Exhibit A

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DRAFT RESOLUTION

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:
NUNES SAM EDWARD AND AMY WONG TRS (PLN240166)

RESOLUTION NO. 25-

Resolution by the County of Monterey Zoning Administrator:

1) Finding the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA guidelines section 15301, and there are no exceptions pursuant to Section 15300.2; and
2) Approving a Combined Development Permit consisting of:
   a. Coastal Administrative Permit and Design Approval to allow construction of a 770 square foot addition to an existing 2,027 square foot single family dwelling, demolition of an existing carport, and associated site improvements; and
   b. Coastal Development Permit to allow the removal of three protected Coast live oak trees and two protected Monterey pine trees.

[PLN240166, Nunes Sam Edward and Amy Wong TRS, 4079 Sunridge Rd, Pebble Beach, Del Monte Forest Land Use Plan (APN: 008-181-001-000)]

The Nunes Sam Edward and Amy Wong TRS application (PLN240166) came on for public hearing before the County of Monterey Zoning Administrator on January 30, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

   EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
   - the 1982 County of Monterey General Plan;
   - Del Monte Forest Land Use Plan;
   - County of Monterey Coastal Implementation Plan Part 5;
   - Monterey County Zoning Ordinance (Title 20);

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

b) Allowed Use. The property is located at 4079 Sunridge Rd, Pebble Beach (Assessor's Parcel Number 008-181-001-000), Del Monte Forest Land Use Plan, and is within the Coastal Zone. The parcel is zoned Medium Density Residential with a maximum gross density of two units per acre and a Design Control Overlay within the Coastal Zone or "MDR/2-D(CZ)". MDR zoning allows for the establishment of the first single-family dwelling and construction of additions to existing structures as principally allowed uses, subject to the granting of a Coastal Administrative Permit. The Design Control overlay requires the granting of a Design Approval for all structures. The proposed project involves the construction of a 770-square-foot addition to an existing single-family dwelling and demolition of an existing carport. Additionally, the project involves the removal of three protected Coast live oak trees and two protected Monterey pine trees, which is an allowed use subject to the granting of a Coastal Development Permit. Therefore, the project is an allowed land use for this site.

c) The project planner conducted a site inspection on December 5, 2025, to verify that the project on the subject parcel conforms to the plans listed above.

d) Lot Legality. The subject property (21,910.6 square feet, .503 acres in size), APN: 008-181-001-000, is identified in its current configuration as Lot 1 of Block 2 on a Final Map entitled "Tract No.166 Pescadero Heights", recorded in June 1948 (Book 5, Cities & Towns, Page 19). Therefore, the County recognizes the subject property as a legal lot of record.

e) Review of Development Standards. The project meets all required development standards for Medium Density Residential or "MDR" zoning, which are identified in Title 20 section 20.14.060. The required minimum setbacks for main structures are 20 feet (front), 5 feet (side), and 10 feet (rear). Additionally, the MDR zoning district allows a height of 27 feet for main structures in the Del Monte Forest. The proposed addition will have setbacks of 29 feet (front), 21 feet (side), over 50 feet (rear), and a height of 13 feet 6 inches to match the existing single-family dwelling. The existing carport is constructed within the property's front setback and straddles the front property line. As proposed, the project involves the removal of this structure, thus resolving its setback and location conflict. Pursuant to Title 20 sections 20.12.060.E and F, the maximum site coverage and floor area ratio is 25 percent in this MDR district for the Del Monte Forest area. The proposed project will have a site coverage and floor area ratio of 18.2 percent and 13.04 percent, respectively. Therefore, the proposed project is consistent with the maximum allowed site coverage and floor area ratio. The project meets all required development standards.

f) Land Use Advisory Committee (LUAC) Review. The project was referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application did warrant referral to the LUAC because the project involves a Design Approval subject to review by the Zoning Administrator. On December 5, 2024, at a duly-noticed meeting, the Del Monte Forest LUAC voted 7-0 to support the project as proposed. Members of the LUAC raised concerns regarding the project arborist's recommendation to not replant plant trees due to overcrowding, landscaping, and the existing carport that straddles the front property line. See subsequent Finding Nos. 4 and 6 and supporting evidence.

g) Design. Pursuant to Title 20 Chapter 20.44, the project parcels and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The proposed addition uses colors and materials matching the existing single-family dwelling including a gray asphalt shingle roof, earth-tone brown painted wood doors and trim, earth-tone green painted wood siding, and copper gutters and downspouts. The existing exterior colors and materials are compatible with the surrounding environment and are consistent with the surrounding residential neighborhood character. Condition No.5 has been applied to require the installation of down-lit unobtrusive exterior lighting. The proposed development will not be visible from a scenic corridor or major common public viewing area due to location, topographic, and intervening development and vegetation. Therefore, as proposed and conditioned, the project is compatible with the surrounding environment, consistent with the surrounding residential neighborhood character, and assures protection of the public viewshed and visual integrity.

h) Combined Structural and Impervious Surface Coverage. The subject property is located within the Pescadero Watershed, a designated watershed, as shown in Figure 2b of the DMF LUP. Accordingly, structural and impervious surface coverage is limited to 9,000 square feet per DMF LUP Policy 77. The project results in an impervious surface coverage of 8,517 square feet and is therefore consistent with Policy 77.

i) Tree Removal. The proposed project involves the removal of five trees, including three protected Coast live oak trees and two protected Monterey pine trees. However, as detailed in Finding No. 6 and supporting evidence, the proposed tree removal is the minimum required under the circumstances and the removal will not involve a risk of adverse environmental impacts. Therefore, the criteria necessary to grant a Coastal Development Permit have been met in this case.

j) Cultural Resources. DMF CIP Section 20.147.080.B.1 states that an archaeological survey report shall be required for all development within a known or potential archaeological resource area. According to the Monterey County Geographic Informational System (GIS), the subject property has a moderate archaeological sensitivity and is not

within 750 of a known archeological resource. Accordingly, an archaeological report was not required. The potential for inadvertent impacts on cultural resources is limited and will be controlled by use of the County's standard condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction.

k) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN240166.

2. **FINDING:** **SITE SUITABILITY –** The site is physically suitable for the use proposed.

EVIDENCE:

a) The project has been reviewed for site suitability by the following departments and agencies: HCD- Planning, Pebble Beach Community Services District (Fire), HCD-Engineering Services, HCD-Environmental Services, and Environmental Health Bureau. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.

b) Staff identified potential impacts on soil and forest Resources. The following reports have been prepared:

- "Geotechnical Investigation" (County of Monterey Library No. LIB240266) prepared by Wayne Ting & Associates, INC., Fremont, CA, July 12, 2024.
- "Arborist Report" (County of Monterey Library No. LIB240265) prepared by Albert Weisfuss, Carmel, CA, September 20, 2024.

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions.

c) Staff conducted a site inspection on December 5, 2024 to verify that the site is suitable for this use.

d) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD - Planning for the proposed development found in Project File PLN240166.

3. **FINDING:** **HEALTH AND SAFETY -** The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use; or be detrimental or injurious to property and improvements in the neighborhood; or to the general welfare of the County.

EVIDENCE:

a) The project was reviewed by HCD- Planning, Pebble Beach Community Services District (Fire), HCD-Engineering Services, HCD-Environmental Services, and Environmental Health Bureau. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health,

safety, and welfare of persons either residing or working in the neighborhood.

b) The Pebble Beach CSD currently provides sewer service to the existing single-family dwelling. California American Water currently provides potable water to the existing single-family dwelling. All necessary public facilities will continue provided to the proposed addition.

c) Staff conducted a site inspection on December 5, 2024 to verify that the site is suitable for this use.

d) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD - Planning for the proposed development found in Project File PLN240166.

4. **FINDING:** **VIOLATIONS -** The subject property is not in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. Violations exist on the property. The approval of this permit will correct the violations and bring the property into compliance.

EVIDENCE:

a) Staff reviewed County of Monterey HCD - Planning and Building Services Department records and is aware of violations existing on subject property.

b) Staff conducted a site inspection on December 5, 2024 and researched County records to assess if any violation exists on the subject property. As observed during staff's site visit and noted during the December 5, 2024 LUAC meeting, an existing carport is developed over the property's front property line and within the required front setback. No records authorizing the construction of this carport were found.

c) To correct this violation , the Applicant/Owner revised the project scope to include demolition of the structure. When implemented, the project will bring the subject property into compliance with all rules and regulations pertaining to the property and abate the existing violations.

5. **FINDING:** **CEQA (Exempt) -**The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

EVIDENCE:

a) California Environmental Quality Act (CEQA) Guidelines section 15301 categorically exempts minor alterations of existing private structures involving negligible or no expansion of the existing use, such as additions that will not result in an increase of more than 50 percent of the existing floor area or 2,500 square feet, whichever is less.

b) As proposed, the project involves the construction of a 770 square foot addition to an existing single-family dwelling. With implementation of the project, the single-family dwelling will continue to be used for long-term residential purposes. Further, the proposed addition is less than 2,500 square feet and 50% of the existing floor area ratio (2,027 square feet) and therefore meets the Class 1 Categorical Exemption requirements.

c) No adverse environmental effects were identified during staff review of the development application during a site visit on December 5, 2024.

d) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no significant effect on the environment due to

unusual circumstances. The project location is not within a sensitive environment containing hazardous or critically concerning resources. There is no cumulative impact without any prior successive projects of the same type in the same place, over time and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered a hazardous waste site. Removal of five protected trees will not result in an adverse environmental impact or significant long-term impacts. The proposed project will also not be visible from any scenic vista or corridor. No known historical resources are found in the geotechnical or archaeological reports which may cause a substantial adverse change in the significance of a historical resource.

e) Staff conducted a site inspection on December 5, 2024, to verify that the site and proposed project meet the criteria for an exemption.

f) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN240166.

6. **FINDING:** **TREE REMOVAL** – The siting, location, size, and design has been established to minimize tree removal and has been limited to that required for the overall health and long-term maintenance of the property.

EVIDENCE: a) The project includes the removal of 5 trees, including 3 protected Coast live oak and 2 protected Monterey pine trees. In accordance with the applicable policies of the Del Monte Forest Land Use Plan, associated Coastal Implementation Plan (Del Monte Forest CIP), and Title 20 (Coastal Zoning Ordinance), a Coastal Development Permit is required to authorize the proposed tree removal, and the criteria to grant said permit have been met.

b) Pursuant to the Del Monte Forest CIP section 20.147.050, a Coastal Development Permit is required for the removal of native trees including Monterey Pine, Monterey Cypress, and Coast Live Oak trees. The Del Monte Forest CIP section 20.147.050.C.3.b prohibits the removal of trees generally recognized and accepted as visually, historically, or botanically significant that are over 24 inches in diameter. As proposed, the project involves the removal of five protected native trees, including three Coast Live Oak and two Monterey Pine, none of which are over 24 inches in diameter and all of which are within the proposed development footprint. The prepared Arborist report (LIB240265) identifies the trees proposed for removal as all in fair condition and not suitable for preservation due to being within the proposed development footprint. There are four trees on the property over 24 inches in diameter, including two 30-inch landmark Monterey Pine trees. However, due to siting and design no landmark trees will be impacted by the proposed development. Placement of the proposed development in other locations would require a similar numbers of trees to be removed and would involve impacts to nearby landmark trees. Therefore, with the removal of five protected trees, the proposed tree removal is minimized and limited to that which is necessary for the proposed development.

c) Pursuant to the Del Monte Forest CIP section 20.147.050.C.6, removal of native trees shall be mitigated through replanting or forest preservation either on- or off-site. Although on-site replanting is generally encouraged, if not required, to mitigate tree removal, off-site mitigation may be considered if on-site mitigation is determined to be infeasible or would create an overcrowded environment. Off-site mitigation may include replanting of an equal number of trees of the same variety and/or preservation of an equal area of forest in the Del Monte Forest, or the payment of a fee to the Del Monte Forest Conservancy for tree planning/forest preservation in the Del Monte Forest.

d) The Project Arborist identifies the subject property as being heavily planted with 75 native trees that have both upper and lower canopies. The Arborist report (LIB240265) recommends that no on-site replanting occurs due to the project site's existing overcrowded condition. If trees were to be replanted, survival is unlikely due to the density of the surrounding mature canopies, and the site's overcrowded conditions would be worsened. Accordingly and consistent with Del Monte Forest LUP Policy 35, the off-site mitigation is appropriate. Condition No. 6 has been included to require the Applicant/Owner work with the Del Monte Forest Conservancy to identify off-site locations suitable for the replanting of five native trees, or in the case that replanting is not feasible, a fee shall be paid to the Del Monte Forest Conservancy for off-site replanting/forest preservation.

d) Measures for tree protection during construction have been incorporated as a condition of approval, and include tree protection zones, trunk protection, hand excavation and bridging roots.

e) No significant long-term effects on the forest ecosystem are anticipated. The project as proposed will not significantly reduce the availability of wildlife habitat over the long term.

f) Staff conducted a site inspection on December 5, 2024 to verify that the tree removal is the minimum necessary for the project and to identify any potential adverse environmental impacts related to the proposed tree removal.

g) The application, plans and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN240166.

7. **FINDING:** **APPEALABILITY -** The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

EVIDENCE: a) Board of Supervisors. Pursuant to Title 20 section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.

b) Coastal Commission. Pursuant to Title 20 section 20.86.080.A, the project is subject to appeal by/to the California Coastal Commission because it involves development between the sea and first through public road paralleling the sea (i.e., State Route/Highway 1 and Pescadero Road) and because it involves development that is permitted in the underlying zone as a conditional use (removal of protected trees).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Finding the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA guidelines section 15301, and that there are no exceptions pursuant to Section 15300.2; and
2. Approving a Combined Development Permit consisting of:
    a. Coastal Administrative Permit and Design Approval to allow construction of a 770 square foot addition to an existing 2,027 square foot single family dwelling, demolition of an existing carport, and associated site improvements, and
    b. Coastal Development Permit to allow the removal of three protected Coast Live Oak trees and two protected Monterey Pine trees.

PASSED AND ADOPTED this 30th day of January, 2025:

_____

Mike Novo, AICP
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

    Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240166

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Combined Development permit (PLN240166) allows the construction of a 770 square foot addition to an existing 2,027 square foot single-family dwelling, demolition of a carport, and the removal of 5 protected trees. The property is located at 4079 Sunridge Road, Pebble Beach (Assessor's Parcel Number 001-181-008-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Combined Development Permit (Resolution Number _____) was approved by the County of Monterey Zoning Administrator for Assessor's Parcel Number 008-181-001-000 on January 30, 2025. The permit was granted subject to 7 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

5. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

6. PDSP001 - OFF-SITE TREE MITIGATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The granting of this permit allows the removal of 5 protected trees. It has been determined that on-site replanting is not feasible and therefore off-site mitigation shall be required pursuant to Del Monte Forest CIP section 20.147.050.C.6. Applicant/owner must work with a qualified arborist and the Del Monte Forest Conservancy to identify a suitable site for off-site replanting within the Del Monte Forest. Suitability determination includes protection or enhancement of existing forest resources and shall not result in forest overcrowding. Should an off-site location be identified, the applicant/owner shall submit to HCD-Planning an agreement from the Del Monte Forest Conservancy confirming consent to replant 5 native trees (3 Coast Live Oaks and 2 Monterey Pines) on the identified location and establish the maintenance, financial and monitoring responsibility. Should off-site replanting not be feasible to the satisfaction of HCD-Planning, applicant/owner shall make payment of a fee to the Del Monte Forest Conservancy for off-site replanting/preservation commensurate to the cost, as determined by a certified Arborist, for the number and type of trees to be removed.

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits applicant/owner shall submit to HCD-Planning for review and approval evidence demonstrating whether off-site replanting is feasible. Should an off-site location be identified, the applicant/owner shall submit to HCD-Planning an agreement from the Del Monte Forest Conservancy consistent with the requirements of this condition. Should off-site replanting be determined not to be feasible, the applicant/owner shall submit to HCD-Planning a fee estimate from a certified arborist.

Prior to final, applicant/owner shall submit to HCD-Planning evidence demonstrating either replanting on the approved off-site location, or payment of approved fee estimate, as necessitated by off-site feasibility determination.

Should off-site replanting occur, one year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

7. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.
CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project. (Public Works)

Compliance or Monitoring Action to be Performed: 1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.
2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

GENERAL NOTES

1. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND WORKMANSHIP FOR ALL CONSTRUCTION REQUIRED HEREIN IN ACCORDANCE WITH ALL CURRENT APPLICABLE LOCAL, STATE, AND FEDERAL CODES INCLUDING: CALIFORNIA BUILDING CODE, CALIFORNIA RESIDENTIAL CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA ENERGY CODE, CALIFORNIA FIRE CODE, GREEN BUILDING STANDARDS, AND SPECIAL ORDERS. CONTRACTOR SHALL BE LICENSED BY THE CONTRACTORS STATE LICENSE BOARD IN GOOD STANDING.

2. THE CONTRACTOR SHALL CARRY WORKMAN'S COMPENSATION INSURANCE COVERING ALL PERSONS EMPLOYED ON THE JOB IN AMOUNTS REQUIRED BY LAW. CONTRACTOR SHALL CARRY LIABILITY, PROPERTY DAMAGE, AUTO INSURANCE. CONTRACTOR SHALL PROVIDE OWNER WITH CERTIFICATES OF INSURANCE FOR ALL OF THE ABOVE.

3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS, LICENSES, AND INSPECTIONS NEEDED TO COMPLETE THIS PROJECT. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL MODIFICATIONS TO THE WORK REQUIRED OR REQUESTED BY THE BUILDING DEPARTMENT AND INSPECTORS.

4. ALL MATERIALS SHALL BE NEW AND OF THE BEST QUALITY AND ALL WORKMANSHIP IN ACCORDANCE WITH BEST PRACTICE AND ALL INCIDENTAL WORK BE INCLUDED. MANUFACTURER'S RECOMMENDATIONS AND INSTALLATION INSTRUCTIONS SHALL BE ADHERED TO FOR ALL MATERIALS USED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION AS NECESSARY OR REQUIRED TO COMPLETE THE PROJECT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. WORK SHALL BE PERFORMED BY MECHANICS, CRAFTSPERSONS, ARTISANS, AND WORKERS SKILLED AND EXPERIENCED IN THE FABRICATION AND INSTALLATION OF THE WORK INVOLVED. FINISHED WORK SHALL BE FREE FROM DEFECTS AND DAMAGE. THE ARCHITECT AND OWNER RESERVE THE RIGHT TO REJECT ANY MATERIALS AND WORK QUALITY. SUCH INFERIOR MATERIAL OR WORK QUALITY SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNERS.

5. THESE DRAWINGS SHOW GENERAL DESIGN INTENT. ALL FEATURES OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF THE SAME TYPE AND CHARACTER AS THAT SHOWN FOR SIMILAR CONDITIONS. CONTRACTOR SHALL PROVIDE ALL WORK WHICH IS REQUIRED TO BE PERFORMED TO PROVIDE A COMPLETELY USEABLE , OPERABLE INSTALLATION WITHIN THE SCOPE OF WORK WILL BE PERFORMED AS PART OF THE CONTRACT.

6. DO NOT SCALE DRAWINGS. DIMENSIONS ARE TO FACE OF FINISH OR CENTERLINE UNLESS OTHERWISE NOTED. VERIFY ALL DIMENSIONS IN FIELD. MAINTAIN REQUIRED YARDS AND CLEARANCES. ANY DISCREPANCIES BETWEEN DRAWINGS AND/OR SPECIFICATIONS AND ACTUAL CONDITIONS, QUESTIONS, OMISSIONS OR ERRORS, OR UNEXPECTED SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK.

7. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS OR DISCREPANCIES, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.

8. CONTRACTOR SHALL EXECUTE DEMOLITION WORK TO PROTECT AND ENSURE THE SAFETY PERSONS, EXISTING CONSTRUCTION, AND ADJACENT PROPERTIES. PROVIDE SHORING, AND PROTECTION AS REQUIRED.

9. WHERE EXISTING CONSTRUCTION IS CUT, DAMAGED, OR REMODELED, PATCH OR REPLACE WITH MATERIALS WHICH MATCH THE KIND, QUALITY, AND PERFORMANCE OF THE ADJACENT SURFACES.

10. NOTIFY THE ARCHITECT OF ANY EXISTING CONDITION, AS EXPOSED BY INSTALLATION OF THE NEW WORK, THAT APPEARS TO BE IN POOR OR UNSOUND CONDITION. IF UNSAFE OR UNSTABLE CONDITIONS ARE ENCOUNTERED, BRACE TO MAKE STABLE AND NOTIFY THE STRUCTURAL ENGINEER. DO NOT PROCEED WITH WORK UNTIL CONDITIONS ARE CLARIFIED AND CORRECTED.

11. IF ASBESTOS IS FOUND, CONTRACTOR MUST WARN EMPLOYEES, SUBCONTRACTORS, OWNER, AND ARCHITECT PRIOR TO DEMOLITION AND CONSTRUCTION. IF ASBESTOS IS DISTURBED OR BECOMES AIRBORNE DURING DEMOLITION OR CONSTRUCTION, IT MUST BE REMOVED AND DISPOSED OF IN A LEGAL MANNER.

12. THE CONTRACTOR SHALL MAINTAIN A CLEAN AND ORDERLY JOBSITE. ALL WASTE AND REFUSE CAUSED BY THE WORK SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF IN A LEGAL MANNER. THE PREMISE SHALL BE LEFT COMPLETELY CLEAR AND CLEAN.

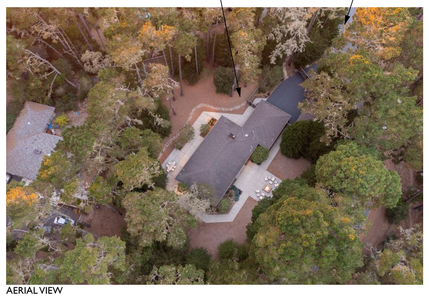
13. CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS, OR OTHER SUPPORT FOR ALL FIXTURES, EQUIPMENT, CABINETRY, FURNISHINGS, AND ALL OTHER ITEMS REQUIRING SAME. DO NOT NOTCH, BORE, OR CUT MEMBERS FOR PIPES, DUCTS, OR OTHER REASONS EXCEPT AS PERMITTED ON THE DRAWINGS.

14. MECHANICAL, PLUMBING AND ELECTRICAL AND FIRE SPRINKLER SYSTEMS ARE DESIGN-BUILD BY THE CONTRACTOR AND REQUIRE SEPARATE PERMITS. CONTRACTOR/SUBCONTRACTOR SHALL DEVELOP A DESIGN / BUILD INSTALLATION. WATER, GAS, AND ELECTRICAL SERVICE REQUIREMENTS SHALL BE DETERMINED BY SUBCONTRACTOR AND COORDINATED WITH THE WORK. CONTRACTOR IS RESPONSIBLE FOR ROUTING OF FEEDERS, DUCTS, AND OTHER NON-VISIBLE COMPONENTS FOR A FULLY OPERATIONAL, SAFE, AND CODE-COMPLIANT SYSTEM. ELECTRICAL CONDUITS, ROUGH PLUMBING, GAS LINES AND OTHER ROUGH-INS ITEMS SHALL BE CONCEALED WITHIN THE WALLS/FLOORS/CEILING. LOCATION OF VISIBLE ELEMENTS SUCH AS REGISTERS, LIGHTS, FIXTURES, AND OUTLETS, ETC. SHALL BE APPROVED BY ARCHITECT OR OWNER PRIOR TO INSTALLATION.

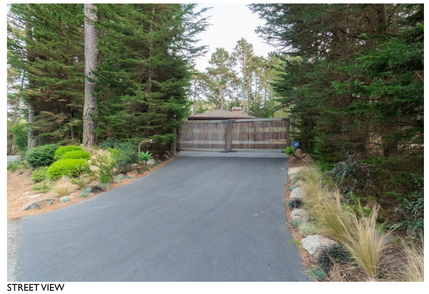
15. ALARM SYSTEMS, SECURITY SYSTEMS, TELEPHONE, CABLE, MEDIA, AND INTERCOM SYSTEMS ARE BY GENERAL CONTRACTOR EXCEPT THAT THE OWNER RESERVES THE RIGHT TO HIRE SEPARATE CONTRACTORS FOR THE WORK.

16. PROJECT CLOSE OUT: THE CONTRACTOR SHALL REMOVE DEBRIS AND ALL FOREIGN MATERIAL FROM EXPOSED AND SEMI-EXPOSED SURFACES. THE SITE SHALL BE LEFT BROOM CLEAN AND FREE OF DUST, MARKS, SCRATCHES OR DAMAGE. CONTRACTOR SHALL FULLY TEST ALL SYSTEMS TO ENSURE FULL COMPLIANCE WITH CODE REQUIREMENTS AND PROPER OPERATION. CONTRACTOR IS RESPONSIBLE FOR A COMPLETE, WATERTIGHT INSTALLATION. THE CONTRACTOR SHALL GUARANTEE HIS WORK AND THE WORK OF HIS SUBCONTRACTORS TO BE FREE FROM DEFECTS IN MATERIALS OR WORKMANSHIP AND WILL REMEDY ANY SUCH DEFECTS FOR A MINIMUM OF ONE YEAR AFTER COMPLETION.

PHOTOGRAPHS



AERIAL VIEW


STREET VIEW

FENCED SIDE YARD

EXISTING SINGLE FAMILY HOME, MATCH EXTERIOR MATERIALS AND TRIMS

REFER TO 7/A6 FOR ADDITIONAL EXTERIOR MATERIALS PHOTOS

ABBREVIATIONS

ADJ.	adjustable	MET.	metal
A.F.F.	above finish floor	MFR.	manuf.
APPROX.	approximate	MIN.	minimum
ARCH.	Architect	MISC.	miscell.
BD.	board	MTD.	mounted
BLDG.	building	(N)	new
BLKG.	blocking	N	north
BM.	beam	N.I.C.	not in contract
BOT.	bottom	NO. / #	number
BR.	bedroom	NOM.	nominal
CAB.	cabinet	N.T.S.	not to scale
CEM.	cement	O/	over
CL	center line	O.C.	on center
CLG.	ceiling	O.D.	outside dimension
CLR	clear	O.F.C.I.	owner furnished contractor installed
COL.	column		
CONC.	concrete	PL	property line
CONSTR.	construction	PLYWD.	plywood
CONT.	continuous	PR.	PAIR
CTR	center	(R)	replace
DET.	detail		relocate
DIA.	diameter		repair
DIM.	dimension	R.	riser
DISP.	disposal	RAD.	radius
DN	down	REF.	reference
DW	dishwasher	REFR.	refrigerator
DWG.	drawing	REINF.	reinforced
(E)	existing	REQ.	required
E	east	RM.	room
EA.	each	R.O.	rough opening
ELEV.	elevation	S	south
ELEC.	electrical	S.C.	solid core
EQ.	equal	SCHED.	schedule
EXT.	exterior	SHT.	sheet
FDN.	foundation	SIM.	similar
F.F.	finish floor	S.S.D.	see structural drawings
FIN.	finish		
FLR.	floor	SPEC.	specifications
FLASH.	flashing	STL.	steel
F.O.F.	face of finish	STOR.	storage
F.O.S.	face of structure	STR.	structural
FRZR.	freezer	T.	tread
FT.	foot / feet	TBD	to be determined
FTG.	footing	T.&G.	tongue and groove
GALV.	galvanized	THK.	thick
GL.	glass	THRES.	threshold
GYP.	gypsum	TO.	top of
H.B.	hose bibb	TV	television
H.C.	hollow core	TYP.	typical
HDWD.	hardwood	U.O.N.	unless otherwise noted
HDWR.	hardware		
HNDRL.	handrail	V.I.F.	verify in field
HORIZ.	horizontal	W.	west
HT.	height	W.C.	watercloset
INSUL.	insulation	WD.	wood
INT.	interior	WDW.	window
JT.	joint	W.H.	water heater
LAM.	laminate		
LAV.	lavatory	W/O	without
LT.	light	WP.	waterproof
MATL.	material		
MAX.	maximum		
MECH.	mechanical		
MEMB.	membrane		

SYMBOLS

LIGHT FIXTURE AND ELECTRICAL LEGEND:

- SWITCH
- DIMMER SWITCH
- RECESSED LIGHT FXTURE
- PENDANT/CEILING LIGHT FIXTURE
- SCONCE/WALL MOUNTED LIGHT FIXTURE
- LED UNDER CABINET LIGHT, LENGTH AS REQ'D
- SMOKE / CARBON MONOXIDE DETECTOR
- EXHAUST FAN
- DUPLEX OUTLET
- QUAD OUTLET
- GROUND FAULT INTERRUPTED OUTLET
- GFCI PROTECTED OUTLET
- WATERPROOF OUTLET
- SPECIAL OUTLET
- CAT 6 OUTLET
- JUNCTION BOX
- THERMOSTAT
- SUPPLY FLOOR HVAC REGISTER
- SUPPLY CEILING HVAC REGISTER
- SUPPLY WALL HVAC REGISTER
- RETURN HVAC REGISTER

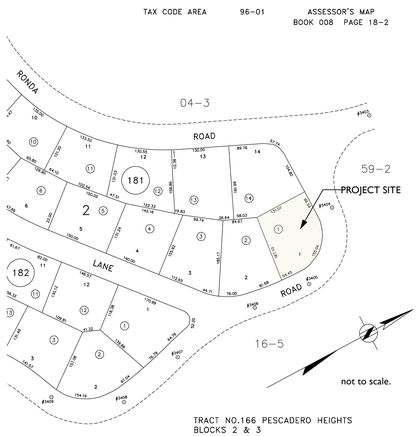
WALL LEGEND:

- NEW EXTERIOR WALL
- NEW INTERIOR WALL 2X4 @ 16" O.C. U.O.N.
- EXISTING WALL
- EXISTING WALL TO BE REMOVED

SYMBOLS LEGEND:

- CONTROL POINT DATUM LINE
- ELEVATION CALLOUT
- SECTION CALLOUT
- INTERIOR ELEVATION CALLOUT
- DOOR TAG
- WINDOW TAG
- HOSE BIB

VICINITY MAP



TRACT NO.166 PESCADERO HEIGHTS
BLOCKS 2 & 3

PROJECT DIRECTORY

OWNER:
AMY AND SAM NUNES
1268 SUNNYHILLS ROAD
OAKLAND, CA 94610
510-541-9501
AMY@SUNNYHILLSSTUDIO.COM
SNUNES@WRNSSTUDIO.COM

ARCHITECT:
SUNNYHILLS STUDIO
1268 SUNNYHILLS ROAD
OAKLAND, CA 94610
510-444-3212

GEOTECHNICAL ENGINEER:
WAYNE TING & ASSOCIATES, INC.
42329 OSGOOD ROAD, UNIT A
FREMONT, CA 94539
510-623-7768

STRUCTURAL ENGINEER:
JEC STRUCTURAL CONSULTING
JASON CAMPBELL, P.E.
5660 FERNHOFF ROAD
OAKLAND, CA 94619
510-482-9865

ENERGY CONSULTANT:
BASALTIC, INC.
YING (JOHN) TAO
2615 MACARTHUR BLVD
OAKLAND, CA 94602
510-967-1299

ARBORIST:
MONTEREY BAY TREEWORKS
ALBERT WEISFUSS
831-869-2769
ALBERTWEISFUSS@GMAIL.COM

PERMIT MANAGEMENT:
BLS PERMIT FACILITATION AND PROJECT MANAGEMENT
BRITTNEY SCHLOSS
PO BOX 1807 CARMEL VALLEY, CA 93924
408-508-9760

DRAWING INDEX

PROJECT DATA

ASSESSOR'S PARCEL NUMBER (APN):	008181001000
OCCUPANCY:	SINGLE-FAMILY DWELLING
CONSTRUCTION TYPE:	5B
STORIES:	1
WILDLAND URBAN INTERFACE:	YES
SPRINKLERED:	NO

REFER TO PROJECT DATA SUMMARY TABLE ON A2.0 FOR ADDITIONAL DATA.

PROJECT SCOPE

770 SF 1-STORY ADDITION TO EXISTING SINGLE FAMILY DWELLING. THE ADDITION CONSISTS OF A FAMILY ROOM, BEDROOM AND BATHROOM.

81 SF BREEZEWAY ADDITION PROVIDES A ROOFED CONNECTION BETWEEN ADDITION AND EXISTING STRUCTURE.

ALTERATION OF FENCE AND GATES , MATCH EXISTING.

REMOVE 5 TREES AT ADDITION FOOTPRINT.

DEMOLISH EXISTING CARPORT.

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510-444-3212
amy@sunnyhillsstudio.com

LICENSED ARCHITECT
AMY WONG NUNES
C-31400
REN. 9/2025
STATE OF CALIFORNIA

OWNER:
AMY AND SAM NUNES
1268 SUNNYHILLS RD.
OAKLAND, CA 94610
510-541-9501

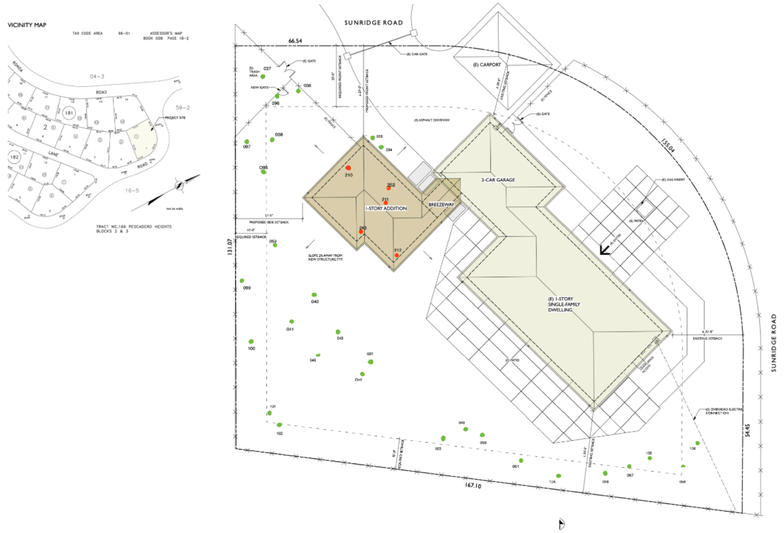
NUNES RESIDENCE ADDITION
4079 SUNRIDGE ROAD
PEBBLE BEACH, CA 93953

TITLE SHEET

BUILDING PERMIT	12/09/2024
DESIGN REVIEW	09/23/2024
PERMIT SET	04/24/2024
DESIGN REVIEW	02/19/2024

SHEET
A1.0

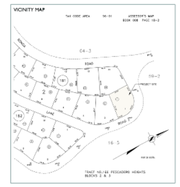
Inventory of trees rear of property.



Proposed addition with 5 trees within the footprint requested for removal
Trees identified as:
210 Coast live oak
211 Coast live oak
212 Coast live oak
243 Monterey pine
252 Monterey pine

2 TREE MAP

Full management map.



4079 Sunridge Rd

Fuel Management - Introduction

This fuel management plan has been prepared as a guideline for the implementation of defensible space / vegetation management for the fire safety around the newly proposed residence identified as 4079 Sunridge Road Pebble Beach, CA. The Fuel Management Zones are specific to the areas where vegetation has been removed or modified in a manner that increases the likelihood that structures will survive wildfires. Improving the defensible space around structures reduces the amount of fuel available for a wildfire.

California Public Resource Code 4291
Maintain defensible space of 100 feet from each side and from the front and rear of the structure, but not beyond the property line. The amount of fuel modification necessary shall consider the flammability of the structure as affected by building material, building standards, location, and type of vegetation. Fuels shall be maintained and spaced in a condition so that a wildfire burning under average weather conditions would be unlikely to ignite the structure. The intensity of fuels management may vary within the 100-foot perimeter of the structure, with more intense fuel reductions being utilized between 5 and 30 feet around the structure, and an ember-resistant zone being required within 5 feet of the structure.

Non-Combustible Zone:
(0-5 feet)

- Hardscape surfaces including gravel, pavers, decomposed granite and bare soils are all approved non-combustible surfaces.
- Succulent plant species are examples of non-combustible plant materials.
- Plant placement is the most important criteria for fire-resistant plant selection.
- No wooden trellis, climbing vines, trees or shrubs should be integrated into this zone.
- No combustible mulch. Rock mulch is acceptable and has the greatest fire resistance.

Landscape Zone:
(5-30 feet)
Landscape Zones incorporate multiple planting types. All zones are proposed with fire-appropriate plant materials and adequate spacing posing less hazard for ignition. Increase space between trees, remove lower branches and create areas of irrigated landscape islands.

- Safe egress must be maintained regularly along the driveway. It is important to allow for safe passage and to provide a location where firefighter resources can travel and engage in fire response.
- Grassland, and the understory of all oak woodland vegetation should be mowed within 10 feet of the pavement edges.
- All chaparral, coastal scrub and oak/shrub woodland vegetation should be treated to 30 feet from the pavement edge providing both vertical and horizontal clearance.

Management Zone:
(30-100 feet)
Understory plants must be kept short, and small lower tree branches must be removed. The understory of oak woodland habitat includes shade tolerant shrubs and grasslands. The goal of this standard is to maintain an existing oak woodland with a short-statured understory of herbaceous plants and shrubs and a tree canopy at least 8 feet above the ground. An initial treatment will be required to prune smaller benches of trees up to 8 feet above the ground and to reduce density and stature of understory shrubs. Annual maintenance could be required to maintain this recommended height.

- Understory vegetation should not be completely removed. Instead, selectively remove non-native flammable species and remove dead branches from desirable native vegetation.
- Native understory shrubs are to be kept free of dead branches and no more than 2.5 feet in height.
- Leaf litter depth should be kept no greater than 4 inches.
- Once initial tree pruning is completed, pruning is likely to be needed less frequently with an interval of three to five years.

NOTE:

1. REFER TO FOREST MANAGEMENT PLAN SHEET A1.2 FOR TREE TABLE AND RESOURCE ANALYSIS

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N

1 FUEL MANAGEMENT PLAN

SUNNYHILLS STUDIO
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510-444-3212
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LICENSED ARCHITECT
AMY WONG NUNES
C-31400
REN. 9/2025
STATE OF CALIFORNIA

OWNER:
AMY AND SAM NUNES
1268 SUNNYHILLS RD.
OAKLAND, CA 94610
510-541-9501

NUNES RESIDENCE ADDITION
4079 SUNRIDGE ROAD
PEBBLE BEACH, CA 93953

FUEL MANAGEMENT PLAN
TREE MAP

DESIGN REVIEW
09/23/2024

PERMIT SET
04/24/2024

DESIGN REVIEW
02/19/2024

SHEET
A1.1

Albert Weisfuss
ISA Certified Arborist #WC 1388
ISA Tree Risk Assessor Qualified
(831) 869-2767
albertweisfuss@gmail.com
montereybaytreeworks.com

9/20/24

ASSESSOR'S PARCEL: 008-181-000
CLIENT: Nunes
CONSTRUCTION TYPE: 5B
PROJECT LOCATION: 4079 Sunridge Road, Pebble Beach

SUMMARY
Monterey Bay Treeworks was requested to complete a walkthrough and review site plans provided by Amy Wong Nunes - Architect, that proposes an addition to the site. Two site visits were completed that consisted of determining location of the proposed project and documenting trees within and near the building footprint.

Because the site is forested with protected trees that may or may not require removal, my services were requested to review the provided site plans and make available an objective assessment to monitor development of the property and minimize impacts during construction while securing the necessity of the flora and fauna habitat.

A total of eighteen trees were identified onsite within or near the proposed project.
Six Coast live oak
Seven Monterey pine
Five Monterey cypress

The following was completed as requested.
- Site visits and field survey of all trees located within the boundary of the project.
- Inventory trees located within the boundary of the project that are protected or considered significant and 6" greater in diameter.
- Photo documentation, spreadsheets and preparation of site maps showing existing trees on proposed site map.
- Indication of trees for removal, if any, and mitigation purposes to allow for construction activities.
- Prepare a formal protected tree report as required by Monterey County Resource Management Agency.
- Prepare a Fuel Management Plan as required by Monterey County Resource Management Agency.

Arborists Disclosure:

1. Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of the trees and attempt to reduce the risk of living near trees. Arborists cannot detect every condition that could possibly lead to the structural failure to a tree. Since trees are living organisms, conditions are often hidden within the tree and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specific period of time. Likewise, remedial treatments cannot be guaranteed. Trees can be managed but they cannot be controlled. To live near trees is to accept some degree of risk and the only way to eliminate all risk associated with trees is to eliminate all of the trees.
2. Where the treatment, pruning and/or removal of trees are involved, it is the Client's responsibility to advise Consultant of any issues regarding property boundaries, property ownership, site lines, disputes between neighbors and other related issues.
3. Consultant shall invoice Client periodically for the services rendered. Client shall pay such invoices upon receipt. If invoices are not paid within 30 days, a late payment shall be charged of 1 ½ percent per month.
4. Consultant shall perform its services in a manner consistent with the standard of care and skill ordinarily exercised by members of the profession practicing under similar conditions in the geographic vicinity and at the time the services are performed. No warranty, representation or guarantee, express or implied, is intended by this agreement.
5. Services provided under this agreement, including all reports, information or recommendations prepared or issued by Consultant, are for the exclusive use of the Client for the project specified herein. No other use is authorized under this agreement. Client will not distribute or convey Consultant's reports or recommendations to any other person or organization other than those identified in the project description without Consultant's written authorization. Client releases Consultant from liability and agrees to defend, indemnify and hold harmless Consultant from any and all claims, liabilities, damages or expenses arising, in whole or in part, from such distribution.
6. Consultant is not responsible for the completion or quality of work that is dependent upon or performed by the Client or third parties not under the direct control of the Consultant, nor responsible for their acts or omissions or for any damages resulting there from.
7. Client and Consultant agree to mediate any claims or disputes arising out of this agreement, before initiating any litigation. The mediation shall be conducted by a mediation service acceptable to the parties. The parties shall make a demand for mediation within a reasonable time after a claim or dispute arises and the parties agree to mediate in good faith. In no event shall any demand for mediation be made after such claim or dispute would be barred by applicable law. Mediation fees would be shared equally. In the event that mediation does not resolve the issue, the parties agree to proceed through binding arbitration. The prevailing party in such proceeding shall be entitled to a reasonable sum for attorney's fees and expert witness fees.
8. Client agrees to indemnify, defend and hold harmless Consultant from and against any and all claims, liabilities, suits, demands, losses, costs and expenses, including, but not limited to, reasonable attorneys' fees and all legal expenses and fees incurred through appeal, and all interest thereon, accruing or resulting to any and all persons, firms or any other legal entities on account of any damages or losses to property or persons, including injuries or death, or economic losses, arising out of the project and/or this agreement, except to the extent that said damages or losses are caused by Consultant's sold negligence or willful misconduct.
9. If, during the course of performance of this agreement, conditions or circumstances are discovered which were not contemplated by Consultant at the commencement of this agreement, Consultant shall notify Client in writing of the newly discovered conditions or circumstances, and Client and Consultant shall renegotiate, in good faith, the terms and conditions of this agreement. If amended terms and conditions cannot be agreed upon within 30 days after notice, Consultant may terminate this agreement and be compensated under paragraph 4 in this agreement.
10. This agreement may be terminated by either party upon 10 days' notice sent first class mail. In the event of a termination, Client shall pay for all reasonable charges for work performed by Consultant through the 10th day after mailing the notice of termination. The limitation of liability and indemnity obligations of this agreement shall be binding notwithstanding any termination of this agreement.
11. This agreement is the entire and integrated agreement between Client and Consultant and supersedes all prior negotiations, statements or agreements, either written or oral. Writing signed by both parties may only amend this agreement.
12. In the event that any term or provision in this agreement is found to be unenforceable or invalid for any reason, the remainder of this agreement shall continue in full force and effect, and the parties agree that any unenforceable or invalid term or provision shall be amended to the minimum extent required to make such term or provision enforceable and valid.
13. Neither Client nor Consultant shall assign this agreement without the written consent of the other.
14. Nothing in this agreement shall create a contractual relationship for the benefit of any third party.

Introduction and Overview

I, Albert Weisfuss conducted an assessment of regulated trees and prepared the following arborist's report for Amy Wong Nunes, while meeting the requirements of the Monterey County Resource Management Agency, and for use in preparation of development. Forest management is the application of appropriate technical forestry principles, practices, and techniques. Monterey County's primary management objective is to balance wildlife habitat protection and enhancement. A tree on streets and on other publicly owned properties provides a multitude of aesthetic and environmental benefits. Beyond shade and beauty, trees also have practical benefits and a real monetary value that property owners sometimes are unaware of. Unlike other public infrastructure components, properly planted and maintained trees increase in value over time, which in turn increases the value of your property.

Methods / Limitations
The trunks of the trees are measured using an arborist's diameter tape at 48" above soil grade.
In cases where the main trunk divides below 48", the tree is measured at the point where the trunks divide. Where multiple trunks arise the trunks are measured and divided by the number of trunks to determine the trunk diameter.
The condition of each tree is assessed by visual observation only from a standing position without climbing or using aerial equipment. No invasive equipment is used. Consequently, it is possible that individual trees may have internal (or underground) health problems or structural defects, which are not detectable by visual inspection.

• Inventory Methods
The first site visit consisted of a general walkthrough with the property owner and a review of site plans. The second visit, using a Lufkin diameter tape, mapping and iPhone camera for documenting health and condition of trees was concluded. Using the above criteria all trees requested within the scope of work were inventoried and numbered with aluminum tags. Information recorded for each of these trees included tree number, species, and DBH. Tree condition was rated good, fair, poor or dead with "poor" meaning that that tree was failing due to a variety of conditions.

Limitations
This report may only be used for the purpose of making decisions regarding development involving the subject tree(s).
The information provided in this report is based on the conditions identified at the time of inspection. Tree conditions do change over time so reassessment is recommended annually and after development if tree retention is recommended.
Bird nesting is not visible on site within 300 feet.

• Assessment Methods
Site visits were conducted on 9/5 and 9/13/24. The data collection consisted of the following steps:
1. Identify the subject tree(s) as requested .
2. Tagging of subject tree(s) with an identifying number and recording findings of diameter and condition of subject tree(s).
3. Determine if the tree was within the footprint or impacted by development
4. Drone and/or iPhone documentation
5. Evaluating the health and structural condition using a scale of 0 – 5.

5 A healthy, vigorous tree, reasonably free of signs and symptoms of disease, with good structure and form typical of the species.
4 Tree with slight decline in vigor, small amount of twig dieback, minor structural defects that could be corrected.
3 Tree with moderate vigor, moderate twig and small branch dieback, thinning of crown, poor leaf color, moderate structural defects that might be mitigated with regular care.
2 Tree in decline, epicormic growth, extensive dieback of medium to large branches, significant structural defects that cannot be abated.
1 Tree in severe decline, dieback of scaffold branches and/or trunk; most of foliage from epicormics; extensive structural defects that cannot be abated.
0 Dead with no living foliage.

Suitability for Preservation
As a qualified professional, it is important that I consider the quality of the subject tree(s) resource and viability itself. The purpose of this report will look at the issues of the trees condition and the association with the interaction of the surrounding residential dwellings and usage of the property. This report will seek to provide an integrated approach to assess the level of risk posed by the tree and make recommendations for its future care to you, the tree owner and manager. The report is intended to notify you about any risk that might be associated with the subject tree(s).

Field reconnaissance and inventory efforts recorded 18 regulated trees measured at Designated Breast Height (DBH). Composition of the 18 inventoried trees includes the following species and accompanying aggregate diameter inches:

At this time, 6 Quercus agrifolia (Coast live oak), 7 Monterey pine (Pinus radiata) and 5 Monterey cypress (Hesperocyparis macrocarpa) trees have been identified onsite.
5 trees are recommended for removal due to the condition of the tree or nature of the proposed project noted at the time of field inventory efforts.

A Site Map provided by SUNNYHILLS STUDIO documented 18 trees with a DBH of 6" or greater within or nearby the proposed addition. A Level I walkthrough by Monterey Bay Treeworks also documented 18 trees within the proposed addition. The requested removals amount to approximately 4% of the tree population on the property retaining approximately 96% of the tree population.

Trees on the property were recently inventoried by a previous arborist and were not included for this report based on there locations with no impacts by construction. Approximately 75 additional trees were inventoried on the property ranging from 3" to 30" DBH.

The following trees have been recorded in the field and listed on table 1:1. Trees were rated as good, fair, poor and dead with poor and dead being recommended for removal. Trees rated fair may have some degree of health conditions or structural integrity limiting their development. Trees rated as good would be considered the best candidates on site for the age and condition of the stand.
Table 1:1

Tree Species	ID #	Diameter In Inches	Comments	Condition 0=Dead 1-2=Poor 3-4=Fair 5=Excellent	Impacts	Suitable for Preservation	Tree Protection Zone TPZ 10 x diameter or 10' Whichever is greater
Quercus agrifolia	210	5	Within Footprint	3 - Fair	Yes	No	Remove
Quercus agrifolia	211	3	Within Footprint	3 - Fair	Yes	No	Remove
Quercus agrifolia	212	12	Within Footprint	3 - Fair	Yes	No	Remove
Pinus radiata	243	20	Within Footprint	3 - Fair	Yes	No	Remove
Pinus radiata	252	18	Within Footprint	3 - Fair	Yes	No	Remove
Hesperocyparis macrocarpa	36	12	Thin canopy, beetle activity	2 - Poor	No	Yes	10'
Hesperocyparis macrocarpa	37	10		3 - Fair	No	Yes	10'
Pinus radiata	96	20	Slight lean towards the house	3 - Fair	No	Yes	17'
Pinus radiata	97	30	Thinning upper canopy	3 - Fair	No	Yes	25'
Pinus radiata	98	14	Slight bow towards new construction	3 - Fair	No	Yes	12'
Hesperocyparis macrocarpa	59	8		3 - Fair	No	Yes	10'
Hesperocyparis macrocarpa	40	11		3	No	Yes	10'
Pinus radiata	99	30	Continue to monitor health	3 - Fair	No	Yes	25'
Hesperocyparis macrocarpa	41	41	Canker at base	2 - Poor	No	Yes	34'
Pinus radiata	100	26		3 - Fair	No	Yes	22'
Quercus agrifolia	21	8		3 - Fair	No	Yes	10'
Quercus agrifolia	34	7	Appears to be in drought stress	2 - Poor	No	Yes	10'
Quercus agrifolia	33	4	Appears to be in drought stress	2 - Poor	No	Yes	10'

**Multi stem trees are calculated by the combined DBH and divided by the number of trunks.*

TREE REMOVAL & TREE RETENTION PLANS
Removal is based on condition or impacts from development of trees at the time of this assessment.
0 trees assessed in the excellent category.
14 trees assessed in the fair category
4 trees assessed in there poor category
0 trees assessed in the dead category
5 trees are requested for removal.
13 Documented trees are to be retained with tree protection. 5- Hesperocyparis macrocarpa, 5- Pinus radiata, 3- Quercus agrifolia

Retention is based on condition/location of trees at the time of the assessment.
Future maintenance of trees is recommended.
Trees retained within the scope of work will require tree protection prior to any work.

Retained trees could require some trimming for safety and/or building clearance using Best Management Practice (BMP) developed by the International Society of Arboriculture (ISA)

Subject trees requested for removal will not involve a risk of adverse environmental impacts such as:
1. Soil erosion.
2. Water Quality: The removal of the trees will not substantially lessen the ability for the natural assimilation of nutrients, chemical pollutants, heavy metals, silt and other noxious substances from ground and surface waters;
3. Ecological Impacts: The removal will not have a substantial adverse impact upon existing biological and ecological systems, climatic conditions which affect these systems, or such removal will not create conditions which may adversely affect the dynamic equilibrium of associated systems;
4. Noise Pollution: The removal will not significantly increase ambient noise levels to the degree that a nuisance is anticipated to occur;
5. Air Movement: The removal will not significantly reduce the ability of the existing vegetation to reduce wind velocities to the degree that a nuisance is anticipated to occur;
6. Wildlife Habitat: The removal will not significantly reduce available habitat for wildlife existence and reproduction or result in the immigration of wildlife from adjacent or associated ecosystems. The tree is diseased, injured, in danger of falling too close to existing or proposed structures, creates unsafe vision clearance, or is likely to promote the spread of insects of disease.

Conditions of Approval:
In granting any permit as provided herein, the appropriate authority may attach reasonable conditions to mitigate environmental impacts and ensure compliance with the provisions of this Section, including but not limited to replacement of trees removed.

Summary and Conclusion
Five trees are requested for removal that are located within the footprint of the proposed project. No trees involved within the development of the project are considered landmark trees measuring greater than 24" in DBH. One tree is less than 6" in diameter and does not meet requirements as a protected tree. The property is heavily planted with both upper and lower canopy trees. It is recommended that no replacement tree be planted due to over crowding.

It is possible as the project develops, some crown cleaning, raising or reduction of canopies will be required to obtain proper distance between established trees and the proposed project. Visible defects were present on some trees that will require future care for safety and health. This pruning cycle is recommended at the end of construction along with post construction care of the retained trees.
All pruning will be completed by a qualified professional following ISA **B**est **M**anagement **P**runing guidelines.

Tree Protection - Before/During/After

Planning Phase
1. Before assessing trees and other site structures and conditions, mark the site boundaries on plans and in the field to delineate which trees and stands of trees will be inventoried.

2. Perform a tree inventory that includes at minimum the location, size, and health of each tree and delineates quality stands of trees. Scope of the inventory should be based on communication and needs of the project team (developer, planner, engineer, architect, landscape architect, and other professionals involved), as well as county ordinances. This is the time to confer with the project team on conceptualizations for site design, so that way long- term tree protection and health gets integrated into the design.

Design Phase
3. Communicate with the project team to accurately site structures and utilities and determine the trees to remain on site. Conserve and protect trees in stands or groups where possible. Make sure the trees and stands of trees selected to be saved go into plans and construction documents. Include in all plans the Tree Protection Zone (TPZ) for all saved trees to avoid conflict with the protected area and placement of structures and utilities during construction.

Pre-construction Phase
4. Prior to pre-construction activities, including tree removal, access roads, construction staging areas, and building layout, erect tree protection barriers to visually indicate TPZs. Be sure to:
⇨Use tree protection barriers that are highly visible, sturdy, and restrict entry into the TPZ.
⇨Install or erect signs along the tree protection barrier stating that no one is allowed to disturb this area.
⇨Remove any branches or trees that pose an immediate risk to structures or people prior to any construction activities.
⇨*Construction Phase*
5. Communicate the intent of the tree protection barriers to the construction manager and workers to ensure that TPZs are not disturbed during construction activities. Have the construction manager sign a contract of compliance.

Prohibit these activities in the TPZ:
⇨Stockpiling of any type, including construction material, debris, soil, and mulch
⇨Altering soils, including grade changes, surface treatment, and compaction due to vehicle, equipment, and foot traffic
⇨Trenching for utility installation or repair and irrigation system installation
⇨Attaching anything to trunks or use of equipment that causes injury to the tree

7. Schedule site visits to ensure the contract is being met by the construction manager and that tree health is not being compromised by construction activity. Inspect and monitor trees for any decline or damages.

8. Keep in place all tree protection barriers until the project is completed.

Post-construction Phase
9. Perform a final inspection and continue monitoring after construction. Monitoring includes maintaining mulch, managing soil moisture, assessing tree damage, inspecting for insects and pests, and fertilization if needed.

Grading Limitations within the Tree Protection Zone
1. Grade changes outside of the TPZ shall not significantly alter drainage to the tree.
2. Grade changes within the TPZ are not permitted.
3. Grade changes under specifically approved circumstances shall not allow more than 6-inches of fill soil added or allow more than 4-inches of existing soil to be removed from natural grade unless mitigated
4. Grade fills over 6-inches or impervious overlay shall incorporate notes: an approved permanent aeration system, permeable material or other approved mitigation.
5. Grade cuts exceeding 4-inches shall incorporate retaining walls or an appropriate transition equivalent.

Trenching, Excavation and Equipment Use

Notification. Contractor shall notify the project arborist a minimum of 24 hours in advance of the activity in the TPZ.
1. Root Severance. Roots that are encountered shall be cut to sound wood and repaired Roots 2- inches and greater must remain injury free.
2. **Excavation.** Any approved excavation, demolition or extraction of material shall be performed with equipment sitting outside the TPZ. Methods permitted are by hand digging, hydraulic or pneumatic air excavation technology. Avoid excavation within the TPZ during hot, dry weather. If excavation or trenching for drainage, utilities, irrigation lines, etc., it is the duty of the contractor to tunnel under any roots 2-inches in diameter and greater. Prior to excavation for foundation/footings/walls, grading or trenching within the TPZ, roots shall first be severed cleanly 1- foot outside the TPZ and to the depth of the future excavation. The trench must then be hand dug and roots pruned with a saw, sawzall, narrow trencher with sharp blades or other approved root pruning equipment.
3. **Heavy Equipment.** Use of backhoes, steel tread tractors or any heavy vehicles within the TPZ is prohibited unless approved by the project arborist. If allowed, a protective root buffer is required. The protective buffer shall consist of a base course of tree chips spread over the root area to a minimum of 6-inch depth, layered by 3/4-inch quarry gravel to stabilize 3/4-inch plywood on top. This buffer within the TPZ shall be maintained throughout the entire construction process.
   - Structural design. If injurious activity or interference with roots greater than 2-inches will occur within the TPZ, plans shall specify a design of special foundation, footing, walls, concrete slab or pavement designs subject to project arborist approval. Discontinuous foundations such as concrete pier and structural grade beam must maintain natural grade (not to exceed a 4-inch cut), to minimize root loss and allow the tree to use the existing soil.

Tree Removal
⇨Removal of regulated trees shall not be attempted by demolition or construction personnel, grading or other heavy equipment. A certified arborist or tree worker shall remove the tree carefully in a manner that causes no damage above or below ground to trees that are retained.

INSPECTION SCHEDULE

Tree Protection Zone (TPZ) shown in grey
(radius of TPZ equals 10-times the diameter of the tree or 10-feet, whichever is greater).

Tree protection has three primary functions,

- Keep the foliage canopy and branching structure clear from contact by equipment, materials and activities.
- Preserve roots and soil conditions in an intact and non-compacted state.
- Identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved.
- The Tree Protection Zone (TPZ) is a restricted area around the base of the tree with a radius of ten-times the diameter of the tree's trunk or ten feet, whichever is greater, enclosed by fencing.

SUNNYHILLS STUDIO
1268 SUNNYHILLS ROAD OAKLAND, CA 94610
amy@sunnyhillstudio.com 510-444-3212

LICENSED ARCHITECT
AMY WONG NUNES
C-31400
REN. 9/2025
STATE OF CALIFORNIA

OWNER:
AMY AND SAM NUNES
1268 SUNNYHILLS RD.
OAKLAND, CA 94610
510-541-9501

NUNES RESIDENCE ADDITION
4079 SUNRIDGE ROAD
PEBBLE BEACH, CA 93953

FOREST MANAGEMENT PLAN

DESIGN REVIEW
09/23/2024

PERMIT SET
04/24/2024

DESIGN REVIEW
02/19/2024

SHEET
A1.2

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD **CF1R-PRF-01-E**

Project Name: Sunridge Add **Calculation Date/Time:** 2024-04-18T08:21:48-07:00 **(Page 1 of 9)**

Calculation Description: Title 24 Analysis **Input File Name:** Building1.ribd22x

GENERAL INFORMATION					
01	Project Name	Sunridge Add			
02	Run Title	Title 24 Analysis			
03	Project Location	4079 Sunridge Rd			
04	City	Pebble Beach	05	Standards Version	2022
06	Zip code	93953	07	Software Version	EnergyPro 9.2
08	Climate Zone	3	09	Front Orientation (deg/ Cardinal)	0
10	Building Type	Single family	11	Number of Dwelling Units	1
12	Project Scope	Newly Constructed Addition	13	Number of Bedrooms	4
14	Addition Cond. Floor Area (ft^2)	770	15	Number of Stories	1
16	Existing Cond. Floor Area (ft^2)	2027	17	Fenestration Average U-factor	0.3
18	Total Cond. Floor Area (ft^2)	2797	19	Glazing Percentage (%)	27.21%
20	ADU Bedroom Count	n/a	21	ADU Conditioned Floor Area	n/a
22	Fuel Type	Natural gas	23	No Dwelling Unit:	No

ADDITION ALONE - Project Analysis Parameters

01	02	03	04	05	06
Existing Area (excl. new addition) (ft2)	Addition Area (excl. existing) (ft2)	Total Area (ft2)	Existing Bedrooms	Addition Bedrooms	Total Bedrooms
2027	770	2797	3	1	4

COMPLIANCE RESULTS

01	Building Complies with Computer Performance
02	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.
03	This building incorporates one or more Special Features shown below

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD **CF1R-PRF-01-E**

Project Name: Sunridge Add **Calculation Date/Time:** 2024-04-18T08:21:48-07:00 **(Page 2 of 9)**

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ENERGY USE SUMMARY

Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft^2 -yr)	Standard Design TDV Energy (EDR2) (kTDV/ft^2 -yr)	Proposed Design Source Energy (EDR1) (kBtu/ft^2 -yr)	Proposed Design TDV Energy (EDR2) (kTDV/ft^2 -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Space Heating	0	17.43	0	16.07	0	1.36
Space Cooling	0	7.1	0	9.89	0	-2.79
IAQ Ventilation	0	8.65	0	6.8	0	1.85
Water Heating	0	43	0	43	0	0
Self Utilization/Flexibility Credit						
Efficiency Compliance Total	**0**	**76.18**	**0**	**75.76**	**0**	**0.42**
Photovoltaics	0		0			
Battery			0			
Flexibility						
Indoor Lighting	0	6.82	0	6.82		
Appl. & Cooking	0	28.31	0	28.41		
Plug Loads	0	49.62	0	49.62		
Outdoor Lighting	0	6.35	0	6.35		
TOTAL COMPLIANCE	**0**	**167.28**	**0**	**166.96**		

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD **CF1R-PRF-01-E**

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Calculation Description: Title 24 Analysis **Input File Name:** Building1.ribd22x

ENERGY USE INTENSITY

	Standard Design (kBtu/ft^2 - yr)	Proposed Design (kBtu/ft^2 - yr)	Compliance Margin (kBtu/ft^2 - yr)	Margin Percentage
Gross EUI[1]	25.72	25.41	0.31	1.21
Net EUI[2]	25.72	25.41	0.31	1.21

Notes
1. Gross EUI is Energy Use Total (not including PV) / Total Building Area.
2. Net EUI is Energy Use Total (including PV) / Total Building Area.

REQUIRED SPECIAL FEATURES

The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

- Indoor air quality, balanced fan
- IAQ Ventilation System: as low as 0.5 W/CFM
- IAQ Ventilation System Heat Recovery: minimum 70 SRE and 70 ASRE
- IAQ Ventilation System: supply outside air inlet, filter, and H/ERV cores accessible per RACM Reference Manual
- Ducts with high level of insulation
- Insulation below roof deck
- Ducts in crawl space

HERS FEATURE SUMMARY

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry

- Minimum Airflow
- Verified Refrigerant Charge
- Fan Efficacy Watts/CFM
- Verified HSPF
- Verified heat pump rated heating capacity
- Duct leakage testing

ZONE INFORMATION

01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft^2)	Avg. Ceiling Height	Water Heating System 1	Status
Addition	Conditioned	HVAC1	770	8.5	DHW Sys 1	New

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD **CF1R-PRF-01-E**

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OPAQUE SURFACES

01	02	03	04	05	06	07	08	09	10
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft^2)	Window and Door Area (ft2)	Tilt (deg)	Wall Exceptions	Status
Front Wall	Addition	R-21 Wall	0	Front	240	43.5	90	none	New
Left Wall	Addition	R-21 Wall	90	Left	340	46	90	none	New
Rear Wall	Addition	R-21 Wall	180	Back	240	48	90	none	New
Right Wall	Addition	R-21 Wall	270	Right	340	92	90	none	New
Roof	Addition	R-30 HP Attic	n/a	n/a	770	n/a	n/a		New
Raised Floor	Addition	R-19 Floor Crawlspace	n/a	n/a	770	n/a	n/a		New

ATTIC

01	02	03	04	05	06	07	08
Name	Construction	Type	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Radiant Barrier	Cool Roof
Attic Addition	Attic RoofAddition	Unventilated	5	0.1	0.85	No	No

FENESTRATION / GLAZING

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft^2)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
W6	Window	Front Wall	Front	0			1	26	0.3	NFRC	0.25	NFRC	Bug Screen
W7	Window	Front Wall	Front	0			1	17.5	0.3	NFRC	0.25	NFRC	Bug Screen
W1	Window	Left Wall	Left	90			1	26	0.3	NFRC	0.25	NFRC	Bug Screen
W2	Window	Rear Wall	Back	180			1	48	0.3	NFRC	0.35	NFRC	Bug Screen
W3	Window	Right Wall	Right	270			1	48	0.3	NFRC	0.35	NFRC	Bug Screen
W4	Window	Right Wall	Right	270			1	18	0.3	NFRC	0.25	NFRC	Bug Screen
W5	Window	Right Wall	Right	270			1	26	0.3	NFRC	0.25	NFRC	Bug Screen

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OPAQUE DOORS

01	02	03	04
Name	Side of Building	Area (ft^2)	U-factor
Door	Left Wall	20	0.2

OPAQUE SURFACE CONSTRUCTIONS

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-21 Wall	Exterior Walls	Wood Framed Wall	2x6 @ 16 in. O. C.	R-21	None / None	0.069	Inside Finish: Gypsum Board Cavity / Frame: R-21 / 2x6 Exterior Finish: 3 Coat Stucco
Attic RoofAddition	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-13	None / 0	0.078	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: R-13.0 / 2x4 Around Roof Joists: R-0.0 insul.
R-19 Floor Crawlspace	Floors Over Crawlspace	Wood Framed Floor	2x10 @ 16 in. O. C.	R-19	None / None	0.046	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: R-19 / 2x10
R-30 HP Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-30	None / None	0.032	Over Ceiling Joists: R-20.9 insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board

BUILDING ENVELOPE - HERS VERIFICATION

01	02	03	04	05
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50	CFM50
Not Required	Not Required	N/A	n/a	n/a

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD **CF1R-PRF-01-E**

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WATER HEATING SYSTEMS

01	02	03	04	05	06	07	08	09
Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (#)
DHW Sys 1	Domestic Hot Water (DHW)	Standard	DHW Heater 1	1	n/a	None	n/a	DHW Heater 1 (1)

WATER HEATERS

01	02	03	04	05	06	07	08	09	10	11	12	13
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Heating Efficiency Type	Efficiency	Rated Input Type	Input Rating or Pilot	Tank Insulation R-value (int/Ext)	Standby Loss or Recovery Eff	1st Hr. Rating or Flow Rate	Tank Location
DHW Heater 1	Gas	Consumer Instantaneous	1	0	UEF	0.81	Btu/Hr	200000	0	n/a	n/a	

WATER HEATING - HERS VERIFICATION

01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required

SPACE CONDITIONING SYSTEMS

01	02	03	04	05	06	07	08	09
Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type
HVAC1	Heat pump heating cooling	Heat Pump System 1	1	Heat Pump System 1	1	HVAC Fan 1	Air Distribution System 1	Setback

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD **CF1R-PRF-01-E**

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HVAC - HEAT PUMPS

01	02	03	04	05	06	07	08	09	10	11	12	13
Name	System Type	Number of Units	Heating				Cooling			Zonally Controlled	Compressor Type	HERS Verification
			Heating Efficiency Type	HSPF/MIS PF2/COP	Cap 47	Cap 17	Cooling Efficiency Type	SEER/SEER2	EER/EER 2/CEER			
Heat Pump System 1	Central split HP	1	HSPF	9.5	12000	7000	EERSEER	15	11.5	Not Zonal	Single Speed	Heat Pump System 1-hers-htpump

HVAC HEAT PUMPS - HERS VERIFICATION

01	02	03	04	05	06	07	08	09
Name	Verified Airflow	Airflow Target	Verified EER/EER2	Verified SEER/SEER2	Verified Refrigerant Charge	Verified HSPF/HSPF2	Verified Heating Cap 47	Verified Heating Cap 17
Heat Pump System 1-hers-htpump	Required	350	Not Required	Not Required	Yes	Yes	Yes	Yes

HVAC - DISTRIBUTION SYSTEMS

01	02	03	04	05	06	07	08	09	10	11	12
Name	Type	Design Type	Duct Ins. R-value		Duct Location		Surface Area		Bypass Duct	Duct Leakage	HERS Verification
			Supply	Return	Supply	Return	Supply	Return			
Air Distribution System 1	Unconditioned crawl space	Non-Verified	R-8	R-8	Crawl Space	Crawl Space	n/a	n/a	No Bypass Duct	Sealed and Tested	Air Distribution System 1-hers-dist

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD **CF1R-PRF-01-E**

Project Name: Sunridge Add **Calculation Date/Time:** 2024-04-18T08:21:48-07:00 **(Page 8 of 9)**

Calculation Description: Title 24 Analysis **Input File Name:** Building1.ribd22x

HVAC DISTRIBUTION - HERS VERIFICATION

01	02	03	04	05	06	07	08	09
Name	Duct Leakage Verification	Duct Leakage Target (%)	Verified Duct Location	Verified Duct Design	Buried Ducts	Deeply Buried Ducts	Low-leakage Air Handler	Low Leakage Ducts Entirely in Conditioned Space
Air Distribution System 1-hers-dist	Yes	5.0	Not Required	Not Required	Not Required	Credit not taken	Not Required	No

HVAC - FAN SYSTEMS

01	02	03	04
Name	Type	Fan Power (Watts/CFM)	Name
HVAC Fan 1	HVAC Fan	0.45	HVAC Fan 1-hers-fan

HVAC FAN SYSTEMS - HERS VERIFICATION

01	02	03
Name	Verified Fan Watt Draw	Required Fan Efficacy (Watts/CFM)
HVAC Fan 1-hers-fan	Required	0.45

INDOOR AIR QUALITY (IAQ) FANS

01	02	03	04	05	06	07	08	09
Dwelling Unit	Airflow (CFM)	Fan Efficacy (W/CFM)	IAQ Fan Type	Includes Heat/Energy Recovery?	IAQ Recovery Effectiveness - SRE/ASRE	Includes Fault Indicator Display?	HERS Verification	Status
SFam IAQVentRpt 1-1	40	0.5	Balanced	Yes	70 / 70	No	No	

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD **CF1R-PRF-01-E**

Project Name: Sunridge Add **Calculation Date/Time:** 2024-04-18T08:21:48-07:00 **(Page 9 of 9)**

Calculation Description: Title 24 Analysis **Input File Name:** Building1.ribd22x

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Ying (John) Tao	Documentation Author Signature: Ying (John) Tao
Company: Basaltic, Inc.	Signature Date: 2024-04-18 08:24:36
Address: 2615 Macarthur Blvd	CEA/ HERS Certification Identification (if applicable): R22-18-40007
City/State/Zip: Oakland, CA 94602	Phone: 510-967-1299

RESPONSIBLE PERSON'S DECLARATION STATEMENT

I certify the following under penalty of perjury, under the laws of the State of California:
1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.
2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

Responsible Designer Name: Amy Nunes	Responsible Designer Signature: Amy Nunes
Company: Sunnyhills Studio	Date Signed: 2024-04-18 08:25:19
Address: 1268 Sunnyhills Road	License: C21400
City/State/Zip: Oakland, CA 94610	Phone: 510-444-3212

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

Easy to Verify at CalCERTS.com

SUNNYHILLS STUDIO
1268 SUNNYHILLS ROAD OAKLAND, CA 94610
510-444-3212
amy@sunnyhillsstudio.com

LICENSED ARCHITECT
AMY WONG NUNES
C-21400
RENEWAL 9/2025
STATE OF CALIFORNIA

OWNER:
AMY AND SAM NUNES
1268 SUNNYHILLS RD.
OAKLAND, CA 94610
510-541-9501

NUNES RESIDENCE ADDITION
4079 SUNRIDGE ROAD
PEBBLE BEACH, CA 93953

TITLE 24 ENERGY REPORT

DESIGN REVIEW
09/23/2024

PERMIT SET
04/24/2024

DESIGN REVIEW
02/19/2024

SHEET
ENI

2022 Single-Family Residential Mandatory Requirements Summary

NOTE: Single-family residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information.
(04/2022)

Building Envelope:

§ 110.6(a)1:	**Air Leakage.** Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or less when tested per NFRC-400, ASTM E283, or AAMA/WDMA/CSA 101/I.S.2/A440-2011. *
§ 110.6(a)5:	**Labeling.** Fenestration products and exterior doors must have a label meeting the requirements of § 10-111(a).
§ 110.6(b):	**Field fabricated exterior doors and fenestration** products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.6-A, 110.6-B, or JA4.5 for exterior doors. They must be caulked and/or weather-stripped.
§ 110.7:	**Air Leakage.** All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked, gasketed, or weather stripped.
§ 110.8(a):	**Insulation Certification by Manufacturers.** Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS).
§ 110.8(g):	**Insulation Requirements for Heated Slab Floors.** Heated slab floors must be insulated per the requirements of § 110.8(g).
§ 110.8(i):	**Roofing Products Solar Reflectance and Thermal Emittance.** The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(i) and be labeled per §10-113 when the installation of a cool roof is specified on the CF1R.
§ 110.8(j):	**Radiant Barrier.** When required, radiant barriers must have an emittance of 0.05 or less and be certified to the Department of Consumer Affairs.
§ 150.0(a):	**Roof Deck, Ceiling and Rafter Roof Insulation.** Roof decks in newly constructed attics in climate zones 4 and 8-16 area-weighted average U-factor not exceeding U-0.184. Ceiling and rafter roofs minimum R-22 insulation in wood-frame ceiling; or area-weighted average U-factor must not exceed 0.043. Rafter roof alterations minimum R-19 or area-weighted average U-factor of 0.054 or less. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a roof or ceiling which is sealed to limit infiltration and exfiltration, as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling. *
§ 150.0(b):	**Loose-fill Insulation.** Loose fill insulation must meet the manufacturer's required density for the labeled R-value.
§ 150.0(c):	**Wall Insulation.** Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less, or R-20 in 2x6 inch wood framing or have a U-factor of 0.071 or less. Opaque non-framed assemblies must have an overall assembly U-factor not exceeding 0.102. Masonry walls must meet Tables 150.1-A or B. *
§ 150.0(d):	**Raised-floor Insulation.** Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor. *
§ 150.0(f):	**Slab Edge Insulation.** Slab edge insulation must meet all of the following: have a water absorption rate, for the insulation material alone without facings, no greater than 0.3 percent; have a water vapor permeance no greater than 2.0 perm per inch; be protected from physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g).
§ 150.0(g)1:	**Vapor Retarder.** In climate zones 1 through 16, the earth floor of unvented crawl space must be covered with a Class I or Class II vapor retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to §150.0(d). *
§ 150.0(g)2:	**Vapor Retarder.** In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation.
§ 150.0(q):	**Fenestration Products.** Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a maximum U-factor of 0.45; or area-weighted average U-factor of all fenestration must not exceed 0.45. *

Fireplaces, Decorative Gas Appliances, and Gas Log:

§ 110.5(e)	**Pilot Light.** Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces.
§ 150.0(e)1:	**Closable Doors.** Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox.
§ 150.0(e)2:	**Combustion Intake.** Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device.
§ 150.0(e)3:	**Flue Damper.** Masonry or factory-built fireplaces must have a flue damper with a readily accessible control. *

Space Conditioning, Water Heating, and Plumbing System:

§ 110.0-§ 110.3:	**Certification.** Heating, ventilation, and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated appliances must be certified by the manufacturer to the California Energy Commission. *
§ 110.2(a):	**HVAC Efficiency.** Equipment must meet the applicable efficiency requirements in Table 110.2-A through Table 110.2-N. *
§ 110.2(b):	**Controls for Heat Pumps with Supplementary Electric Resistance Heaters.** Heat pumps with supplementary electric resistance heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating.
§ 110.2(c):	**Thermostats.** All heating or cooling systems not controlled by a central energy management control system (EMCS) must have a setback thermostat. *
§ 110.3(c)3:	**Insulation.** Unfired service water heater storage tanks and solar water-heating backup tanks must have adequate insulation, or tank surface heat loss rating.
§ 110.3(c)6:	**Isolation Valves.** Instantaneous water heaters with an input rating greater than 6.8 kBtu per hour (2 kW) must have isolation valves with hose bibbs or other fittings on both cold and hot water lines to allow for flushing the water heater when the valves are closed.

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2022 Single-Family Residential Mandatory Requirements Summary

§ 110.5:	**Pilot Lights.** Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces; household cooking appliances (except appliances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu per hour); and pool and spa heaters. *
§ 150.0(h)1:	**Building Cooling and Heating Loads.** Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook, Equipment Volume, Applications Volume, and Fundamentals Volume; the SMACNA Residential Comfort System Installation Standards Manual; or the ACCA Manual J using design conditions specified in § 150.0(h)2.
§ 150.0(h)3A:	**Clearances.** Air conditioner and heat pump outdoor condensing units must have a clearance of at least five feet from the outlet of any dryer.
§ 150.0(h)3B:	**Liquid Line Drier.** Air conditioners and heat pump systems must be equipped with liquid line filter driers if required, as specified by the manufacturer's instructions.
§ 150.0(j)1:	**Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation.** All domestic hot water piping must be insulated as specified in § 609.11 of the California Plumbing Code. *
§ 150.0(j)2:	**Insulation Protection.** Piping insulation must be protected from damage, including that due to sunlight, moisture, equipment' maintenance, and wind as required by §120.3(b). Insulation exposed to weather must be water retardant and protected from UV light (no adhesive tapes). Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space must include, or be protected by, a Class I or Class II vapor retarder. Pipe insulation buried below grade must be installed in a waterproof and non-crushable casing or sleeve.
§ 150.0(n)1:	**Gas or Propane Water Heating Systems.** Systems using gas or propane water heaters to serve individual dwelling units must designate a space at least 2.5' x 2.5' x 7' suitable for the future installation of a heat pump water heater, and meet electrical and plumbing requirements, based on the distance between this designated space and the water heater location; and a condensate drain no more than 2" higher than the base of the water heater
§ 150.0(n)3:	**Solar Water-heating Systems.** Solar water-heating systems and collectors must be certified and rated by the Solar Rating and Certification Corporation (SRCC), the International Association of Plumbing and Mechanical Officials, Research and Testing (IAPMO R&T), or by a listing agency that is approved by the executive director.

Ducts and Fans:

§ 110.8(d)3:	**Ducts.** Insulation installed on an existing space-conditioning duct must comply with § 604.0 of the California Mechanical Code (CMC). If a contractor installs the insulation, the contractor must certify to the customer, in writing, that the insulation meets this requirement.
§ 150.0(m)1:	**CMC Compliance.** All air-distribution system ducts and plenums must meet CMC §§ 601.0-605.0 and ANSI/SMACNA-006-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition. Portions of supply-air and return-air ducts and plenums must be insulated to R-6.0 or higher; ducts located entirely in conditioned space as confirmed through field verification and diagnostic testing (RA3.1.4.3.8) do not require insulation. Connections of metal ducts and inner core of flexible ducts must be mechanically fastened. Openings must be sealed with mastic, tape, or other duct-closure system that meets the applicable UL requirements, or aerosol sealant that meets UL 723. The combination of mastic and either mesh or tape must be used to seal openings greater than ¼", If mastic or tape is used. Building cavities, air handler support platforms, and plenums designed or constructed with materials other than sealed sheet metal, duct board or flexible duct must not be used to convey conditioned air. Building cavities and support platforms may contain ducts; ducts installed in these spaces must not be compressed. *
§ 150.0(m)2:	**Factory-Fabricated Duct Systems.** Factory-fabricated duct systems must comply with applicable requirements for duct construction, connections, and closures; joints and seams of duct systems and their components must not be sealed with cloth back rubber adhesive duct tapes unless such tape is used in combination with mastic and draw bands.
§ 150.0(m)3:	**Field-Fabricated Duct Systems.** Field-fabricated duct systems must comply with applicable requirements for: pressure-sensitive tapes, mastics, sealants, and other requirements specified for duct construction.
§ 150.0(m)7:	**Backdraft Damper.** Fan systems that exchange air between the conditioned space and outdoors must have backdraft or automatic dampers.
§ 150.0(m)8:	**Gravity Ventilation Dampers.** Gravity ventilating systems serving conditioned space must have either automatic or readily accessible, manually operated dampers in all openings to the outside, except combustion inlet and outlet air openings and elevator shaft vents.
§ 150.0(m)9:	**Protection of Insulation.** Insulation must be protected from damage due tosunlight, moisture, equipment maintenance, and wind. Insulation exposed to weather must be suitable for outdoor service (e.g., protected by aluminum, sheet metal, painted canvas, or plastic cover). Cellular foam insulation must be protected as above or painted with a water retardant and solar radiation-resistant coating.
§ 150.0(m)10:	**Porous Inner Core Flex Duct.** Porous inner cores of flex ducts must have a non-porous layer or air barrier between the inner core and outer vapor barrier.
§ 150.0(m)11:	**Duct System Sealing and Leakage Test.** When space conditioning systems use forced air duct systems to supply conditioned air to an occupiable space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in accordance with Reference Residential Appendix RA3.1.
§ 150.0(m)12:	**Air Filtration.** Space conditioning systems with ducts exceeding 10 feet and the supply side of ventilation systems must have MERV 13 or equivalent filters. Filters for space conditioning systems must have a two inch depth or can be one inch if sized per Equation 150.0-A. Clean-filter pressure drop and labeling must meet the requirements in §150.0(m)12. Filters must be accessible for regular service. Filter racks or grilles must use gaskets, sealing, or other means to close gaps around the inserted filters to and prevents air from bypassing the filter. *

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2022 Single-Family Residential Mandatory Requirements Summary

§ 150.0(m)13:	**Space Conditioning System Airflow Rate and Fan Efficacy.** Space conditioning systems that use ducts to supply cooling must have a hole for the placement of a static pressure probe, or a permanently installed static pressure probe in the supply plenum. Airflow must be ≥ 350 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.45 watts per CFM for gas furnace air handlers and ≤ 0.58 watts per CFM for all others. Small duct high velocity systems must provide an airflow ≥ 250 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.62 watts per CFM. Field verification testing is required in accordance with Reference Residential Appendix RA3.3. *

Ventilation and Indoor Air Quality:

§ 150.0(o)1:	**Requirements for Ventilation and Indoor Air Quality**. All dwelling units must meet the requirements of ASHRAE Standard 62.2, Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in § 150.0(o)1. *
§ 150.0(o)1B:	**Central Fan Integrated (CFI) Ventilation Systems.** Continuous operation of CFI air handlers is not allowed to provide the whole-dwelling unit ventilation airflow required per §150.0(o)1C. A motorized damper(s) must be installed on the ventilation duct(s) that prevents all airflow through the space conditioning duct system when the damper(s) is closed andcontrolled per §150.0(o)1Biii&iv. CFI ventilation systems must have controls that track outdoor air ventilation run time, and either open or close the motorized damper(s) for compliance with §150.0(o)1C.
§ 150.0(o)1C:	**Whole-Dwelling Unit Mechanical Ventilation for Single-Family Detached and townhouses .** Single-family detached dwelling units, and attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces, public garages, or commercial spaces must have mechanical ventilation airflow specified in § 150.0(o)1Ci-ii.
§ 150.0(o)1G:	**Local Mechanical Exhaust.** Kitchens and bathrooms must have local mechanical exhaust; nonenclosed kitchens must have demand-controlled exhaust system meeting requirements of §150.0(o)1Giii,enclosed kitchens and bathrooms can use demand-controlled or continuous exhaust meeting §150.0(o)1Giii-iv. Airflow must be measured by the installer per §150.0(o)1Gv, and rated for sound per §150.0(o)1Gvi. *
§ 150.0(o)1H&I:	**Airflow Measurement and Sound Ratings of Whole-Dwelling Unit Ventilation Systems.** The airflow required per § 150.0(o)1C must be measured by using a flow hood, flow grid, or other airflow measuring device at the fan's inlet or outlet terminals/grilles per Reference Residential Appendix RA3.7. Whole-Dwelling unit ventilation systems must be rated for sound per ASHRAE 62.2 §7.2 at no less than the minimum airflow rate required by §150.0(o)1C.
§ 150.0(o)2:	**Field Verification and Diagnostic Testing.** Whole-Dwelling Unit ventilation airflow, vented range hood airflow and sound rating, and HRV and ERV fan efficacy must be verified in accordance with Reference Residential Appendix RA3.7. Vented range hoods must be verified per Reference Residential Appendix RA3.7.4.3 to confirm if it is rated by HVI or AHAM to comply with the airflow rates and sound requirements per §150.0(o)1G

Pool and Spa Systems and Equipment:

§ 110.4(a):	**Certification by Manufacturers.** Any pool or spa heating system or equipment must be certified to have all of the following: compliance with the Appliance Efficiency Regulations and listing in MAEDNS; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and must not use electric resistance heating. *
§ 110.4(b)1:	**Piping.** Any pool or spa heating system or equipment must be installed with at least 36 inches of pipe between the filter and the heater, or dedicated suction and return lines, or built-in or built-up connections to allow for future solar heating.
§ 110.4(b)2:	**Covers.** Outdoor pools or spas that have a heat pump or gas heater must have a cover.
§ 110.4(b)3:	**Directional Inlets and Time Switches for Pools.** Pools must have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods.
§ 110.5:	**Pilot Light.** Natural gas pool and spa heaters must not have a continuously burning pilot light.
§ 150.0(p):	**Pool Systems and Equipment Installation.** Residential pool systems or equipment must meet the specified requirements for pump sizing, flow rate, piping, filters, and valves.

Lighting:

§ 110.9:	**Lighting Controls and Components.** All lighting control devices and systems, ballasts, and luminaires must meet the applicable requirements of § 110.9. *
§ 150.0(k)1A:	**Luminaire Efficacy.** All installed luminaires must meet the requirements in Table 150.0-A, except lighting integral to exhaust fans, kitchen range hoods, bath vanity mirrors, and garage door openers; navigation lighting less than 5 watts; and lighting internal to drawers, cabinets, and linen closets with an efficacy of at least 45 lumens per watt.
§ 150.0(k)1B:	**Screw based luminaires.** Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8. *
§ 150.0(k)1C:	**Recessed Downlight Luminaires in Ceilings.** Luminaires recessed into ceilings must not contain screw based sockets, must be airtight, and must be sealed with a gasket or caulk. California Electrical Code § 410.116 must also be met.
§ 150.0(k)1D:	**Light Sources in Enclosed or Recessed Luminaires.** Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.
§ 150.0(k)1E:	**Blank Electrical Boxes.** The number of electrical boxes that are more than five feet above the finished floor and do not contain a luminaire or other device shall be no more than the number of bedrooms. These boxes must be served by a dimmer, vacancy sensor control, low voltage wiring, or fan speed control.
§ 150.0(k)1F:	**Lighting Integral to Exhaust Fans.** Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods) must meet the applicable requirements of § 150.0(k). *

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2022 Single-Family Residential Mandatory Requirements Summary

§ 150.0(k)1G:	**Screw based luminaires.** Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8. *
§ 150.0(k)1H:	**Light Sources in Enclosed or Recessed Luminaires.** Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.
§ 150.0(k)1I:	**Light Sources in Drawers, Cabinets, and Linen Closets.** Light sources internal to drawers, cabinetry or linen closets are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided that they are rated to consume no more than 5 watts of power, emit no more than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or linen closet is closed.
§ 150.0(k)2A:	**Interior Switches and Controls.** All forward phase cut dimmers used with LED light sources must comply with NEMA SSL 7A.
§ 150.0(k)2B:	**Interior Switches and Controls.** Exhaust fans must be controlled separately from lighting systems. *
§ 150.0(k)2A:	**Accessible Controls.** Lighting must have readily accessible wall-mounted controls that allow the lighting to be manually turned on and off. *
§ 150.0(k)2B:	**Multiple Controls.** Controls must not bypass a dimmer, occupant sensor, or vacancy sensor function if the dimmer or sensor is installed to comply with § 150.0(k).
§ 150.0(k)2C:	**Mandatory Requirements.** Lighting controls must comply with the applicable requirements of § 110.9.
§ 150.0(k)2D:	**Energy Management Control Systems.** An energy management control system (EMCS) may be used to comply with dimming, occupancy, and control requirements if it provides the functionality of the specified control per § 110.9 and the physical controls specified in § 150.0(k)2A.
§ 150.0(k)2E:	**Automatic Shutoff Controls.** In bathrooms, garages, laundry rooms, utility rooms and walk-in closets, at least one installed luminaire must be controlled by an occupancy or vacancy sensor providing automatic-off functionality. Lighting inside drawers and cabinets with opaque fronts or doors must have controls that turn the light off when the drawer or door is closed.
§ 150.0(k)2F:	**Dimmers.** Lighting in habitable spaces (e.g., living rooms, dining rooms, kitchens, and bedrooms) must have readily accessible wall-mounted dimming controls that allow the lighting to be manually adjusted up and down. Forward phase cut dimmers controlling LED light sources in these spaces must comply with NEMA SSL 7A.
§ 150.0(k)2K:	**Independent controls.** Integrated lighting of exhaust fans shall be controlled independently from the fans. Lighting under cabinets or shelves, lighting in display cabinets, and switched outlets must be controlled separately from ceiling-installed lighting.
§ 150.0(k)3A:	**Residential Outdoor Lighting.** For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, must have a manual on/off switch and either a photocell and motion sensor or automatic time switch control) or an astronomical time clock. An energy management control system that provides the specified control functionality and meets all applicable requirements may be used to meet these requirements.
§ 150.0(k)4:	**Internally illuminated address signs.** Internally illuminated address signs must either comply with § 140.8 or consume no more than 5 watts of power.
§ 150.0(k)5:	**Residential Garages for Eight or More Vehicles.** Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in §§ 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.

Solar Readiness:

§ 110.10(a)1:	**Single-family Residences.** Single-family residences located in subdivisions with 10 or more single-family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(b)-(e).
§110.10(b)1A:	**Minimum Solar Zone Area.** The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10,000 square feet. For single-family residences, the solar zone must be located on the roof or overhang of the building and have a total area no less than 250 square feet. *
§ 110.10(b)2:	**Azimuth.** All sections of the solar zone located on steep-sloped roofs must have an azimuth between 90-300° of true north.
§ 110.10(b)3A:	**Shading.** The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof mounted equipment.
§ 110.10(b)3B:	**Shading.** Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the horizontal distance of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane. *
§ 110.10(b)4:	**Structural Design Loads on Construction Documents.** For areas of the roof designated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents.
§ 110.10(c):	**Interconnection Pathways.** The construction documents must indicate: a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single-family residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system.
§ 110.10(d):	**Documentation.** A copy of the construction documents or a comparable document indicating the information from § 110.10(b)-(c) must be provided to the occupant.
§ 110.10(e)1:	**Main Electrical Service Panel.** The main electrical service panel must have a minimum busbar rating of 200 amps.
§ 110.10(e)2:	**Main Electrical Service Panel.** The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be permanently marked as "For Future Solar Electric."

Electric and Energy Storage Ready:

5/6/22

2022 Single-Family Residential Mandatory Requirements Summary

§ 150.0(s)	**Energy Storage System (ESS) Ready.** All single-family residences must meet all of the following: Either ESS-ready interconnection equipment with backed up capacity of 60 amps or more and four or more ESS supplied branch circuits, or a dedicated raceway from the main service to a subpanel that supplies the branch circuits in § 150.0(s); at least four branch circuits must be identified and have their source collocated at a single panelboard suitable to be supplied by the ESS, with one circuit supplying the refrigerator, one lighting circuit near the primary exit, and one circuit supplying a sleeping room receptacle outlet; main panelboard must have a minimum busbar rating of 225 amps; sufficient space must be reserved to allow future installation of a system isolation equipment/transfer switch within 3' of the main panelboard, with raceways installed between the panelboard and the switch location to allow the connection of backup power source.
§ 150.0(t)	**Heat Pump Space Heater Ready.** Systems using gas or propane furnaces to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the furnace with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready;" and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."
§ 150.0(u)	**Electric Cooktop Ready.** Systems using gas or propane cooktop to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the cooktop with circuit conductors rated at least 50 amps with the blank cover identified as "240V ready;" and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."
§ 150.0(v)	**Electric Clothes Dryer Ready.** Clothes dryer locations with gas or propane plumbing to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the dryer location with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready;" and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."

*Exceptions may apply.

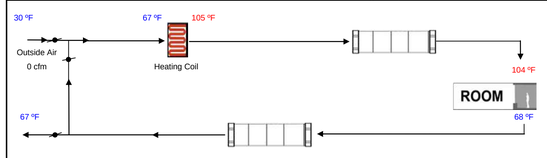
5/6/22

HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY

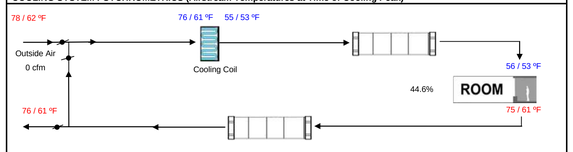
Project Name	Sunridge Add
Date	4/18/2024
System Name	HVAC
Floor Area	770

ENGINEERING CHECKS		SYSTEM LOAD	COIL COOLING PEAK CFM	COIL COOLING PEAK Sensible	COIL COOLING PEAK Latent	COIL HTG. PEAK CFM	COIL HTG. PEAK Sensible
Number of Systems	1						
Heating System							
Output per System	12,000	Total Room Loads	408	8,549	280	220	8,562
Total Output (Btuh)	12,000	Return Vented Lighting		0			
Output (Btuh/sqft)	15.6	Return Air Ducts		248			389
Cooling System		Return Fan		0			0
Output per System	12,000	Ventilation	0	0	0	0	0
Total Output (Btuh)	12,000	Supply Fan		0			0
Total Output (Tons)	1.0	Supply Air Ducts		248			389
Total Output (Btuh/sqft)	15.6						
Total Output (sqft/Ton)	770.0	TOTAL SYSTEM LOAD		9,044	280		9,340
Air System							
CFM per System	0	HVAC EQUIPMENT SELECTION					
Airflow (cfm)	0	High Efficiency Heat Pump		11,890	0		8,327
Airflow (cfm/sqft)	0.00						
Airflow (cfm/Ton)	0.0						
Outside Air (%)	0.0%	Total Adjusted System Output (Adjusted for Peak Design conditions)		11,890	0		8,327
Outside Air (cfm/sqft)	0.00						
Note: values above given at ARI conditions		TIME OF SYSTEM PEAK		Aug 3 PM			Jan 1 AM

HEATING SYSTEM PSYCHROMETRICS (Airstream Temperatures at Time of Heating Peak)



COOLING SYSTEM PSYCHROMETRICS (Airstream Temperatures at Time of Cooling Peak)



5/6/22

SUNNYHILLS STUDIO
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amy@sunnyhillstudio.com 510-444-3212

LICENSED ARCHITECT
AMY WONG NUNES
C-31400
REN. 9/2025
STATE OF CALIFORNIA

OWNER:
AMY AND SAM NUNES
1268 SUNNYHILLS RD.
OAKLAND, CA 94610
510-541-9501

RESIDENCE ADDITION

4079 SUNRIDGE ROAD
PEBBLE BEACH, CA 93953

NUNES RESIDENCE

TITLE 24 ENERGY REPORT

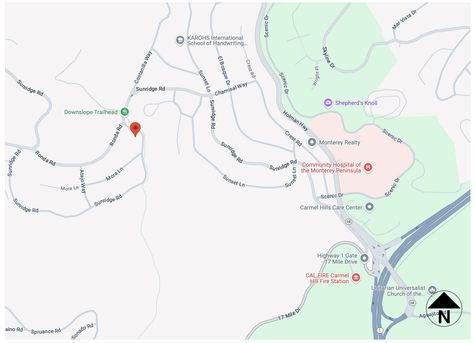
DESIGN REVIEW
09/23/2024

PERMIT SET
04/24/2024

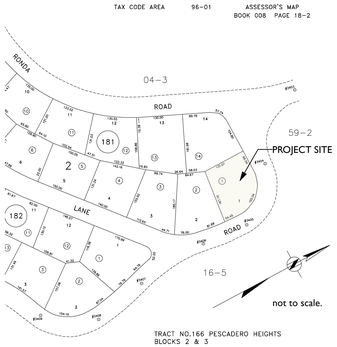
DESIGN REVIEW
02/19/2024

SHEET
EN2

VACINITY MAP



PARCEL MAP



OWNER

AMY AND SAM NUNES
1268 SUNNYHILLS ROAD
OAKLAND, CA 94610
510-541-9501

TITLE REPORT PROPERTY DESCRIPTION

NO EASEMENTS OR ENCUMBERANCES
NO WELLS OR SEPTIC SYSTEMS
NO CREEKS OR BODIES OR WATER

WATER PROVIDER

CALIFORNIA AMERICAN WATER
511 FOREST LODGE ROAD #100
PACIFIC GROVE, CA 93950

SEWER PROVIDER

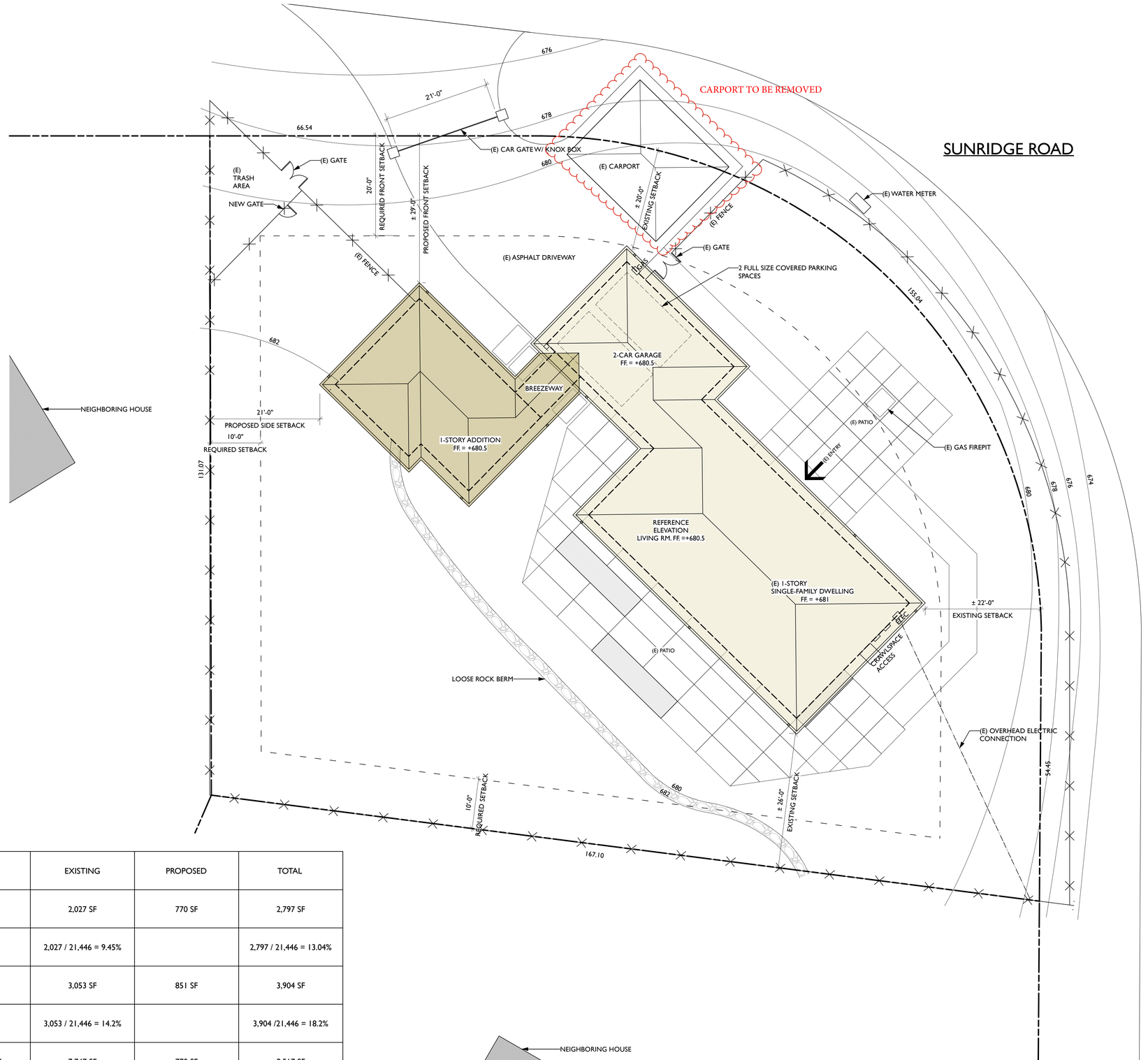
PEBBLE BEACH COMMUNITY SERVICES DISTRICT
3101 FOREST LAKE ROAD
PEBBLE BEACH, CA 93953

PROJECT DATA SUMMARY TABLE

ASSESSOR'S PARCEL NUMBER (APN):	008181001000
PARCEL SIZE:	21,446 SF
GENERAL PLAN LAND USE DESIGNATION:	RESIDENTIAL MEDIUM DENSITY 2U/A
	PESCADERO WATERSHED
ZONING DESIGNATION:	MDR/2-0 (CZ)

		ALLOWED	EXISTING	PROPOSED	TOTAL
FLOOR AREA	HABITABLE		2,027 SF	770 SF	2,797 SF
FLOOR AREA RATIO	HABITABLE	25% MAX	2,027 / 21,446 = 9.45%		2,797 / 21,446 = 13.04%
STRUCTURES	HABITABLE + NON-HABITABLE		3,053 SF	851 SF	3,904 SF
LOT COVERAGE STRUCTURES	HABITABLE + NON-HABITABLE	25% MAX	3,053 / 21,446 = 14.2%		3,904 /21,446 = 18.2%
LOT COVERAGE / IMPERVIOUS COVERAGE	HABITABLE + NON-HABITABLE + IMPERVIOUS SURFACES	9000 SF MAX	7,747 SF	770 SF	8,517 SF
PERVIOUS COVERAGE	PERVIOUS SURFACES		21,446 - 7,747 = 13,699 SF	- 770 SF	21,446 - 8,517 = 12,929 SF

GRADING: CUT 96 CUBIC YARDS, SEE1/A2.1



1 SITE PLAN
Scale: 1" = 10'-0"

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SITE PLAN

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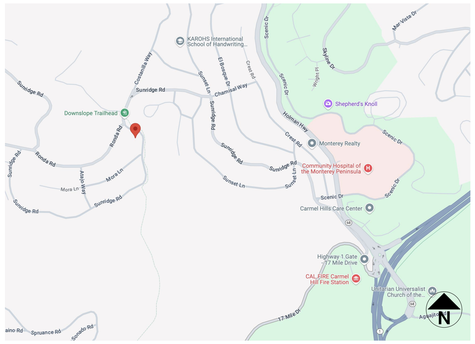
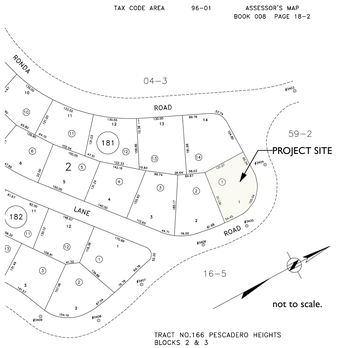
02/19/2024

SHEET
A2.0

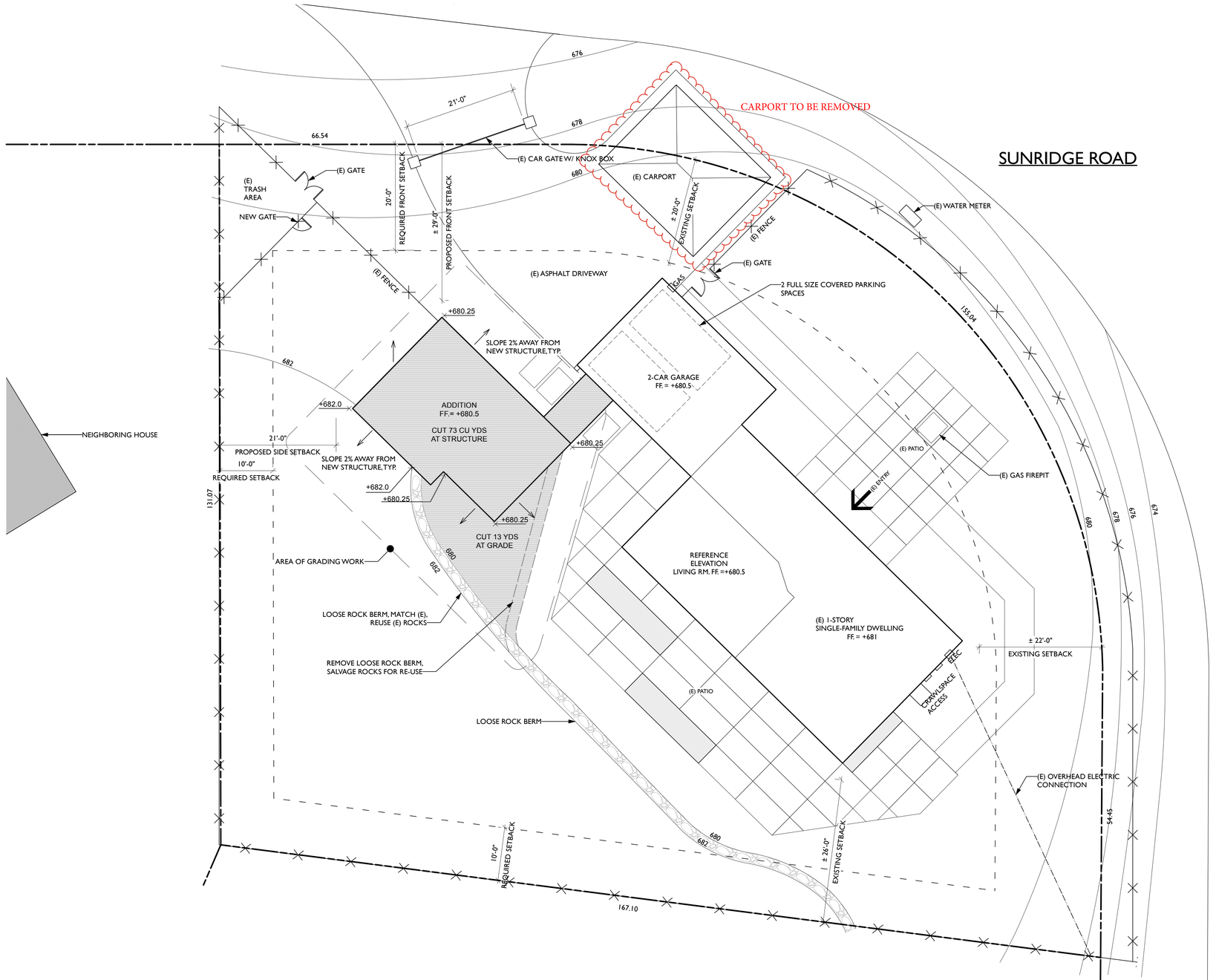
VACINITY MAP



PARCEL MAP



TRACT NO.166 PESCADERO HEIGHTS
BLOCKS 2 & 3



GRADING STATEMENT

GRADING WORK IS LIMITED TO THE VICINITY OF THE ADDITION PROJECT. GRADING IS INTENDED TO ACCOMMODATE THE CONSTRUCTION OF THE PROPOSED ADDITION AND ADJACENT GARDEN AREA.

EARTH QUANTITIES:

CUT: ±96 CUBIC YARDS
FILL: NONE

DRAINAGE:

REFER TO DRAINAGE PLAN 1/A2.2

1 GRADING PLAN
Scale: 1" = 10'-0"

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GRADING PLAN

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09/23/2024

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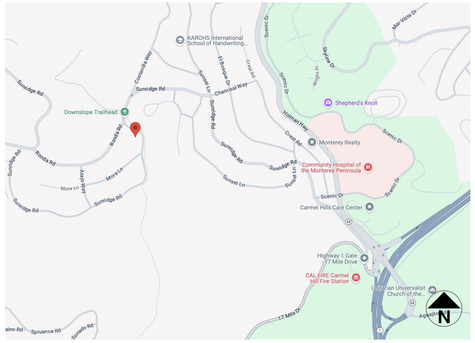
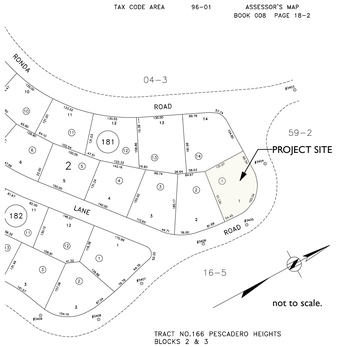
02/19/2024

SHEET
A2.1

VACINITY MAP



PARCEL MAP



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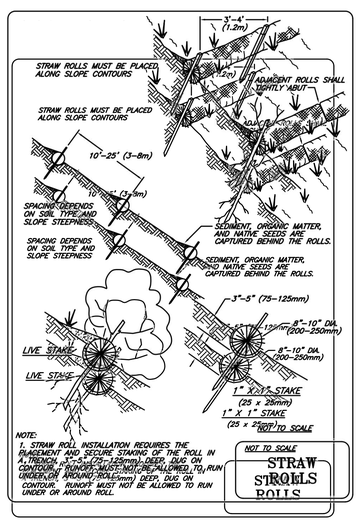
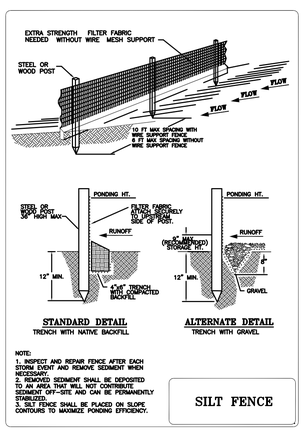
LEGEND

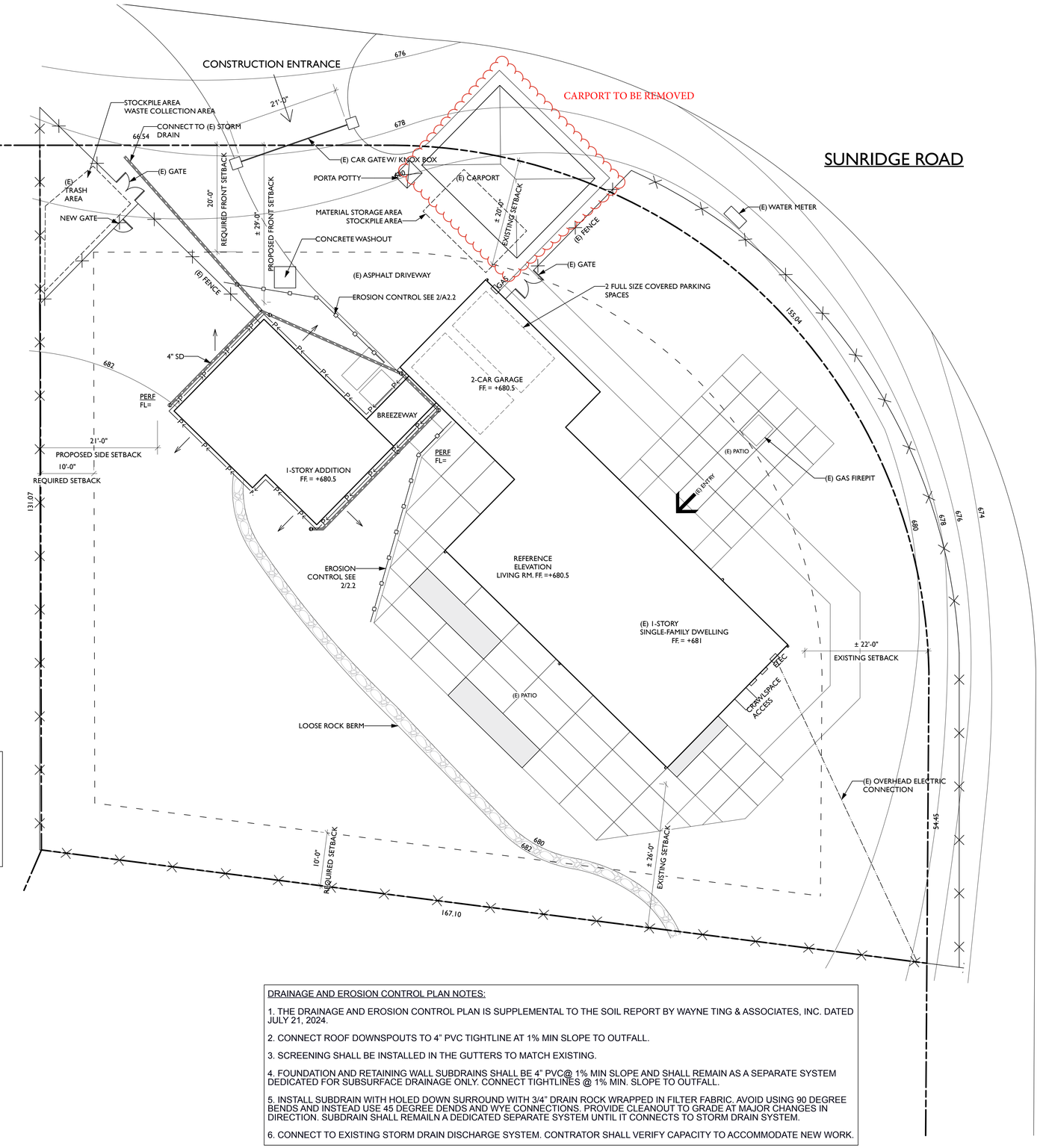
—P← 4" ⌀ RIGID PERF. FOUNDATION DRAIN

4" SD, 4" SOLID RIGID PIPE, CONNECT TO (E) STORM DRAIN



2 EROSION CONTROL
Scale: 1" = 10'-0"





DRAINAGE AND EROSION CONTROL PLAN NOTES:

1. THE DRAINAGE AND EROSION CONTROL PLAN IS SUPPLEMENTAL TO THE SOIL REPORT BY WAYNE TING & ASSOCIATES, INC. DATED JULY 21, 2024.
2. CONNECT ROOF DOWNSPOUTS TO 4" PVC TIGHTLINE AT 1% MIN SLOPE TO OUTFALL.
3. SCREENING SHALL BE INSTALLED IN THE GUTTERS TO MATCH EXISTING.
4. FOUNDATION AND RETAINING WALL SUBDRAINS SHALL BE 4" PVC@ 1% MIN SLOPE AND SHALL REMAIN AS A SEPARATE SYSTEM DEDICATED FOR SUBSURFACE DRAINAGE ONLY. CONNECT TIGHTLINES @ 1% MIN. SLOPE TO OUTFALL.
5. INSTALL SUBDRAIN WITH HOLED DOWN SURROUND WITH 3/4" DRAIN ROCK WRAPPED IN FILTER FABRIC. AVOID USING 90 DEGREE BENDS AND INSTEAD USE 45 DEGREE DENDS AND WYE CONNECTIONS. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION. SUBDRAIN SHALL REMAILN A DEDICATED SEPARATE SYSTEM UNTIL IT CONNECTS TO STORM DRAIN SYSTEM.
6. CONNECT TO EXISTING STORM DRAIN DISCHARGE SYSTEM. CONTRATOR SHALL VERIFY CAPACITY TO ACCOMMODATE NEW WORK.

1 DRAINAGE AND EROSION CONTROL PLAN
Scale: 1" = 10'-0"

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DRAINAGE PLAN

DESIGN REVIEW
09/23/2024

PERMIT SET
04/24/2024

DESIGN REVIEW
02/19/2024

SHEET
A2.2

PLUMBING NOTES:

1. MINIMUM CLEARANCE OF 15 IN FROM THE CENTERLINE OF THE WATER CLOSET TO SIDE WALLS AND/OR OBSTRUCTIONS.

2. SHOWER COMPARTMENT TO HAVE MINIMUM INTERIOR AREA OF 1024 SQ IN AND BE CAPABLE OF ENCOMPASSING A 30-IN CIRCLE.

3. CONTROL VALUES SHALL PROVIDE SCALD AND THERMAL SHOCK PROTECTION AND SHALL HAVE A MAXIMUM MIXING TEMPERATURE OF 120 DEGREES.

4. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE: TILE OVER CEMENT BACKER BOARD OVER WATERPROOF MEMBRANE.

5. NEW PLUMBING FIXTURES MUST MEET THE FOLLOWING STANDARDS:
- TOILETS: 1.28 GAL/FLUSH
- SHOWERHEADS: 2.0 GAL/MIN @ 80 PSI
- LAVATORY FAUCETS: 1.2 GAL/MIN @ 60 PSI
- KITCHEN FAUCETS: 1.8 GAL/MIN W/ 2.2 GAL/MIN MAX @ 60 PSI

NEW LIGHT FIXTURE REQUIREMENTS:

1. PERMANENTLY INSTALLED LUMINARIES LOCATED IN ROOMS OR AREAS OTHER THAN KITCHENS, BATHROOMS, GARAGES, LAUNDRY ROOMS, CLOSETS, AND UTILITY ROOMS SHALL BE HIGH EFFICACY LUMINAIRES
EXCEPTION: PERMANENTLY INSTALLED LOW EFFICACY LUMINAIRES SHALL BE ALLOWED PROVIDED THEY ARE CONTROLLED BY EITHER A DIMMER SWITCH, OR BY A MANUAL-ON/AUTOMATIC-OFF OCCUPANT SENSOR (VACANCY SENSOR)

2. LIGHTING IN GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS SHALL BE HIGH EFFICACY AND CONTROLLED BY A MANUAL ON/OFF VACACY SENSOR

3. LUMINARIES RECESSED INTO CEILINGS SHALL BE IC RATED AND BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND THE CEILING

BATHROOM LIGHTING REQUIREMENTS:

1. AT LEAST ONE NEW LIGHTING FIXTURE MUST BE HIGH EFFICACY

2. LOW EFFICACY (NON-FLUORESCENT) LIGHT FIXTURES MUST BE CONTROLLED BY A VACACY SENSOR SWITCH

3. HIGH EFFICACY AND LOW EFFICACY LIGHT FIXTURES MUST BE SWITCHED SEPARATELY

4. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL AND HAVE A MIN FLOW RATE OF 50 CFM.

OUTDOOR LIGHTING REQUIREMENTS:

1. NEW LIGHITNG FIXTURES ATTACHED TO THE OUTSIDE OF BUILDINGS, INCLUDING GARAGES, MUST BE HIGH EFFICACY AND CONTROLLED BY ONE OF THESE ITEMS:
- A PHOTOCELL AND MOTION SENSOR
- A PHOTOCELL AND TIME SWITCH
- ASTRONOMICAL TIME CLOCK
- EMCS WITH ASTRONOMICAL TIME CLOCK

NEW ELECTRICAL OUTLETS:

1. ALL 125-VOLT, SINGLE PHASE, 15- AND 20-AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PALORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI)

2. ALL OUTLETS, INCLUDING KITCHENS, BATHROOMS, LAUNDRY ROOMS, GARAGES, BASEMENTS, AND EXTERIOR SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES

SMOKE AND CARBON MONOXIDE REQUIREMENTS:

SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
1. IN EACH SLEEPING ROOM
2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS

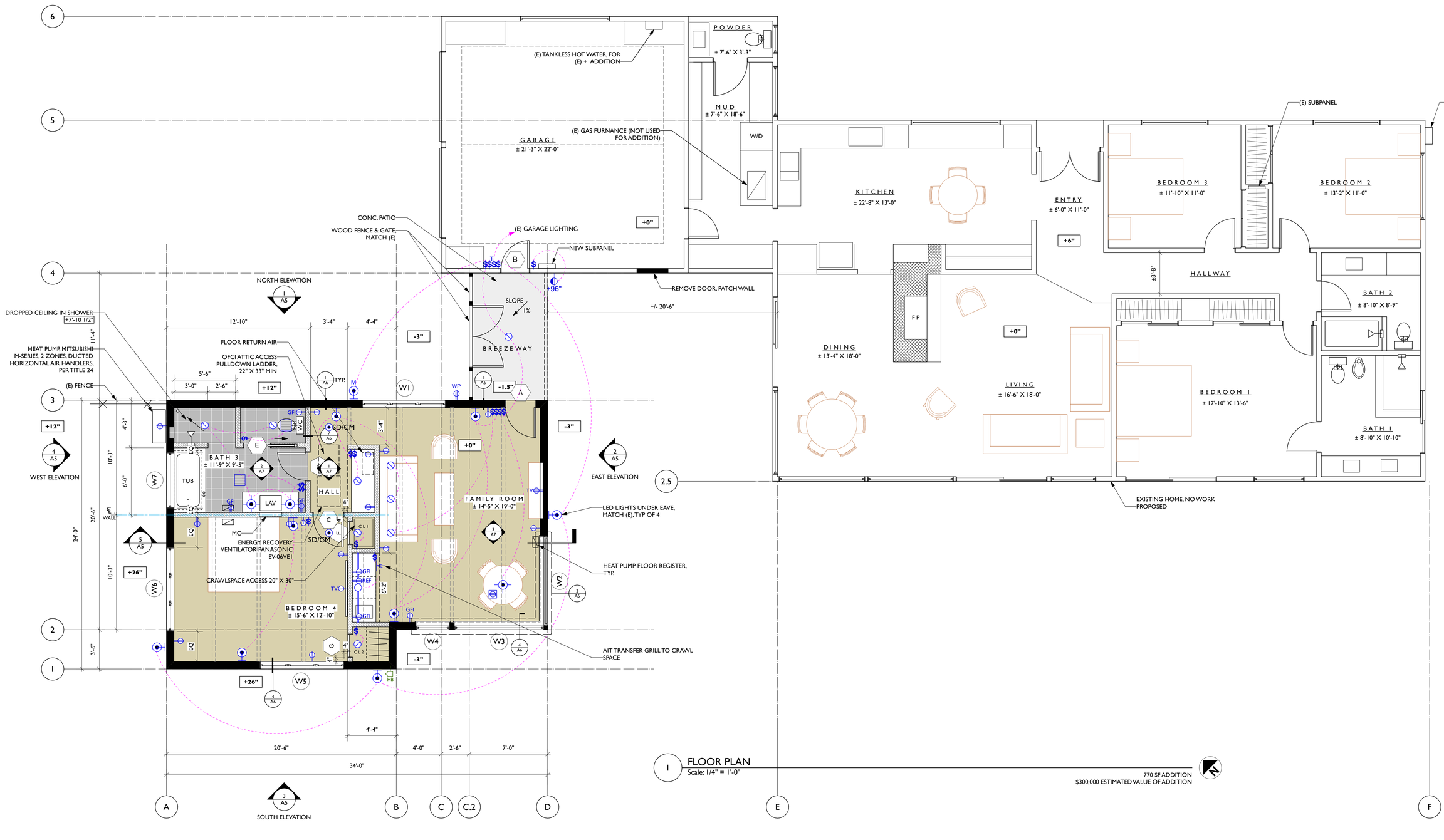
CARBON MONOXIDE ALARMS APPROVED BY THE SFM, SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
1. OUTSIDE OF SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
2. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS

LIGHT FIXTURE AND ELECTRICAL LEGEND:

- RECESSED LIGHT FIXTURE
- HANGING/CEILING LIGHT FIXTURE
- LED UNDER CABINET LIGHT, LENGTH AS REQUIRED FOR CONTINUOUS ILLUMINATION
- SD/CM SMOKE AND/OR CARBON MONOXIDE DETECTOR
- EXHUST FAN FIXTURE COMBO
- EXHAUST FAN
- WALL MOUNTED LIGHT FIXTURE
- SWITCH
- DUPLEX OUTLET
- QUAD OUTLET
- GFI GROUND FAULT INTERRUPTED OUTLET
- GFCI GFCI PROTECTED OUTLET
- GAS

WALL LEGEND:

- NEW 2X6 WALLS @ 16" OC
- NEW 2X4 WALLS @ 16" OC
- EXISTING WALLS
- EXISTING WALLS TO BE REMOVED



1 FLOOR PLAN
Scale: 1/4" = 1'-0"

770 SF ADDITION
$300,000 ESTIMATED VALUE OF ADDITION

SUNNYHILLS STUDIO
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NUNES RESIDENCE ADDITION
4079 SUNRIDGE ROAD
PEBBLE BEACH, CA 93953

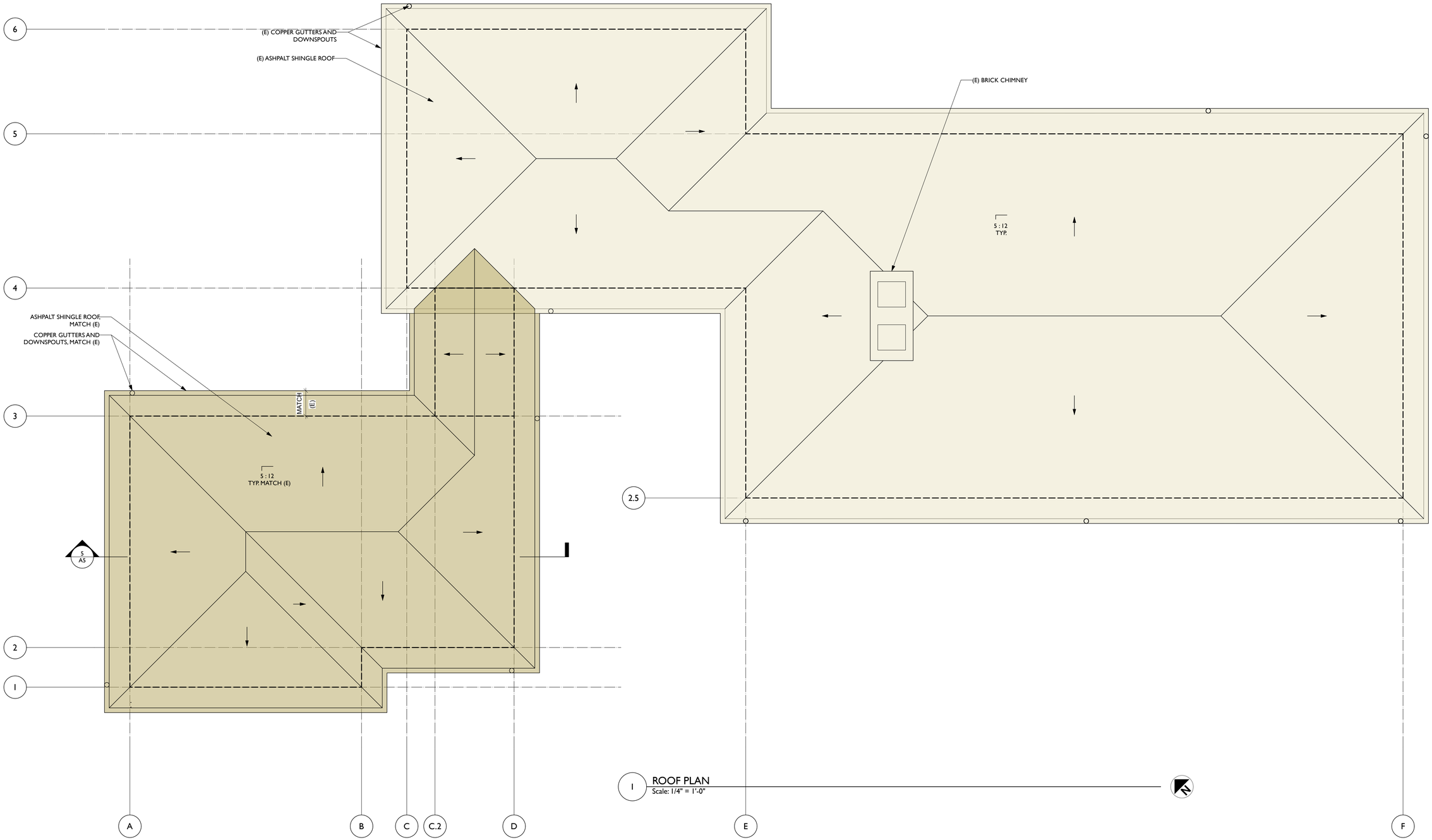
FLOOR PLAN

DESIGN REVIEW
09/23/2024

PERMIT SET
04/24/2024

DESIGN REVIEW
02/19/2024

SHEET
A3.0



1 ROOF PLAN
Scale: 1/4" = 1'-0"

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ROOF PLAN

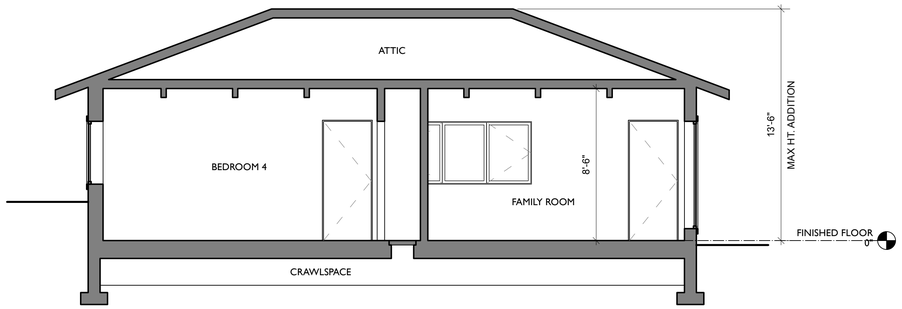
DESIGN REVIEW
09/23/2024

PERMIT SET
04/24/2024

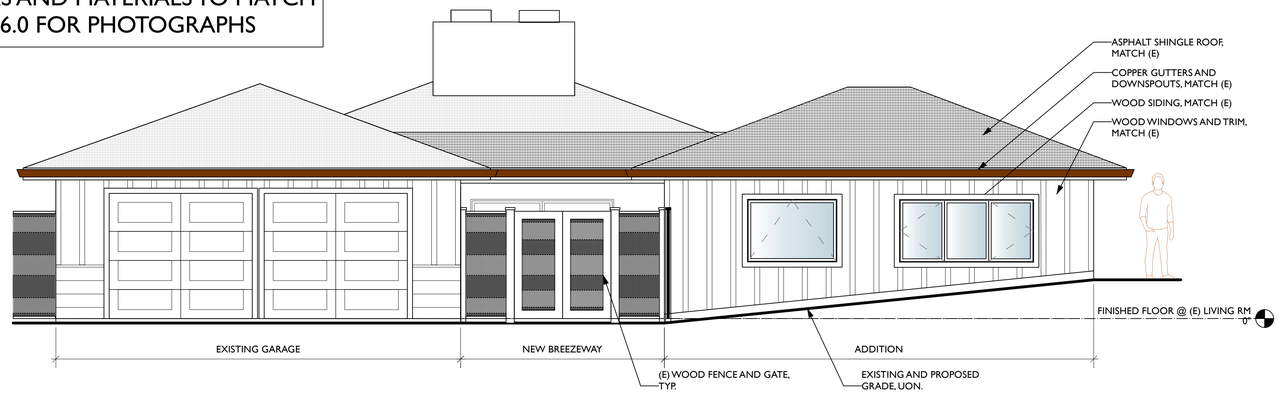
DESIGN REVIEW
02/19/2024

SHEET
A4.0

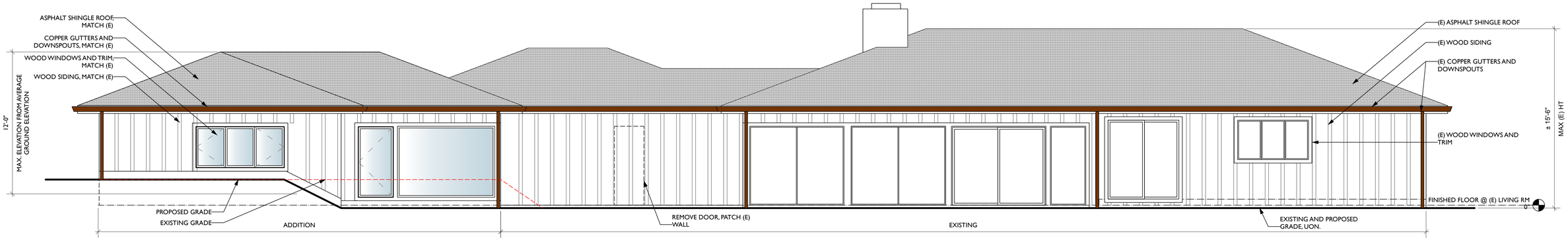
NEW EXTERIOR COLORS AND MATERIALS TO MATCH
(E) UON, SEE A1.0 AND A6.0 FOR PHOTOGRAPHS



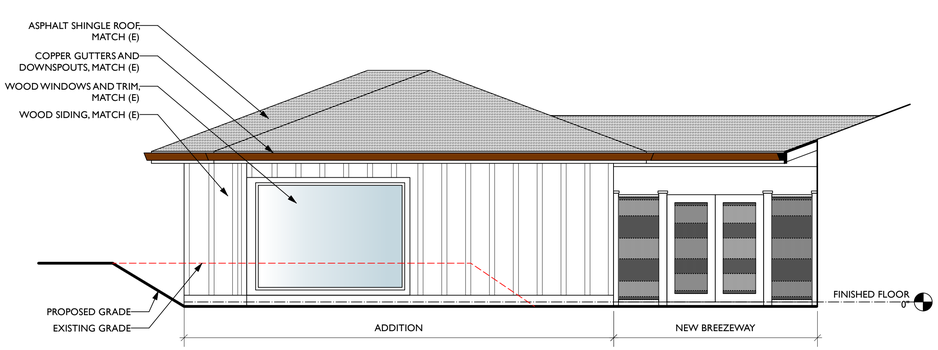
5 SECTION
Scale: 1/4" = 1'-0"



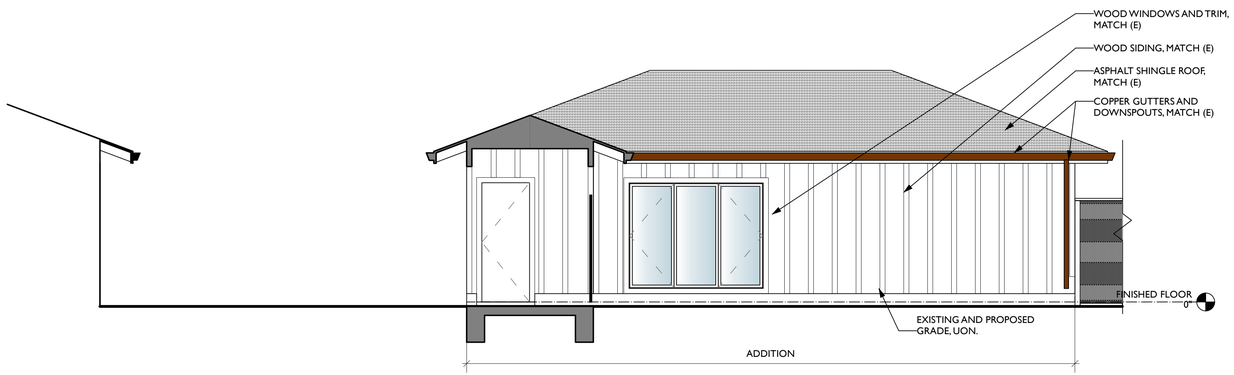
4 WEST EXTERIOR ELEVATION
Scale: 1/4" = 1'-0"



3 SOUTH EXTERIOR ELEVATION
Scale: 1/4" = 1'-0"



2 EAST EXTERIOR ELEVATION
Scale: 1/4" = 1'-0"



1 NORTH EXTERIOR ELEVATION
Scale: 1/4" = 1'-0"

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LICENSED ARCHITECT
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C-31400
REN. 9/2025
STATE OF CALIFORNIA

OWNER:
AMY AND SAM NUNES
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OAKLAND, CA 94610
510-541-9501

NUNES RESIDENCE ADDITION

4079 SUNRIDGE ROAD
PEBBLE BEACH, CA 93953

EXTERIOR ELEVATIONS

DESIGN REVIEW
09/23/2024

PERMIT SET
04/24/2024

DESIGN REVIEW
02/19/2024

SHEET
A5.0

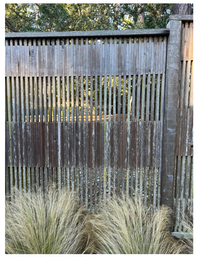
DOOR AND WINDOW SCHEDULE

MARK	SIZE (WXH)	OPERATION	MATERIAL	GLAZING	NOTES
DOOR					
A	2'8" X 6'8" X 1-3/4"	SWING	SC W/ VENEER, STAIN		KEYED LOCK
B	+/- 2'6" X 6'8" X 1-3/4"	SWING	SC W/ VENEER, STAIN		RELOCATE (E)
C	2'8" X 6'-8" X 1-3/8"	SWING	SC W/ VENEER, STAIN		PRIVACY LOCK
D	2'6" X 6'-8" X 1-3/8"	SWING	SC W/ VENEER, STAIN		PRIVACY LOCK
E	2'6" X 6'-8" X 1-3/8"	POCKET	SC W/ VENEER, STAIN		PRIVACY LOCK
F	2'0" X 6'-8" X 1-3/8"	SWING	SC W/ VENEER, STAIN		DUMMY + CATCH
G	2'0" X 6'-8" X 1-3/8"	SWING	SC W/ VENEER, STAIN		DUMMY + CATCH
WINDOW					
1	7'6" X 6'0"	CASEMENT/FIXED/CASEMENT	ALUM. CLAD WOOD	CAL FIRE GLASS	KOLBE VISTALUX
2	8'0" X 6'0"	FIXED	ALUM. CLAD WOOD	TEMPERED	KOLBE VISTALUX
3	8'0" X 6'0"	FIXED	ALUM. CLAD WOOD	TEMPERED	KOLBE VISTALUX
4	3'0" X 6'0"	CASEMENT	ALUM. CLAD WOOD	TEMPERED	KOLBE VISTALUX
5	7'6" X 3'6"	CASEMENT/FIXED/CASEMENT	ALUM. CLAD WOOD	CAL FIRE GLASS	KOLBE VISTALUX
6	7'6" X 3'6"	CASEMENT/FIXED/CASEMENT	ALUM. CLAD WOOD	CAL FIRE GLASS	KOLBE VISTALUX
7	5'0" X 3'6"	AWNING	ALUM. CLAD WOOD	TEMPERED	KOLBE VISTALUX

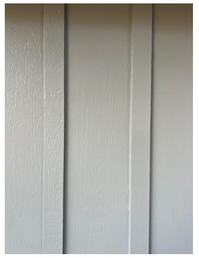
FINISH SCHEDULE

	FLOOR	WALL	CEILING	BASE	CASING	CROWN	CABINET	COUNTERTOP	OTHER
FAMILY ROOM	WHITE OAK 1X T&G 4-8" WIDTH, MATCH (E) LIVING ROOM PATTERN, STAIN FINISH, MATCH (E)	GYP BD, ROLLER BRUSH TEXTURE, MATCH (E), PAINT / CHERRY WOOD PANELLING, STAIN FINISH, MATCH (E)	1X8 ROUGH SAWN WOOD, PAINT, MATCH (E) LIVING ROOM / ROUGH SAWN 4X8 FALSE WOOD BEAMS, PAINT, MATCH (E)	1/2" X 2 1/4" REVERSIBLE BASE, WOOD, STAIN, MATCH (E)	5/8" X 1 5/8" BEVEL CASING, STAIN, MATCH (E)	1X8 ROUGH SAWN WOOD TRIM WHERE OCCURS, PAINT, MATCH (E)	QUARTER-SAWN CHERRY, FLUSH OVERLAY, STAIN	STONE SLAB, OWNER FURNISHED, CONTRACTOR FABRICATED AND INSTALLED	
HALL	WHITE OAK 1X T&G 4-8" WIDTH, MATCH (E) LIVING ROOM PATTERN, STAIN FINISH, MATCH (E)	GYP BD, ROLLER BRUSH TEXTURE, MATCH (E), PAINT / CHERRY WOOD PANELLING, STAIN FINISH, MATCH (E)	1X8 ROUGH SAWN WOOD, PAINT, MATCH (E) LIVING ROOM / ROUGH SAWN 4X8 FALSE WOOD BEAMS, PAINT, MATCH (E)	1/2" X 2 1/4" REVERSIBLE BASE, WOOD, STAIN, MATCH (E)	5/8" X 1 5/8" BEVEL CASING, STAIN, MATCH (E)	1X8 ROUGH SAWN WOOD TRIM WHERE OCCURS, PAINT, MATCH (E)	QUARTER-SAWN CHERRY, FLUSH OVERLAY, STAIN	STONE SLAB, OWNER FURNISHED, CONTRACTOR FABRICATED AND INSTALLED	
BEDROOM 4	WHITE OAK 1X T&G 4-8" WIDTH, MATCH (E) LIVING ROOM PATTERN, STAIN FINISH, MATCH (E)	GYP BD, ROLLER BRUSH TEXTURE, MATCH (E), PAINT	1X8 ROUGH SAWN WOOD, PAINT, MATCH (E) LIVING ROOM / ROUGH SAWN 4X8 FALSE WOOD BEAMS, PAINT, MATCH (E)	1/2" X 2 1/4" REVERSIBLE BASE, WOOD, STAIN, MATCH (E)	5/8" X 1 5/8" BEVEL CASING, STAIN, MATCH (E)	1X8 ROUGH SAWN WOOD TRIM WHERE OCCURS, PAINT, MATCH (E)			
BEDROOM 4 CL 1	WHITE OAK 1X T&G 4-8" WIDTH, MATCH (E) LIVING ROOM PATTERN, STAIN FINISH, MATCH (E)	GYP BD, ROLLER BRUSH TEXTURE, MATCH (E), PAINT	GYP BD, ROLLER BRUSH TEXTURE, MATCH (E), PAINT	1/2" X 2 1/4" REVERSIBLE BASE, WOOD, STAIN, MATCH (E)	5/8" X 1 5/8" BEVEL CASING, STAIN, MATCH (E)				
BEDROOM 4 CL 2	WHITE OAK 1X T&G 4-8" WIDTH, MATCH (E) LIVING ROOM PATTERN, STAIN FINISH, MATCH (E)	GYP BD, ROLLER BRUSH TEXTURE, MATCH (E), PAINT	GYP BD, ROLLER BRUSH TEXTURE, MATCH (E), PAINT	1/2" X 2 1/4" REVERSIBLE BASE, WOOD, STAIN, MATCH (E)	5/8" X 1 5/8" BEVEL CASING, STAIN, MATCH (E)				
BATH	12 X12 X 3/8 SLATE TILE, OFCI	CHERRY WOOD PANELLING, STAIN FINISH, MATCH (E) / SUBWAY TILE, OFCI	GYP, PAINT	1/2" X 2 1/4" REVERSIBLE BASE AT WOOD PANELLING, WOOD, STAIN, MATCH (E)	CHERRY TRIM, STAIN / TILE JAMBS AT WINDOW	1X8 ROUGH SAWN WOOD TRIM, STAIN, MATCH (E)	OFCI VANITY	OFCI VANITY	
BATH WC CL	12 X12 X 3/8 SLATE TILE, OFCI	GYP BD, SMOOTH FINISH, PAINT	GYP, PAINT	4 X 12 X 3/8 SLATE TILE BASE, OFCI	5/8" X 1 5/8" BEVEL CASING, STAIN, MATCH (E)	1X8 ROUGH SAWN WOOD TRIM, PAINT, MATCH (E)			

EXTERIOR MATERIALS (MATCH EXISTING)



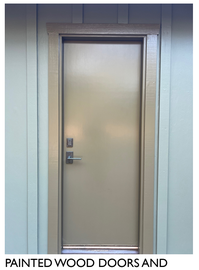
WOOD FENCE



PAINTED WOOD SIDING

CONCRETE PATIO

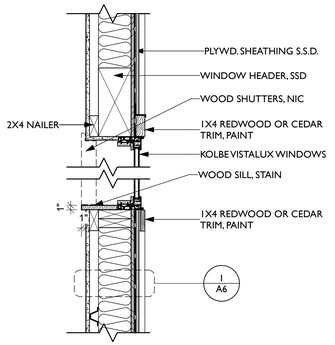
COPPER GUTTERS AND DOWNSPOUTS



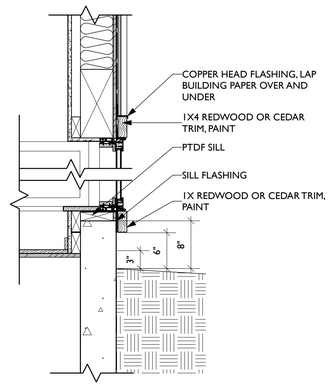
PAINTED WOOD DOORS AND TRIM

ASPHALT SHINGLE ROOF

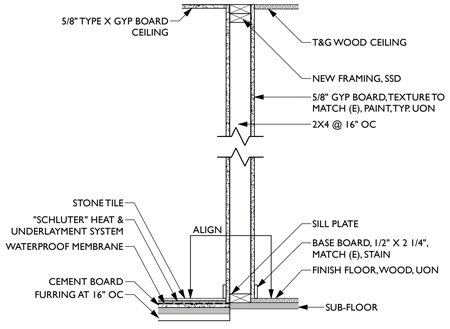
6 EXTERIOR MATERIALS
Scale: 1" = 1'-0"



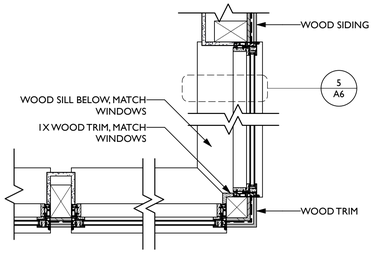
5 TYPICAL WINDOW DETAIL
Scale: 1" = 1'-0"



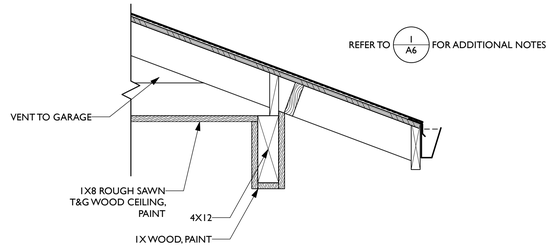
4 LIVING ROOM WINDOW DETAIL
Scale: 1" = 1'-0"



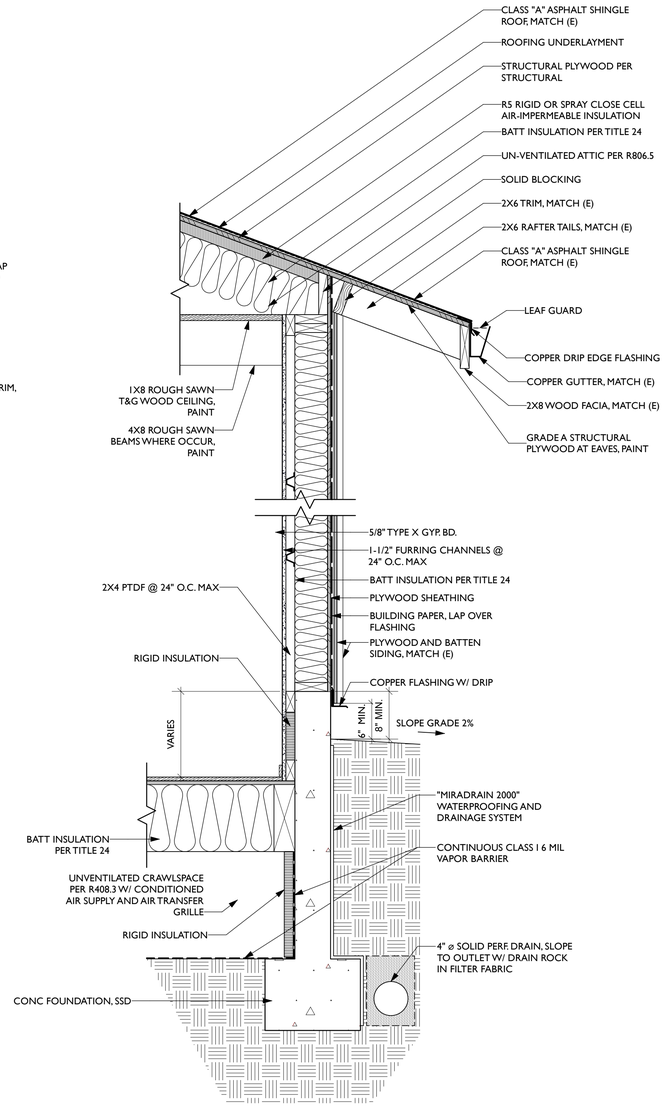
6 INTERIOR WALL
Scale: 1" = 1'-0"



3 LIVING ROOM WINDOW PLAN DETAIL
Scale: 1" = 1'-0"



2 EAVE DETAIL AT BREEZEWAY
Scale: 1" = 1'-0"



1 WALL SECTION
Scale: 1" = 1'-0"

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DETAILS, SCHEDULES, EXTERIOR MATERIALS

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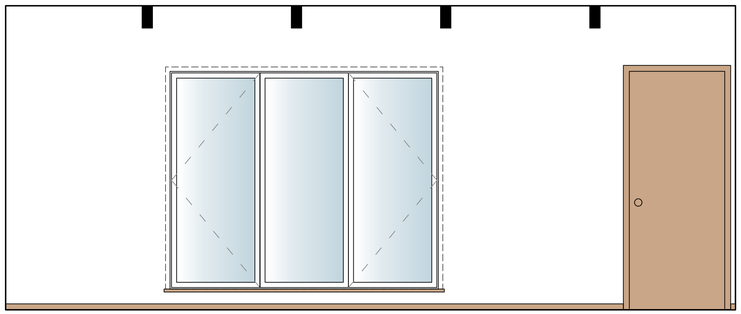
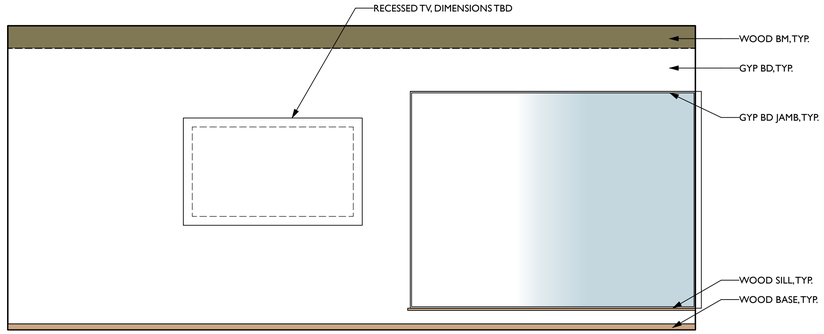
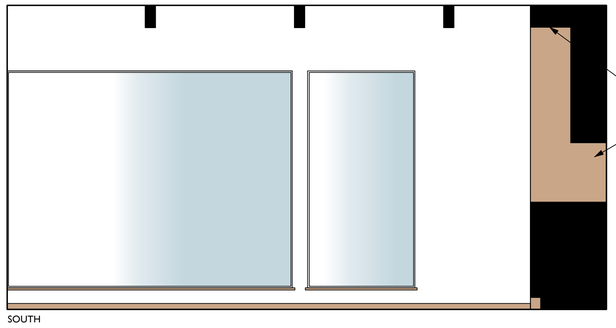
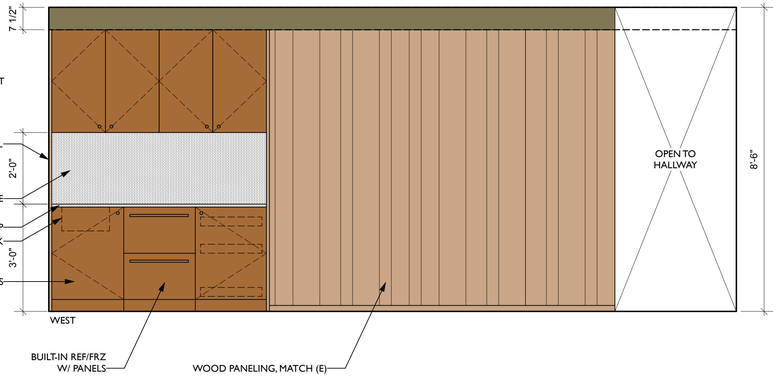
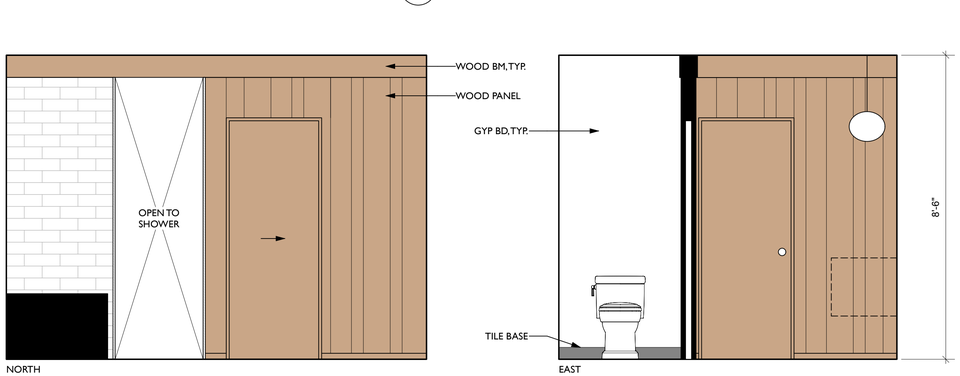


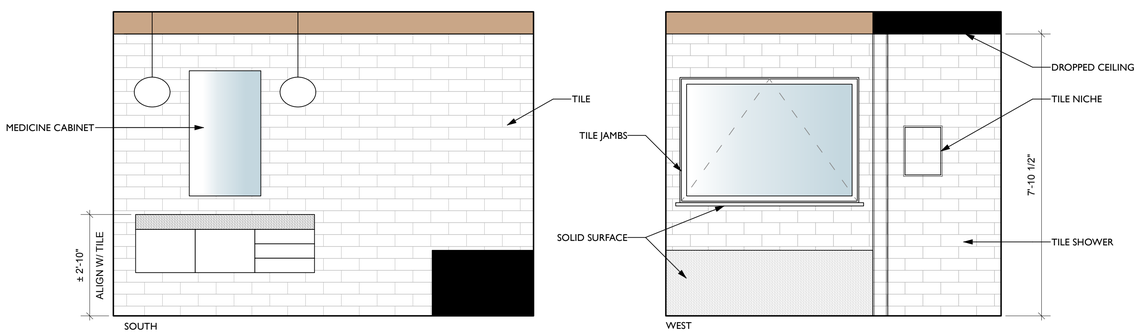




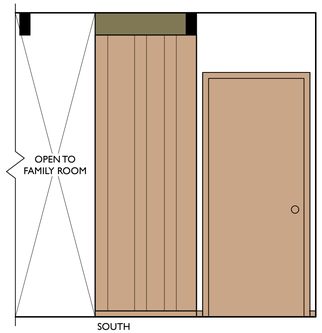


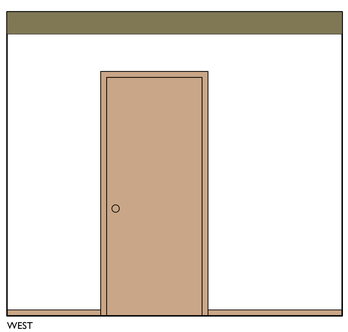
2 LIVING ROOM ELEVATIONS
Scale: 1/2" = 1'-0"



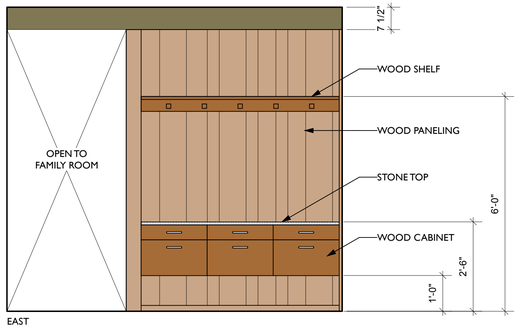


2 BATH ELEVATIONS
Scale: 1/2" = 1'-0"





1 HALLWAY ELEVATIONS
Scale: 1/2" = 1'-0"



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