OF CARMEL RIVER BANK
- 25 (E) WELL TO REMAIN
- 26 369 S.F. OF DISTURBED AREA IN 25% SLOPE ZONE (INCLUDES OVEREX)

SCALE: As indicated
 DRAWN BY: MH
 PRINT DATE: 10.16.24
 DRAWING DATE: 5.3.24
 DATE ISSUED FOR CONSTRUCTION:
 REVISIONS:

LEGEND

- PROPOSED STRUCTURES
- EXISTING STRUCTURES TO BE REMOVED
- AREA OF 25% OR GREATER SLOPE
- 5'-0" WIDE OVER-EXCAVATION IN AREAS OF 25% SLOPE
- FIBER ROLL
- PROPOSED CONTOUR LINES/CHANGES TO TOPOGRAPHY - SEE CIVIL DRAWINGS

SHEET TITLE:
PROPOSED SITE PLAN

SHEET NUMBER:
A1.2



Proposed Site Plan
 1" = 20'-0"
 PROJECT NORTH

PROJECT:
CAMPBELL HOUSE
 23 WAWONA ROAD
 CARMEL VALLEY, CA
 93924
 OWNER:
 CAMPBELL FAMILY TRUST
 APN:
 197-101-019-000
 PROJECT NO: 0091

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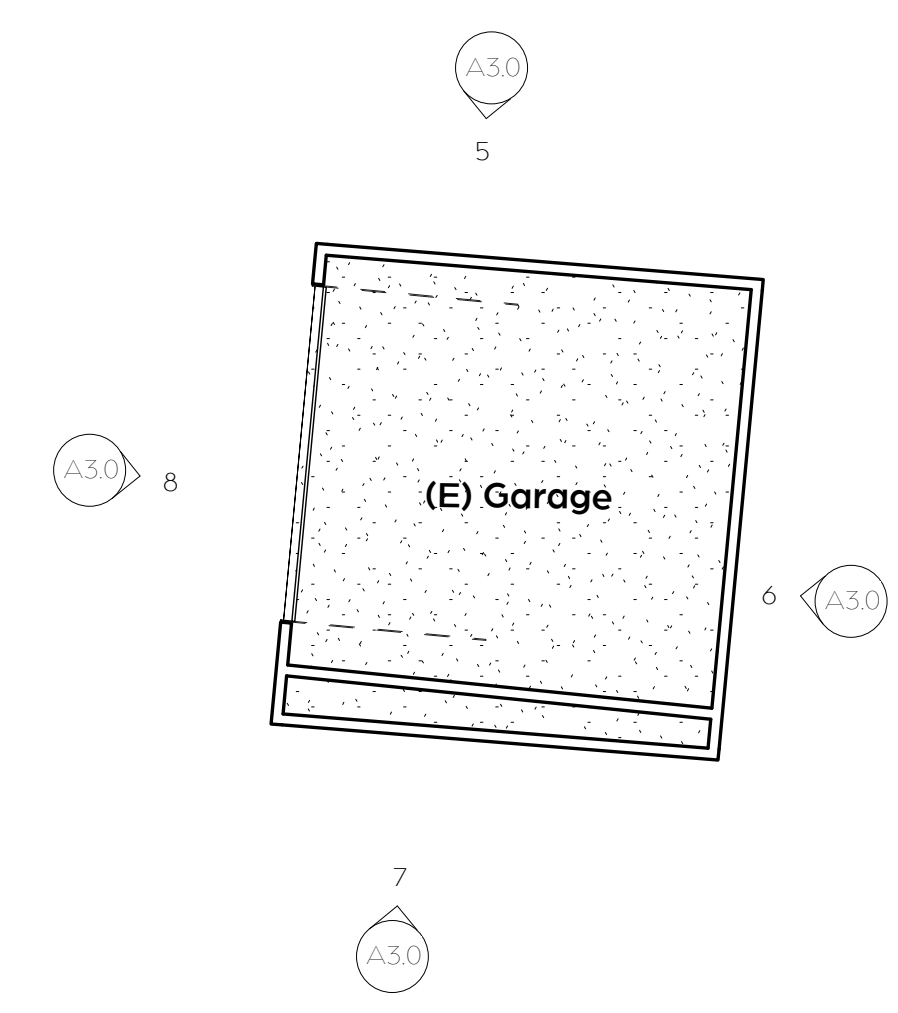
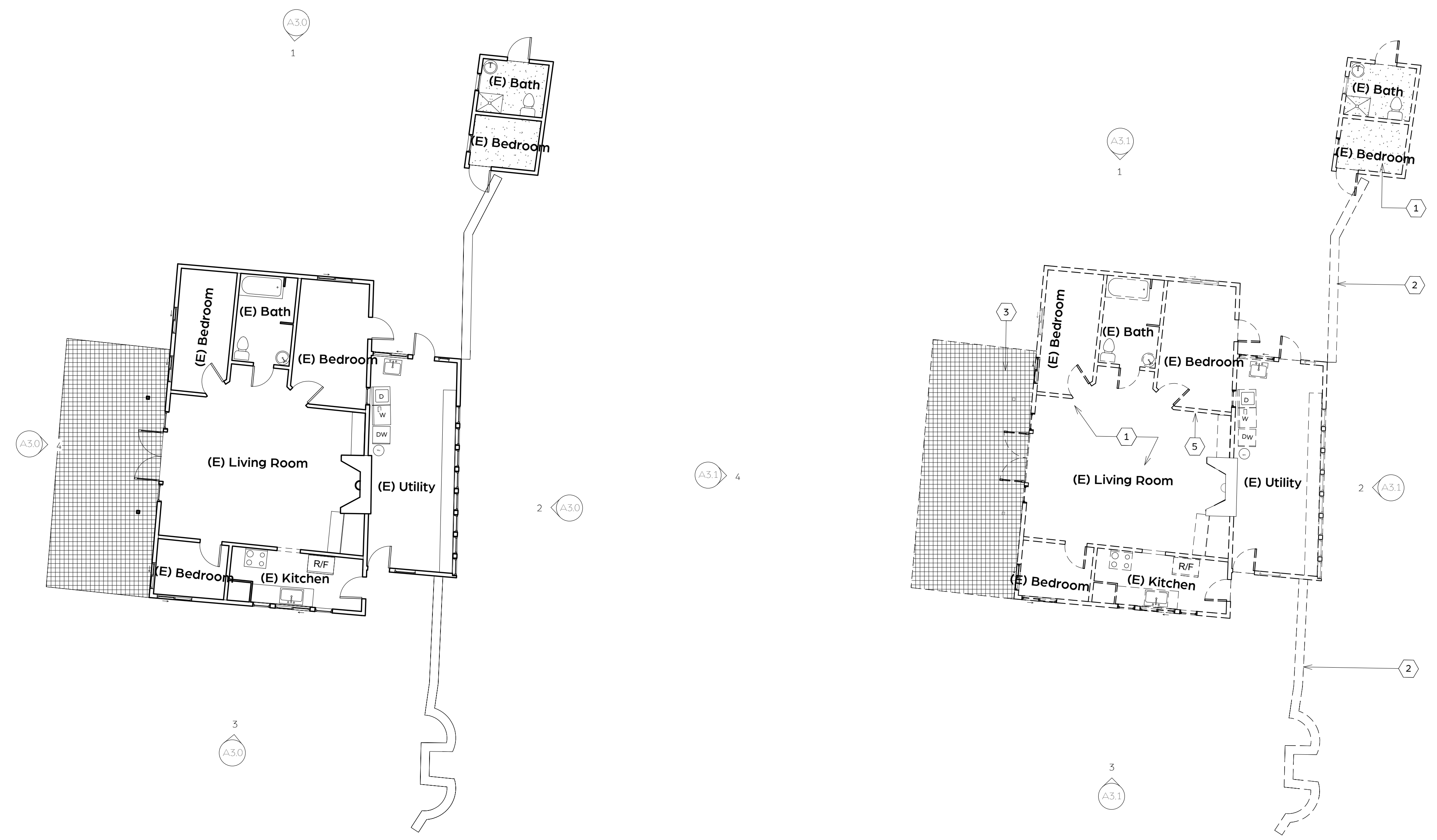
SHEET NOTES

- 1 REMOVE (E) WALLS, FLOORING, ROOF, FINISHES, WINDOWS, FITTINGS & FIXTURES
- 2 (E) GARDEN RETAINING WALL TO BE REMOVED
- 3 REMOVE (E) BRICK PATIO
- 4 REMOVE (E) CONCRETE SLAB, WALLS & ROOF
- 5 SALVAGE (E) REDWOOD PANELING FOR REUSE

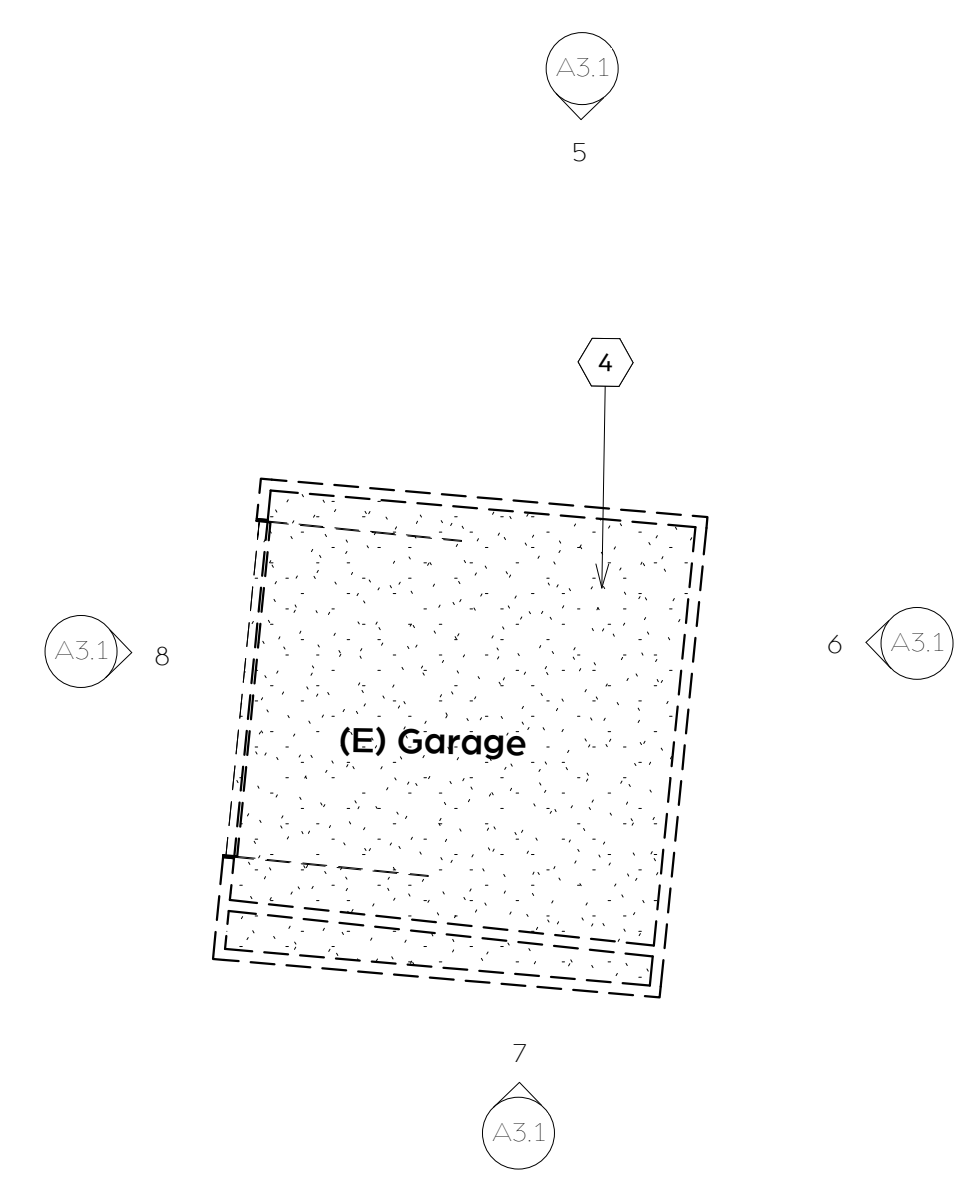
SCALE: As indicated
 DRAWN BY: MH
 PRINT DATE: 10.16.24
 DRAWING DATE: 5.3.24
 DATE ISSUED FOR CONSTRUCTION:
 REVISIONS:

SHEET TITLE:
EXISTING & DEMOLITION FLOOR PLANS

SHEET NUMBER:
A2.0



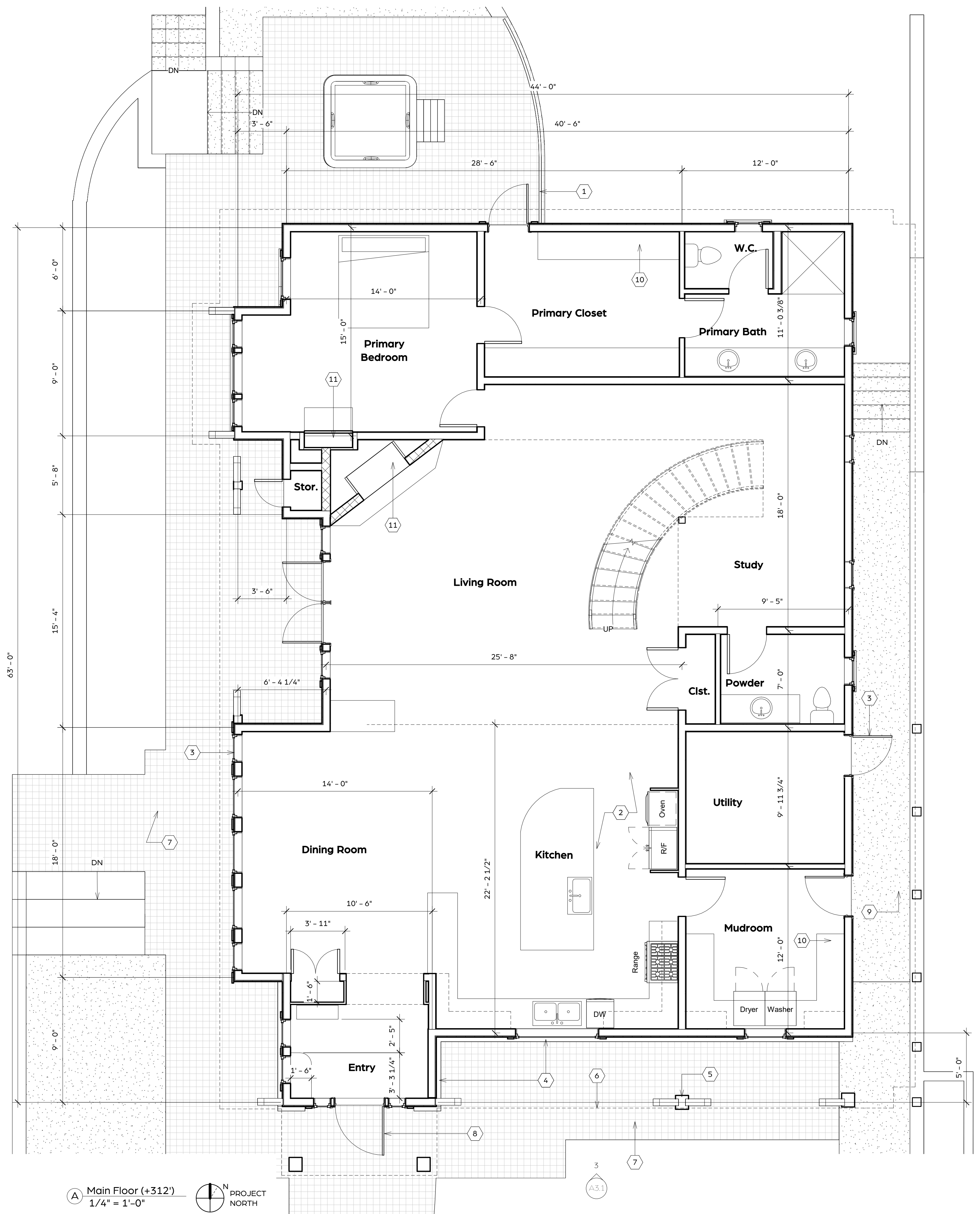
A Existing Floor Plans
 1/8" = 1'-0" PROJECT NORTH



B Demolition Floor Plans
 1/8" = 1'-0" PROJECT NORTH

WALL LEGEND

- EXISTING WALL
- EXISTING WALL TO BE DEMOLISHED
- NEW WOOD STUD WALL:
 2x6 @ 16"o.c. TYP. AT EXTERIOR WALLS U.O.N.
 2x4 @ 16"o.c. TYP. AT INTERIOR WALLS U.O.N.
- NEW CONCRETE FOOTING



SHEET NOTES

- 1 (N) 42" HIGH GUARDRAIL @ UPPER TERRACE
- 2 (N) CASEWORK, APPLIANCES, FITTINGS, FIXTURES & FINISHES THROUGHOUT
- 3 (N) ALUMINUM CLAD WOOD WINDOWS & DOORS TYP.
- 4 (N) STONE CLAD WALL BELOW
- 5 (N) POST
- 6 EDGE OF ROOF ABOVE
- 7 (N) FLAGSTONE PAVERS @ PATHS NEAR HOUSE, TYP.
- 8 (N) CUSTOM WOOD DOOR @ ENTRY
- 9 (N) DG PATHWAY w/TRELLIS ABOVE
- 10 (N) CASEWORK
- 11 (N) DIRECT VENT GAS FIREPLACE INSERT & HEARTH

PROJECT:
CAMPBELL HOUSE
 23 WAWONA ROAD
 CARMEL VALLEY, CA
 93924
 OWNER:
 CAMPBELL FAMILY TRUST
 APN:
 197-101-019-000
 PROJECT NO: 0091



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SCALE: 1/4" = 1'-0"

DRAWN BY: MH
 PRINT DATE: 10.16.24
 DRAWING DATE: 6.17.24
 DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

SHEET TITLE:
PROPOSED MAIN FLOOR & LOWER FLOOR PLANS

SHEET NUMBER:

A2.1

WALL LEGEND

- EXISTING WALL
- EXISTING WALL TO BE DEMOLISHED
- NEW WOOD STUD WALL:
 2x6 @ 16" o.c. TYP. AT EXTERIOR WALLS U.O.N.
 2x4 @ 16" o.c. TYP. AT INTERIOR WALLS U.O.N.
- NEW CONCRETE FOOTING

A Main Floor (+312')
 1/4" = 1'-0"
 PROJECT NORTH

SHEET NOTES

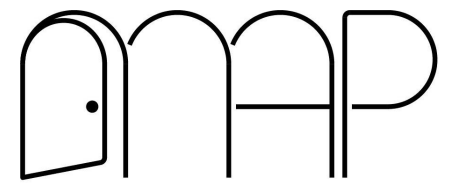
- 1 (N) ALUMINUM CLAD WOOD WINDOWS & DOORS TYP.
- 2 (N) ROOF BELOW
- 3 DORMER & WINDOW SEAT
- 4 OPEN TO BELOW
- 5 (N) TRELLIS & COVERED WALKWAY BELOW

PROJECT:
CAMPBELL HOUSE
 23 WAWONA ROAD
 CARMEL VALLEY, CA
 93924

OWNER:
 CAMPBELL FAMILY TRUST

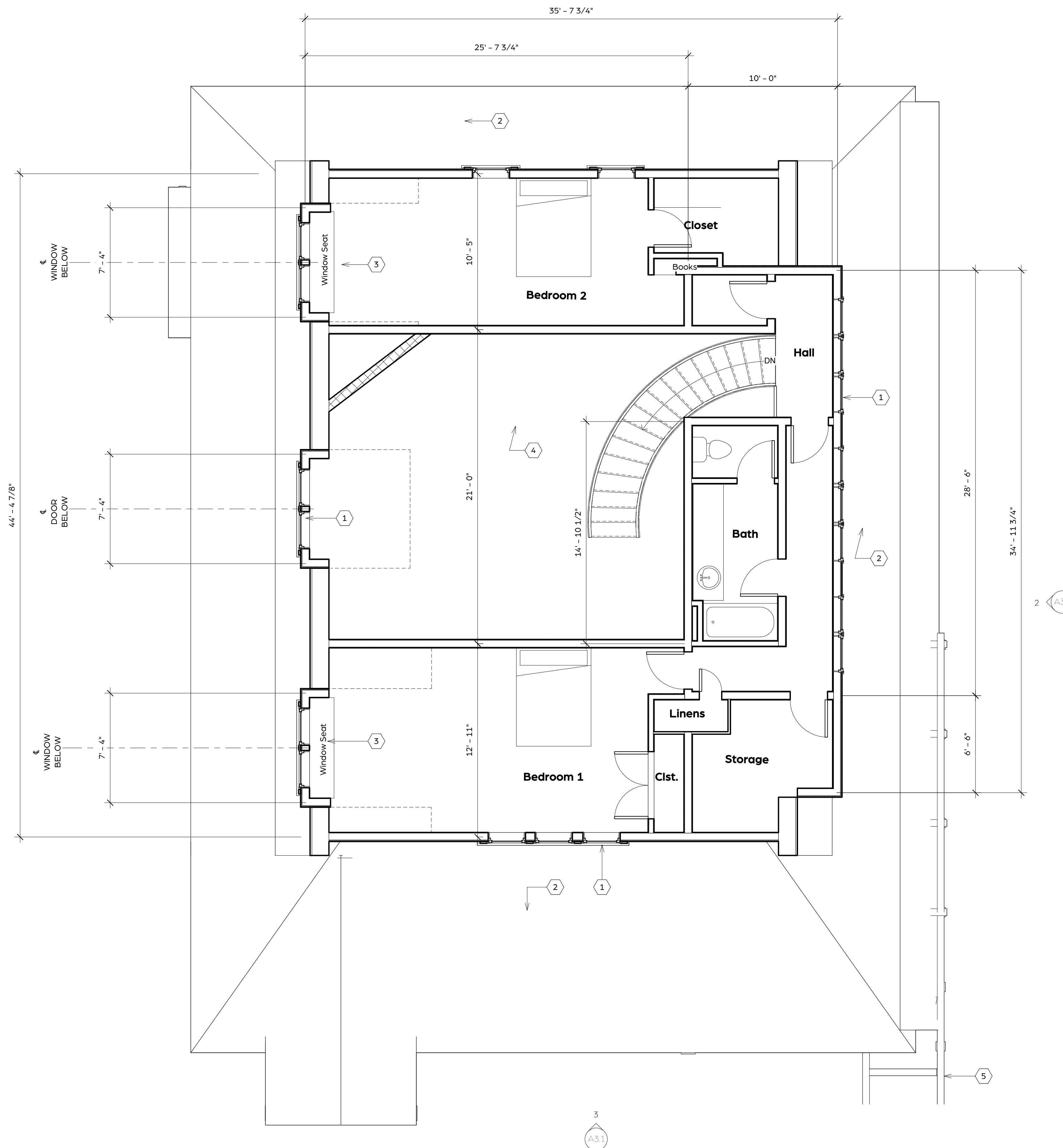
APN:
 197-101-019-000

PROJECT NO: 0091



Merritt Amanti Palminteri Architect AIA, LEED AP
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SCALE: 1/4" = 1'-0"

DRAWN BY: MH
 PRINT DATE: 10.16.24
 DRAWING DATE: 6.17.24
 DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

SHEET TITLE:
PROPOSED UPPER FLOOR PLANS

SHEET NUMBER:

A2.2

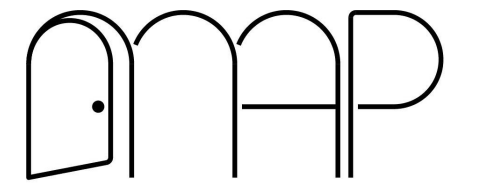
A Upper Floor
 1/4" = 1'-0"



PROJECT:
CAMPBELL HOUSE
 23 WAWONA ROAD
 CARMEL VALLEY, CA
 93924
 OWNER:
 CAMPBELL FAMILY TRUST
 APN:
 197-101-019-000
 PROJECT NO: 0091

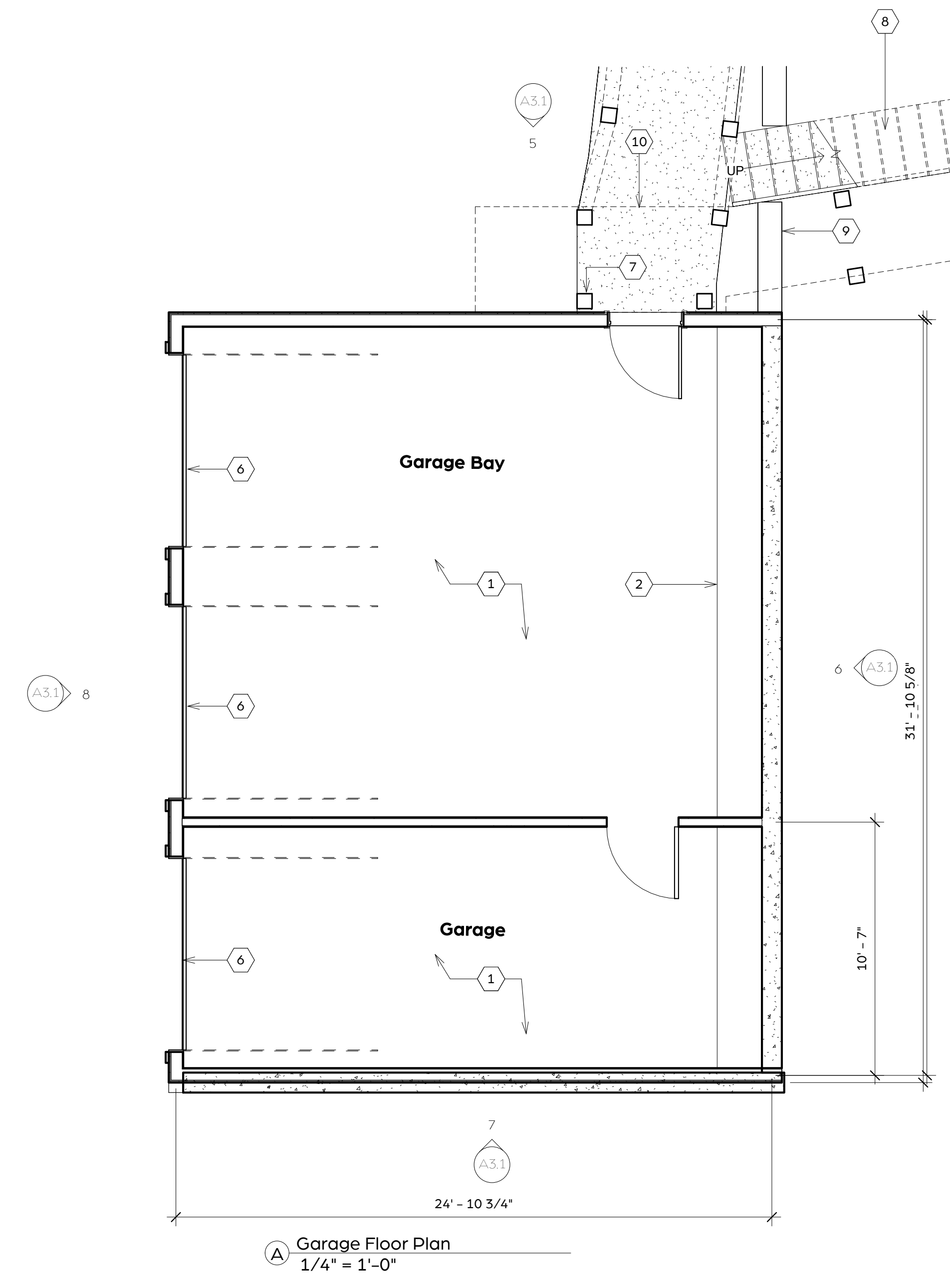
SHEET NOTES

- 1 (N) CONCRETE SLAB, SLOPED TOWARD OPENING
- 2 (N) CASEWORK
- 3 (N) WOOD DECK & STAIRS TO GRADE
- 4 (N) CASEWORK, APPLIANCES, FITTINGS, FIXTURES & FINISHES THROUGHOUT
- 5 (N) ALUMINUM CLAD WOOD WINDOWS & DOORS TYP.
- 6 (N) WOOD GARAGE DOOR
- 7 (N) POST
- 8 (N) STONE CLAD STEPS AT GRADE
- 9 (N) RETAINING WALL
- 10 EDGE OF DECK LANDING & STAIRS ABOVE

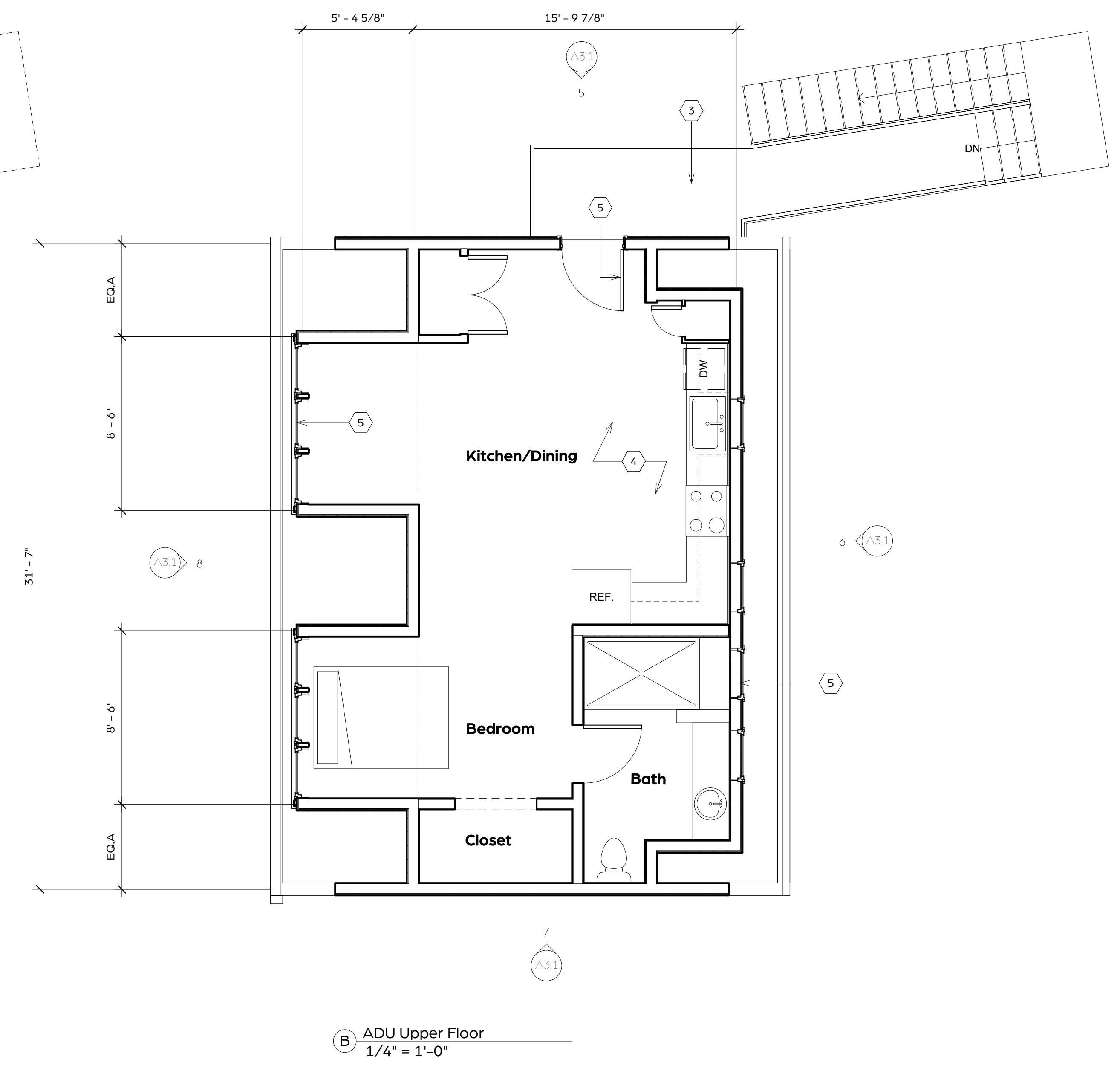


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A Garage Floor Plan
 1/4" = 1'-0"



B ADU Upper Floor
 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

DRAWN BY: MH
 PRINT DATE: 10.16.24
 DRAWING DATE: 5.3.24
 DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

SHEET TITLE:
PROPOSED ADU & GARAGE FLOOR PLANS

SHEET NUMBER:
A2.3

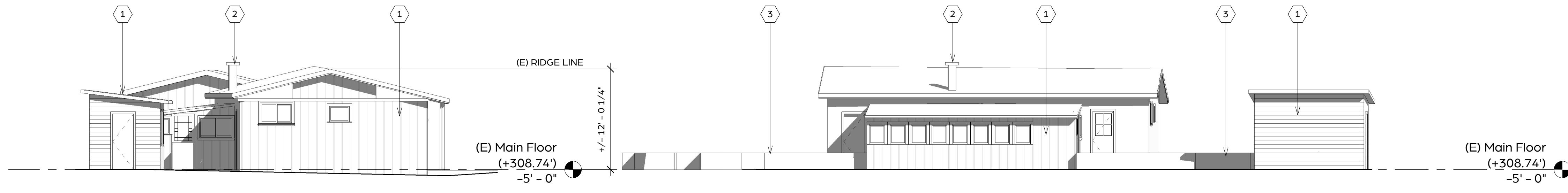
SHEET NOTES

- 1 REMOVE (E) WALLS, WINDOWS, DOORS & ROOF
- 2 REMOVE (E) CHIMNEY PIPE
- 3 (E) GARDEN RETAINING WALL TO BE REMOVED

PROJECT:
CAMPBELL HOUSE
 23 WAWONA ROAD
 CARMEL VALLEY, CA
 93924
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 CAMPBELL FAMILY TRUST
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 197-101-019-000
 PROJECT NO: 0091

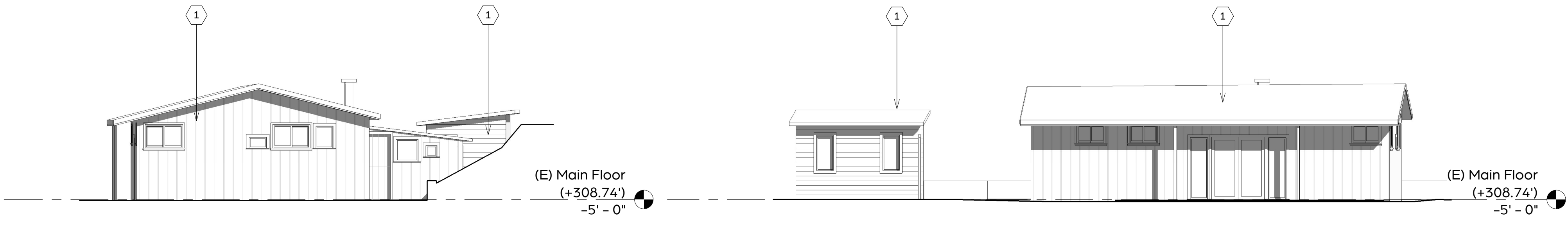


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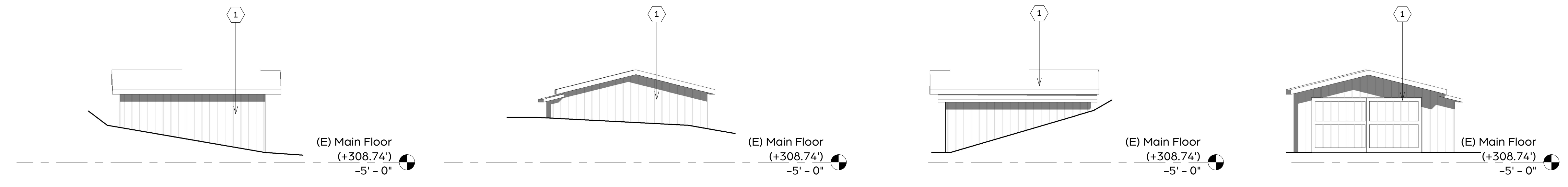
1 Existing Houses - North Elevation
 1/8" = 1'-0"

2 Existing Houses - East Elevation
 1/8" = 1'-0"



3 Existing Houses - South Elevation
 1/8" = 1'-0"

4 Existing Houses - West Elevation
 1/8" = 1'-0"



5 Existing Garage - North Elevation
 1/8" = 1'-0"

6 Existing Garage - East Elevation
 1/8" = 1'-0"

7 Existing Garage - South Elevation
 1/8" = 1'-0"

8 Existing Garage - West Elevation
 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"
 DRAWN BY: MH
 PRINT DATE: 10.16.24
 DRAWING DATE: 5.3.24
 DATE ISSUED FOR CONSTRUCTION:
 REVISIONS:

SHEET TITLE:
 EXISTING EXTERIOR
 ELEVATIONS

SHEET NUMBER:
A3.0

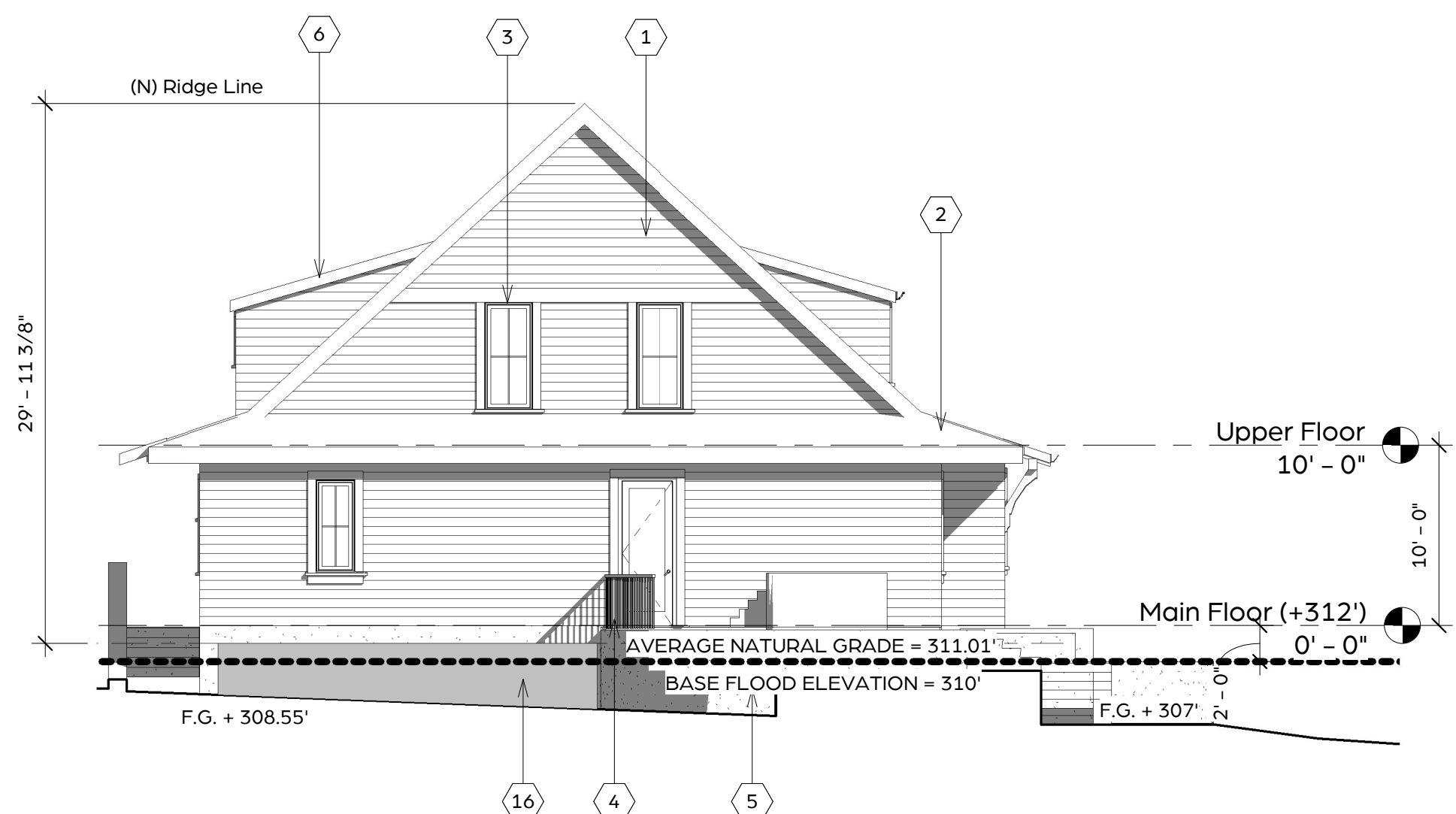
PROJECT:
CAMPBELL HOUSE
 23 WAWONA ROAD
 CARMEL VALLEY, CA
 93924
 OWNER:
 CAMPBELL FAMILY TRUST
 APN:
 197-101-019-000
 PROJECT NO: 0091



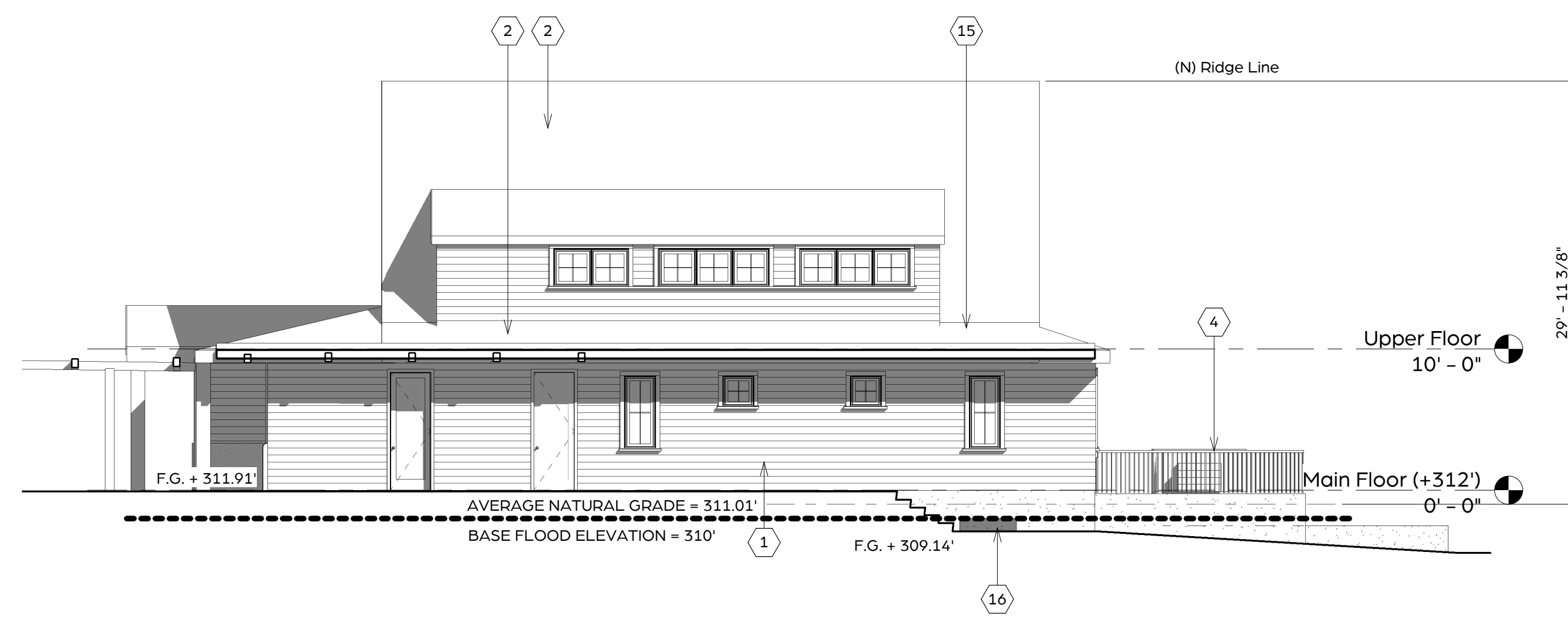
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SHEET NOTES

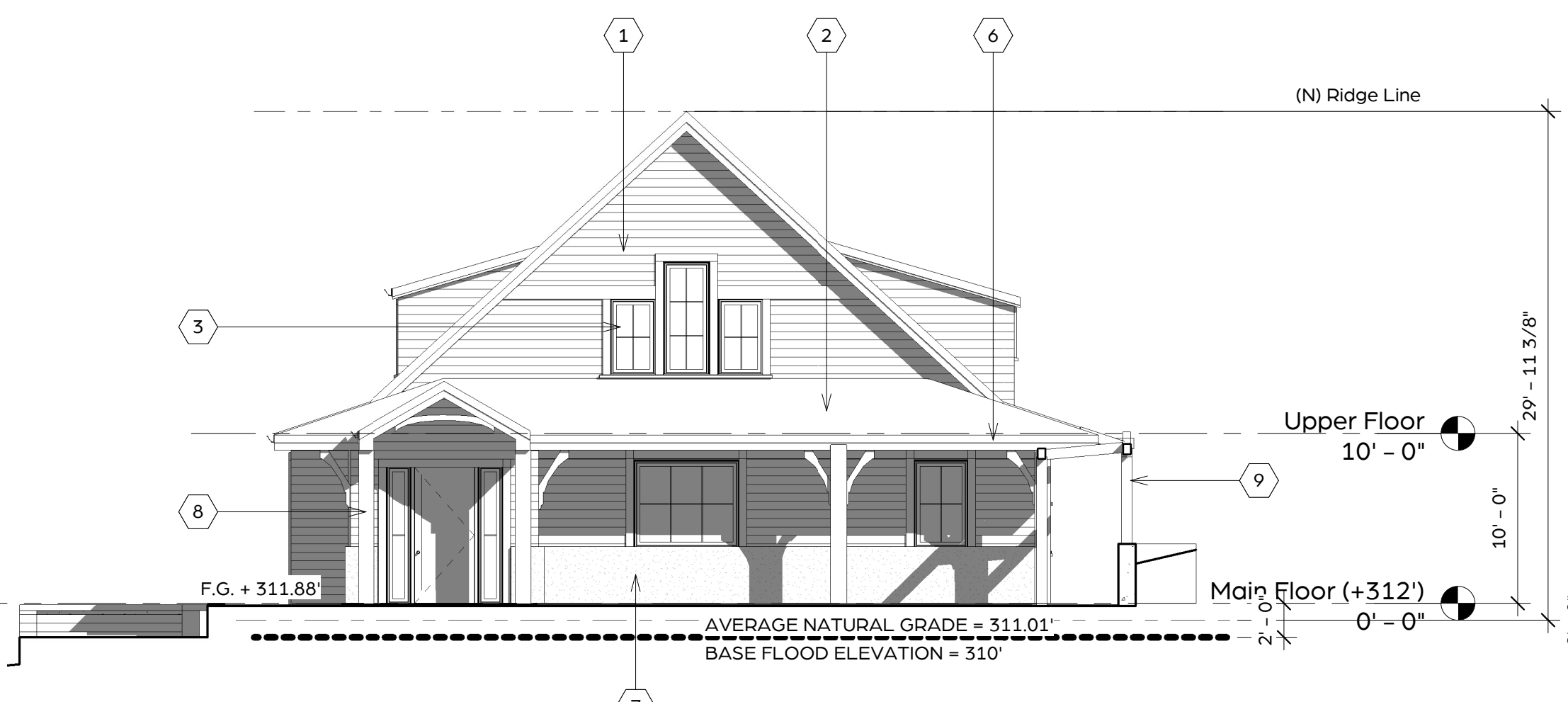
- 1 (N) FIRE RESISTANT HORIZONTAL SIDING, PAINTED
- 2 (N) ASPHALT COMPOSITION SHINGLE ROOF
- 3 (N) ALUMINUM CLAD WOOD WINDOWS & DOORS
- 4 (N) 42"H GUARDRAIL
- 5 (N) RETAINING WALL. SEE CIVIL DRAWINGS
- 6 (N) WOOD FASCIA & METAL GUTTERS. SEE WUI DETAILS & CHECKLIST
- 7 (N) STONE CLAD PLINTH
- 8 (N) WOOD POSTS
- 9 (N) WOOD TRELLIS & COVERED WALK
- 10 (N) STONE CLAD GARDEN WALLS
- 11 (N) DECORATIVE WOOD CORBELS
- 12 (N) WOOD DECK & STAIRS TO GRADE
- 13 (N) WOOD TRIM, SILL & APRON
- 14 (N) WOOD GARAGE DOOR
- 15 PREP THIS PORTION OF ROOF FOR SOLAR PANELS
- 16 (N) OPENING TO ALLOW FOR AUTOMATIC PASSAGE OF WATER IN & OUT. SEE CIVIL DRAWINGS



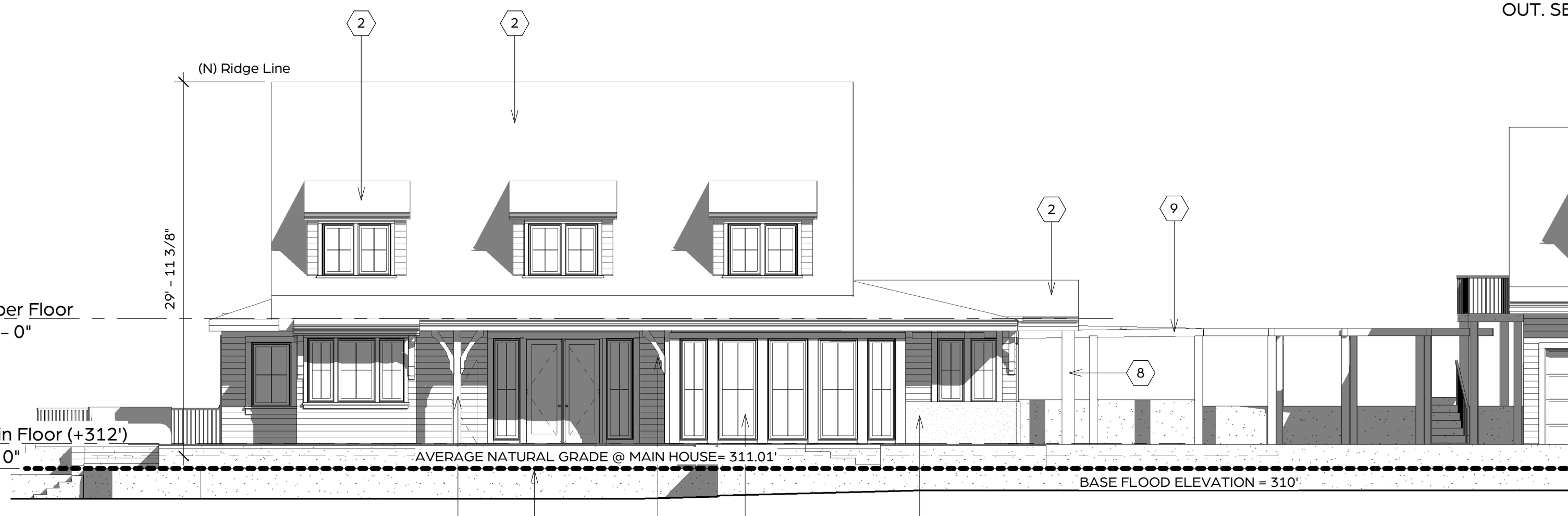
1 Main House - North Elevation
 1/8" = 1'-0"



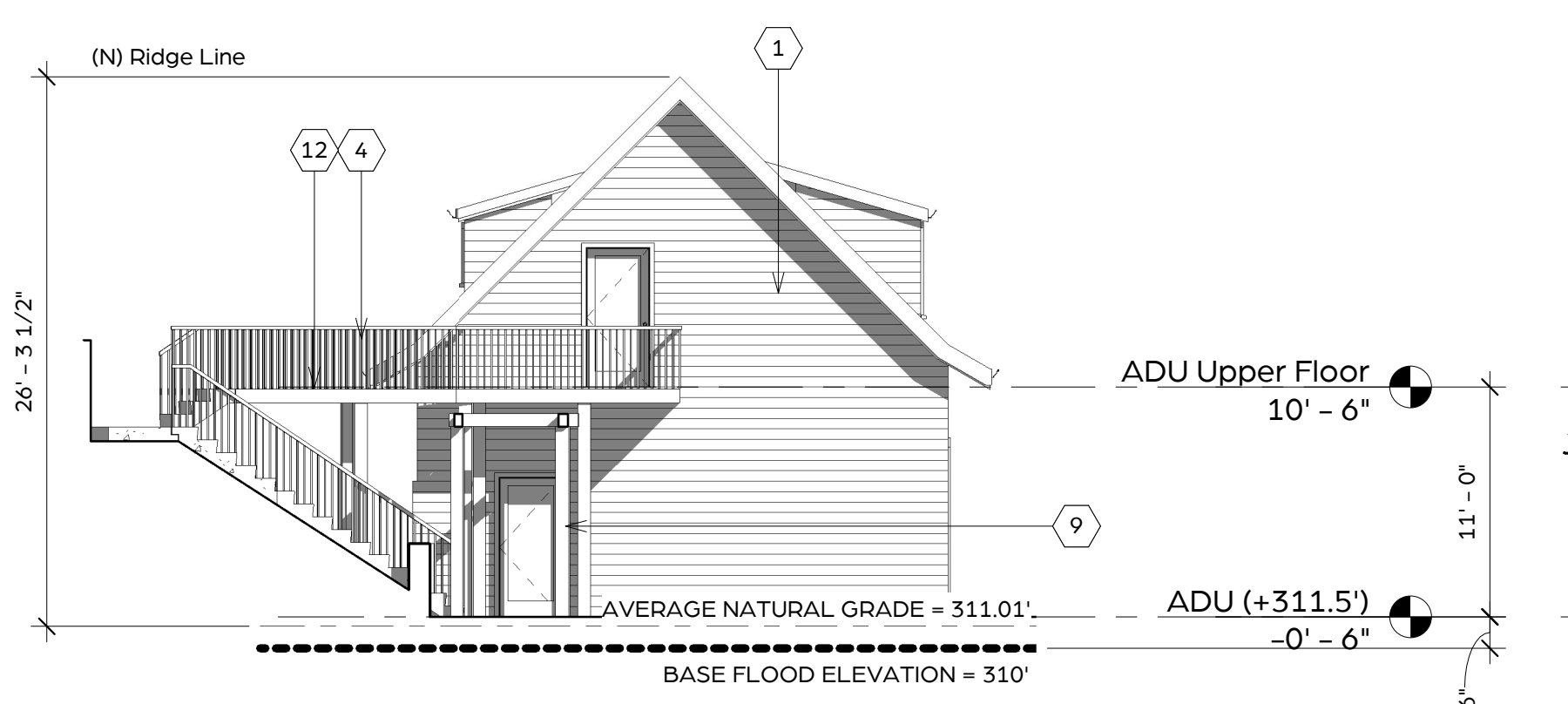
2 Main House - East Elevation
 1/8" = 1'-0"



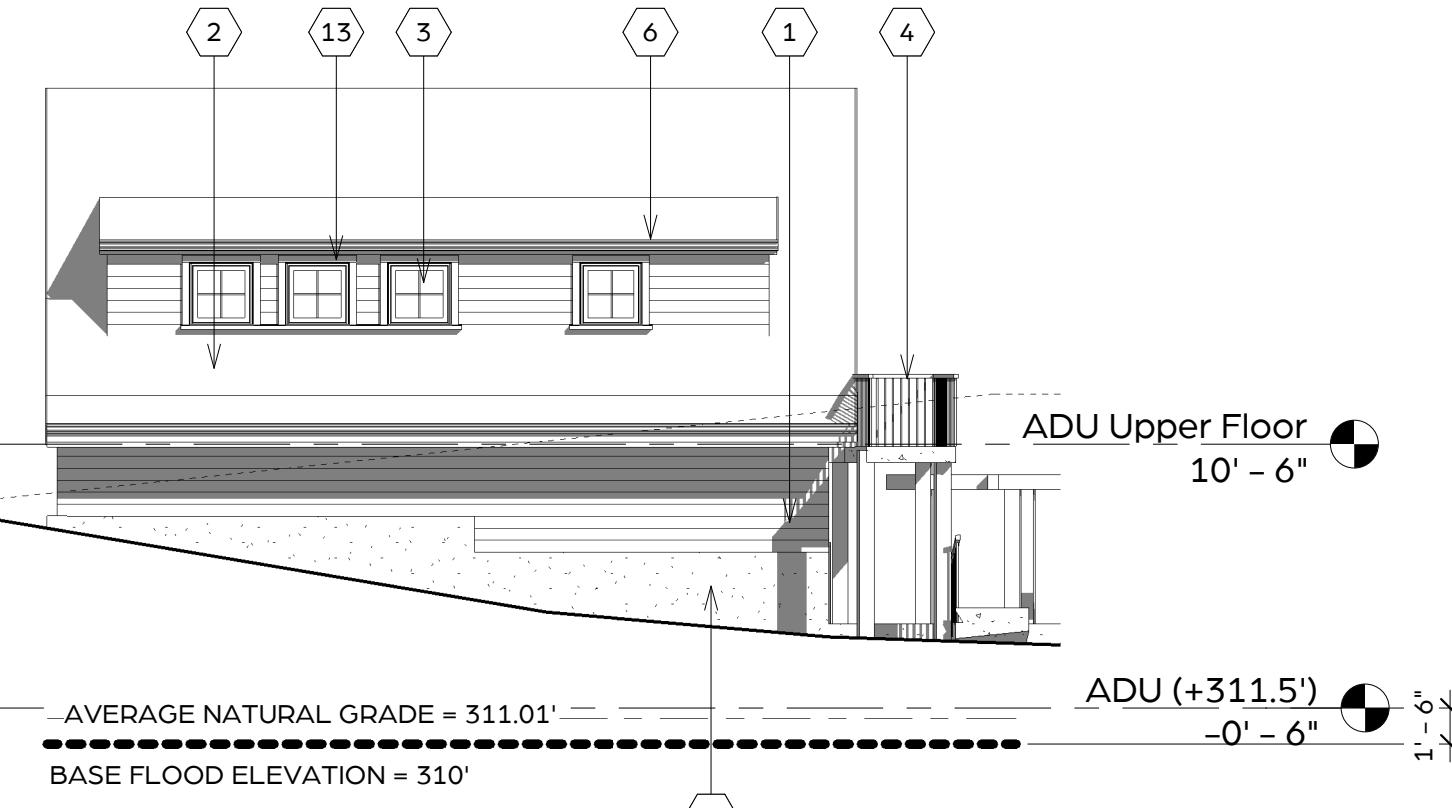
3 Main House - South Elevation
 1/8" = 1'-0"



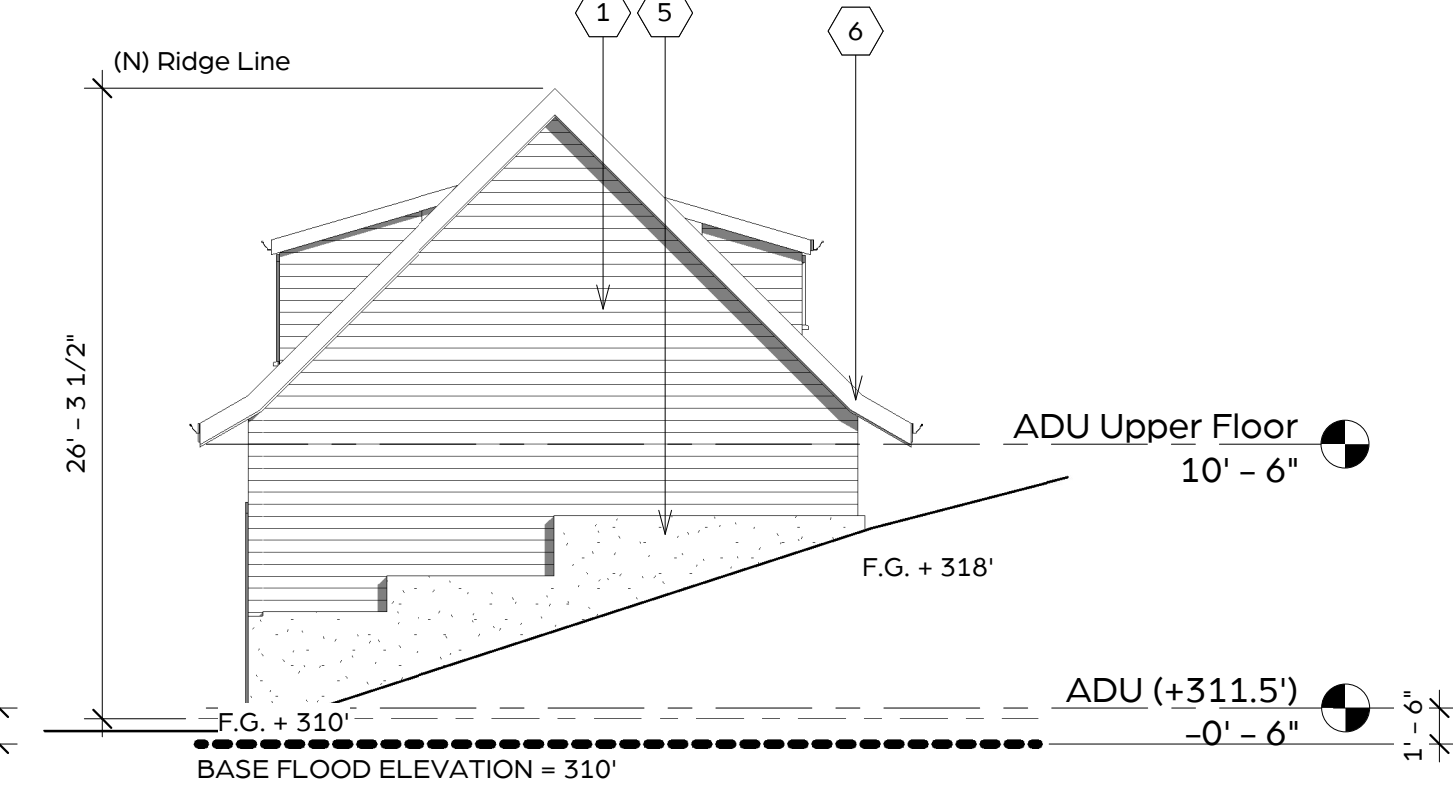
4 Main House & Walk - West Elevation
 1/8" = 1'-0"



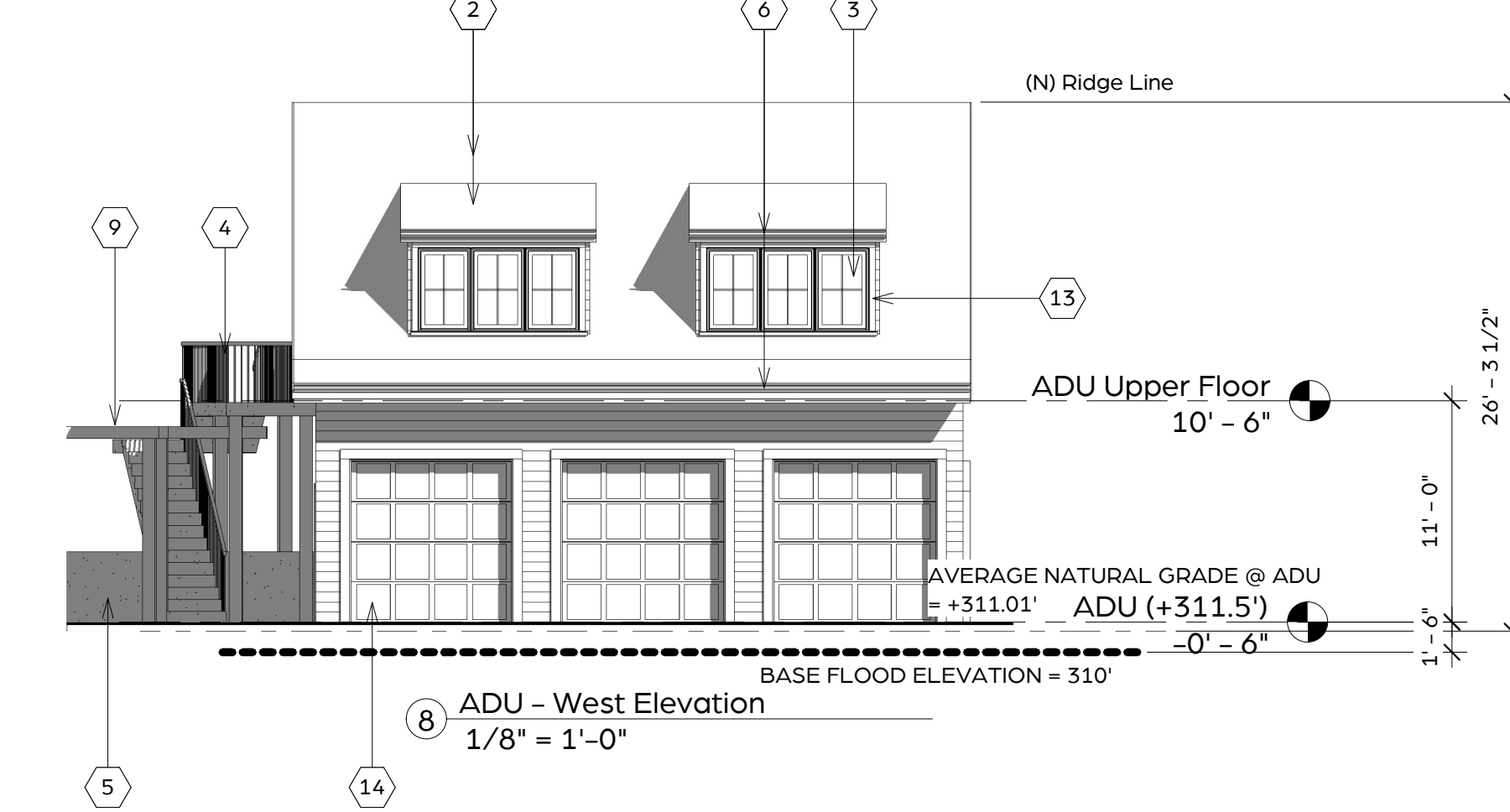
5 ADU - North Elevation
 1/8" = 1'-0"



6 ADU - East Elevation
 1/8" = 1'-0"



7 ADU - South Elevation
 1/8" = 1'-0"



8 ADU - West Elevation
 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"
 DRAWN BY: MH
 PRINT DATE: 10.21.24
 DRAWING DATE: 10.21.24
 DATE ISSUED FOR CONSTRUCTION:
 REVISIONS:

SHEET TITLE:
PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER:
A3.1

NOTES:

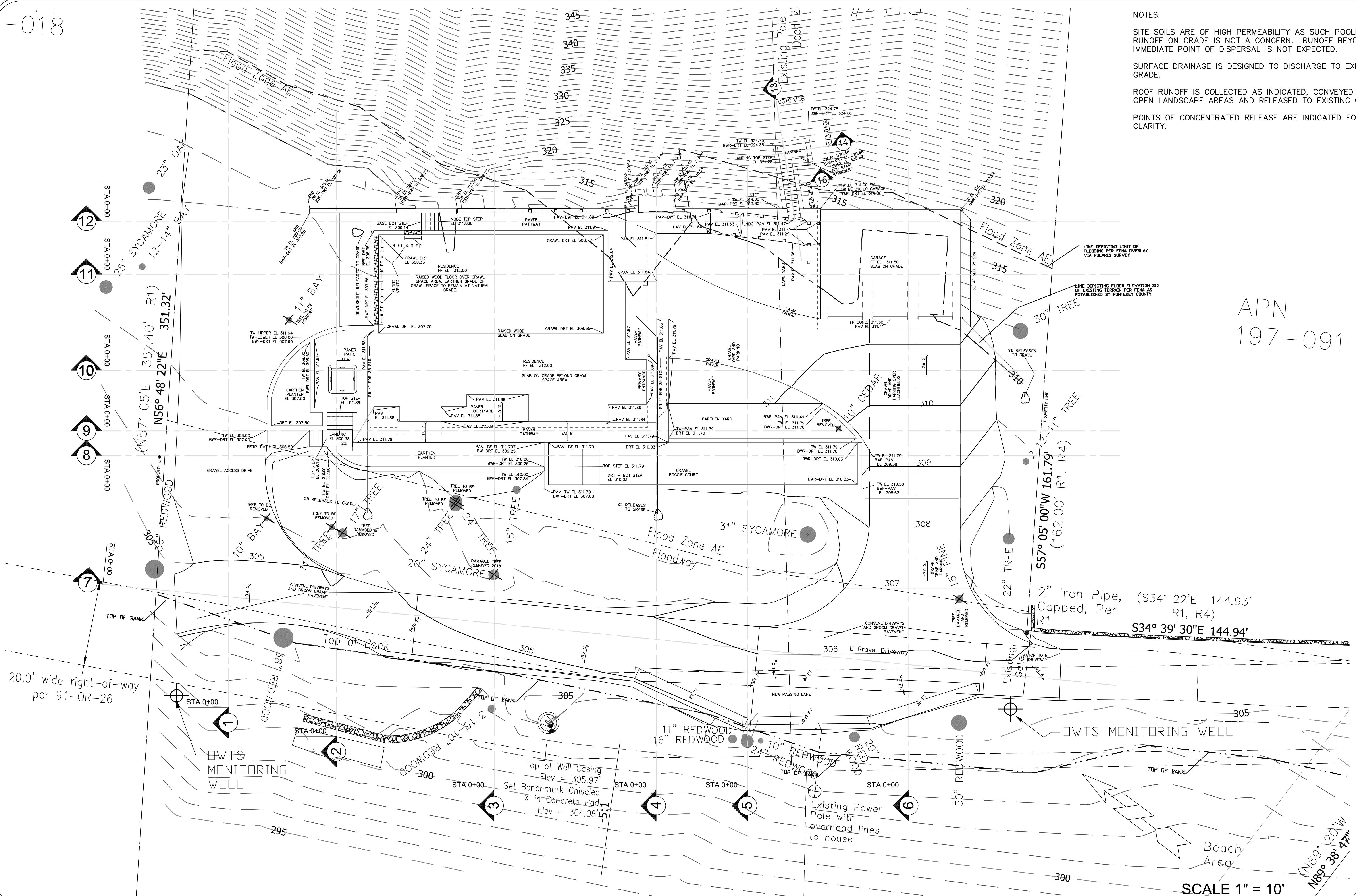
SITE SOILS ARE OF HIGH PERMEABILITY AS SUCH POOLING OF RUNOFF ON GRADE IS NOT A CONCERN. RUNOFF BEYOND THE IMMEDIATE POINT OF DISPERSAL IS NOT EXPECTED.

SURFACE DRAINAGE IS DESIGNED TO DISCHARGE TO EXISTING GRADE.

ROOF RUNOFF IS COLLECTED AS INDICATED, CONVEYED TO OPEN LANDSCAPE AREAS AND RELEASED TO EXISTING GRADE.

POINTS OF CONCENTRATED RELEASE ARE INDICATED FOR CLARITY.

APN
197-091



REVISION DATES

- PUB. 03/29/2024
- REV1. 10/01/2024
- REV2. 10/21/2024

SCALE 1" = 10'

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561A Brunken Avenue Salinas, California Salinas: (831) 422-9619 Monterey: (831) 375-1198 FAX: (831) 422-1896

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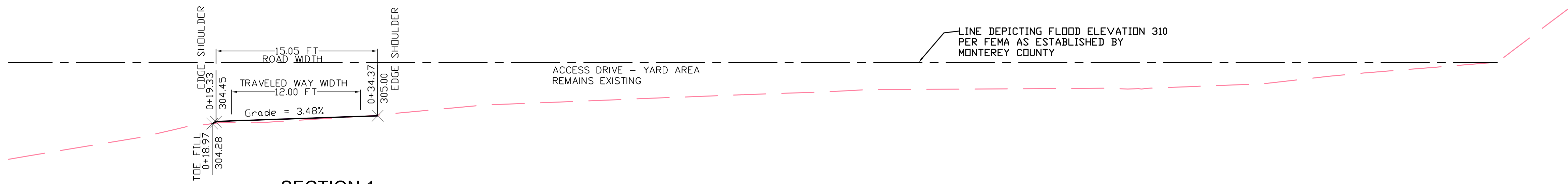
PREPARED FOR:
CAMPBELL FAMILY TRUST
(S. JAMES JR. & LYNDIA R. CAMPBELL)
55 WAWONA ROAD
CARMEL VALLEY, CALIFORNIA 93924
(831) 484-5642

CAMPBELL RESIDENTIAL ESTATE; A. P. N. 197-101-019-000
23 WAWONA WAY, CARMEL VALLEY, CALIFORNIA 93930

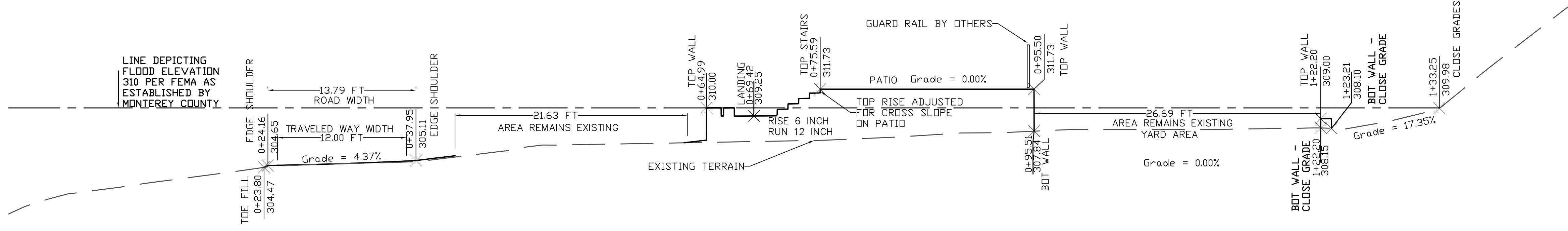
GRADING, DRAINAGE & OWTS PLANS
GRADING AND DRAINAGE PLAN

C-1.0
Date Plotted: Oct 21, 2024

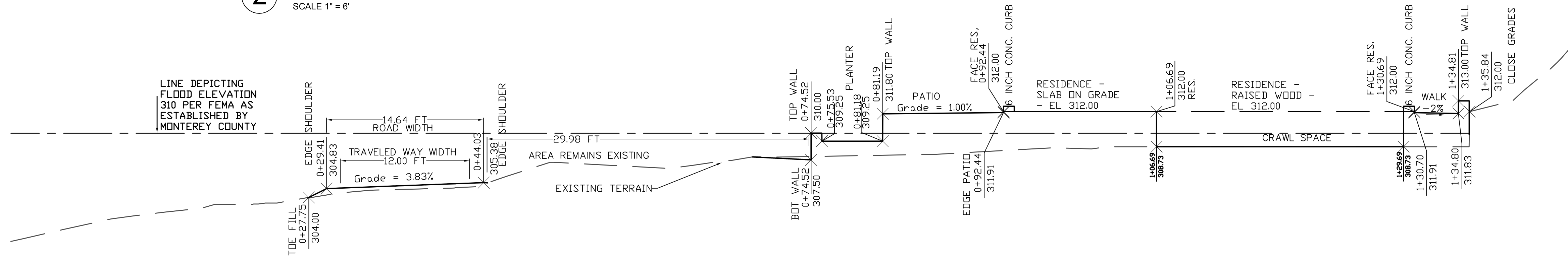
CAMPBELL ESTATE
FILE NO. 7074-19.05



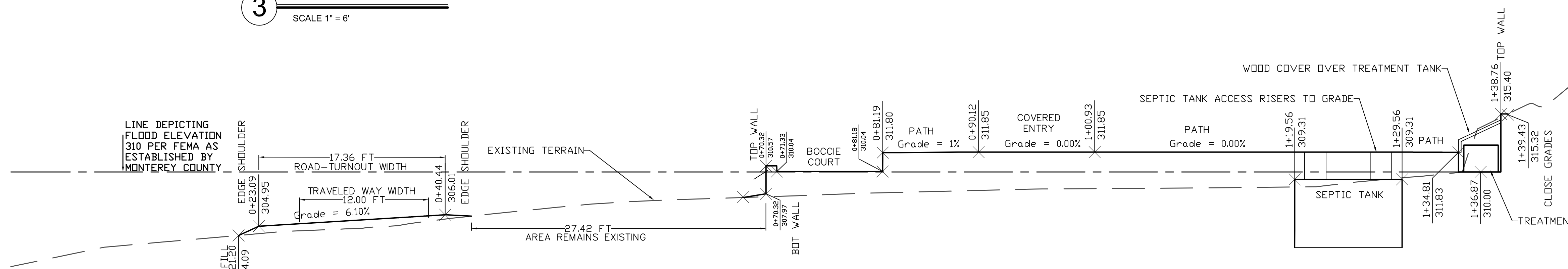
1 SECTION 1
SCALE 1" = 6'



2 SECTION 2
SCALE 1" = 6'

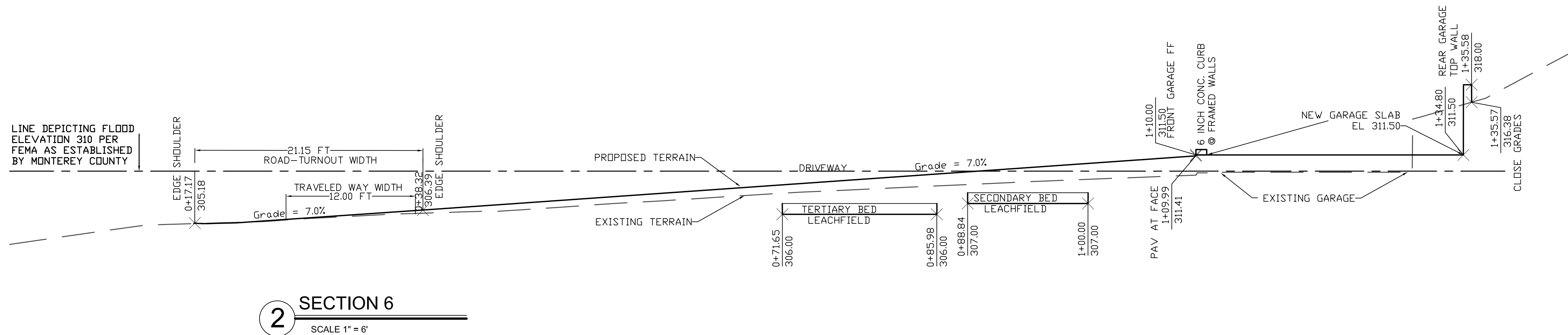
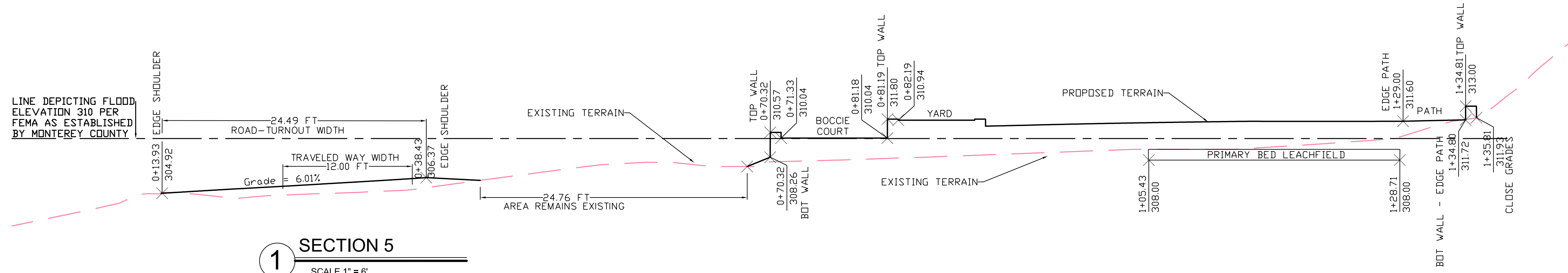


3 SECTION 3
SCALE 1" = 6'

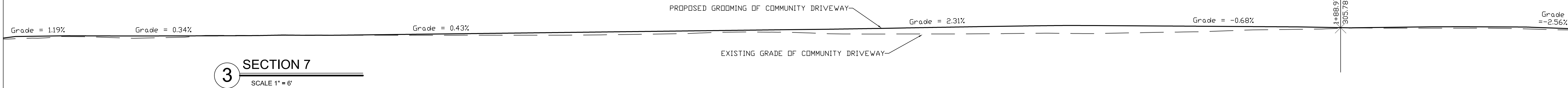


4 SECTION 4
SCALE 1" = 6'

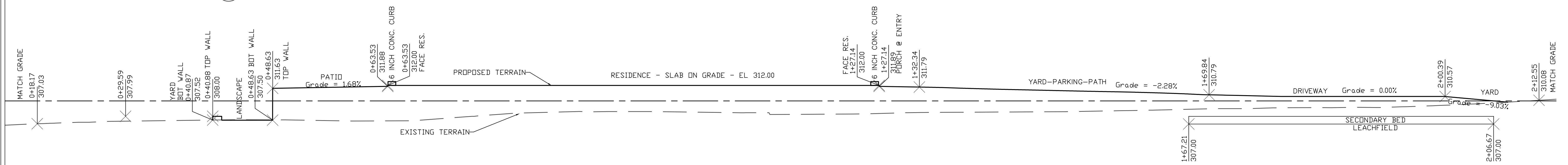
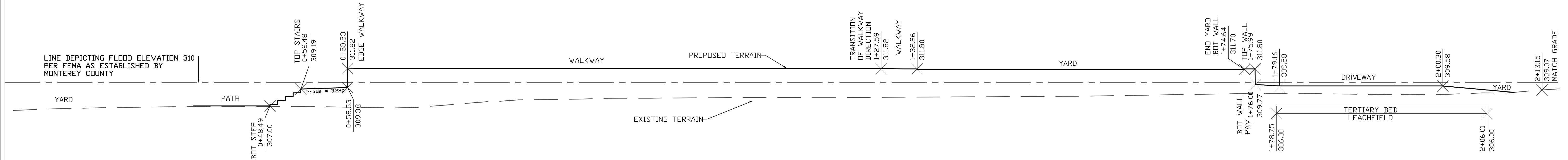
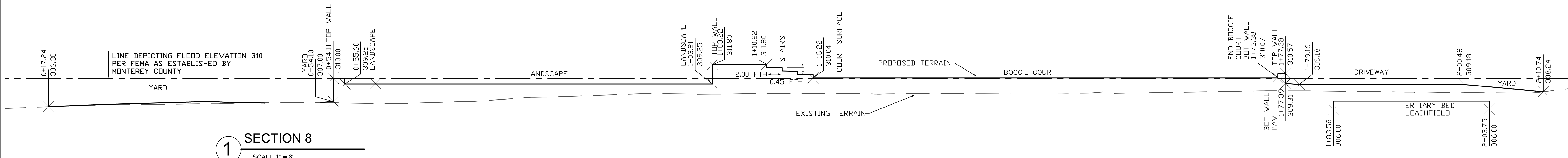
REVISION DATES
PUB. 03/29/2024
REV1. 10/01/2024
REV2. 10/21/2024



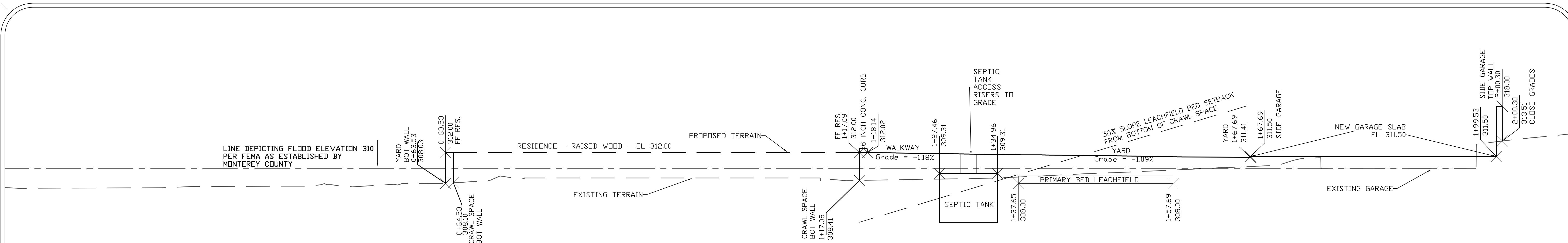
LINE DEPICTING FLOOD ELEVATION 310 PER FEMA AS ESTABLISHED BY MONTEREY COUNTY



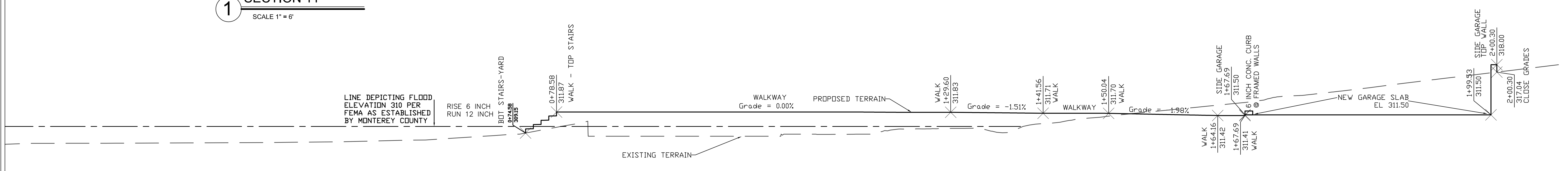
REVISION DATES
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REV1. 10/01/2024
REV2. 10/21/2024



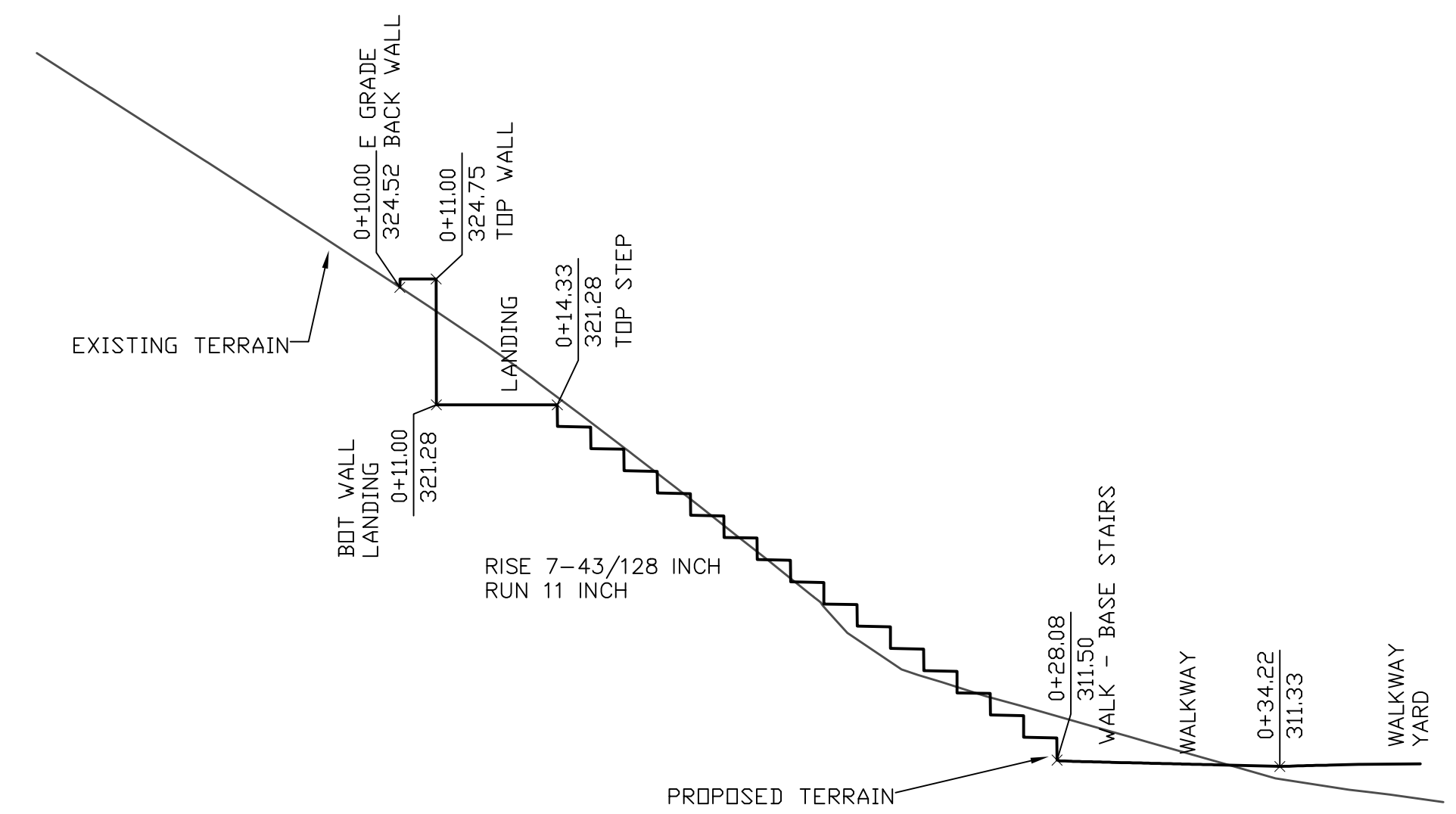
REVISION DATES
PUB. 03/29/2024
REV1. 10/01/2024
REV2. 10/21/2024



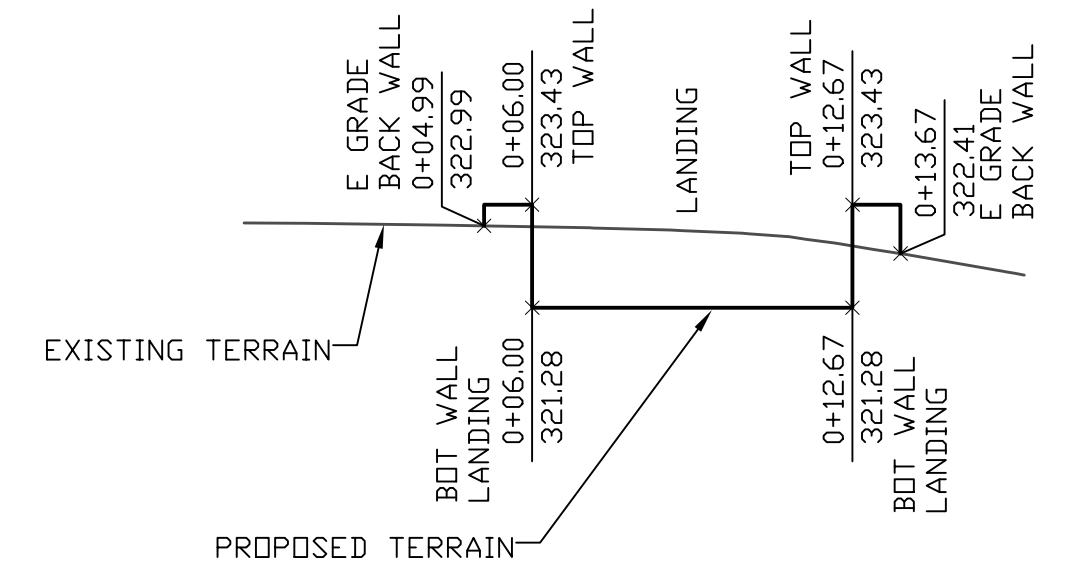
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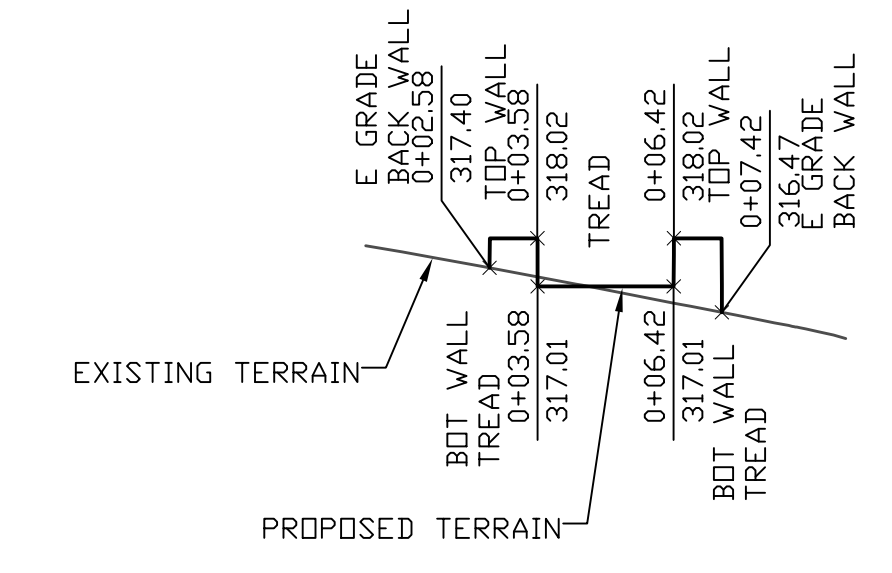
2 SECTION 12
SCALE 1" = 6'



3 SECTION 13
SCALE 1" = 6'



4 SECTION 14
SCALE 1" = 6'



5 SECTION 15
SCALE 1" = 6'

REVISION DATES
PUB. 03/29/2024
REV1. 10/01/2024
REV2. 10/21/2024

PROPERTY AND SYSTEM INFORMATION:
 SITE ADDRESS: 55 WAWONA ROAD, CARMEL VALLEY, CALIFORNIA
 A.P.N.: 197-101-019-000
 AREA OF PARCEL: 1.754986 ACRES

PROPOSED STRUCTURES:
 A: 3 BEDROOM RESIDENCE (4 PEOPLE)
 B: 1 BEDROOM ACCESSORY DWELLING UNIT (2 PEOPLE)

TOTAL NUMBER OF OCCUPANTS: 6 TOTAL

PER TABLE 5-2 MCEH DWTS:
 ALLOWABLE APPLIED NITROGEN PER ACRE: 1.78 GRAMS
 ALLOWABLE APPLIED NITROGEN ON PARCEL: 71.24 GRAMS

EXISTING APPLIED NITROGEN ON PARCEL: 0 GRAMS

PROPOSED APPLIED NITROGEN ON PARCEL: 60 GRAMS

PROPOSED EXCESS APPLIED NITROGEN: 0 GRAMS

NITROGEN REDUCTION TREATMENT: NOT REQUIRED BUT INSTALLED DUE TO SHALLOW DEPTH TO GROUNDWATER

DWTS DESIGN FOR ESTATE

PER TABLE 5-3 MCEH DWTS:

SEWAGE TO BE COMBINED AND PROCESSED THROUGH ONE SYSTEM.

RESIDENCE
 PEAK DAILY FLOW: 375 GALLONS

ACCESSORY DWELLING UNIT
 PEAK DAILY FLOW: 150 GALLONS

COMBINED DAILY FLOW: 525 GALLONS

SEPTIC TANK SIZE: WITHOUT GARBAGE GRINDER 2,000 GALLONS
 WITH GARBAGE GRINDER 2,500 GALLONS

DEPTH TO GROUND WATER: BORING #1, ELEVATION 293.50 FEET

GROUNDWATER SETBACK PER TABLE 5-6 MCEH DWTS: 20 FEET

GROUNDWATER MONITORING WELL REQUIRED. FOR THIS IT IS PROPOSED TO INSTALL TWO MONITORING WELLS POSITIONED UP AND DOWN STREAM OF THE DWTS LEACHFIELDS AND UTILIZE THE EXISTING DOMESTIC WATER WELL AS A TERTIARY SAMPLE POINT. MONITORING WELL LOCATIONS ARE INDICATED ON SHEET C-1.

POTENTIAL GROUND WATER RECHARGE AREA (GWRA) SPECIFIED BY FIGURE 2-10 PER MCEH-DWTS-2018; APPLICABLE EFFLUENT DISPERSAL SYSTEM TO BE NOT DEEPER THAN 5 FEET WITHOUT ADVANCED TREATMENT.

APPLICATION RATE: 1.2 GALLONS PER SQUARE FOOT PER DAY
 INFILTRATION AREA REQUIRED: 437.50 SQUARE FEET

LEACHFIELD TYPE: SHALLOW BED, 1FT DEEP X VARIABLE WIDTH & LENGTH
 EFFECTIVE WALL AREA: ENTIRE FLOOR 437.50 SQUARE FEET OR MORE

LEACHFIELDS:
 PRIMARY: 441.74 SQUARE FEET FLOOR AREA
 SECONDARY: 449.35 SQUARE FEET FLOOR AREA
 TERTIARY: 441.21 SQUARE FEET FLOOR AREA

PRIMARY AND SECONDARY FIELDS TO BE INSTALLED DURING INITIAL CONSTRUCTION.

SEPTIC TANK, ADVANCED TREATMENT TANK AND LEACHFIELDS ARE DETAILED ON THE PLANS WITH ELEVATION OF COMPONENTS PROVIDED AND ARE TO BE VERIFIED PRIOR TO AND DURING CONSTRUCTION.

NATIVE TERRAIN IS OF NATURAL FORM WITH GRASS COVER WITH OCCASIONAL BUSHES AND SCATTERED TREES.

DEUE TO SITE CONSTRAINTS AND PROPOSED CONSTRUCTION MINIMAL COMPONENT LAYOUTS AND LEACHFIELD LOCATIONS ARE AVAILABLE. AS THE EFFLUENT IS TO BE TRANSPORTED BY GRAVITY TO THE LEACHFIELDS IT IS IMPORTANT TO VERIFY THE ELEVATION, SLOPE AND LOCATION OF ALL COMPONENTS PRIOR TO AND DURING CONSTRUCTION.

THIS LAYOUT IS PRIMARILY PREPARED TO INDICATE THE REQUIRED COMPONENTS, FUNCTION AND THAT THERE ARE SUITABLE LOCATIONS FOR THE COMPONENTS.

THE CREATION DATE OF THE PROPERTY REQUIRES ONLY TWO COMPLETE LEACHFIELDS HOWEVER THREE LEACHFIELDS ARE DETAILED TO INDICATE SUFFICIENT ROOM IS AVAILABLE FOR THE ON SITE WASTE WATER TREATMENT SYSTEM (DWTS).

PLEASE REFER TO THE DWTS REPORT BY GRICE ENGINEERING, INC. FOR ADDITIONAL INFORMATION, DETAILS AND COMMENTARY.

NOT ALL EXISTING OR PROPOSED SITE FEATURES ARE SHOWN. REFER TO PROJECT PLANS BY ARCHITECT FOR FURTHER DETAILS.

NOTE: TRACER WIRE SHALL BE INSTALLED PER DETAILS ON SHEET OWTS-3.

LEGEND	
	ALTERNATE LEACHFIELD LOCATIONS
	PROPOSED LEACHFIELDS
	PROPERTY LINE
	HORIZONTAL SETBACKS
	MINOR CONTOURS
	MAJOR CONTOURS
	PROPOSED STRUCTURE
	EXISTING STRUCTURE
	PROPOSED SEWER LINE
	TYPICAL 10 FOOT TREE SETBACK DIAMETER ± PLUS 10FT
	TEST LOCATION PER GRICE ENGINEERING

REVISION DATES
PUB. 03/29/2024
REV1. 10/01/2024
REV2. 10/21/2024

GRICE ENGINEERING INC

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PREPARED FOR:
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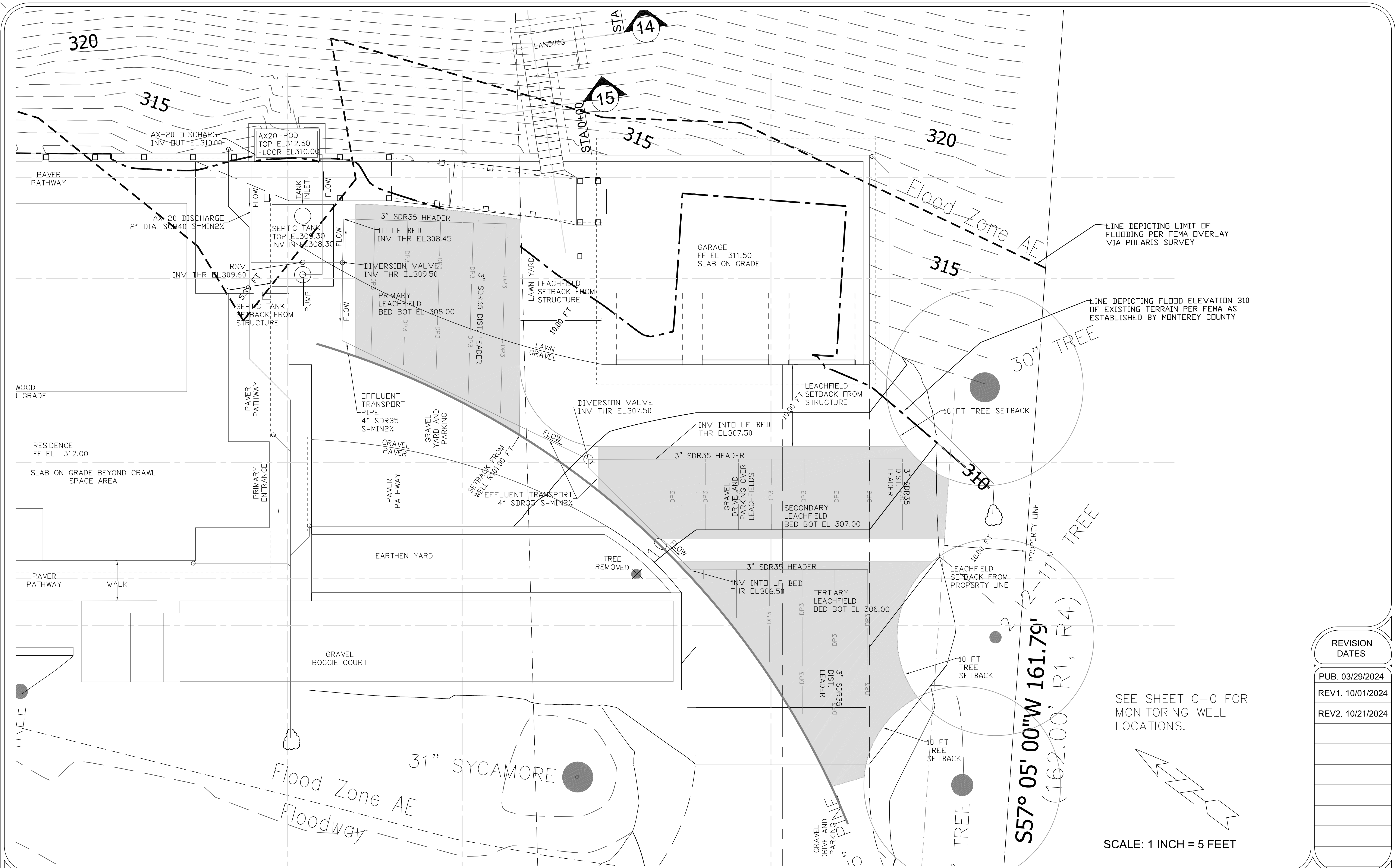
CAMPBELL RESIDENTIAL ESTATE; A. P. N. 197-101-019-000
 23 WAWONA WAY, CARMEL VALLEY, CALIFORNIA 93930

OWTS-0
 Date Plotted: Oct 21, 2024

ONSITE WASTEWATER TREATMENT SYSTEM
 SPECIFICATIONS AND NOTES

OWTS-0
 Date Plotted: Oct 21, 2024

CAMPBELL ESTATE
 FILE NO. 7074-19.05



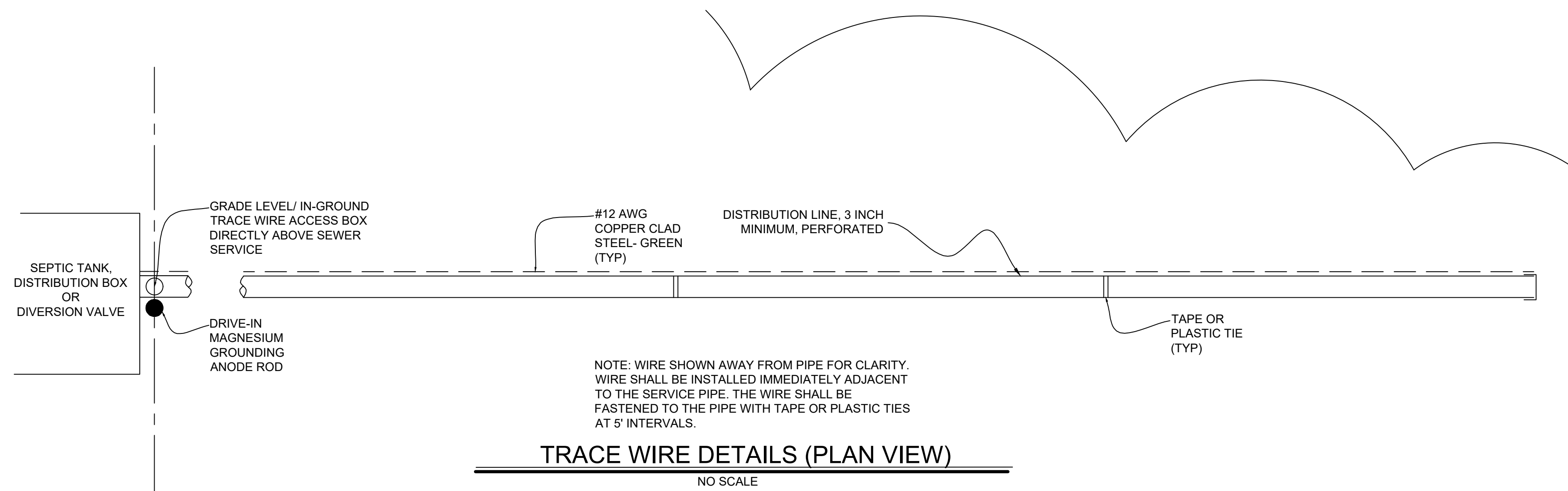
LINE DEPICTING LIMIT OF FLOODING PER FEMA OVERLAY VIA POLARIS SURVEY

LINE DEPICTING FLOOD ELEVATION 310 OF EXISTING TERRAIN PER FEMA AS ESTABLISHED BY MONTEREY COUNTY

SEE SHEET C-0 FOR MONITORING WELL LOCATIONS.

SCALE: 1 INCH = 5 FEET

REVISION DATES
PUB. 03/29/2024
REV1. 10/01/2024
REV2. 10/21/2024



TRACE WIRE DETAILS (PLAN VIEW)

NO SCALE

TRACE WIRE SPECIFICATIONS

MATERIALS- GENERAL

ALL TRACE WIRE AND TRACE WIRE PRODUCTS SHALL BE DOMESTICALLY MANUFACTURED.

ALL TRACE WIRE SHALL HAVE HDPE INSULATION INTENDED FOR DIRECT BURY, COLOR COATED PER APWA STANDARD FOR THE SPECIFIC UTILITY BEING MARKED.

CONNECTORS

DIRECT BURY WIRE CONNECTORS, INCLUDING 3-WAY LOCKABLE CONNECTOR: SNAKEBITE 3- WAY DIRECT BURY LUG: COPPERHEAD PART # 3WB-01, MAIN LINE SPLICE TO SERVICE LINE CONNECTION SHALL BE SPECIFICALLY MANUFACTURED FOR USE IN UNDERGROUND TRACE WIRE INSTALLATION, SHALL BE DIELECTRIC SILICON FILLED TO SEAL OUT MOISTURE AND CORROSION, AND SHALL BE INSTALLED IN A MANNER SO AS TO PREVENT ANY UNINSULATED WIRE EXPOSURE.

TERMINATION/ACCESS

ALL TRACE WIRE TERMINATION POINTS MUST UTILIZE AN APPROVED TRACE WIRE ACCESS BOX (ABOVE GROUND OR GRADE LEVEL/IN-GROUND AS APPLICABLE), SPECIFICALLY MANUFACTURED FOR THIS PURPOSE. A MINIMUM OF 2 FT. OF EXCESS WIRE IS REQUIRED IN ALL GRADE LEVEL TRACE WIRE ACCESS BOXES AFTER SETTING AT FINAL GRADE.

- SERVICE LATERALS ON PRIVATE PROPERTY - TRACE WIRE MUST TERMINATE AT AN APPROVED ABOVE-GROUND TRACE WIRE ACCESS BOX, PROPERLY AFFIXED TO THE BUILDING EXTERIOR, DIRECTLY ABOVE WHERE THE UTILITY ENTERS THE BUILDING, AT AN ELEVATION NOT GREATER THAN 5 VERTICAL FEET ABOVE GRADE OR TERMINATE AT AN APPROVED GRADE LEVEL/IN-GROUND TRACE WIRE ACCESS BOX, LOCATED WITHIN 2 LINEAR FEET OF THE BUILDING BEING SERVED BY THE UTILITY.
- ON LONG-RUNS, IN EXCESS OF 500 LINEAR FEET WITHOUT SERVICE LATERALS OR HYDRANTS, TRACE WIRE ACCESS MUST BE PROVIDED UTILIZING AN APPROVED IN-GROUND TRACE WIRE ACCESS BOX, LOCATED AT THE EDGE OF THE ROAD RIGHT-OF-WAY, AND OUT OF THE ROADWAY. THE IN-GROUND TRACE WIRE ACCESS BOX SHALL BE DELINEATED USING A POLYETHYLENE MARKER POST, COLOR CODED PER APWA STANDARD FOR THE SPECIFIC UTILITY BEING MARKED.

GROUNDING

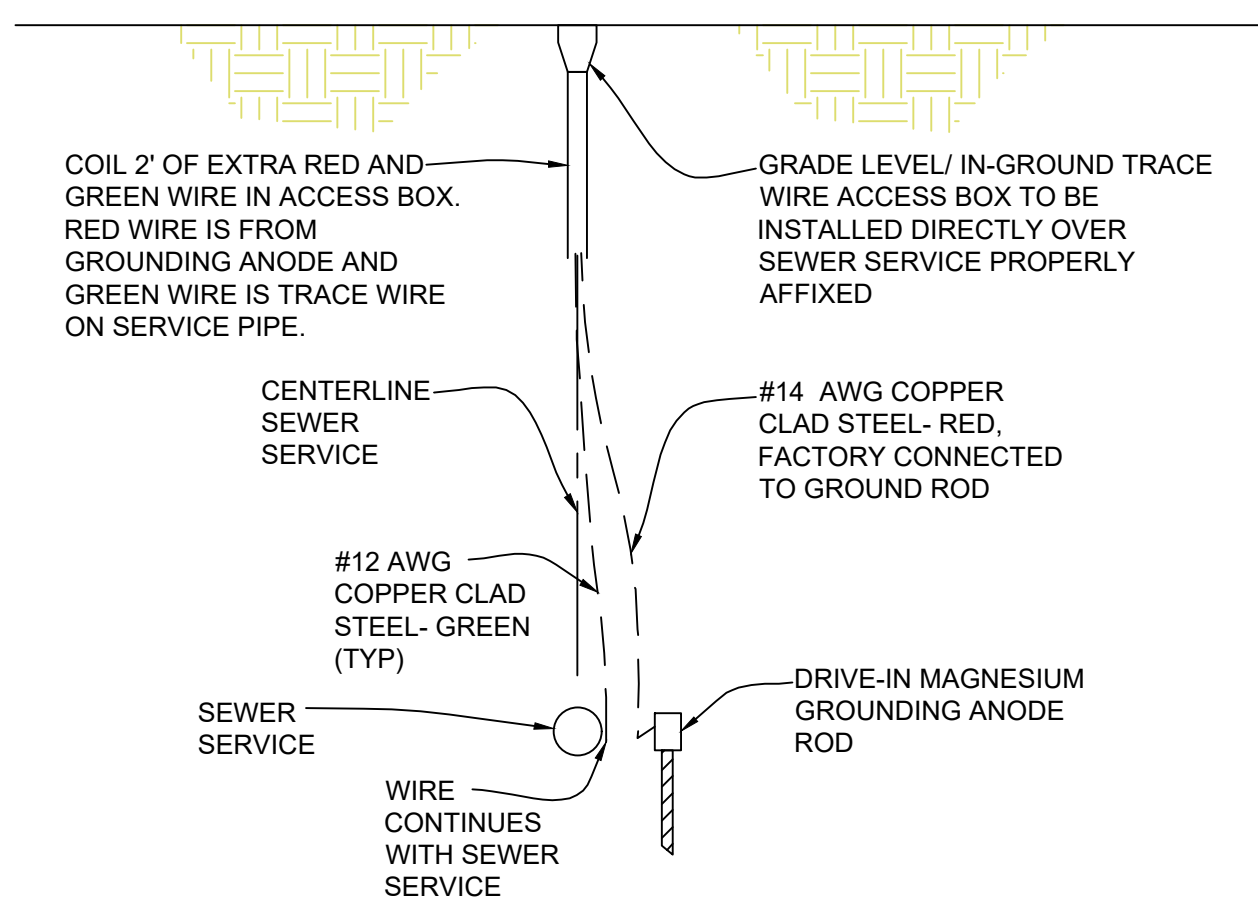
- TRACE WIRE MUST BE PROPERLY GROUNDING AT ALL DEAD ENDS/STUBS
- GROUNDING OF TRACE WIRE SHALL BE ACHIEVED BY USE OF A DRIVE-IN MAGNESIUM GROUNDING ANODE ROD WITH A MINIMUM OF 20FT OF #14 HDPE COPPER CLAD WIRE CONNECTED TO ANODE (MINIMUM 1.0 LB.) SPECIFICALLY MANUFACTURED FOR THIS PURPOSE, AND BURIED AT THE SAME ELEVATION AS THE UTILITY. DRIVE IN MAGNESIUM ANODE: COPPERHEAD PART # ANO-1005

INSTALLATION-GENERAL

- TRACE WIRE INSTALLATION SHALL BE PERFORMED IN SUCH A MANNER THAT ALLOWS PROPER ACCESS FOR CONNECTION OF LINE TRACING EQUIPMENT, PROPER LOCATING OF WIRE WITHOUT LOSS OR DETERIORATION OF LOW FREQUENCY (512HZ) SIGNAL FOR DISTANCES IN EXCESS OF 1,000 LINEAR FEET, AND WITHOUT DISTORTION OF SIGNAL CAUSED BY MULTIPLE WIRES BEING INSTALLED IN CLOSE PROXIMITY TO ONE ANOTHER.
- TRACE WIRE SYSTEM MUST BE INSTALLED AS A CONTINUOUS SINGLE WIRE. NO LOOPING OR COILING OF WIRE IS ALLOWED.
- ANY DAMAGE OCCURRING DURING INSTALLATION OF THE TRACE WIRE MUST BE IMMEDIATELY REPAIRED IN AN APPROVED WATERPROOF METHOD. TAPING AND/OR SPRAY COATING SHALL NOT BE ALLOWED.
- TRACE WIRE ON ALL SERVICE LATERAL/STUBS MUST TERMINATE AT AN APPROVED TRACE WIRE ACCESS BOX DIRECTLY ABOVE THE UTILITY, USING COLOR CODED ACCESS BOXES, LOCATED AT THE EDGE OF THE ROAD RIGHT-OF-WAY, BUT OUT OF THE ROADWAY. (SEE TRACE WIRE TERMINATION/ACCESS)
- ALL MAINLINE DEAD-ENDS SHALL GO TO GROUND USING AN APPROVED WATERPROOF CONNECTION TO A DRIVE-IN MAGNESIUM GROUNDING ANODE ROD, BURIED AT THE SAME DEPTH AS THE TRACE WIRE. THE ANODE WILL BE BURIED ON THE OPPOSITE SIDE OF THE UTILITY AT THE FURTHEST MOST POINT. THE ANODE WIRE WILL BE CONNECTED IN THE TRACE WIRE ACCESS BOX TO THE TRACE WIRE UTILIZING THE CONNECTION POINT IN THE ACCESS BOX.
- MAINLINE TRACE WIRE SHALL NOT BE CONNECTED TO EXISTING CONDUCTIVE PIPES. TREAT AS A MAINLINE DEAD-END, GROUND USING AN APPROVED WATERPROOF CONNECTION TO A GROUNDING ANODE, BURIED AT THE SAME DEPTH AS THE TRACE WIRE.
- ALL SERVICE LATERAL TRACE WIRES SHALL BE CONNECTED TO THE MAINLINE WITH A SINGLE WIRE, (NO LOOPING WILL BE ALLOWED) USING A MAINLINE TO LATERAL LUG CONNECTOR, INSTALLED WITHOUT CUTTING/SPLICING THE MAINLINE TRACE WIRE.
- IN OCCURRENCES WHERE EXISTING TRACE WIRE IS ENCOUNTERED ON AN EXISTING UTILITY THAT IS BEING EXTENDED OR TIED INTO, THE NEW AND EXISTING TRACE WIRE SHALL BE CONNECTED USING APPROVED SPLICE CONNECTORS, SHALL BE PROPERLY GROUNDING AT THE SPLICE LOCATION AS SPECIFIED AND BE COMPLETELY WATERPROOF TO PROHIBIT CORROSION AND LOSS OF CONDUCTIVITY.

INSTALLATION - SANITARY SEWER SYSTEM

- LAY MAINLINE TRACE WIRE CONTINUOUSLY, BY-PASSING AROUND THE OUTSIDE OF MANHOLES/STRUCTURE ON THE NORTH OR EAST SIDE.
- TRACE WIRE ON ALL SANITARY LATERALS MUST TERMINATE AT AN APPROVED TRACE WIRE ACCESS BOX COLOR CODED GREEN AND LOCATED DIRECTLY ABOVE THE SERVICE LATERAL AT THE ROAD RIGHT OF WAY. FOLLOW GROUNDING SPECIFICATION AND CONNECTIONS.



TRACE WIRE DETAILS (SECTION VIEW)

NO SCALE

TRACE WIRE SPECIFICATIONS (CONTINUED)

PROHIBITED PRODUCTS AND METHODS

THE FOLLOWING PRODUCTS AND METHODS SHALL NOT BE ALLOWED OR ACCEPTABLE

- UNINSULATED TRACE WIRE
- TRACE WIRE INSULATIONS OTHER THAN HDPE
- TRACE WIRES NOT DOMESTICALLY MANUFACTURED
- TWIST-ON WIRE CONNECTORS
- BRASS OR COPPER GROUND RODS
- WIRE CONNECTIONS UTILIZING TAPING OR SPRAY-ON WATERPROOFING
- LOOPED WIRE OR CONTINUOUS WIRE INSTALLATIONS, THAT HAS MULTIPLE WIRES LAID SIDE-BY-SIDE OR IN CLOSE PROXIMITY TO ONE ANOTHER
- BRASS FITTINGS WITH TRACE WIRE CONNECTION LUGS
- WIRE TERMINATIONS WITHIN THE ROADWAY, I.E. IN VALVE BOXES, CLEANOUTS, MANHOLES, ETC.
- CONNECTING TRACE WIRE TO EXISTING CONDUCTIVE UTILITIES: EXPLANATION, TO PREVENT CORROSION AT EXISTING GROUNDING OPTIONS ON CORPS OR CURB STOPS OR SPLICES. ANODE GROUNDING WILL PREVENT THE WIRE FROM CORRODING.

TESTING

ALL NEW TRACE WIRE INSTALLATIONS SHALL BE LOCATED USING TYPICAL LOW FREQUENCY (512HZ) LINE TRACING EQUIPMENT, WITNESSED BY THE CONTRACTOR, ENGINEER AND FACILITY OWNER AS APPLICABLE, PRIOR TO ACCEPTANCE OF OWNERSHIP.

THIS VERIFICATION SHALL BE PERFORMED UPON COMPLETION OF ROUGH GRADING AND AGAIN PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.

CONTINUITY TESTING IN LIEU OF ACTUAL LINE TRACING SHALL NOT BE ACCEPTED.

REVISION DATES
PUB. 032924
REV1. 100124
REV2. 102124

NOT VALID WITHOUT STAMP AND SIGNATURE



LAWRENCE E. GRICE, P.E. ; R.C.E. 66857

PREPARED FOR:
CAMPBELL FAMILY TRUST
(S. JAMES JR. & LYNDA R. CAMPBELL)
55 WAWONA ROAD
CARMEL VALLEY, CALIFORNIA 93924
(831) 484-5642

CAMPBELL RESIDENTIAL ESTATE; A. P. N. 197-101-019-000
23 WAWONA WAY, CARMEL VALLEY, CALIFORNIA 93930

**ONSITE WASTEWATER TREATMENT SYSTEM
DETAILS**

OWTS-3
Date Plotted: Oct 21, 2024

CAMPBELL ESTATE
FILE NO. 7074-19.05

- WIND EROSION CONTROL:
1. ALL ACTIVE AREAS AND NEW BARE EARTH SURFACES ARE TO BE SPRAY WATERED DAILY OR AS REQUIRED TO ELIMINATE AIRBORNE DUST.
 2. CONSTRUCTION TRAFFIC TO BE LIMITED TO A VELOCITY OF 15 MPH OR LESS.
 3. HAUL TRUCKS TO UTILIZE COVERS WHEN VEHICLE SPEEDS ALLOW WIND EROSION.

- NOTE:
- Prior to commencement of any land disturbance, the owner/applciant shall schedule an inspection with RMA-Environmental Services to ensure all necessary sediment controls are in place and the project is compliant with Monterey County regulations.
 - During construction, the owner/applciant shall schedule an inspection with RMA-Environmental Services to inspect drainage device installation, review the maintenance and effectiveness of BMPs installed, and to verify that pollutants of concern are not discharged from the site. At the time of the inspection, the applicant shall provide certification that all necessary geotechnical inspections have been completed to that point.
 - Prior to final inspection, the owner/applciant shall schedule an inspection with RMA-Environmental Services to ensure that all disturbed areas have been stabilized and that all temporary erosion and sediment control measures that are no longer needed have been removed.

TRACKING OF DEBRIS OFF SITE IS UNLIKELY AS THE ENTRANCE TO THE CONSTRUCTION AREA IS A 100 FOOT LONG GRAVEL DRIVEWAY. SHOULD CONDITIONS CHANGE DEBRIS REMOVAL IS TO BE MANAGED. INSTALL CONSTRUCTION ENTRANCE PER DETAIL 1/C-5.1 OR PROVIDE OTHER MEANS OF DEBRIS REMOVAL FROM TIRES.

REFER TO THE DEMOITION SITE PLAN AND CONSTRUCTION MANAGEMENT PLAN PREPARED BY MAP SHEET A11.

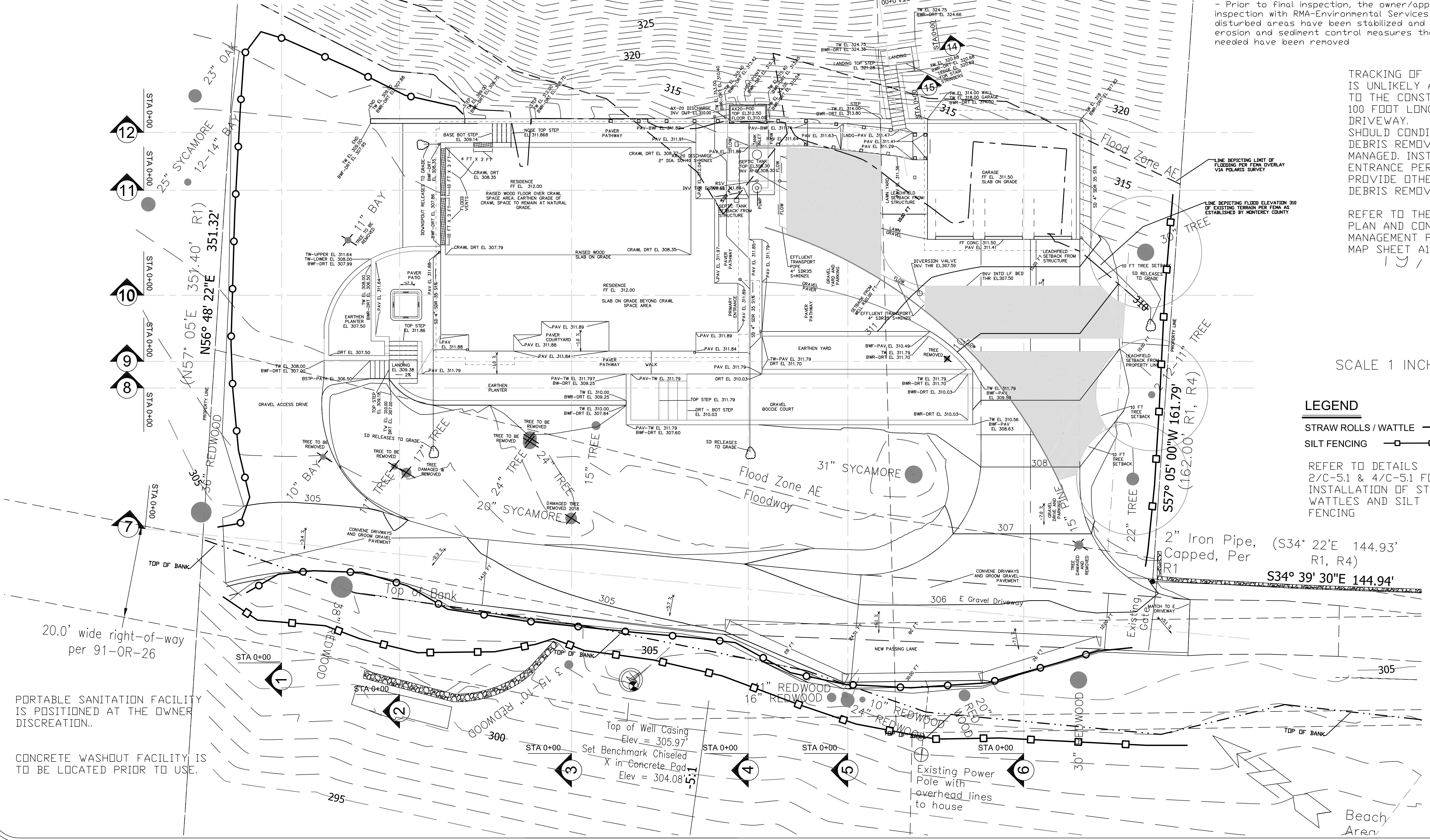
SCALE 1 INCH = 10 FEET

LEGEND

- STRAW ROLLS / WATTLE
- SILT FENCING

REFER TO DETAILS 2/C-5.1 & 4/C-5.1 FOR INSTALLATION OF STRAW WATTLES AND SILT FENCING

REVISION DATES
PUB. 03/29/2024
REV1. 10/01/2024
REV2. 10/21/2024



PORTABLE SANITATION FACILITY IS POSITIONED AT THE OWNER DISCRETION.

CONCRETE WASHOUT FACILITY IS TO BE LOCATED PRIOR TO USE.

GRICE ENGINEERING INC
 ENGINEERING • GEOTECHNICS • HYDROLOGY • SOILS • FOUNDATIONS • EARTH STRUCTURES
 561A Brunken Avenue Salinas, California Salinas: (831) 422-9619 Monterey: (831) 375-1198 FAX: (831) 422-1896

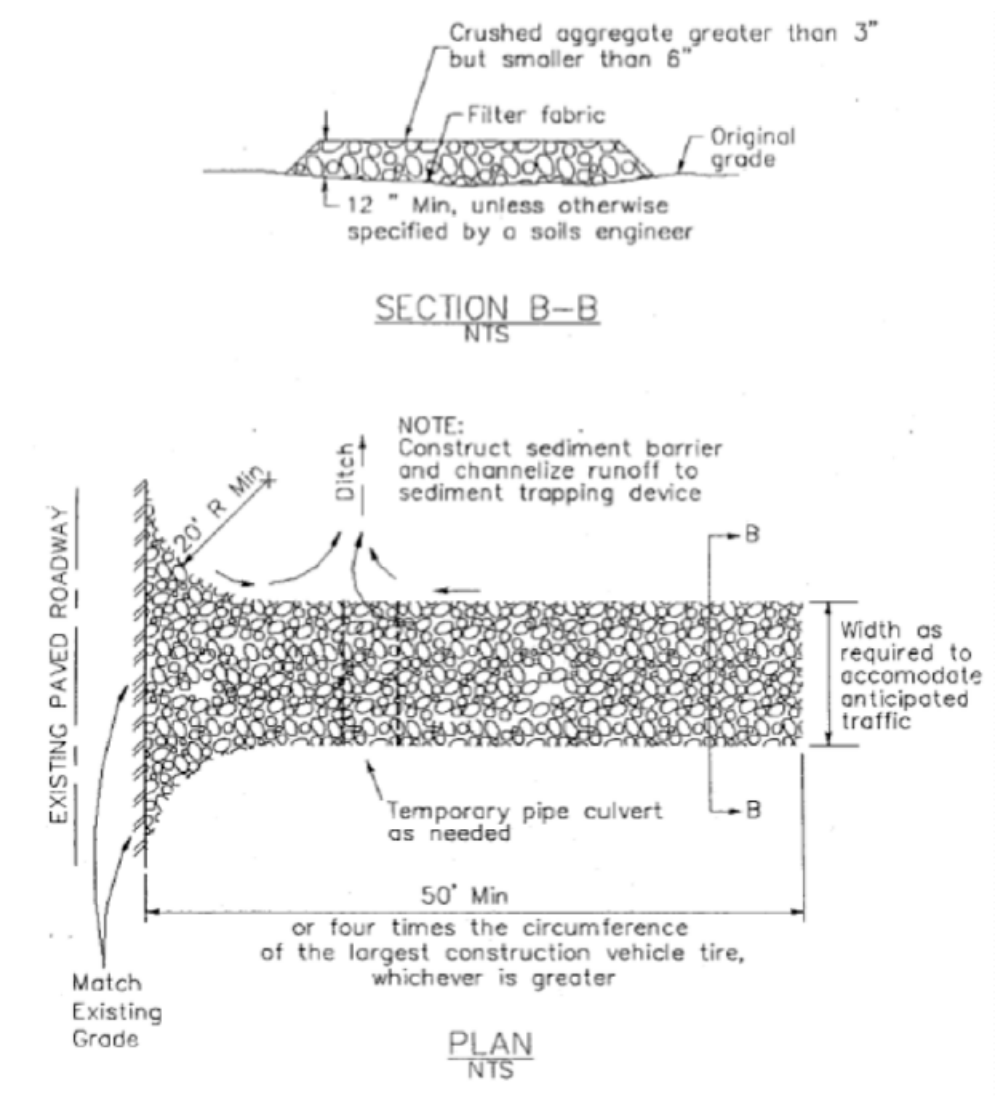
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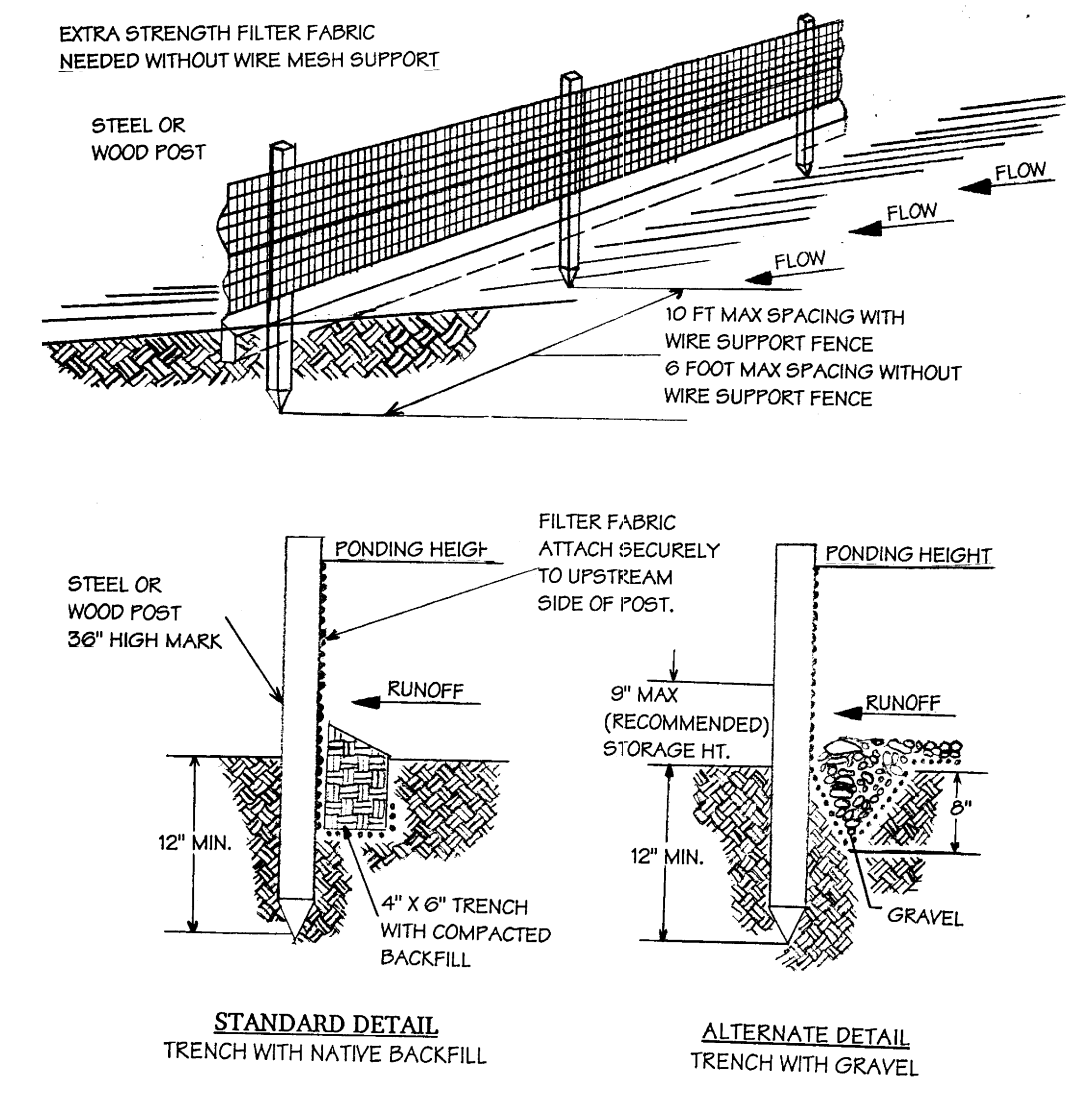
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 23 WAWONA WAY, CARMEL VALLEY, CALIFORNIA 93930
GRADING, DRAINAGE & OWTS PLANS
 EROSION CONTROL - SITE PLAN

C-5.0
 Date Plotted: Oct 21, 2024
 CAMPBELL ESTATE
 FILE NO. 7074-19.05



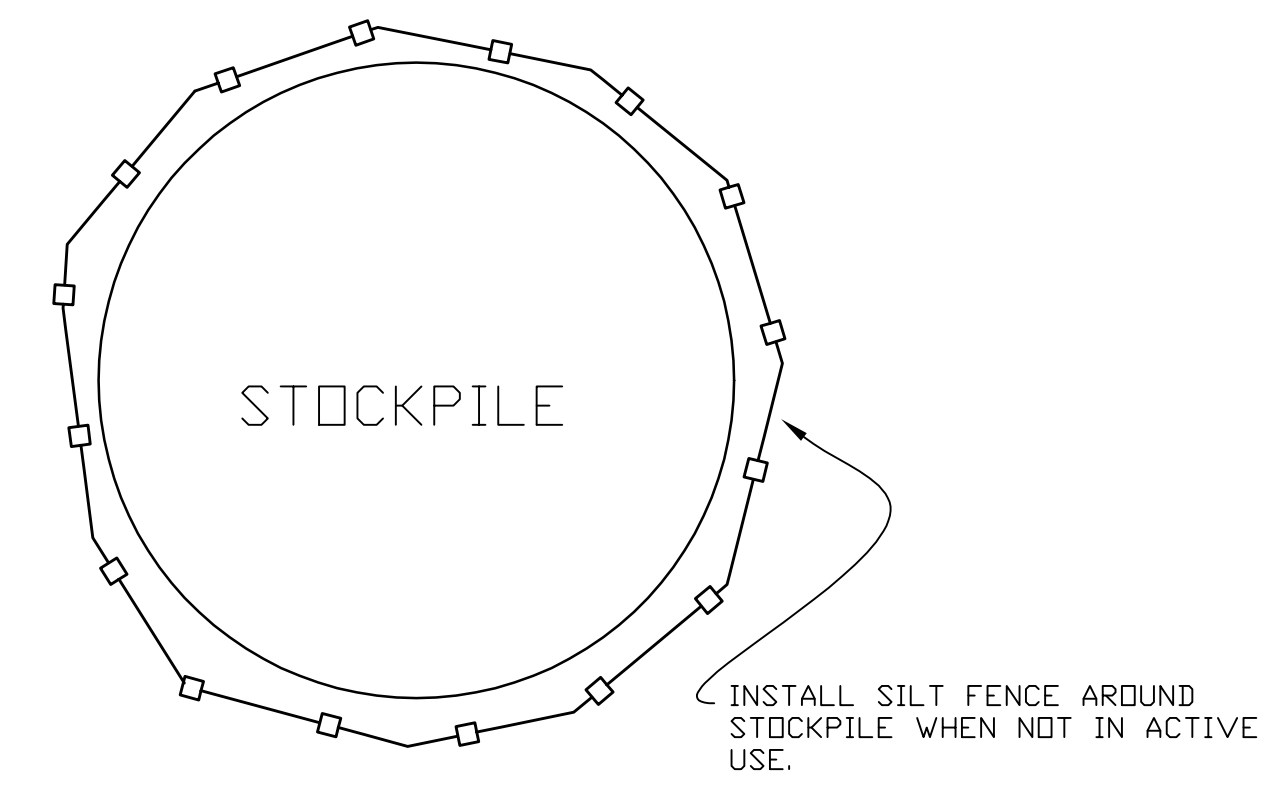
① CONSTRUCTION ENTRANCE



SILT FENCE

NOTE:
 1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENT STABILIZED.
 3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

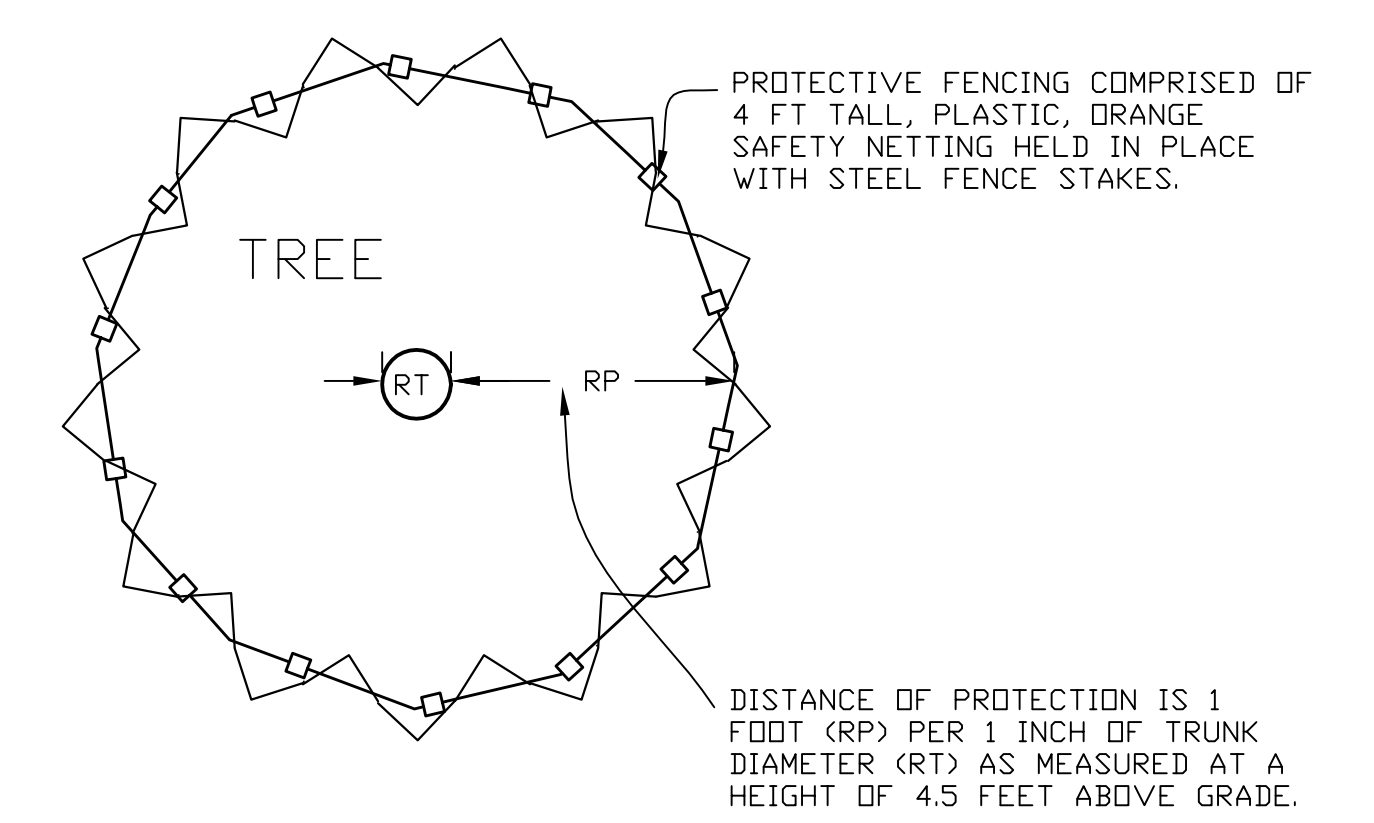
② SILT FENCE INSTALLATION DETAILS NOT TO SCALE



1. LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CONCENTRATED FLOW OF STORM WATER, DRAINAGE COURSES AND INLETS.
2. PROTECT ALL STOCKPILES FROM STORM WATER RUN-ON USING A TEMPORARY PERIMETER SEDIMENT BARRIER OF SILT FENCING.
3. IMPLEMENT WIND EROSION CONTROL PRACTICES AS APPROPRIATE ON ALL STOCKPILED MATERIAL.

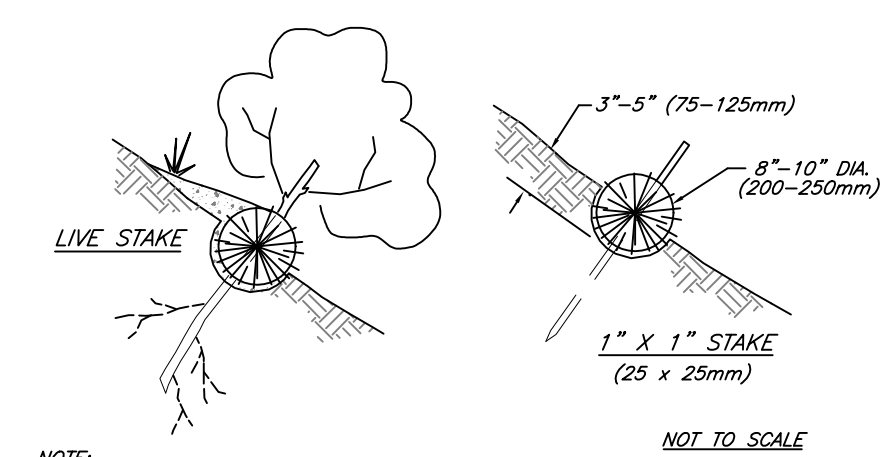
③ TEMPORARY ACTIVE STOCKPILE MANAGEMENT

FILL PLACEMENT WITH THE PROTECTED AREA IS ALLOWED. COMPACTION OF FILL IS TO BE MINIMAL AND ONLY SUFFICIENT TO SETTLE SOILS.
 CUTTING WITHIN PROTECTED AREA IS TO BE AVOIDED FOR PROTECTED TREE SPECIES OR FOR TREES TO REMAIN.



⑥ TEMPORARY TREE PROTECTION

STRAW ROLLS



NOTE:
 1. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH. 3\"/>

STRAW WATTLE INSTALLATION

Proper installation of the Straw Wattles is essential in order to insure the success of the product. Straw Wattles are designed for low surface flows, not to exceed 1 cfs for small areas. While they work well on stream banks, they should not be placed in the path of high waterflow. On slopes, Wattles should be installed on contour with a slight downward angle at the end of the row in order to prevent pooling at the mid-section. No overall slope preparation is needed prior to installation, however Straw Wattles should always be installed in shallow trenches according to the guidelines given below. Running lengths of Wattles should be abutted firmly to ensure no leakage at the abutments. Guidelines regarding vertical spacing are given below. The Wattles should be pinned securely to the ground according to instructions in order to insure their stability and the success of the installation.

SPACING - DOWN SLOPE

Vertical spacing for slope installations should be determined by site conditions: slope gradient and soil type are the main factors. A good rule-of-thumb is:

- 1:1 slopes = 10 feet apart
- 2:1 slopes = 20 feet apart
- 3:1 slopes = 30 feet apart
- 4:1 slopes = 40 feet apart, etc.

However, adjustments may have to be made for the soil type: For soft, loamy soils - adjust the rows closer together; For hard, rocky soils - adjust the rows further apart.

TRENCHING

Use a hand tool such as a maddox or pick to score the ground. Using a shovel, dig the trench to the needed depth. Soil from excavating the trenches can be placed on the uphill, or flow side, of the trench to be used during installation.

For soft, loamy soils dig a 3 - 5 inch trench.
 For hard, rocky soils dig a 2 - 3 inch trench.

INSTALLING

Lay the first Straw Wattle snugly in the trench. No daylight should be seen under the Wattle. Pack soil from trenching against the Wattle on the uphill side. When installing running lengths of Straw Wattles, butt the second Wattle tightly against the first. DO NOT overlap the ends. Stake the Straw Wattles at each end and four foot on center. For example:

- A 25 foot Wattle uses 6 stakes
- A 20 foot Wattle uses 5 stakes
- A 12 foot Wattle uses 4 stakes

Stakes should be driven through the middle of the Wattle, leaving 2 - 3 inches of the stake protruding above the Wattle. A heavy sediment load will tend to pick the Wattle up and could pull it off the stakes if they are driven down too low. It may be necessary to make a hole in the Wattle with the pick end of your maddox in order to get the stake through the straw. When Straw Wattles are used for flat ground applications, drive the stakes straight down; when installing Wattles on slopes, drive the stakes perpendicular to the slope.

Drive the first end stake of the second Wattle at an angle toward the first Wattle in order to help about them tightly together. If you have difficulty driving the stake into extremely hard or rocky slopes, a pilot bar may be needed to begin the stake hole.

FLAT GROUND APPLICATIONS

For installations along sidewalks or behind curbs it may not be necessary to stake the Wattles, however trenches must still be dug. If you have not yet back-filled behind the sidewalk or curb, lay the Wattle snugly against it first, then backfill behind the Wattle; your trench is done! For installations around storm drains and inlets, trenches and staking will be needed.

Fit Wattle in trench snugly up against the sidewalk or curb. Around storm drains or inlets, the Wattle should be back 1 - 1 1/2 ft. and should direct water flow toward the angle of drainage. If all drainage angles into the inlet, snake the Wattle all the way around the inlet, using more than one Wattle if needed.

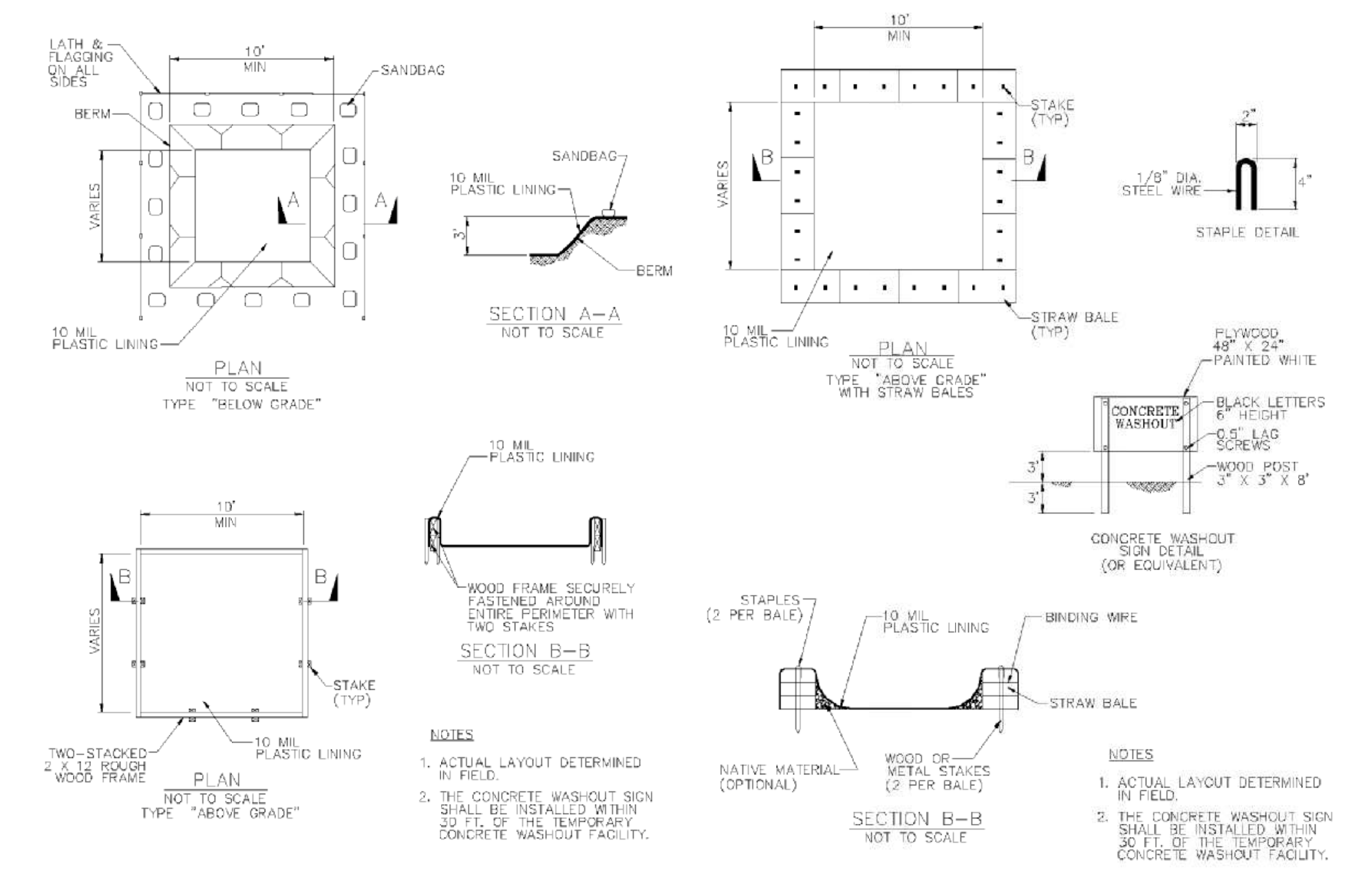
STAKING

We recommend using wood stakes or willow cuttings, rather than metal pins, to secure the Straw Wattles. Wood stakes will eventually biodegrade, and willow cuttings will grow and provide extra stabilization. Be sure to use a stake that is long enough to protrude several inches above the Wattle: 18\"/>

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④ STRAW WATTLE DETAILS AND NOTES NOT TO SCALE

WM-8 Concrete Waste Management



NOTES:
 1. ACTUAL LAYOUT DETERMINED IN FIELD.
 2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

⑤ CONCRETE WASHOUT MANAGEMENT CONTRACTOR TO DETERMINE WHICH BASIN TO USE. ACCEPTABLE ALTERNATIVES INCLUDE PREFABRICATED ITEMS SUCH AS THE OUTPAK SERIES.

REVISION DATES
PUB. 03/29/2024
REV1. 10/01/2024
REV2. 10/21/2024

CLEAR & GRUB NOTES

1. BARE SOIL AREAS TO BE COVERED w/2-3" MULCH LAYER UNTIL PLANTING
2. CONTACT OWNER, GARDENER OR ARCHITECT IF THERE ARE ANY SITE ISSUES

PLANTING NOTES

1. PLANT STOCK & SPECIES SHALL BE APPROVED BY ARCHITECT & GARDENER BEFORE PLANTING
2. REFER TO PLANT SPACING DIAGRAM BELOW FOR PLANTING DETAILS
3. PLANT LAYOUT AND SPACING TO BE APPROVED BY ARCHITECT/GARDENER BEFORE PLANTING
4. CONTRACTOR TO BE CAREFUL TO DIG AROUND MAJOR TREE ROOTS. SOME PLANT LAYOUT MAY NEED TO BE ADJUSTED. NOTIFY ARCHITECT WHEN COMING IN CONTACT w/ANY MAJOR TREE ROOTS IN QUESTION
5. ALL PLANTS TO LOCALLY RECEIVE BACKFILL CONTAINING SOIL AMENDMENT & FERTILIZER. SEE CHART FOR AMOUNT:
6. SOIL AMENDMENT TO BE COMPOST AVAILABLE FROM MONTEREY REGIONAL WASTE MANAGEMENT DISTRICT OR EQUAL, MIXED WITH NATIVE SOIL FERTILIZED w/COMPOST
7. PLANT SUBSTITUTIONS ARE NOT PERMITTED UNLESS REVIEWED BY THE ARCHITECT/GARDENER
8. LIQUID FENCE OR DETERRENT TO BE APPLIED TO ALL NEW PLANTINGS
9. ALL PLANTS TO BE WATERED BY HAND AFTER INSTALLATION

PLANT BACKFILL CHART	
PLANT SIZE	PIT SIZE - ROOTBALL PLUS
4" POT	3" ALL AROUND
1 GAL	6" ALL AROUND
5 GAL	8" ALL AROUND
15 GAL	10" ALL AROUND
36" BOX	24" ALL AROUND

PLANT LEGEND

WUCOL RATING	NO.	BOTANICAL NAME	COMMON NAME	SPACING/SIZE
TREES				
M	1	CITRUS X SINENSIS	SWEET ORANGE	EXISTING
M	2	CITRUS X PARADISI	GRAPEFRUIT	EXISTING
SHRUBS				
VL	3	LUPINUS ALBIFRONS	SILVER LUPINE	5 GAL
VL	4	ARCTOSTAPHYLOS GLAUCA	BIG BERRY MANZANITA	5 GAL
GROUNDCOVERS				
VL	5	CASTILLEJA EXSERTA	PURPLE OWL CLOVER	1 GAL
VL	6	ESCHSCHOLZIA CALIFORNIA	CALIFORNIA POPPY	1 GAL
VL	7	DUDLEYA	"WHITE LINEN" LIVE-FOR-EVER	1 GAL
VL	8	EPILOBIUM CANUM	CALIFORNIA FUSCIA	1 GAL
M	9	HEUCHERA MAXIMA	CORAL BELLS	1 GAL
M	10	HEUCHERA 'OLD LA ROHCETTE'	CORAL BELLS	1 GAL
L	11	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL
L	12	IRIS DOUGLASIANA	IRIS 'CANYON SNOW'	1 GAL

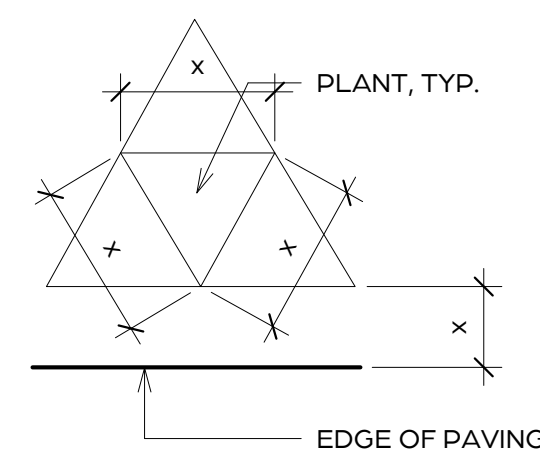
WUCOLS RATING KEY

WUCOLS REGION APPLICABLE TO THIS PROJECT: **REGION 1**

H HIGH
M MODERATE
L LOW
VL VERY LOW
U UNKNOWN

** FROM UCDAVIS Water Use Classification of Landscape Species Database, updated Sept. 2023

GROUNDCOVER PLANT SPACING DIAGRAM



TREE PROTECTION NOTES

1. AROUND EACH TREE OR GROUP OF TREES TO BE PRESERVED ADJACENT TO CONSTRUCTION SITES, A BOUNDARY OF ORANGE FENCING SUPPORTED BY WOOD OR METAL STAKES OR FUNCTIONAL EQUIVALENT WILL BE ERRECTED ALONG THE APPROXIMATE DRIP LINES OF SUCH PROTECTED TREES OR CLOSER WHERE SPECIFICALLY APPROVED BY A QUALIFIED FORESTER, ARBORIST, OR THE COUNTY OF MONTEREY. WHERE GUIDANCE OF A TREE PROFESSIONAL IS USED, ENCROACHMENT INTO THE DRIP LINE OF RETAINED TREES MAY OCCUR IN ORDER TO MINIMIZE TREE REMOVALS.
2. NO EXCAVATION, STORAGE OF EXCAVATED FILL, EQUIPMENT, OR CONSTRUCTION MATERIALS, NOR PARKING OF VEHICLES WILL BE PERMITTED WITHIN THE DRIP LINES OF THESE FENCE PROTECTED TREES.
3. NO SOIL MAY BE REMOVED FROM WITHIN THE DRIP LINE OF ANY TREE AND NO FILL OF ADDITIONAL SOIL WILL EXCEED TWO INCHES WITHIN THE DRIP LINES OF TREES, UNLESS IT IS PART OF APPROVED CONSTRUCTION AND IS REVIEWED BY A QUALIFIED FORESTER.
4. BARK INJURY TO ANY TREE FROM EQUIPMENT OR MATERIALS WILL BE PREVENTED BY FAITHFULLY RESPECTING THE TREE PROTECTION FENCING REQUIRED ABOVE.
5. ROOTS EXPOSED BY EXCAVATION WILL BE PRUNED TO PROMOTE CALLUSING, CLOSURE, AND REGROWTH, AND WILL BE RECOVERED AS SOON AS POSSIBLE IF TREE HEALTH IS TO BE REASONABLY MAINTAINED.

SHEET NOTES

- PROTECT (E) TREE. SEE TREE PROTECTION NOTES & BIOLOGIST ASSESSMENT
- 1 (E) PRIVACY HEDGE
 - 2 RELOCATE (E) CITRUS TREES
 - 3 BOCCIE COURT
 - 4 (N) TERRACED STONE CLAD 24 IN HIGH MAX. GARDEN WALL
 - 5 (N) STONE CLAD RETAINING WALL
 - 6 (N) SYNTHETIC TURF AREA FOR DOG PLAY AREA
 - 7 TILED PATIO
 - 8 (N) HOT TUB
 - 9 (N) PLANTED AREA
 - 10 (N) TRELIS ABOVE
 - 11 ENTRY WALK w/PAVERS
 - 12 (N) STONE CLAD STEPS AT GRADE
 - 13 PROTECT (E) TREE. SEE TREE PROTECTION NOTES & BIOLOGIST ASSESSMENT
 - 14 (N) FENCE
 - 15 (E) CLUMP BAMBOO HEDGE
 - 16 TRASH/RECYCLING STORAGE

PROJECT:

CAMPBELL HOUSE
23 WAWONA ROAD
CARMEL VALLEY, CA
93924

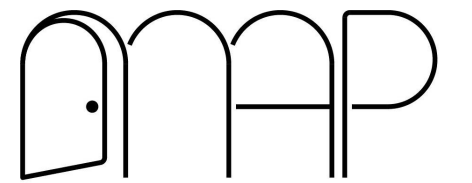
OWNER:

CAMPBELL FAMILY TRUST

APN:

197-101-019-000

PROJECT NO: 0091



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SCALE: As indicated

DRAWN BY: MH

PRINT DATE: 10.16.24

DRAWING DATE: 5.3.24

DATE ISSUED FOR CONSTRUCTION:

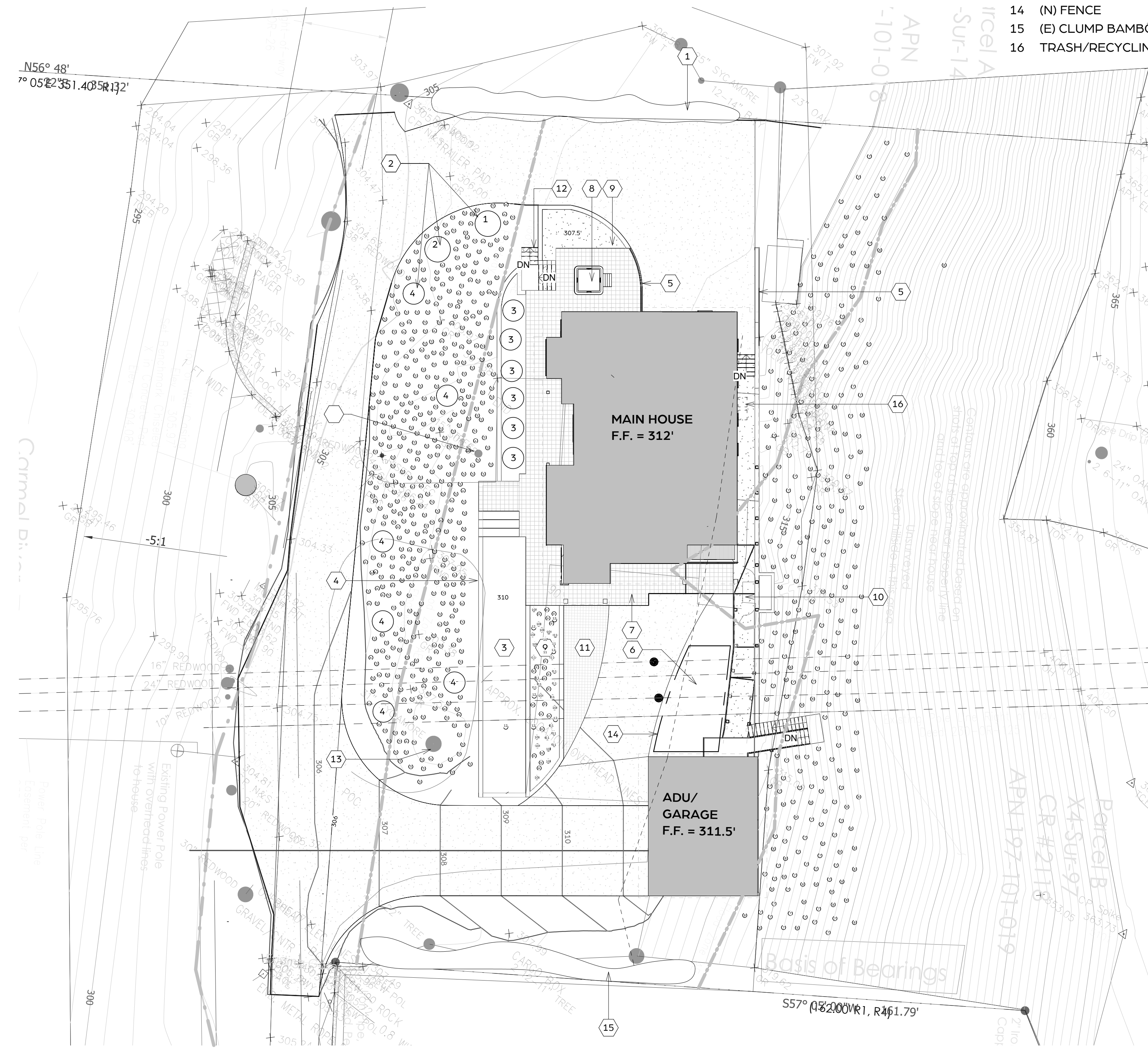
REVISIONS:

SHEET TITLE:

PROPOSED LANDSCAPE PLAN

SHEET NUMBER:

L1.1



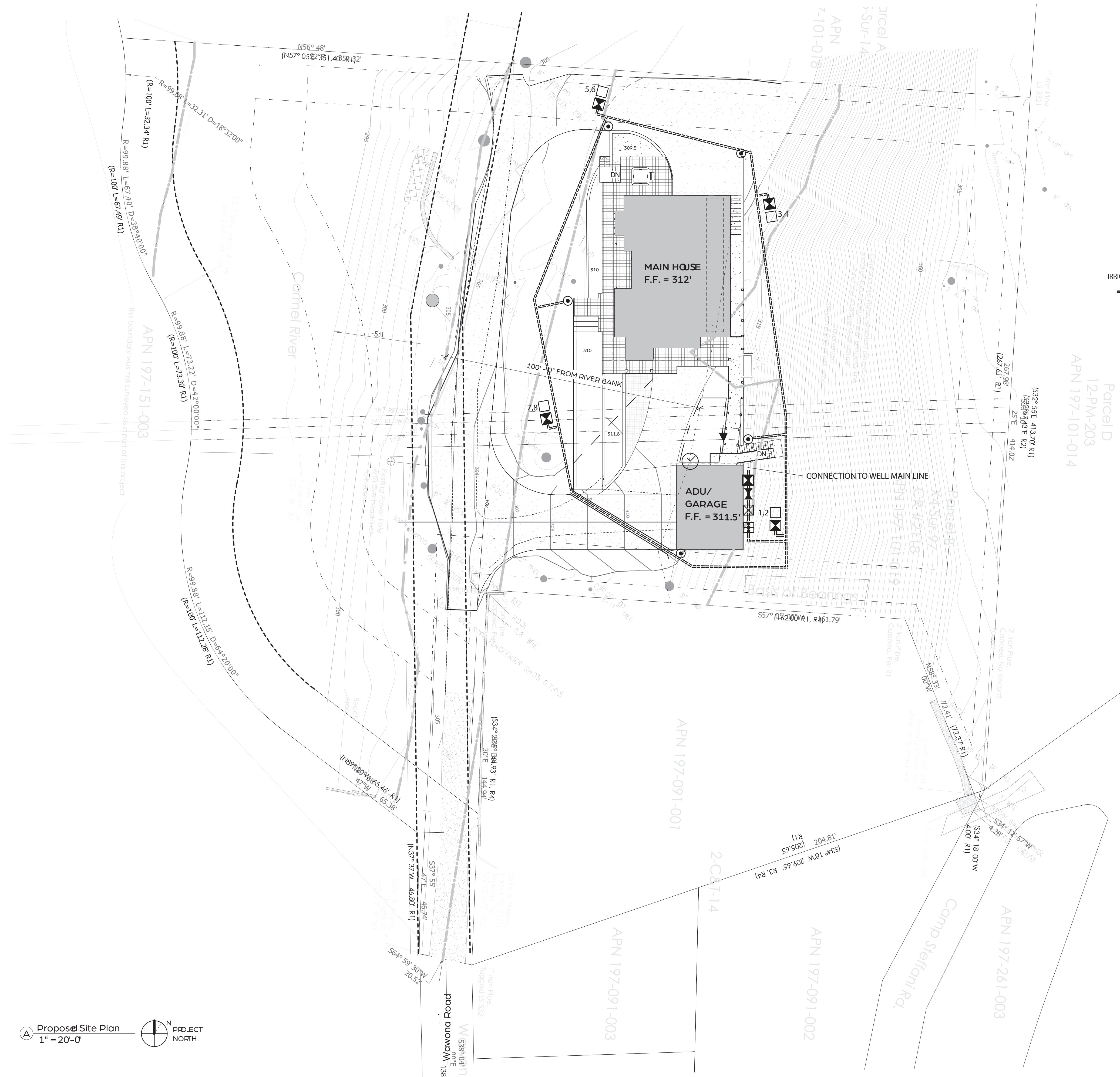
Proposed Landscape Plan
1/16" = 1'-0"

○ SHEET NOTES

PROJECT:
CAMPBELL HOUSE
 23 WAWONA ROAD
 CARMEL VALLEY, CA
 93924
 OWNER:
 CAMPBELL FAMILY TRUST
 APN:
 197-101-019-00
 PROJECT NO: 0091



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- IRRIGATION LEGEND:**
- 1.5" DIA SCH. 40 PVC MAIN SUPPLY LINE
 - ⊠ FEBCO BACKFLOW PREVENTION DEVICE
 - ⊞ MAINLINE MASTER VALVE
 - ⊞ IRRIGATION WATER METER + FLOW SENSOR
 - VALVE BOX
 - ⊞ RAINBIRD ESP-SMT SMART IRRIGATION CONTROLLER
 - HOSE BIB
 - ⊞ RAINBIRD ESP RAIN SENSOR
 - ⊞ GATE VALVE
 - || 4" SCH 40 PVC CHASE PIPE

IRRIGATION NOTES:
 ALL NEW PLANTING TO BE CONNECTED TO NEW IRRIGATION SYSTEM
 PLANTS TO BE IRRIGATED WITH A COMBINATION OF DRIP EMITTERS AND MICRO SPRAYS.
 ADDITIONAL IRRIGATION NOTES SEE PAGE L1.3.

- LEGEND**
- PROPOSED STRUCTURES
 - ⊞ EXISTING STRUCTURE TO BE REMOVED
 - ⊞ FIBER ROLL

SCALE: As indicated
 DRAWN BY: MH
 PRINT DATE: 4.17.24
 DRAWING DATE: 4.13.24
 DATE ISSUED FOR CONSTRUCTION
 REVISIONS

SHEET TITLE:
IRRIGATION PLAN

SHEET NUMBER:
L1.2

Proposed Site Plan
 1" = 20'-0"





Sensors & Meters
Flow Meters and Sensors

Flow Meters and Sensors

Compatible with RSD, CEX, M1008, FS Series, and ESP-SMT. Contact LINK, Site Sale ESP-LXD, LXME, LXME3, ESP-ME3 and LX-RM Controls.

Features

- Simple six-bladed impeller design
Designed for outdoor or underground applications
Available in PVC, brass or stainless steel construction
Pre-installed in tee or saddle mounted insert versions
Operating Specifications
Accuracy: +/- 1% (full scale)
Velocity: 1.0-30 feet (0.31-9.2 meters) per second depending on model
Pressure: 400 psi (27.5 bars) (max) on brass models; 100 psi (6.9 bars) (max) on plastic models
Temperature: 22F (-10C) (min) on brass models; 147F (60C) (max) on plastic models

M1008 Analog 1" NPT Brass Flow Sensor

- Landscape Flow Sensor with analog register dial readout and wired connection for ESP-ME3 Controller
Delivers precise accuracy with flow ranges from 1.2 gpm to 50 gpm
Brass body and glass-filled nylon construction provide maximum protection against high pressure surges, physical damage and corrosion

FS Series Impeller Flow Sensors

- FS350B: Brass Insert Sensor
FS100B, FS100S, and FS200B: Brass Sensors
FS100P, FS200P, and FS400P: PVC Sensors
FS100T: Tee Sensor

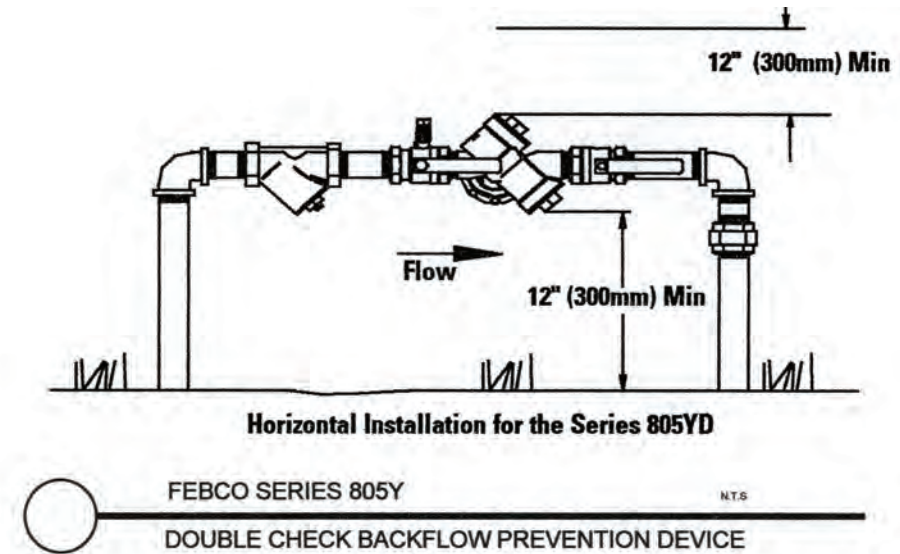
For complete Controller/Sensor compatibility information, see the Sensors & Meters Compatibility Matrix on page 96

Rain Bird Flow Sensor Suggested Operating Range

The following tables indicate the suggested flow range for Rain Bird Flow Sensors. Rain Bird Sensors will operate both above and below the indicated flow rates. However, good design practice dictates the use of this range for best performance. Sensors should be sized for flow rather than pipe size.

Table with 4 columns: Model, Description, Dimensions, and Suggested Operating Range (Gallons/Minute, Liters/Minute, and GPM/Meters/Minute).

98 The Intelligent Use of Water.

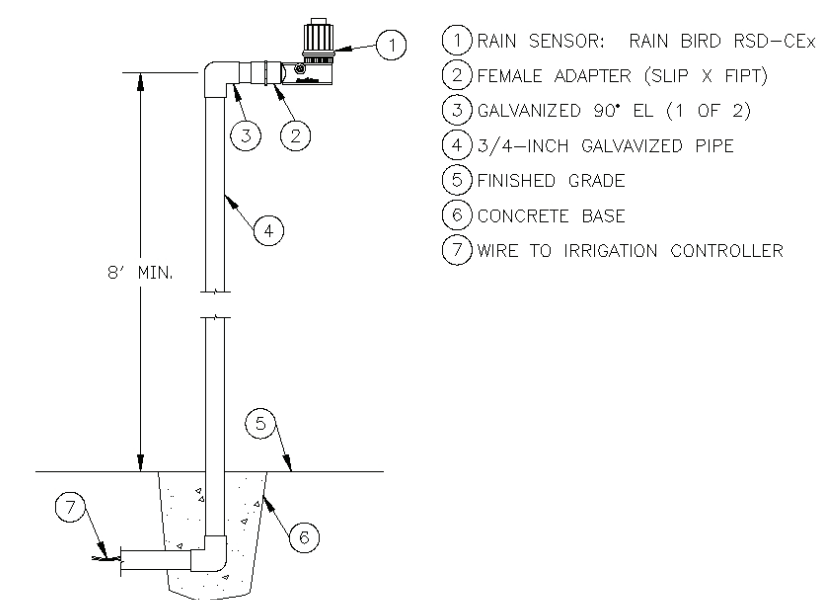


Rotary Nozzles R-VAN Nozzles www.rainbird.com/sprays

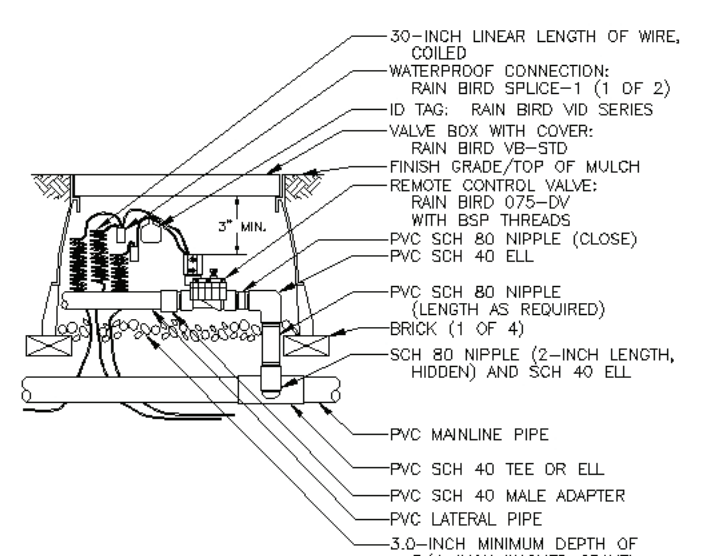
Table showing performance data for 17-24 inch adjustable arc nozzles (45 to 270 degrees) in both imperial and metric units.

Table showing performance data for 17-24 inch full circle nozzles (360 degrees) in both imperial and metric units.

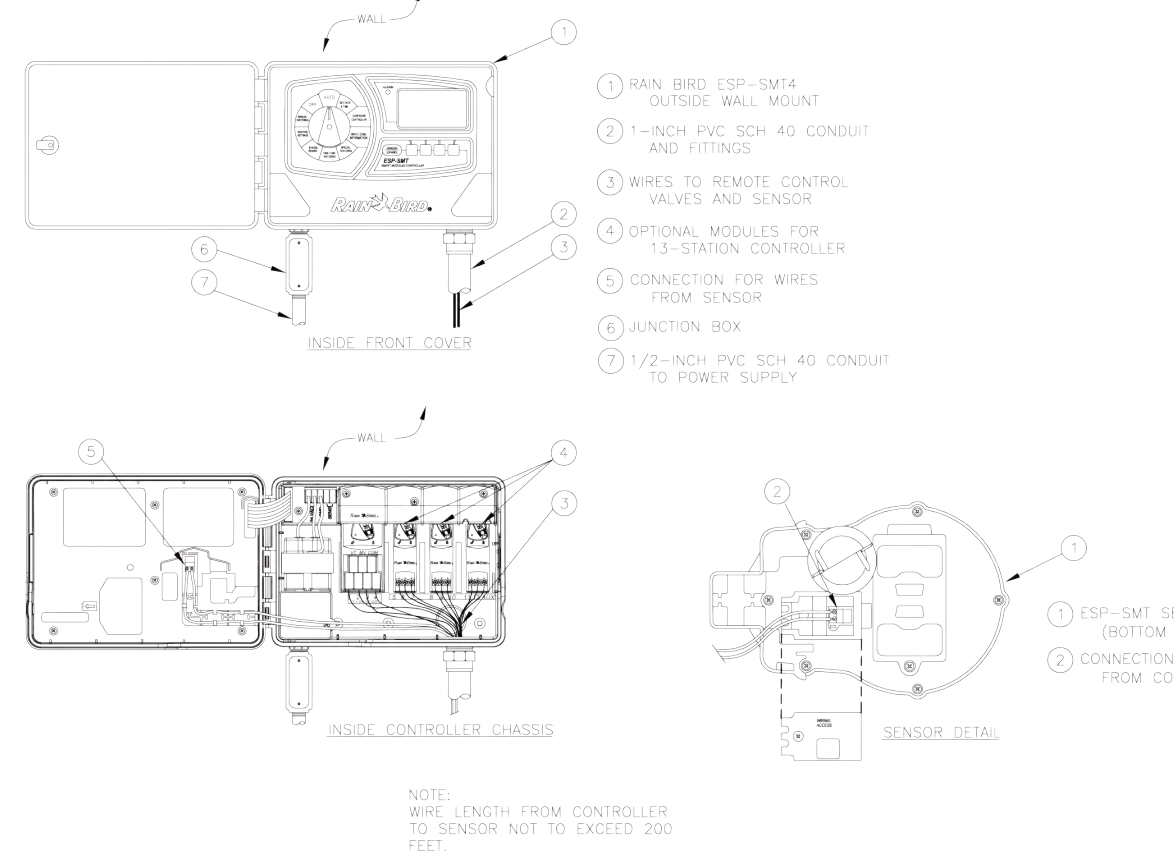
www.rainbird.com 19



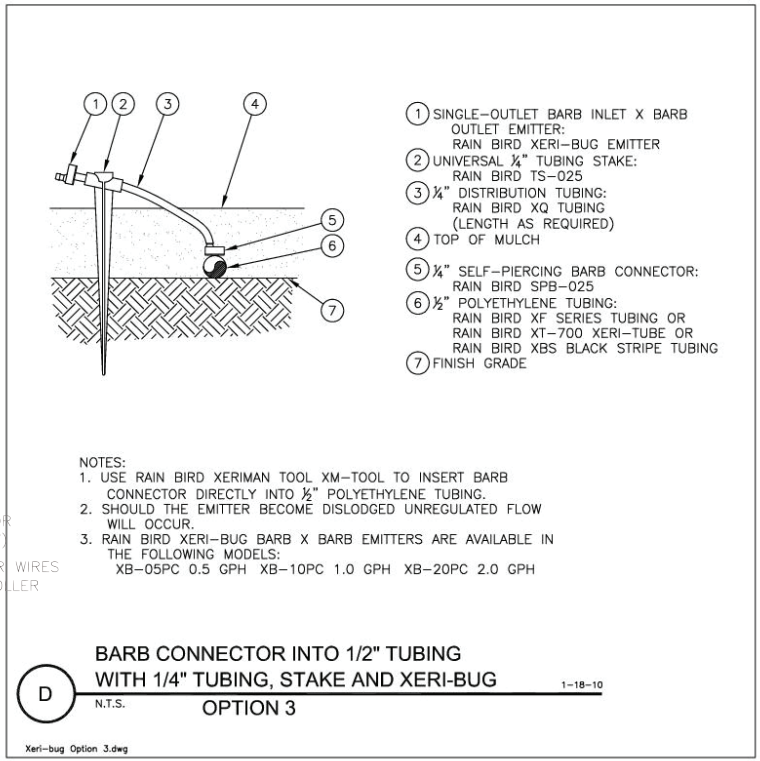
RAIN SENSOR RSD-CEX POLE MOUNT



ELECTRIC REMOTE-CONTROL VALVE DV SERIES 075-DV OR 100-DV



ESP-SMT SMART CONTROL SYSTEM (OUTDOOR)



ESP-SMT SMART CONTROL SYSTEM (OUTDOOR) OPTION 3

IRRIGATION NOTES:

SYSTEM DESIGNED TO PREVENT LOW HEAD DRAINAGE AND NO OVERSPRAY OR RUNOFF
IRRIGATION LAID OUT TO CONFORM TO HYDROZONES INDICATED ON LANDSCAPE PLAN
SYSTEM DESIGNED TO ACHIEVE MINIMUM IRRIGATION EFFICIENCY OF .75 FOR OVERHEAD SPRAY AND .81 FOR DRIP ZONES
SYSTEM USES LOW VOLUME IRRIGATION IN MULCHED PLANTING AREAS
SYSTEM HAS MATCHED PRECIPITATION RATES FOR HEAD AND EMISSION DEVICES
THE IRRIGATION HEADS ARE LAID OUT FOR OPTIMAL SPACING
SYSTEM USES CHECK OR ANTI-DRAIN VALVES
SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY FOR TURF OR OTHER AREAS LESS THAN 10 FEET IN WIDTH
WHERE SPRINKLER HEADS ARE CLOSER THAN 24" TO HARDSCAPE, HARDSCAPE IS DESIGNED TO DRAIN ENTIRELY INTO LANDSCAPE

EACH VALVE IRRIGATES HYDROZONE WITH SIMILAR CONDITIONS WITH SPRINKLER HEADS AND EMISSION DEVICES THAT ARE APPROPRIATE FOR THE PLANT TYPE WITHIN THE HYDROZONE

TREES WILL BE PLACED ON SEPARATE VALVES FROM SHRUBS, GROUNDCOVERS, AND TURF WHERE FEASIBLE

DRIP EMITTERS TO BE 1 GPH UNLESS OTHERWISE NOTED

LANDSCAPING STATEMENT:

I PATRICK WILSON CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT TOLERANT, NON-INVASIVE SPECIES; LIMITED TURF; AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

Patrick Wilson

XERISCAPE PRACTICES:

- 1. LOW WATER USE, DROUGHT TOLERANT PLANTS
2. WATER CONSERVING IRRIGATION TECHNIQUES AND SYSTEMS
3. DRIP IRRIGATE ALL NON-TURF PLANT MATERIAL
4. INSTALLATION OF WEATHER SENSOR AND SMART CONTROLLER TO REGULATE EFFICIENT WATERING.
5. IRRIGATION ZONES TO BE BASED ON LIKE WATER NEEDS.

AUTOMATIC CONTROLLER DEVICE:

SHALL BE WALL MOUNTED AS DIRECTED BY LANDSCAPE CONTRACTOR. SERVICE TO BE 120 VOLT AC HARDWIRED PER ELECTRICAL CONTRACTOR.

LOW VOLTAGE LIGHTING:

TO BE INSTALLED IN ELECTRICAL CONDUIT. RUN ADDITIONAL 2" CHASES AND EXTRA WIRES AS NEEDED. LOCATE BELOW MAIN IRRIGATION LINES. SEE ELECTRICAL PLAN.

HOSE BIBS:

TO BE BRASS AND INSTALLED ON A 4"x4" PRESSURE TREATED POST.

VALVE BOXES, PIPE, AND HOSE BIBS: ALL EXPOSED COMPONENTS OF IRRIGATION SYSTEM TO BE PURPLE IN COLOR TO SHOW IT IS RECLAIMED WATER.

IRRIGATION NOTES:

ALL IRRIGATION MAIN LINE TRENCHING SHALL BE A MINIMUM OF 18" MIN. BELOW FINISH AT PLANTER BEDS AND 24" MIN. BELOW PAVED SURFACES. LATERAL LINES TO BE 12" BELOW FINISH AND DRIP LINES TO BE 5" BELOW FINISH.

CONNECT IRRIGATION WATER LINE TO DOMESTIC MAIN SUPPLY VIA BACKFLOW PREVENTION DEVICE. (SEE DETAIL.)

ALL BANKS OF IRRIGATION VALVES TO BE CONNECTED TO IRRIGATION MAINLINE AFTER A GATE VALVE FOR SERVICING OF INDIVIDUAL BANKS.

IRRIGATION DEMAND:

14GPM AT 55 PSI STATIC UPSTREAM OF BACKFLOW PREVENTOR. VERIFY EXACT PRESSURE PRIOR TO COMMENCEMENT OF WORK.

ALL TRENCHES FOR IRRIGATION WORK TO BE LAID OUT ONSITE TO AVOID DAMAGE TO ANY EXISTING TREE ROOTS

IRRIGATION SCHEDULE:

Table showing irrigation schedule for establishment period (one year) and mature period (after one year or determine on plant to plant basis).

FOR MATURE PERIOD - AFTER ONE YEAR OR DETERMINE ON PLANT TO PLANT BASIS

Table showing mature irrigation schedule for 1 and 2 gallon plants, 5 and 15 gallon plants, and 24 inch box trees.

AS PLANTS MATURE AND BECOME MORE ESTABLISHED, THE IRRIGATION CAN BEGIN TO TAPER OFF AS MUCH AS THE PLANTS WILL ALLOW.

PROJECT: CAMPBELL HOUSE 23 WAWONA ROAD CARMEL VALLEY, CA 93924

OWNER: CAMPBELL FAMILY TRUST

APN: 197-101-019-000

PROJECT NO: 0091



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SCALE: As indicated

DRAWN BY: MH

PRINT DATE: 4.12.24

DRAWING DATE: 4.13.24

DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

Water Efficient Landscape Worksheet Instructions: Fill in all items in this color. Answer is shown in this color.

Reference Evapotranspiration (ETo) table for Carmel Valley showing ETWU requirements and MAWA values for regular and special landscape areas.

Plant Water Use Type table showing Plant Factor, Irrigation method, and Irrigation Efficiency for very low, low, medium, and high water use plants.

MAWA (annual gallons allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]

ETAF Calculations table showing Regular Landscape Areas with Total ETAF x Area of 1,505 and Total Area of 6,084.

All Landscape Areas table showing Total ETAF x Area of 1,505 and Total Area of 6,084.

Sitewide ETAF table showing a value of 0.25.

NEW PLANTING AREA SQUARE FOOTAGE:

6,072 SF LOW WATER USE

12 SF MEDIUM WATER USE

0 SF HIGH WATER USE

LANDSCAPE AREA:

EACH PLANT HAS ITS OWN, APPROPRIATELY SIZED, DRIP EMITTER AND THEREFORE LANDSCAPE AREA IS CALCULATED PER PLANT.

THIS IS CALCULATED BY THE FOLLOWING GUIDELINES

Table showing guidelines for plant area: 4 inch plant = 4 square feet, 1 gallon plant = 6 square feet, 5 gallon plant = 12 square feet, 15 gallon plant = 16 square feet, 24 inch box tree = 20 square feet, 36 inch box tree = 32 square feet.

ESTIMATED TOTAL WATER USE (ETWU) = 33,596 GALLONS PER YEAR

MAXIMUM ALLOWED WATER ALLOWANCE (MAWA) = 103 ACRE FEET 61,108 GALLONS PER YEAR 188 ACRE FEET

ETWU IS LESS THAN MAWA

SHEET NUMBER:

L1.3

○ SHEET NOTES

PROJECT:
CAMPBELL HOUSE
 23 WAWONA ROAD
 CARMEL VALLEY, CA
 93924
 OWNER:
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FUEL MANAGEMENT PLAN NOTES:
 ALL NEW PLANT MATERIAL ON PROPERTY WILL BE IRRIGATED.
 ALL TREES ON SITE TO BE KEPT FREE OF DEAD WOOD.
GREEN ZONE: 0'-30' AWAY FROM HOUSE.
 GUIDELINES AS FOLLOWS:
 ALL DRY AND DEAD GRASS KEPT TO A HEIGHT OF 4"
 MAINTAIN THE ROOF AND GUTTERS OF STRUCTURE FREE OF LEAVES, NEEDLES, OR OTHER DEAD VEGETATIVE GROWTH
 MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD WOOD TRIM TREE LIMBS THAT EXTEND WITHIN 10' OF THE OUTLET OF A CHIMNEY TRIM DEAD PORTIONS OF TREE LIMBS WITHIN 10' FROM THE GROUND REMOVE ALL DEAD FALLEN MATERIAL UNLESS IT IS EMBEDDED IN THE SOIL REMOVE ALL CUT MATERIAL FROM THE AREA MAINTAIN SCREEN OVER CHIMNEY OUTLET
MANAGEMENT ZONE: 30' - 100' AWAY FROM HOUSE.
 GUIDELINES AS FOLLOWS:
 KEEP ANY NON IRRIGATED VEGETATION LOW TO THE GROUND
EMERGENCY VEHICLE ACCESS:
 VEHICLE ACCESS FROM MARGUERITE ROAD.

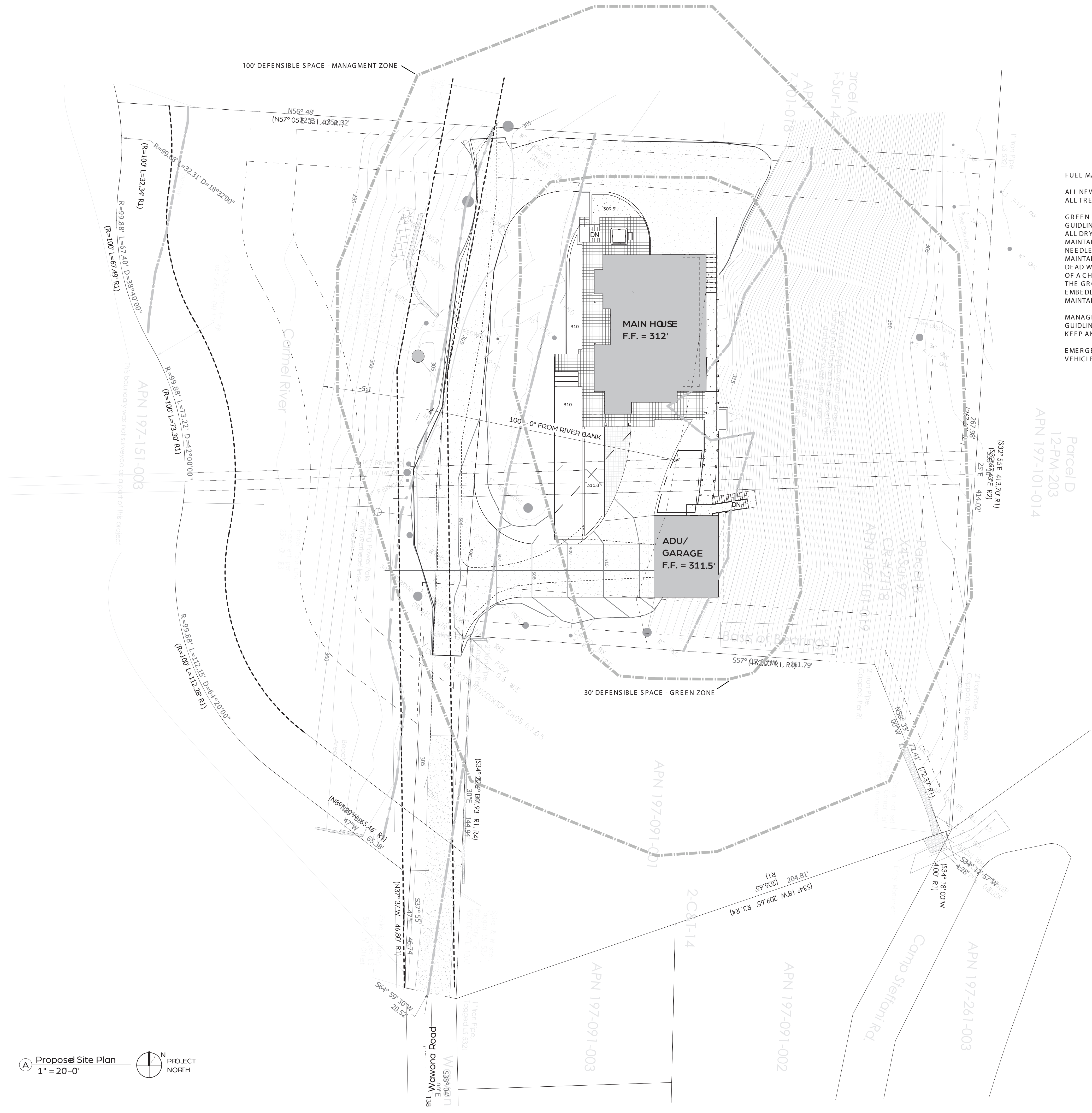
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 REVISIONS

LEGEND

- PROPOSED STRUCTURES
- EXISTING STRUCTURE TO BE REMOVED
- FIBER ROLL

SHEET TITLE:
FUEL MANAGEMENT PLAN

SHEET NUMBER:
L1.4



Proposed Site Plan
 1" = 20'-0"
 PROJECT NORTH

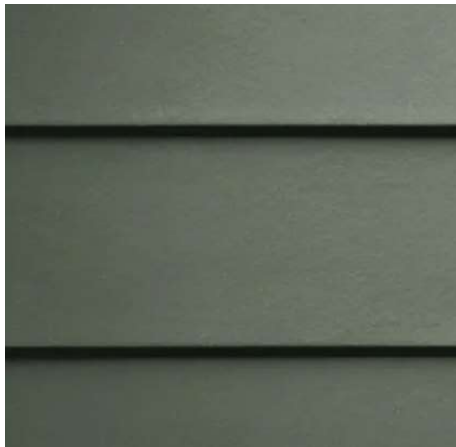
Asphalt composition shingle roofing



Carmel river stone plinth, stairs & garden walls cladding



Fire resistant cement board siding – horizontal orientation, painted



Aluminum clad wood casement windows & doors





Existing House to be Demolished



Existing Cabin to be Demolished



Existing Garage to be Demolished