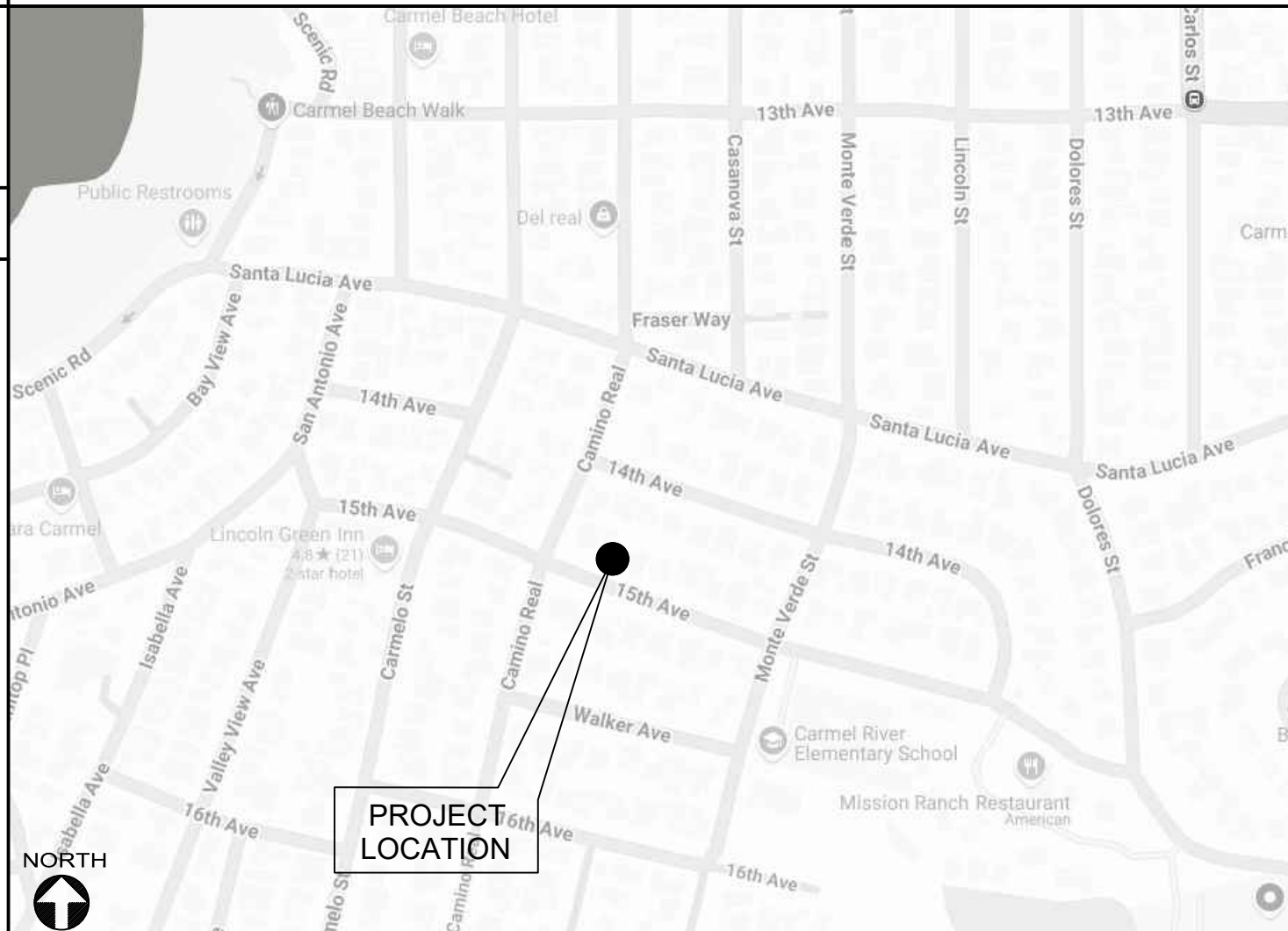
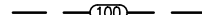


KSHIRE PROPERTY INVESTMENTS RESIDENCE

2755 15th Avenue Carmel, California

PROJECT DATA			PROJECT INFORMATION		SHEET INDEX																																																																							
SETBACKS <table><tr><td>MDR/2-D(CZ)</td><td>REQUIRED</td><td>PROPOSED</td></tr><tr><td>FRONT (15th Ave)</td><td>20'-0"</td><td>20'-0"</td></tr><tr><td>SIDES (EAST)</td><td>5'-0"</td><td>5'-0"</td></tr><tr><td>SIDES (WEST)</td><td>5'-0"</td><td>5'-0"</td></tr><tr><td>REAR</td><td>10'-0"</td><td>38'-4"</td></tr></table> <table><tr><td>BUILDING HEIGHT:</td><td>30 FT. MAX.</td><td>26'-1" FT.</td></tr></table> <table><tr><td>EXISTING LOW GRADE:</td><td>102.0'</td><td></td></tr><tr><td>EXISTING HIGH GRADE:</td><td>103.0'</td><td></td></tr><tr><td>EXISTING AVERAGE GRADE:</td><td>102.5'</td><td></td></tr><tr><td>MAXIMUM BUILDING HEIGHT:</td><td>132.5'</td><td>128.6'</td></tr></table>			MDR/2-D(CZ)	REQUIRED	PROPOSED	FRONT (15th Ave)	20'-0"	20'-0"	SIDES (EAST)	5'-0"	5'-0"	SIDES (WEST)	5'-0"	5'-0"	REAR	10'-0"	38'-4"	BUILDING HEIGHT:	30 FT. MAX.	26'-1" FT.	EXISTING LOW GRADE:	102.0'		EXISTING HIGH GRADE:	103.0'		EXISTING AVERAGE GRADE:	102.5'		MAXIMUM BUILDING HEIGHT:	132.5'	128.6'	LOT DATA: <table><tr><td>LOT SIZE:</td><td>0.1451 ACRE (6,320 S.F.)</td></tr><tr><td>ZONING:</td><td>MDR/2-D(CZ)</td></tr><tr><td>BUILDING HEIGHT:</td><td>ALLOWABLE 30' MAX.</td></tr><tr><td>APN:</td><td>004-383-012-00</td></tr><tr><td>OCCUPANCY GROUP:</td><td>R3 FOR HOUSE - U FOR GARAGE</td></tr></table> ALLOWED: <table><tr><td>FAR:</td><td>2,844 S.F. (45%)</td></tr><tr><td>BLDG. SITE COVERAGE:</td><td>2,212 S.F. (35%)</td></tr></table> EXISTING <table><tr><td>FAR:</td><td>646 S.F. (10%)</td></tr><tr><td>BLDG. SITE COVERAGE:</td><td>646 S.F. (10%)</td></tr></table> PROPOSED FLOOR AREA: <table><tr><td>1ST FLOOR</td><td>1,306 S.F.</td></tr><tr><td>GARAGE</td><td>263 S.F.</td></tr><tr><td>2ND FLOOR LIVING SPACE</td><td>1,225 S.F.</td></tr></table> TOTAL FLOOR AREA2,794 S.F. (44.2%) ACCESSORY DWELLING UNIT (ADU) 800 S.F. PROPOSED BUILDING SITE COVERAGE: 1,992 S.F. (32%) SITE COVERAGE - IMPERVIOUS: <table><tr><td>BUILDING SITE COVERAGE:</td><td>1,581 S.F.</td></tr><tr><td>COVERED PORCHES & CARPORT</td><td>405 S.F.</td></tr><tr><td>SUB TOTAL BUILDING COVERAGE</td><td>1,992 S.F.</td></tr></table> PATIOS, LANDINGS (ADDED IMPERVIOUS) 212 S.F. SITE COVERAGE - PERVIOUS: <table><tr><td>DRIVEWAY</td><td>263 S.F.</td></tr><tr><td>STEPPING STONES</td><td>131 S.F.</td></tr><tr><td>SUB TOTAL PERVIOUS</td><td>394 S.F.</td></tr><tr><td>TOTAL SITE COVERAGE</td><td>2,650 S.F.</td></tr></table>		LOT SIZE:	0.1451 ACRE (6,320 S.F.)	ZONING:	MDR/2-D(CZ)	BUILDING HEIGHT:	ALLOWABLE 30' MAX.	APN:	004-383-012-00	OCCUPANCY GROUP:	R3 FOR HOUSE - U FOR GARAGE	FAR:	2,844 S.F. (45%)	BLDG. SITE COVERAGE:	2,212 S.F. (35%)	FAR:	646 S.F. (10%)	BLDG. SITE COVERAGE:	646 S.F. (10%)	1ST FLOOR	1,306 S.F.	GARAGE	263 S.F.	2ND FLOOR LIVING SPACE	1,225 S.F.	BUILDING SITE COVERAGE:	1,581 S.F.	COVERED PORCHES & CARPORT	405 S.F.	SUB TOTAL BUILDING COVERAGE	1,992 S.F.	DRIVEWAY	263 S.F.	STEPPING STONES	131 S.F.	SUB TOTAL PERVIOUS	394 S.F.	TOTAL SITE COVERAGE	2,650 S.F.	OWNER: KSHIRE PROPERTY INVESTMENTS LLC 311 PIERCY RD. SAN JOSE, CA 95138 PROJECT ADDRESS: 2755 15TH AVENUE CARMEL, CA 93923 ARCHITECT: ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PH: 831-372-0410 CONTACT: CARLA HASHIMOTO SURVEYOR / CIVIL: LANDSET ENGINEERS 520-B CRAZY HORSE CANYON RD. SALINAS, CA 93901 PH: 831-443-6910 CONTACT: GUY GIRAUDO GEOTECHNICAL: BUTANO GEOTECHNICAL ENGINEERING, INC. 404 WESTRIDGE DRIVE WATSONVILLE, CA 95076 PH: 831-724-2612 CONTACT: GREG BLOOM LANDSCAPE DESIGNER: FLORAVISTA 982 PHOENIX AVENUE VENTURA, CA 93004 PH: 831-261-4840 CONTACT: DINAH IRINO LANDSCAPE LIGHTING: CARMEL POINT LANDSCAPES P.O. BOX 4195 CARMEL-BY-THE-SEA, CA 93921 PH: 831-574-9837 CONTACT: JACOB RADZINSKI ARBORIST: TOPE'S ENVIRONMENTAL INC. P.O. BOX 223436 CARMEL, CA 93922 PH: 831-238-3655 CONTACT: ANDREW TOPE ARCHAEOLOGIST: HISTORIC RESOURCE ASSOCIATES 3142 BIRD ROCK ROAD PEBBLE BEACH, CA 93953 PH: 831-641-7474 CONTACT: DANA SUPERNOWICZ		ARCHITECTURAL: A-0.1 TITLE SHEET 1 of 1 TOPOGRAPHIC SURVEY A-1.1 EXISTING SITE PLAN A-1.2 PROPOSED SITE PLAN A-2.1 PROPOSED FIRST FLOOR PLAN A-2.2 PROPOSED SECOND FLOOR PLAN A-2.3 PROPOSED ROOF PLAN A-3.1 PROPOSED WEST & SOUTH ELEVATIONS A-3.2 PROPOSED EAST & NORTH ELEVATIONS A-7.1 MATERIAL SAMPLES A-7.2 RENDERED PERSPECTIVES CIVIL: C1 COVER SHEET C2 GRADING & DRAINAGE PLAN C3 GRADING SECTIONS & DETAILS C4 UTILITY PLAN C5 CONSTRUCTION DETAILS C6 EROSION & SEDIMENT CONTROL PLAN C7 CONSTRUCTION MANAGEMENT PLAN LANDSCAPE: LI.1 LANDSCAPE PLAN LI.2 IRRIGATION PLAN LANDSCAPE LIGHTING: LA-1.00 LIGHTING PLAN LA-1.01 LIGHTING NOTES	
MDR/2-D(CZ)	REQUIRED	PROPOSED																																																																										
FRONT (15th Ave)	20'-0"	20'-0"																																																																										
SIDES (EAST)	5'-0"	5'-0"																																																																										
SIDES (WEST)	5'-0"	5'-0"																																																																										
REAR	10'-0"	38'-4"																																																																										
BUILDING HEIGHT:	30 FT. MAX.	26'-1" FT.																																																																										
EXISTING LOW GRADE:	102.0'																																																																											
EXISTING HIGH GRADE:	103.0'																																																																											
EXISTING AVERAGE GRADE:	102.5'																																																																											
MAXIMUM BUILDING HEIGHT:	132.5'	128.6'																																																																										
LOT SIZE:	0.1451 ACRE (6,320 S.F.)																																																																											
ZONING:	MDR/2-D(CZ)																																																																											
BUILDING HEIGHT:	ALLOWABLE 30' MAX.																																																																											
APN:	004-383-012-00																																																																											
OCCUPANCY GROUP:	R3 FOR HOUSE - U FOR GARAGE																																																																											
FAR:	2,844 S.F. (45%)																																																																											
BLDG. SITE COVERAGE:	2,212 S.F. (35%)																																																																											
FAR:	646 S.F. (10%)																																																																											
BLDG. SITE COVERAGE:	646 S.F. (10%)																																																																											
1ST FLOOR	1,306 S.F.																																																																											
GARAGE	263 S.F.																																																																											
2ND FLOOR LIVING SPACE	1,225 S.F.																																																																											
BUILDING SITE COVERAGE:	1,581 S.F.																																																																											
COVERED PORCHES & CARPORT	405 S.F.																																																																											
SUB TOTAL BUILDING COVERAGE	1,992 S.F.																																																																											
DRIVEWAY	263 S.F.																																																																											
STEPPING STONES	131 S.F.																																																																											
SUB TOTAL PERVIOUS	394 S.F.																																																																											
TOTAL SITE COVERAGE	2,650 S.F.																																																																											
GRADING CUT = 20 CY FILL = 55 CY NET = 35 CY FILL AREA OF DISTURBANCE = 6,000 S.F.			PROJECT DESCRIPTION DEMOLITION OF EXISTING ONE-STORY, ONE BEDROOM, ONE BATH 646 S.F. SINGLE FAMILY RESIDENCE AND SITE PAVING. CONSTRUCTION OF NEW TWO-STORY 2,794 S.F. SINGLE FAMILY RESIDENCE WITH THREE BEDROOMS, THREE FULL BATHS AND ONE HALF BATH, ATTACHED ONE CAR GARAGE, AND ATTACHED ONE CAR CARPORT, IN ADDITION TO ATTACHED 800 S.F. ADU WITH TWO BEDROOMS AND TWO FULL BATHS. SITE IMPROVEMENTS INCLUDE NEW DRIVEWAY, PATHWAYS, AND PERIMETER WOOD FENCE.																																																																									
OWNERSHIP NOTES OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS: 1. TITLE AND ALL "COPYRIGHT" PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY THE ARCHITECT, ERIC MILLER, HEREINAFTER REFERRED TO AS "THE ARCHITECT" WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED RESTRICTIONS. 2. THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE ARCHITECT HEREBY STATES THAT THEY ARE NOT INTENDED FOR NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IS THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE. 3. THE ARCHITECT DISCLAIMS ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION, WHETHER OR NOT MODIFIED BY OTHERS FOR ANOTHER SITE. 4. IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS, THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT, ERIC MILLER, HIS STAFF/EMPLOYEES FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.			LOCATION MAP 		VICINITY MAP 																																																																							
UTILITIES 1. WATER: CALIFORNIA AMERICAN WATER COMPANY 2. ELECTRICAL AND GAS: PACIFIC GAS & ELECTRIC 3. SANITARY SEWER SYSTEM: CARMEL AREA WASTEWATER DISTRICT			TREE REMOVAL TREES TO BE REMOVED: ONE 8" HOLLY, ONE 11" TREE, TWO 6" OAK, AND ONE 3-FRONS 4", 6", 8" OAK.																																																																									
CONSULTANT: ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com			ARCHITECT																																																																									
COVER SHEET JOB NAME: Kshire Property Investments LLC. 2755 15th Avenue Carmel, California A.P.N. 004-383-012-000			DATE: 10/20/2025 SCALE: N/A DRAWN: HRM JOB NUMBER: 24.13 A-0.1 SHEET OF																																																																									

LEGEND:			
	PROPERTY BOUNDARY		BUILDING
	ADJACENT PROPERTY BOUNDARY		ASPHALT CONCRETE
	ORIGINAL PROPERTY BOUNDARY		CONCRETE
	EASEMENT (TYPE AS SHOWN)		NATURAL GROUND SURFACE/ LANDSCAPED AREA
	ROADWAY CENTERLINE		
	MAJOR CONTOUR LINE (5' INTERVAL)		
	MINOR CONTOUR LINE (1' INTERVAL)		
	FENCE		
			CLEANOUT
			DOWNSPOUT
			ELECTRIC METER
			GAS METER
			HOSE BIB
			LANDSCAPE LIGHT
			PG&E BOX
			SANITARY SEWER CLEANOUT
			UNKNOWN UTILITY
			WATER METER
			SURVEY CONTROL POINT
			SPOT ELEVATION
			RIDGELINE
			FINISHED FLOOR
			THRESHOLD
			TREE (TYPE/SIZE AS MARKED) SYMBOL CENTER IS APPROX CENTER OF TREE

ABBREVIATIONS:

AC	=	ASPHALT CONCRETE	FL	=	FLOWLINE
AD	=	AREA DRAIN	FND	=	FOUND
BLDG	=	BUILDING	GR	=	GRATE
BRK	=	BRICK	MON	=	MONUMENT
BRKR	=	BREAKER	MTL	=	METAL
BSW	=	BACK OF SIDEWALK	OK	=	OAK
CB	=	CATCH BASIN	PN	=	PINE
CL	=	CENTERLINE	RL	=	RIDGE LINE
CMU	=	CONCRETE MASONRY UNIT	RW	=	RETAINING WALL
CONC	=	CONCRETE	RWD	=	REDWOOD
CTL	=	CONTROL	STN	=	STONE
CYP	=	CYPRESS	TH	=	THRESHOLD
DG	=	DECOMPOSED GRANITE	TR	=	TREE
ELEC	=	ELECTRIC	TYP	=	TYPICAL
EP	=	EDGE OF PAVEMENT	UTIL	=	UTILITY
ESMT	=	EASEMENT	WD	=	WOOD
FF	=	FINISHED FLOOR			

GENERAL NOTES:	
1)	ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY H&V CONTROL POINT #101, A MAGNETIC NAIL LOCATED 22' WESTERLY AND 44' SOUTHERLY FROM THE SOUTHEASTERLY PROPERTY CORNER, ELEVATION IS 100.00' AS SHOWN.
2)	NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
3)	TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3" ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
4)	THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (08/09/24) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
5)	BUILDING CORNERS SHOWN WERE LOCATED AT THE OUTERMOST FACE OF TRIM. DIMENSIONS SHOWN REPRESENT THE BUILDING AT GROUND LEVEL. SQUARE FOOTAGE WAS CALCULATED USING THE OUTERMOST BUILDING FOOTPRINT AS MEASURED. BUILDING OVERHANG(S) ARE NOT SHOWN.
6)	THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.

CONTACT INFORMATION:

CLIENT:
KSHIRE PROPERTY INVESTMENT LLC
ATTN: RUPA DESAI
311 PIERCY ROAD
SAN JOSE, CA 95138

SITE LOCATION:
2755 15TH AVENUE
CARMEL, CA 93923

08/27/24	AL	RELEASED TO CLIENT	
No.	DATE	BY	REVISION

APN: 009-383-012

TOPOGRAPHIC MAP

OF
THAT CERTAIN PARCEL DESCRIBED IN DOCUMENT NO. 2023036852
OFFICIAL RECORDS OF MONTEREY COUNTY
CARMEL, CALIFORNIA
FOR
KSHIRE PROPERTY INVESTMENT LLC

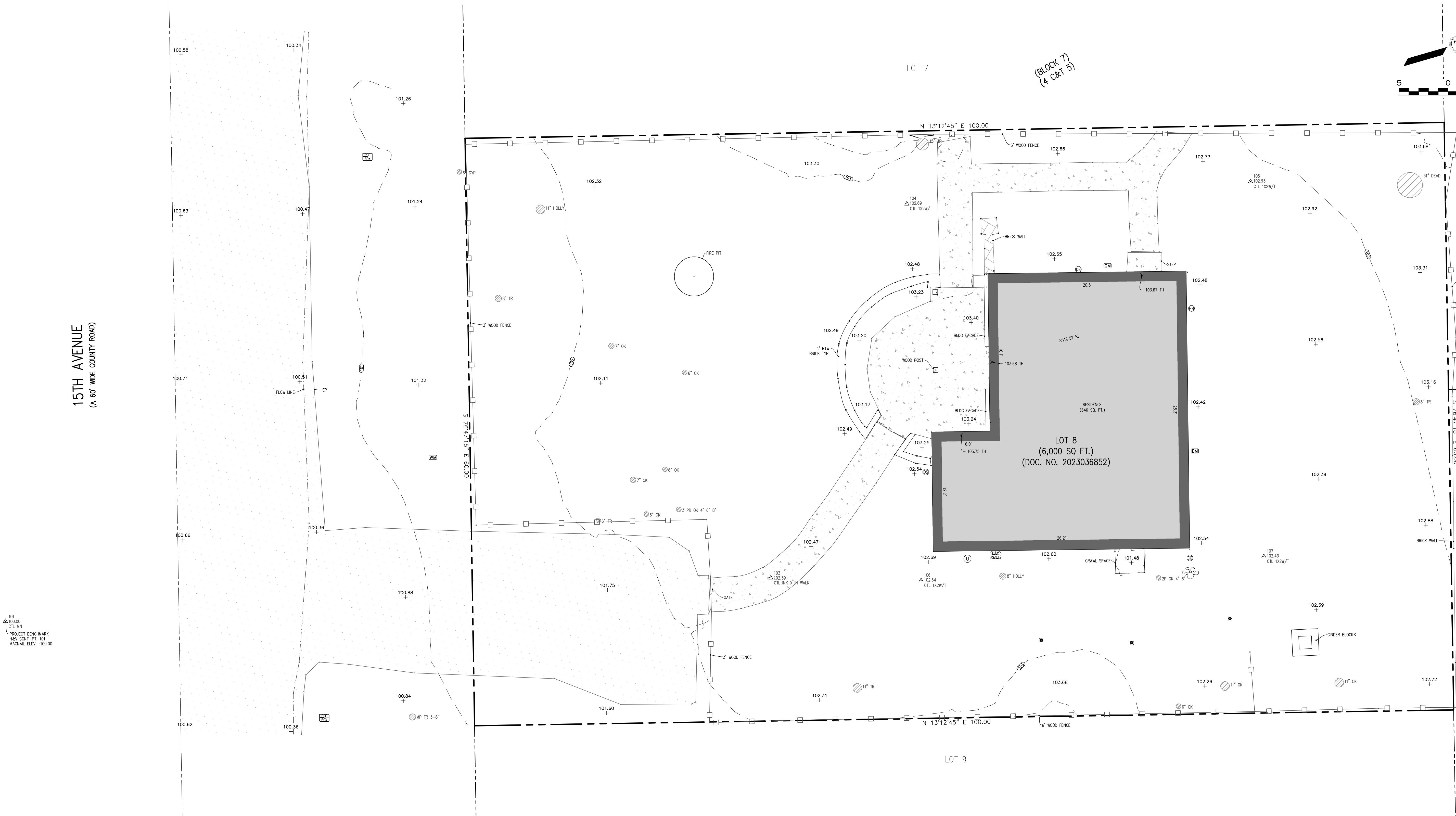
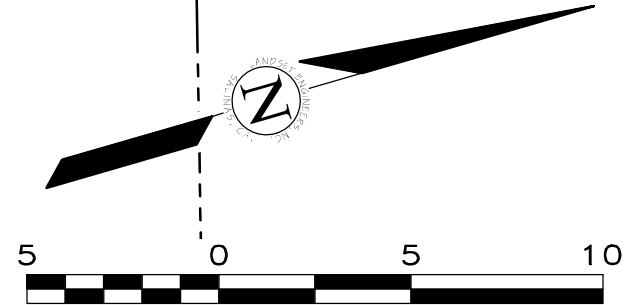
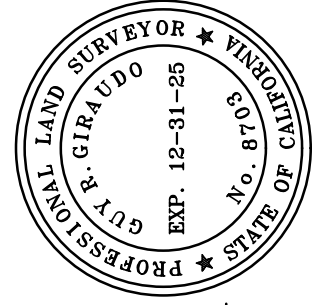
SCALE: 1" = 5'
DATE: AUG 2024
JOB NO. 2822-01

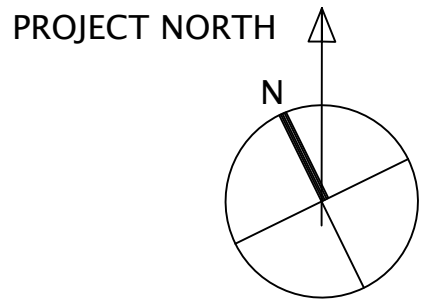
SHEET 1
OF 1 SHEETS



APPROVED BY:

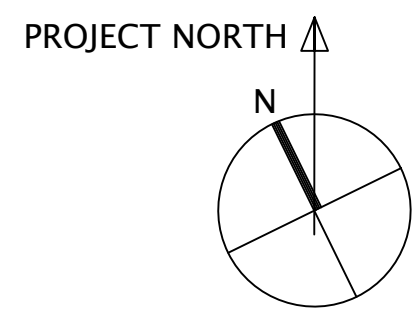
GUY R. GIRALDO
P.L.S. No. 8703





SCALE: 1/8" = 1'-0"

REVISION		No.
CONSULTANT:		
ARCHITECT ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
EXISTING SITE PLAN		
JOB NAME:	Kshire Property Investments LLC. 2755 15th Avenue Carmel, California A.P.N. 009-303-012-000	
DATE:	10/20/2025	
SCALE:	1/8" = 1'-0"	
DRAWN:	JK	
JOB NUMBER:	2413	
A-1.1		
SHEET OF		



0 4' 8' 16'



SCALE: $1/8" = 1'-0"$

LEGEND

 = TREE TO BE REMOVED

JOB NAME: Kshire Property Investments LLC.
2755 15th Avenue
Carmel, California
A.P.N. 009-383-012-000

DATE:	10/20/2025
SCALE:	1/8" = 1'-0"
DRAWN:	JK
JOB NUMBER:	24.13

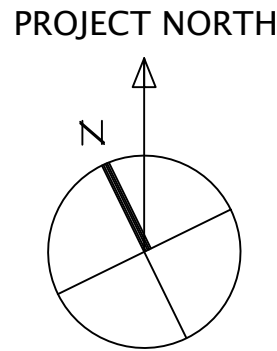
A-1.2

211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: www.ericmillerarchitects.com

CONSULTANT:

211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: www.ericmillerarchitects.com

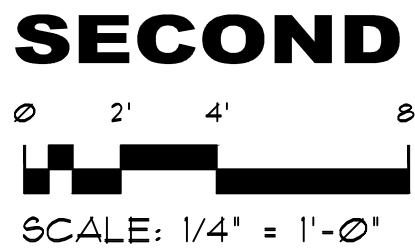
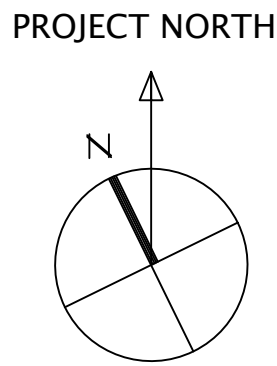
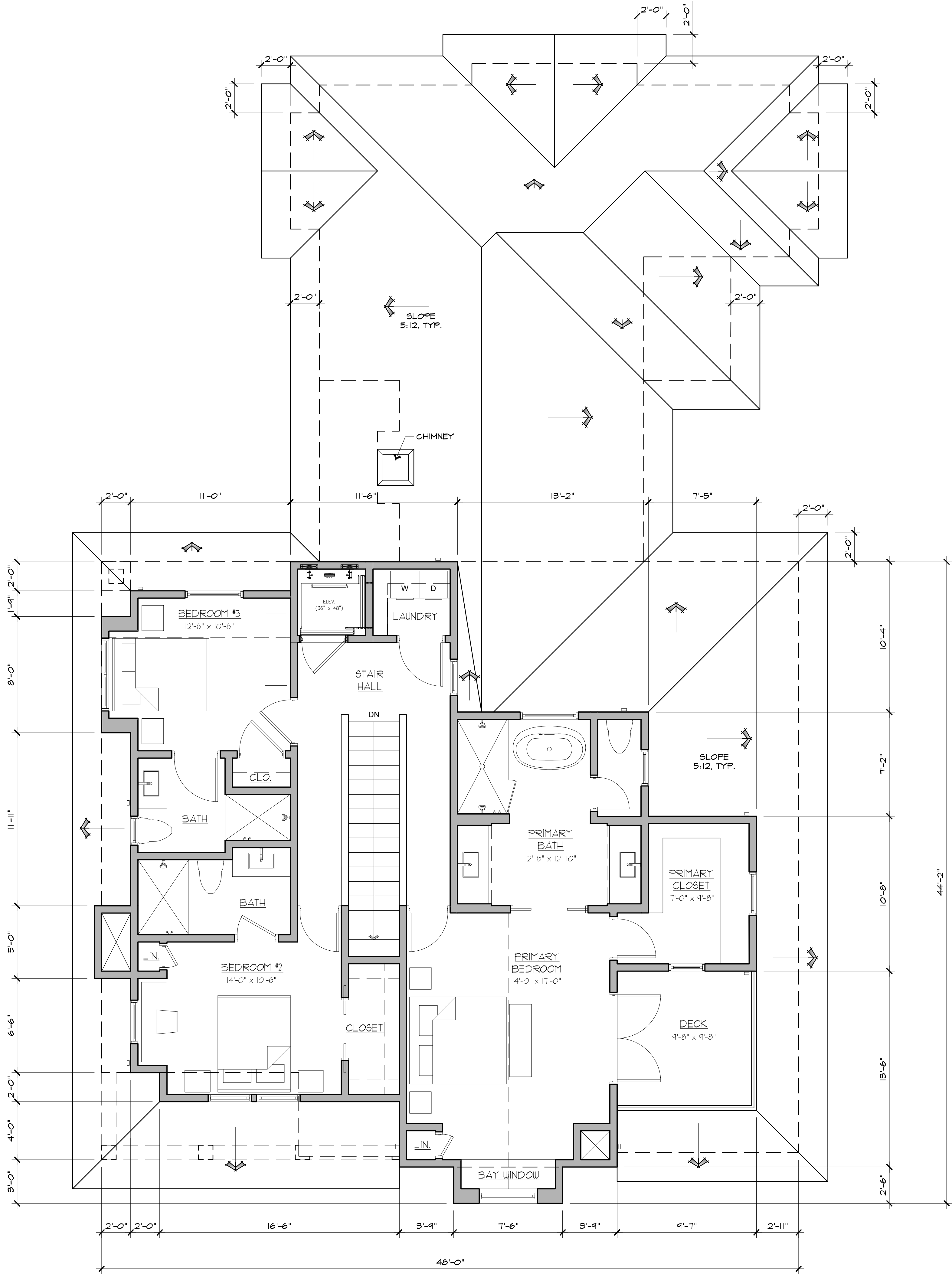
REVISION	No.



0 2' 4' 8'

SCALE: 1/4" = 1'-0"

REVISION		No.
CONSULTANT:		
ARCHITECT ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: www.ericmillerarchitects.com		
FIRST FLOOR PLAN		
JOB NAME:	Kshire Property Investments LLC. 2755 15th Avenue Carmel, California A.P.N. 009-303-012-000	
DATE:	10/20/2025	
SCALE:	1/4"=1'-0"	
DRAWN:	HRM	
JOB NUMBER:	24.13	
A-2.1		
SHEET OF		



SECOND FLOOR PLAN

SECOND FLOOR PLAN

JOB NAME: Kshire Property Investments LLC.
2755 15th Avenue
Carmel, California
A.P.N. 009-383-012-000

DATE: 10/20/2025

SCALE: 1/4"=1'-0"

DRAWN: HRM

JOB NUMBER: 24.13

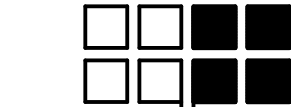
A-2.2

SHEET OF

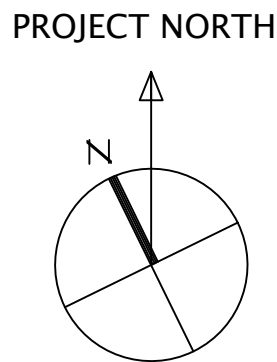
ARCHITECT
ERIC MILLER ARCHITECTS, INC.

211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372/840 • WEB: www.ericmillerarchitects.com

CONSULTANT:



REVISION No.



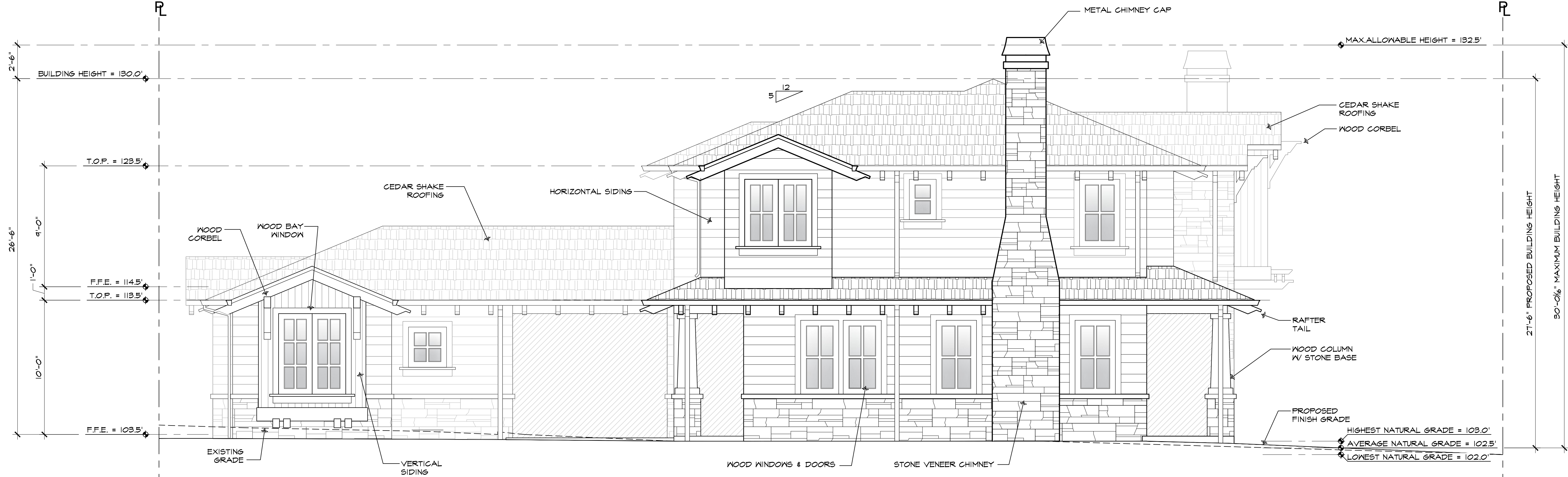
SCALE: 1/4" = 1'-0"

REVISION		No.
CONSULTANT:		
ARCHITECT ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: www.ericmillerarchitects.com		
□ □ □ □ □ □		
ROOF PLAN		
JOB NAME: Kshire Property Investments LLC. 2755 15th Avenue Carmel, California A.P.N. 009-303-012-000		
DATE:	10/20/2025	
SCALE:	1/4"=1'-0"	
DRAWN:	HRM	
JOB NUMBER:	24.13	
A-2.3		
SHEET OF		

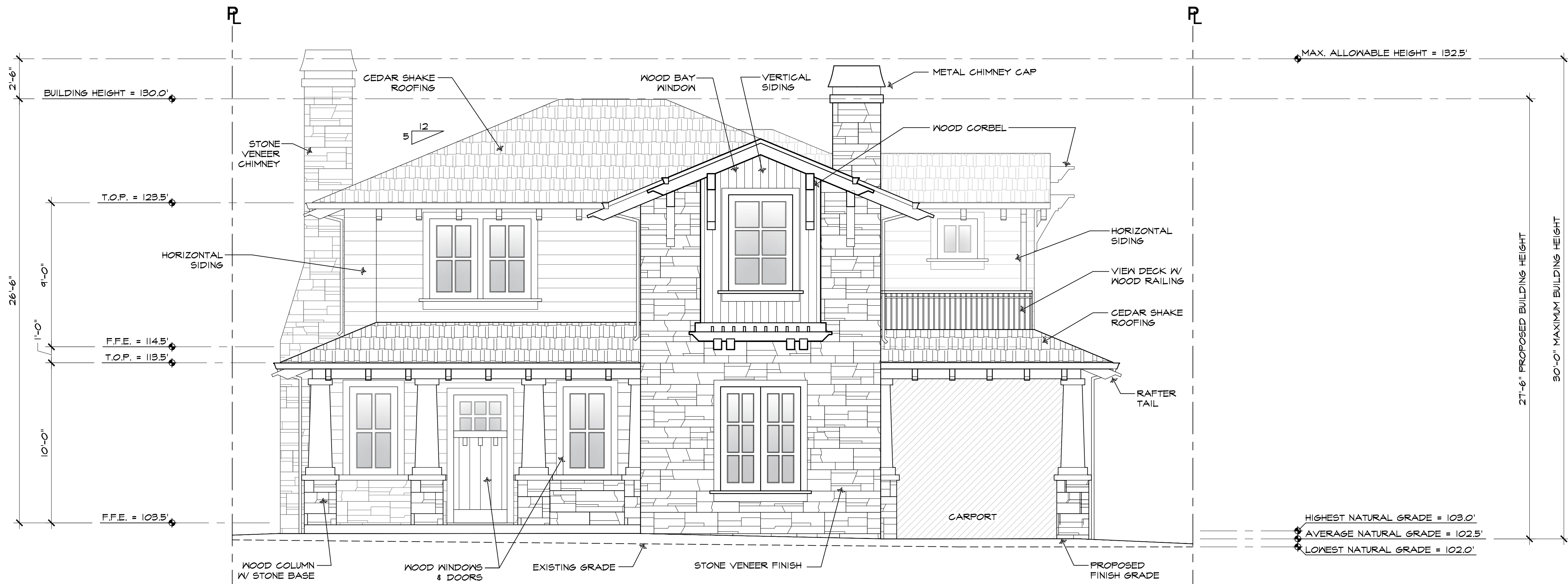
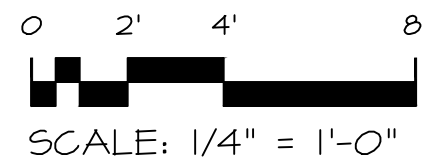
J:\24 jobs\2413-Desai-15th Ave\DD\2413-A3.dwg 10-20-25 02:49:54 PM

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REPRODUCTION OR PUBLICATION BY ANY MEANS, IN WHOLE OR IN PART, IS STRICTLY PROHIBITED. TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE DRAWINGS & SPECIFICATIONS SHALL CONSTITUTE AWARENESS AND ACCEPTANCE OF THESE RESTRICTIONS.

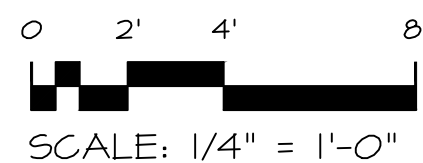
DD



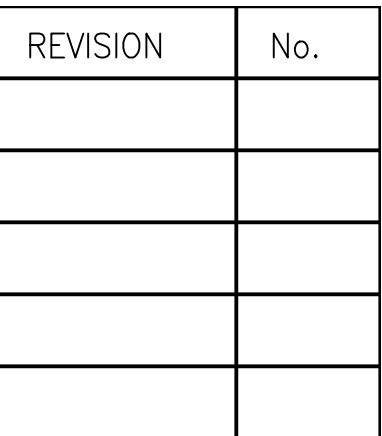
1 WEST ELEVATION



2 SOUTH ELEVATION



REVISION	No.
CONSULTANT:	
ARCHITECT	
ERIC MILLER ARCHITECTS, INC.	
211 HOFFMAN AVENUE MONTEREY, CA 93940	
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com	
EXTERIOR ELEVATIONS	
JOB NAME:	Kshire Property Investments LLC.
	2755 15th Avenue
	Carmel, California
	A.P.N. 009-383-012-000
DATE:	10/20/2025
SCALE:	1/4"=1'-0"
DRAWN:	JK
JOB NUMBER:	24.13
A-3.1	
SHEET OF	



ERIC MILLER ARCHITECTS, INC.

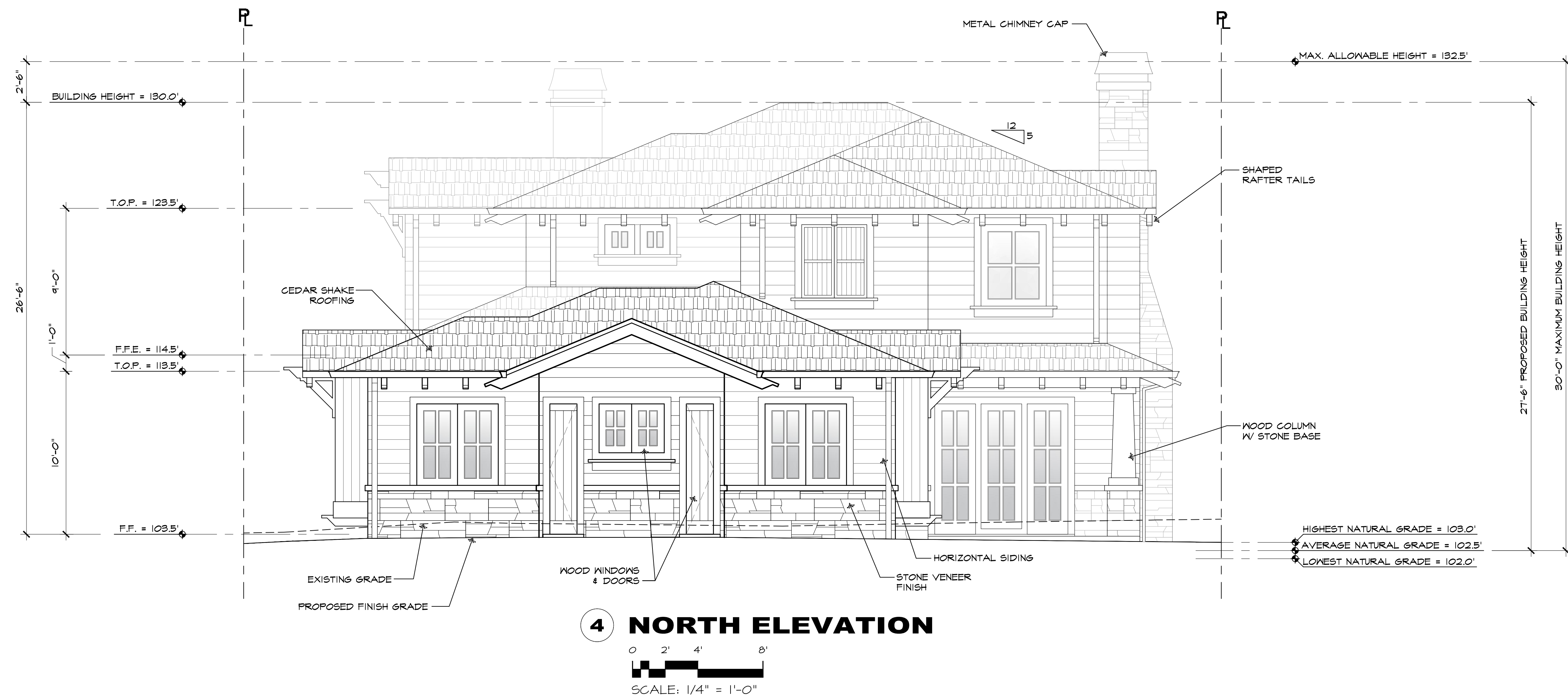
211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

JOB NAME: Kshire Property Investments LLC.
2755 15th Avenue
Carmel, California
A.P.N. 009-383-012-000

DATE:	10/20/2025
SCALE:	1/4"-1'-0"
DRAWN:	JK
JOB NUMBER:	24.13

A-3.2

SHEET OF





NOTE:
LANDSCAPE LIGHTING SHALL BE 10 FEET MIN. APART.
225 LUMENS MAX. - 15 WATT INCANDESCENT EQUIVALENT MAX.

ALL LIGHTS NOT ATTACHED TO THE BUILDING ARE REQUIRED TO
ADHERE TO THE LANDSCAPE LIGHTING STANDARD NO MORE THAN
18" ABOVE GROUND.

3.50"

14.25"

SP-10 9' for 1fc, 14' for 3fc
SP-20 11' for 1fc, 16' for 3fc

Distance	Footcandle Power (12R riser)	
	SP-10	SP-20
2'	1.7	2.6
4'	.31	.57
6'	.10	.13
8'	.04	.05
10'	.02	.03
12'	.01	.02
14'	.01	.01

For conversion to lumens: Multiply footcandles
x 10. See FX glossary for a full description of fc
and lumens.

FX

LUMINAIRE

9

EXTERIOR PATH LIGHT

WAC LIGHTING

Responsible Lighting®

SODOR - model: WS-W157

dwelLED™ LED Outdoor



WS-W15708

5"

8"

9"

2 1/2"

ORDER NUMBER

	Watt	LED Lumens	Delivered Lumens	Finish	
8"	WS-W15708	9W	750	315	BZ Bronze
10"	WS-W15710	11.5W	1200	560	GH Graphite

Example: WS-W15708-GH

SPECIFICATIONS

Construction:

Aluminum and White Diffuser Lens

Light Source:

High output LED.

Finish:

Bronze (BZ), Graphite (GH)

Standards:

ETL & cETL wet location listed. IP 65. Dark Sky Friendly

PRODUCT DESCRIPTION

A Steamwork inspired approach to a traditional lantern design. Sodor is constructed with a solid die cast aluminum shade that provides fantastic glare cutoff and a weather resistant powder coated finish. The light engine is factory sealed for maximum protection against the harshest elements.

FEATURES

- Weather resistant powder coated finishes
- Heavy aluminum shade provides great glare cutoff
- Light engine is factory sealed for maximum protection from the elements
- Die-cast aluminum construction
- No transformer or driver required
- Color Temp: 3000K
- CRI: 90
- Dimming: 100% - 5% ELV
- Rated Life: 54,000 hours
- Input: 120V

7

EXTERIOR LIGHTING

MANUFACTURER: URBANA STONE PAYER
COLOR: VICTORIAN

8

PAVERS



NON-CORROSIVE METAL GUTTER AND DOWNSPOUT
COLOR: DARK BROWN

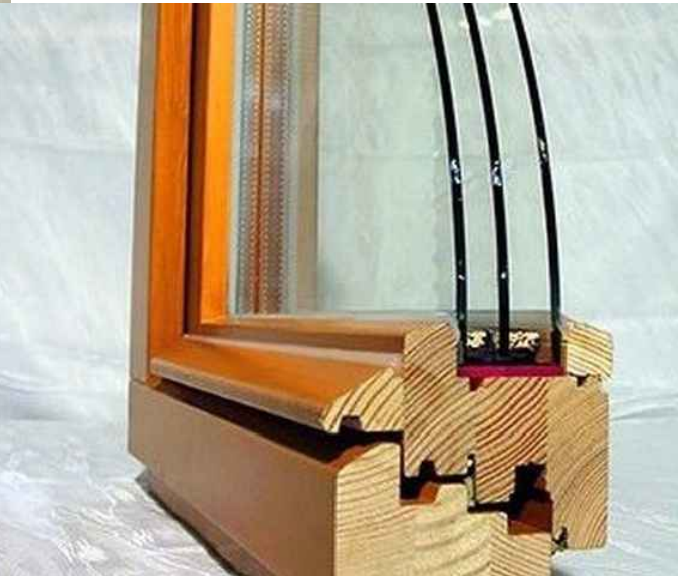
4

GUTTER & DOWNSPOUT



MANUFACTURER: PELLA - WOOD WINDOWS
COLOR: PROVINCIAL

DETAIL



5

WOOD WINDOWS & DOORS



6

WOOD CORBEL & RAFTER TAILS



BRAVA ROOFING PRODUCTS
COLOR: ASPEN

1

CEDAR SHAKE ROOFING



THIN VENEER STONE: ELDORADO STONE
CUT / COLOR: SHADOW ROCK / CHESAPEAKE

2

STONE VENEER



MANUFACTURER: KWP ECO SIDING
HORIZONTAL (SHOWN) & VERTICAL
COLOR: OLIVE

3

ENGINEERED SIDING

REVISION

No.

CONSULTANT:

ARCHITECT

FOR REFERENCE ONLY

ERIC MILLER ARCHITECTS, INC.

211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372/8440 • WEB: www.ericmillerarchitects.com

MATERIAL SAMPLES

JOB NAME:

Kshire Property Investments LLC.
2755 15th Avenue
Carmel, California
A.P.N. 009-3883-012-000

DATE:

10/20/2025

SCALE:

N.T.S.

DRAWN:

JK

JOB NUMBER:

24.13

A-7.1

SHEET OF



FOR REFERENCE ONLY

REVISION		No.
CONSULTANT:		
ARCHITECT ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
RENDERINGS JOB NAME: Kashire Property Investments LLC. 2755 15th Avenue Carmel, California A.P.N. 009-383-012-000		
DATE:	10/20/2025	
SCALE:	N.T.S.	
DRAWN:	JK	
JOB NUMBER:	2413	
A-7.2 SHEET OF		

GRADING, DRAINAGE, AND EROSION CONTROL PLAN
OF
2755 15TH AVENUE
APN: 009-383-012
CARMEL, MONTEREY COUNTY, CALIFORNIA

GENERAL NOTES:

- PROJECT DESIGN IS BASED ON INFORMATION OBTAINED FROM THE ARCHITECTURAL PLANS FOR 2755 15TH AVENUE PREPARED BY ERIC MILLER ARCHITECTS, DATED 08/04/2025; AND THE TOPOGRAPHIC MAP FOR THE SITE PREPARED BY LANDSET ENGINEERS, DATED 08/27/2024.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUBSURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILIED AND DEEMED COMPLETE WITH THE PROJECT AREA, PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

GRADING & DRAINAGE NOTES:

- ALL GRADING SHALL CONFORM TO THE LATEST AUTHORITY HAVING JURISDICTION GRADING ORDINANCE AND EROSION CONTROL ORDINANCE; THE RECOMMENDATIONS FOUND IN THE PROJECT'S GEOTECHNICAL REPORT PREPARED BY GEOTECH ENGINEER; THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS; THE GOVERNING PUBLIC AGENCIES; THE LATEST REVISION OF THE CALIFORNIA BUILDING CODE (CBC); AND THESE PLANS.
- SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL MATERIAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- THERE ARE APPROXIMATELY 25 CUBIC YARDS OF CUT AND 55 CUBIC YARDS OF FILL TOTAL WITH A NET DEFICIT OF 30 CUBIC YARDS. EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION, LANDSCAPE PURPOSES AND/OR HAULED OFF-SITE. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. ARE NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOILS REPORT AND BE APPROVED BY THE SOIL ENGINEER PRIOR TO PLACEMENT.
- EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MINIMUM RELATIVE COMPACTION. ALL BASE ROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MINIMUM RELATIVE COMPACTION.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL ENGINEER.
- PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10' PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO DO SO AND FOR USE IN GRADING OPERATIONS.
- A COPY OF ALL COMPACTION TESTS AND THE FINAL GRADING REPORT SHALL BE SUBMITTED TO THE AUTHORITY HAVING JURISDICTION PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10' IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10' OF HORIZONTAL DISTANCE. A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 2% WHERE LOCATED WITHIN 5' OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- ROOF DRAINAGE SHALL BE ACCOMPLISHED BY THE USE OF GUTTERS AND DOWNSPOUTS. THE DOWNSPOUTS SHALL BE CONNECTED TO RAINWATER LEADERS AND TIED INTO THE STORM DRAIN SYSTEM AS SHOWN ON THE SITE UTILITY PLAN. DOWNSPOUTS THAT ARE NOT CONNECTED TO A RAINWATER LEADER SHALL OUTLET ONTO SPLASH BLOCKS OR AN APPROVED ALTERNATIVE. SPLASH BLOCKS MAY BE UNNECESSARY IF THE DOWNSPOUT OUTLETS DIRECTLY ONTO AN IMPERVIOUS SURFACE THAT IS PROPERLY GRADED AWAY FROM FOUNDATIONS. RAINWATER LEADERS SHALL BE CONSTRUCTED WITH 4" SDR35 PVC PIPE. UNDER NO CIRCUMSTANCES SHALL A RAINWATER LEADER BE CONNECTED TO A SUBDRAIN LINE.
- SURFACE RUNOFF SHALL BE COLLECTED BY A SYSTEM OF SWALES AND DRAINS. CAPTURED STORMWATER SHALL BE PIPED TO A DRY WELL IN THE FRONT OF THE LOT AS SHOWN ON THE SITE UTILITY PLAN. STORM DRAIN LINES SHALL DRAIN BY GRAVITY AND BE SLOPED AT A MINIMUM OF 2% TO AN OUTLET, WHERE A 2% SLOPE IS IMPRACTICAL, PIPES SHALL BE SLOPED AT NO LESS THAN 1%. STORM DRAIN LINES SHALL HAVE A MINIMUM COVER OF 12" AND SHALL BE CONSTRUCTED WITH SDR35 PVC PIPE, SIZED AS INDICATED.
- TRENCH DRAINS SHALL BE NDS CHANNEL DRAINS, SIZED AS INDICATED ON THE SITE UTILITY PLAN. FLAT-BOTTOMED CHANNELS SHOULD BE SLOPED AT A MINIMUM OF 0.5% TO AN OUTLET IN ORDER TO ENSURE PROPER DRAINAGE AND PREVENT STANDING WATER IN THE TRENCH. ANY CHANNEL SLOPED AT LESS THAN 0.5% SHALL HAVE OUTLETS SPACED AT NO MORE THAN 10'. GRATES AND CHANNELS SHALL HAVE A LOAD RATING GREATER THAN OR EQUAL TO THE EXPECTED LOADING IN THE INSTALLATION AREA. ALL TRENCH DRAINS SHALL BE SURROUNDED BY A MINIMUM OF 4" OF CONCRETE. TRENCH DRAINS SHOULD BE SIZED TO HANDLE THE PEAK RUNOFF RATE PRODUCED BY A 10-YEAR DESIGN STORM.
- SUBSURFACE WATER BEHIND ANY RETAINING WALLS SHALL BE CONTROLLED BY THE INSTALLATION OF SUBDRAINS. SUBDRAIN LINES SHALL BE CONSTRUCTED WITH PERFORATED 4" SDR35 PVC PIPE PLACED WITH THE HOLES FACING DOWNWARD. COLLECTED WATER SHALL DRAIN TO DAYLIGHT AT A MINIMUM SLOPE OF 1% AS SHOWN ON THE SITE UTILITY PLAN. PIPES CARRYING SURFACE WATER OR ROOF WATER SHALL NOT UNDER ANY CIRCUMSTANCES OUTLET INTO A SUBDRAIN LINE. THE SYSTEM OF SUBDRAINS SHALL REMAIN INDEPENDENT OF THE SURFACE STORM DRAIN SYSTEM.
- UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 95% MINIMUM RELATIVE COMPACTION. THE TOP 8" OF TRENCH SHALL BE CAPPED WITH NATIVE SOIL. IN NON-PAVED AREAS NATIVE BACKFILL SHALL BE USED AND COMPACTED TO 90% MINIMUM RELATIVE COMPACTION.
- ALL WORK IS SUBJECT TO APPROVAL BY THE AUTHORITY HAVING JURISDICTION PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.
- SPECIAL INSPECTIONS BY A SPECIAL INSPECTOR ARE REQUIRED DURING FILL PLACEMENT TO ENSURE PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- THE LOCATION, HEIGHT, AND PLATE HEIGHTS OF THE NEW STRUCTURE MUST BE CERTIFIED BY A SURVEYOR TO BE IN CONFORMANCE WITH THE APPROVED PLANS.
- STOP WORK WITHIN 50 METERS (165') OF UNCOVERED RESOURCE AND CONTACT THE AUTHORITY HAVING JURISDICTION RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED.

ABBREVIATIONS:

±	=	PLUS OR MINUS; APPROXIMATE	INV	=	PIPE INVERT
ø	=	DIAMETER	JB	=	JUNCTION BOX
AB	=	AGGREGATE BASE	JT	=	JOINT TRENCH
ABAN	=	ABANDON	LF	=	LINEAR FEET
AC	=	ASPHALT CONCRETE	LP	=	LOW POINT
AD	=	AREA DRAIN	MAX	=	MAXIMUM
ADD	=	ADDITION	MIN	=	MINIMUM
ADU	=	ACCESSORY DWELLING UNIT	OC	=	ON-CENTER
BC	=	BEGINNING OF CURVE	OUT	=	OUTLET
A.E.	=	BUILDING ENVELOPE	PCC	=	PORTLAND CEMENT CONCRETE
BLDG	=	BUILDING	PERF	=	PERFORATED
BOT	=	BOTTOM	PERM	=	PERMEABLE
BSTMT	=	BASEMENT	PL	=	PROPERTY LINE
BVC	=	BEGINNING OF VERTICAL CURVE	POC	=	POINT OF CONNECTION
CB	=	CATCH BASIN	PVC	=	POLYVINYL CHLORIDE
CF	=	CUBIC FEET	RC	=	RELATIVE COMPACTION
CL	=	CENTERLINE	RES	=	RESIDENCE
CO	=	CLEANOUT	RM	=	ROOM
CONC	=	CONCRETE	RND	=	ROUND
CY	=	CUBIC YARDS	RW	=	RETAINING WALL
DG	=	DECOMPOSED GRANITE	RWL	=	RAINWATER LEADER
DK	=	DECK	SD	=	STORM DRAIN
DS	=	DOWNSPOUT	SF	=	SQUARE FEET
DWY	=	DRIVEWAY	SG	=	SUBGRADE
EC	=	END OF CURVE	SO	=	SQUARE
EG	=	EXISTING GROUND	SS	=	SANITARY SEWER
ELEV	=	ELEVATION	STA	=	STATION
ESMT	=	EASEMENT	STN	=	STONE
EVC	=	END OF VERTICAL CURVE	STP	=	STEP
EW	=	EACH WAY	SUBD	=	SUBDRAIN
EX	=	EXISTING	TBR	=	TO BE REMOVED
FC	=	FLUSH CURB	TD	=	TRENCH DRAIN
FD	=	FIRE DEPARTMENT	TW	=	TOP OF WALL
FF	=	FINISHED FLOOR	TYP	=	TYPICAL
FG	=	FINISHED GRADE	U.N.O.	=	UNLESS NOTED OTHERWISE
FL	=	FLOWLINE	VC	=	VERTICAL CURB
FM	=	FORCE MAIN	VIF	=	VERIFY IN FIELD
FP	=	FINISHED PAD	W/	=	WITH
GAR	=	GARAGE	W/O	=	WITHOUT
GB	=	GRADE BREAK	WD	=	WOOD
GR	=	GRATE			
HDPE	=	HIGH-DENSITY POLYETHYLENE			
HP	=	HIGH POINT			
HT	=	HEIGHT			

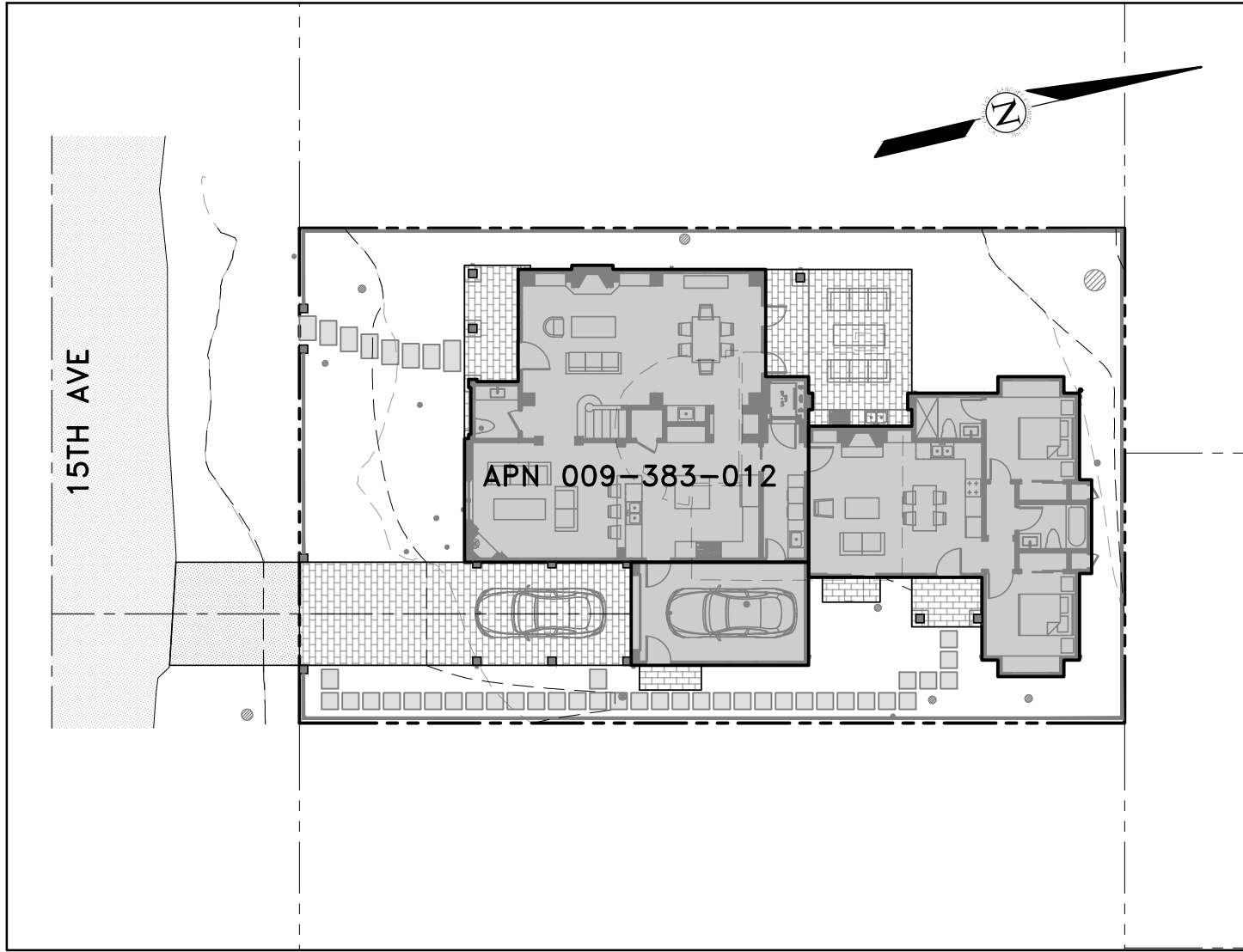
VICINITY MAP

NOT TO SCALE



LOT OVERVIEW

SCALE: 1" = 20'



GEOTECHNICAL INSPECTION SCHEDULE:

NOTE: PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION.

Inspection Item:	Who will conduct the inspection:	When the Inspection is to be completed:	Inspection completed by:	Date completed:
Site stripping and clearing	GEOTECH ENGINEER	Beginning of Project		
Subexcavation, fill placement, and compaction	GEOTECH ENGINEER	Throughout grading operations		
Foundation Excavations	GEOTECH ENGINEER	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage improvements	GEOTECH ENGINEER	Prior to trench backfill		
Utility trench compaction	GEOTECH ENGINEER	During backfill operations		
Retaining wall backfill compaction	GEOTECH ENGINEER	During backfill operations		
Baseroack subgrade compaction	GEOTECH ENGINEER	Prior to pavement installation		

POST-CONSTRUCTION REQUIREMENTS:

- THE PROJECT IS LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER NO. 2013-0001-DWG; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO APPLY.

MONTEREY COUNTY
HOUSING AND COMMUNITY DEVELOPMENT
Erk V. Lindquist, AICP, Director

PLANNING, PLANNING, BUILDING, ENGINEERING, ENVIRONMENTAL SERVICES
1441 Schilling Place, South 2nd Floor
Salinas, California 93907-4027



Site Design and Runoff Reduction Checklist

Site Design and Runoff Reduction

Projects that create and/or replace > 2,500 square feet of impervious surface, collectively over the entire project site, including detached single-family home projects, shall implement all of the following design strategies in the design of the project:

- ☒ Limited disturbance of creeks and natural drainage features
 - ☒ Minimized compaction of highly permeable soils
 - ☒ Limited clearing and grading of native vegetation at the site to the minimum area needed to build the project, allow access, and provide fire protection
 - ☒ Minimized impervious surfaces by concentrating improvements on the least-sensitive portions of the site, while leaving the remaining land in a natural undisturbed state
- And must minimize stormwater runoff by implementing one or more of the following site design measures:
- ☐ Directed roof runoff into cisterns or rain barrels for reuse
 - ☒ Directed roof runoff onto vegetated areas safely away from building foundations and footings, consistent with California building code
 - ☒ Directed runoff from sidewalks, walkways, and/or patios onto vegetated areas safely away from building foundations and footings, consistent with California building code
 - ☐ Directed runoff from driveways and/or uncovered parking lots onto vegetated areas safely away from building foundations and footings, consistent with California building code
 - ☐ Constructed bike lanes, driveways, uncovered parking lots, sidewalks, walkways, and patios with permeable surfaces

Property Owner/Agent Name	Date Prepared
Property Owner/Agent Signature	Permit File Number

LEGEND:

---	PROPERTY BOUNDARY		PROPOSED BUILDING FOOTPRINT
---	MAJOR CONTOUR (5' INTERVAL)		ASPHALT CONCRETE
---	MINOR CONTOUR (1' INTERVAL)		CONCRETE
---	RETAINING WALL		IMPERVIOUS PAVERS
---	SWALE FLOW LINE		PERMEABLE PAVERS
SD	STORM DRAIN PIPE		
---	RAINWATER LEADER		
	CATCH BASIN		
	AREA DRAIN		
	DOWNSPOUT W/ SPLASH BLOCK		
	DRY WELL		
	TREE		
	TREE TO BE REMOVED		

PROJECT DATA:

SITE LOCATION:
2755 15TH AVE
MONTEREY, CA 93940

GRADING VOLUMES:	
CUT	25 CY
FILL	55 CY
NET	30 CY FILL

SITE AREA:	6000 SF (0.138 AC)
DISTURBED AREA:	±6000 SF
IMPERVIOUS LOT COVERAGE:	
EXISTING	1458 SF
REMOVED	~1458 SF
NEW/REPLACED	+3638 SF
TOTAL	3638 SF

INDEX TO SHEETS:

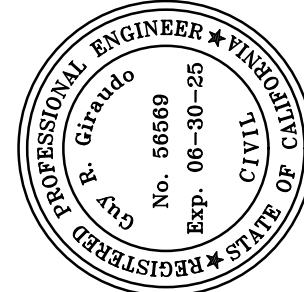
SHEET C1	COVER SHEET
SHEET C2	GRADING & DRAINAGE PLAN
SHEET C3	GRADING SECTIONS & DETAILS
SHEET C4	UTILITY PLAN
SHEET C5	CONSTRUCTION DETAILS
SHEET C6	EROSION & SEDIMENT CONTROL PLAN
SHEET C7	CONSTRUCTION MANAGEMENT PLAN

CONTACT INFORMATION:

PROPERTY OWNER:
KSHIRE PROPERTY INVESTMENTS LLC
311 PIERCY RD
SAN JOSE, CA 95138

ARCHITECT:
ERIC MILLER ARCHITECTS
211 HOFFMAN AVE
MONTEREY, CA 93940
CONTACT: CARLA HASHIMOTO

CIVIL:
LANDSET ENGINEERS
520-B CRAZY HORSE CANYON RD
SALINAS, CA 93907
CONTACT: GUY GIRAUDO



APPROVED BY:

GUY R. GIRAUDO



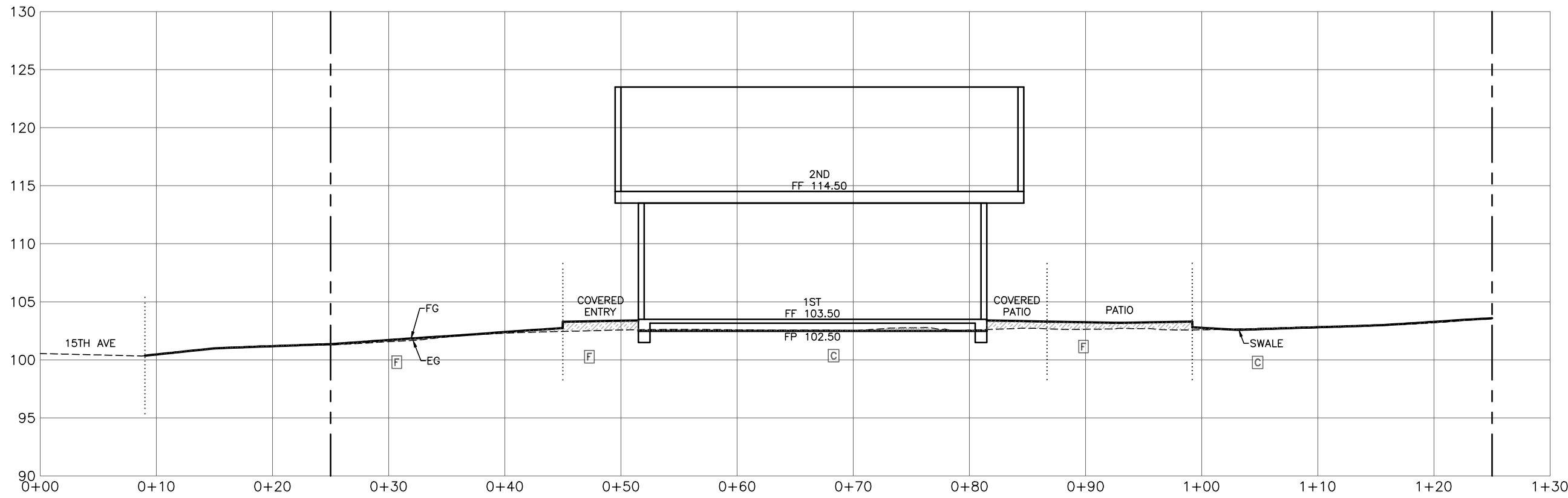
"COVER SHEET"
GRADING, DRAINAGE, AND EROSION CONTROL PLAN
OF
2755 15TH AVENUE
A.P.N.: 009-383-012
CARMEL, CALIFORNIA
FOR
KSHIRE PROPERTY INVESTMENTS LLC

SCALE: AS SHOWN
DATE: SEP 2025
JOB No. 2822-02

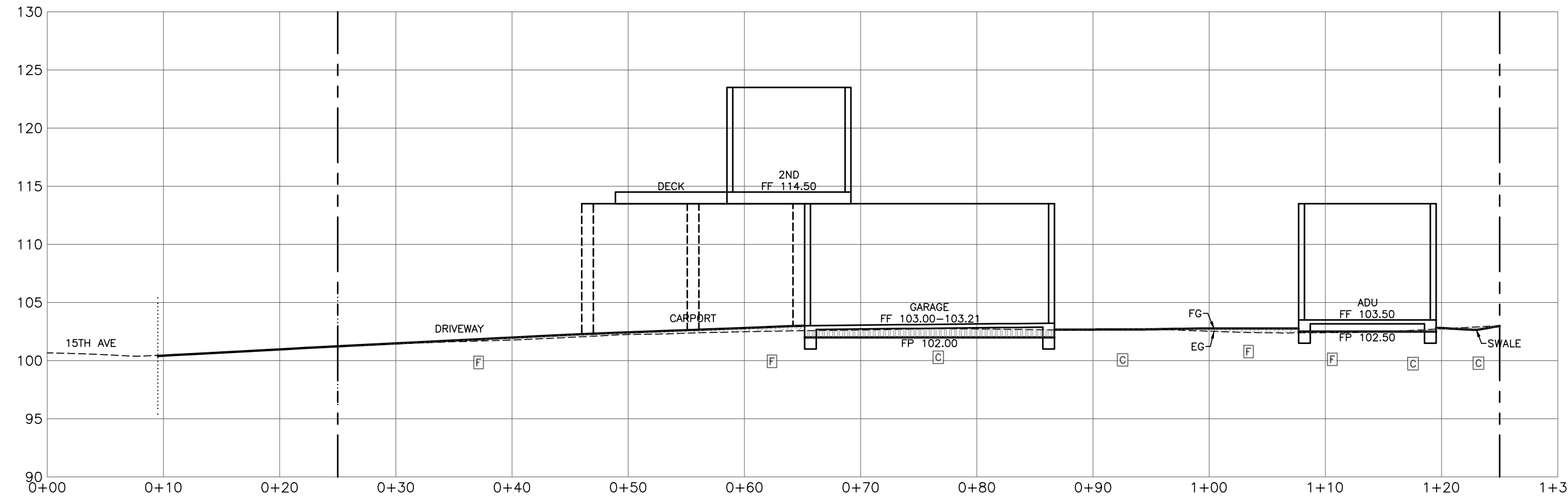
SHEET C1

OF 7 SHEETS

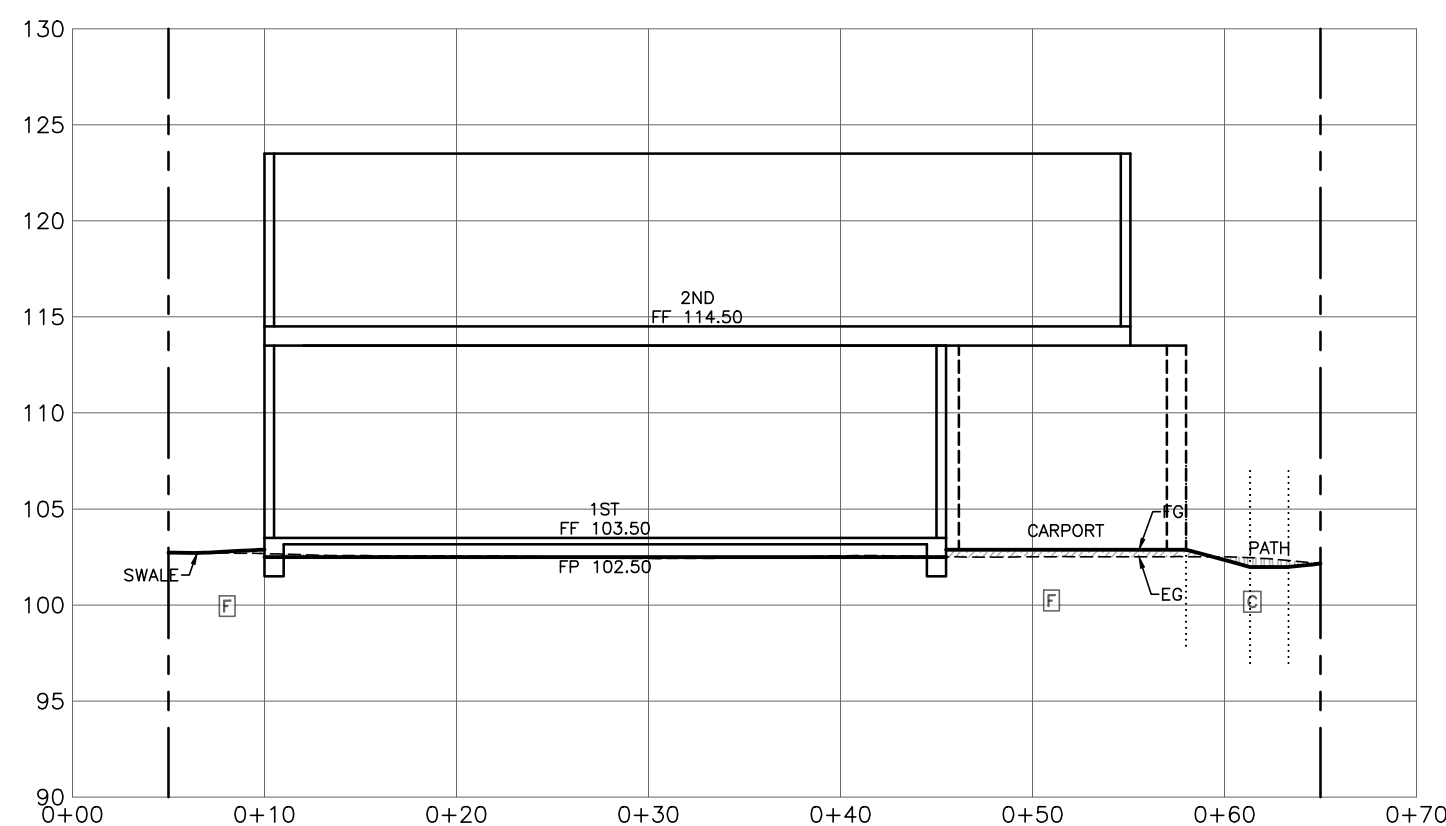
No.	DATE	BY	REVISION
	09/23/25	JAN	ADU
	06/25/25	JAN	RELEASED TO CLIENT



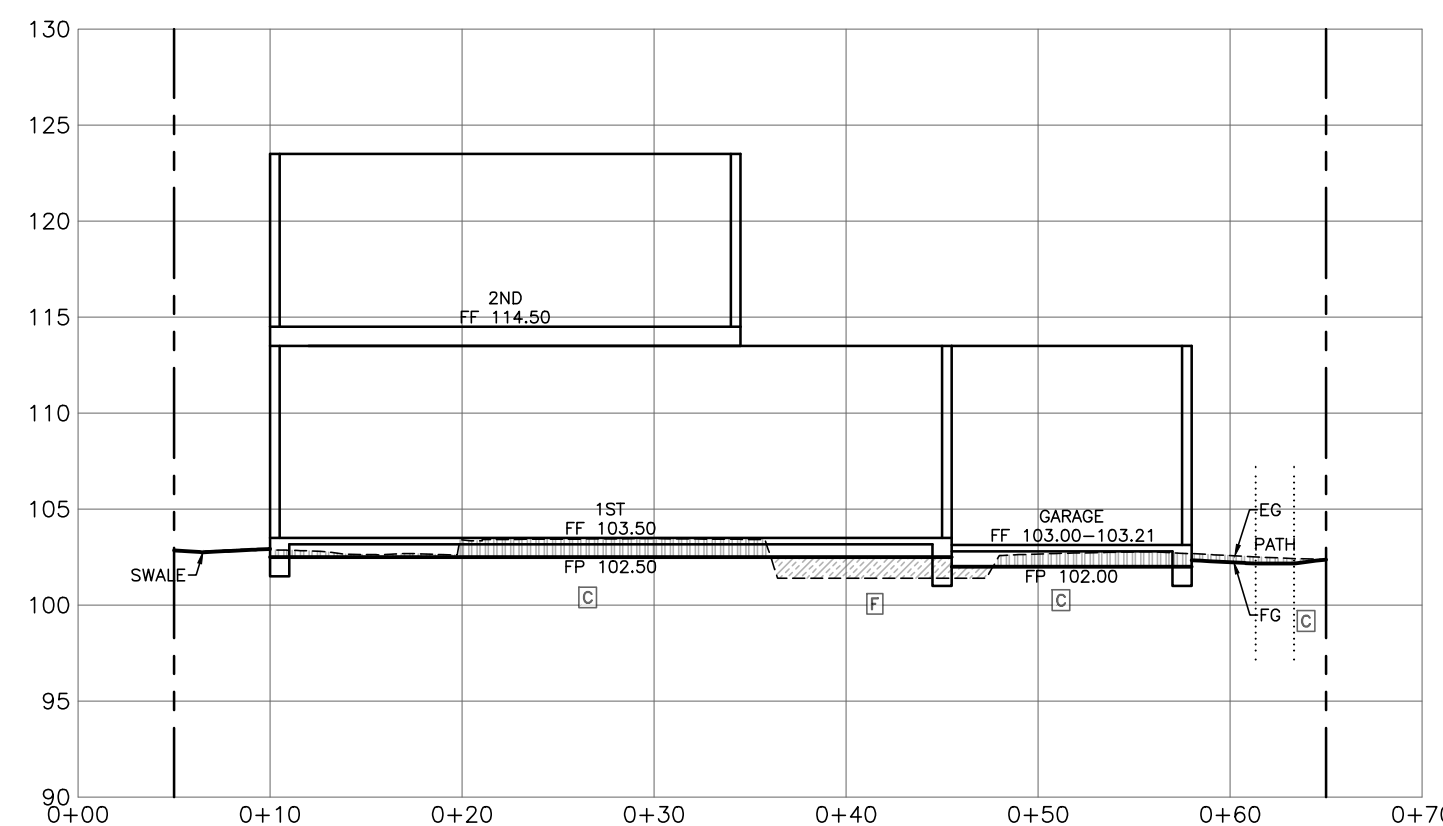
SECTION A-A
SCALE: 1"=10' H&V



SECTION B-B
SCALE: 1"=10' H&V



SECTION C-C
SCALE: 1"=10' H&V



SECTION D-D
SCALE: 1"=10' H&V

"GRADING SECTIONS & DETAILS"

GRADING, DRAINAGE, AND EROSION CONTROL PLAN

OF 2755 15TH AVENUE

A.P.N.: 009-383-012

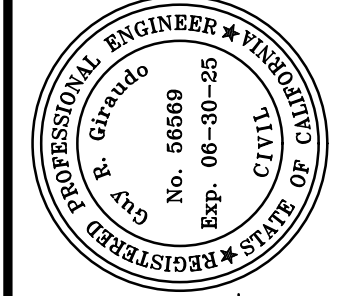
CARMEL, CALIFORNIA

KSHIRE PROPERTY INVESTMENTS LLC



APPROVED BY:

GUY R. GIRARDO



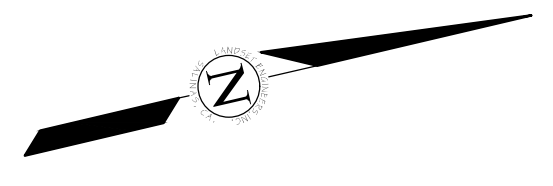
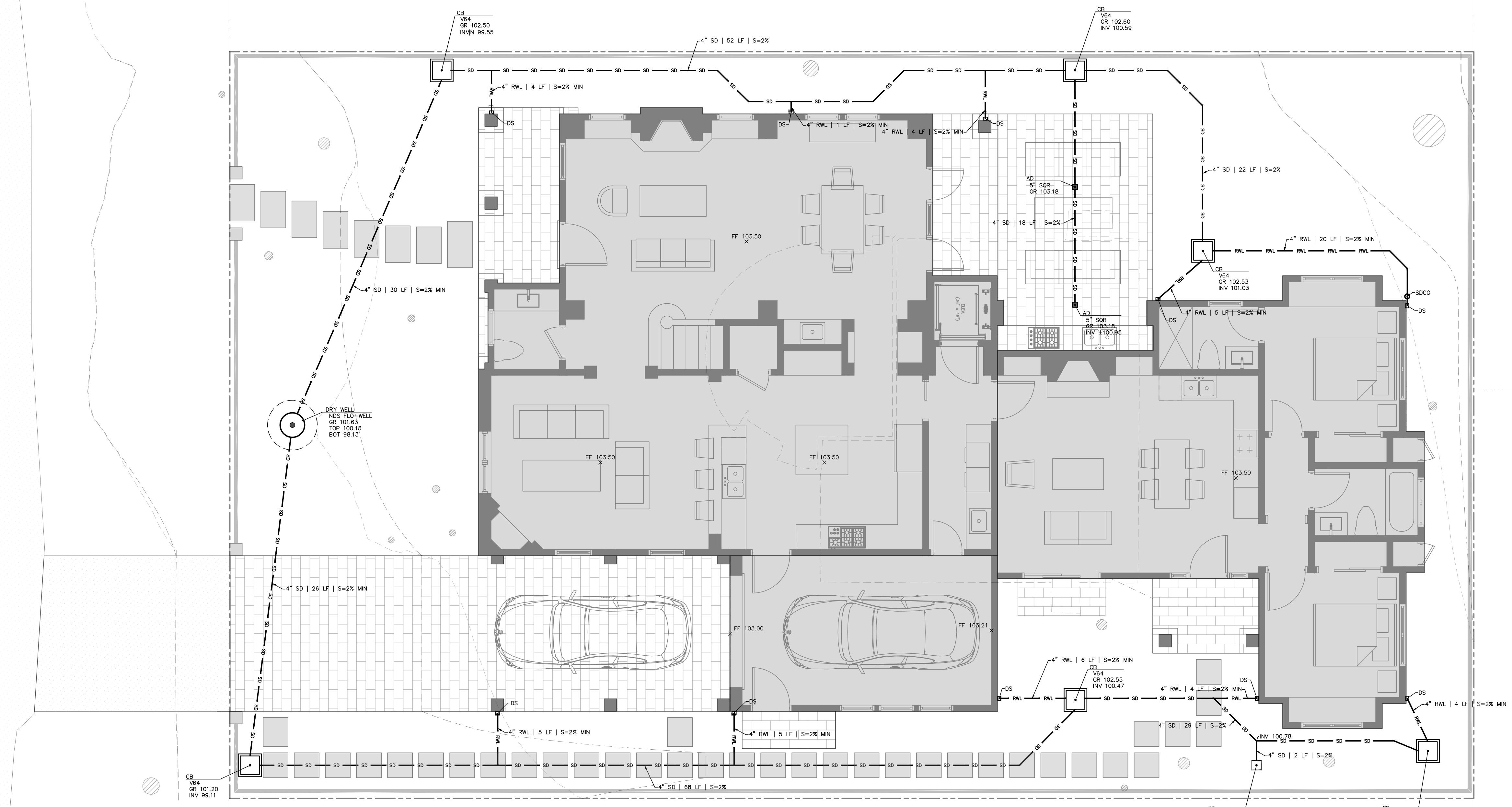
SCALE: AS SHOWN
DATE: SEP 2025
JOB No. 2822-02

SHEET C3

OF 7 SHEETS

No.	DATE	BY	REVISION
09/23/25	JAN	ADU	
06/25/25	JAN	RELEASED TO CLIENT	

15TH AVE



"UTILITY PLAN"
GRADING, DRAINAGE, AND EROSION CONTROL PLAN
OF
2755 15TH AVENUE
A.P.N.: 009-383-012
CARMEL, CALIFORNIA
KSHIRE PROPERTY INVESTMENTS LLC

SCALE: 1" = 5'
DATE: SEP 2025
JOB No. 2822-02

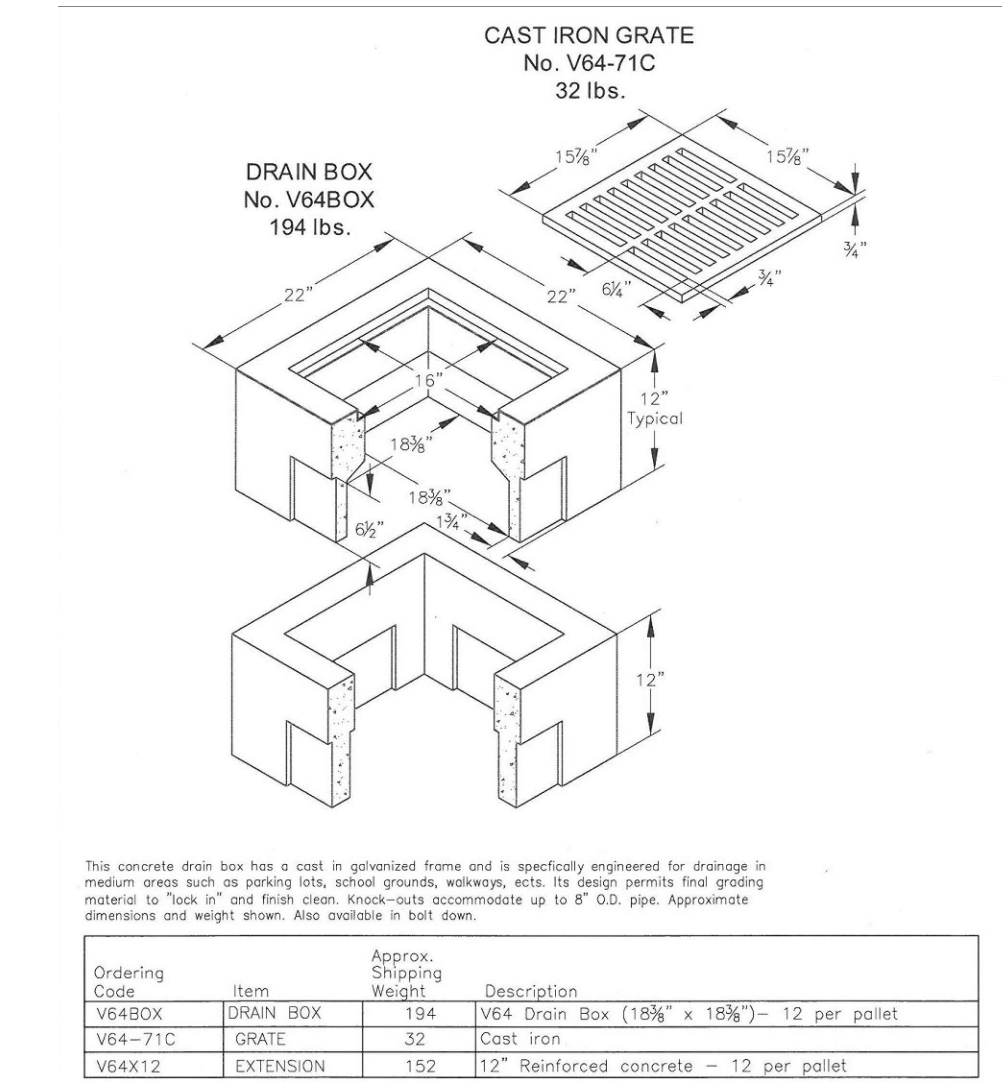
	09/23/25	JAN	ADU
	06/25/25	JAN	RELEASED TO CLIENT
No.	DATE	BY	REVISION

SHEET **C4**
OF 7 SHEETS

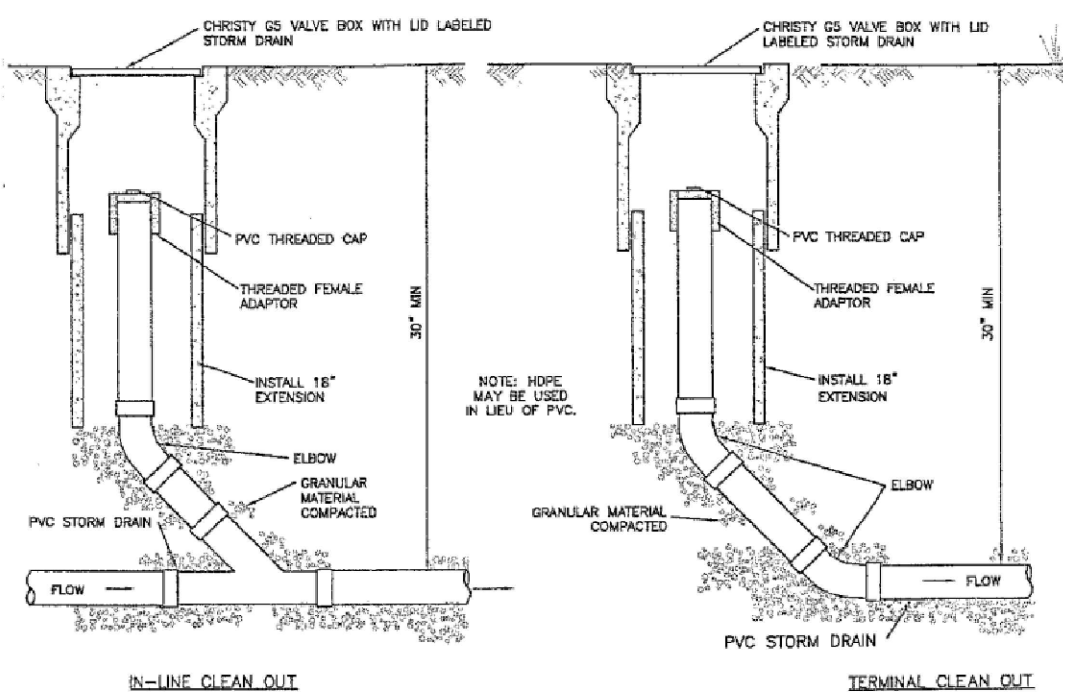
LANDSET
ENGINEERS, INC.
5308 Gray Horse Canyon Road
Salinas, California 95007
Office (831) 443-6970 Fax (831) 443-3801
www.landseteng.com

APPROVED BY:

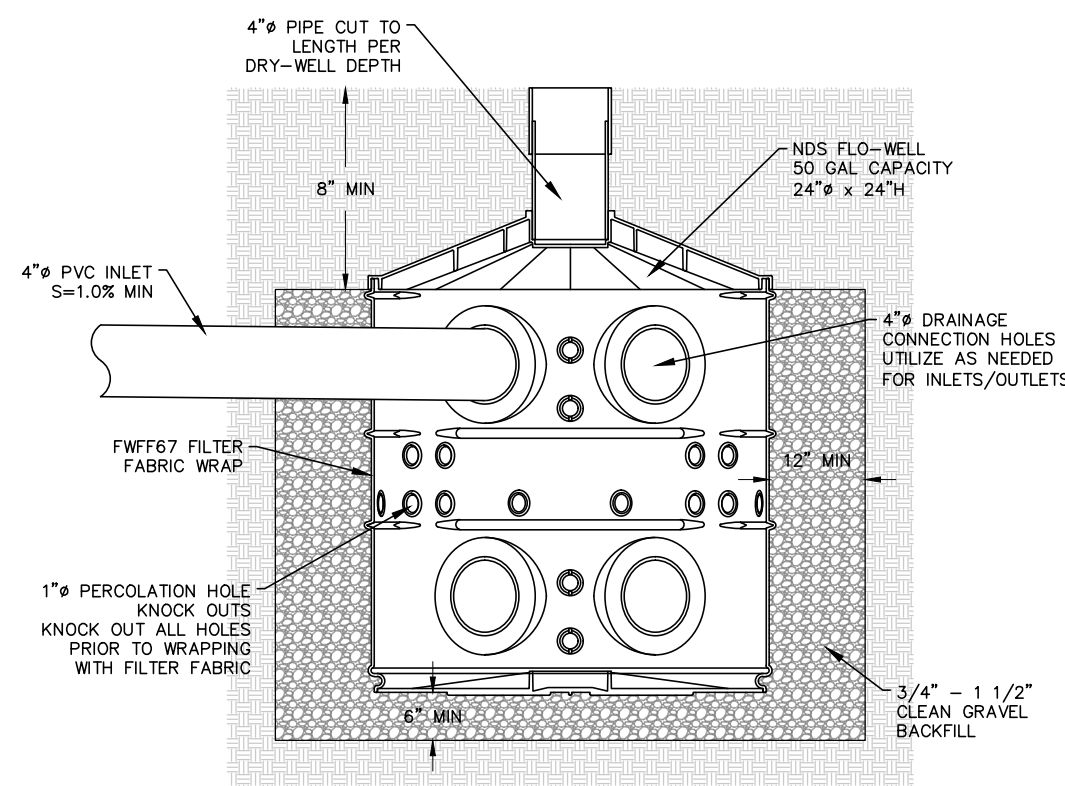
GUY R. GIRARDO
PROFESSIONAL ENGINEER # 66669
No. 06-30-25
CIVIL
STATE OF CALIFORNIA



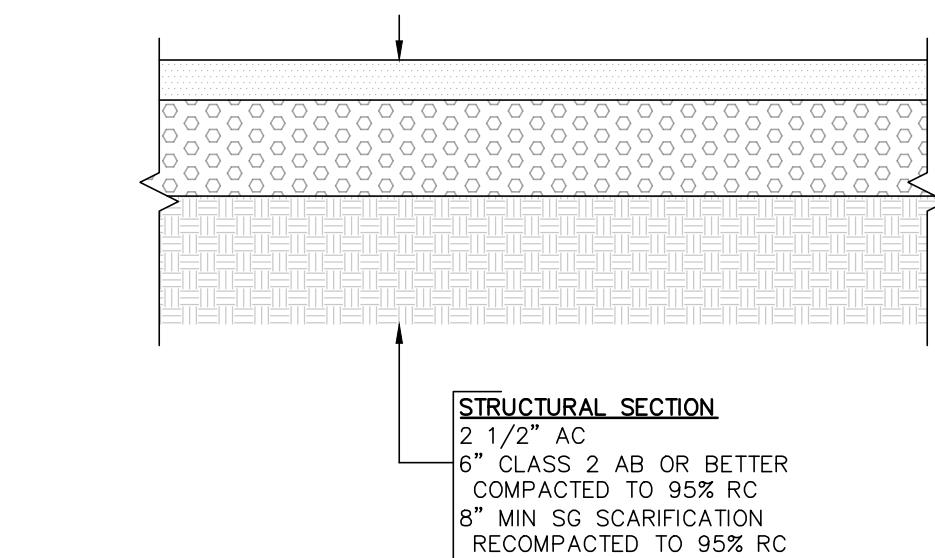
1 CHRISTY V64 CATCH BASIN



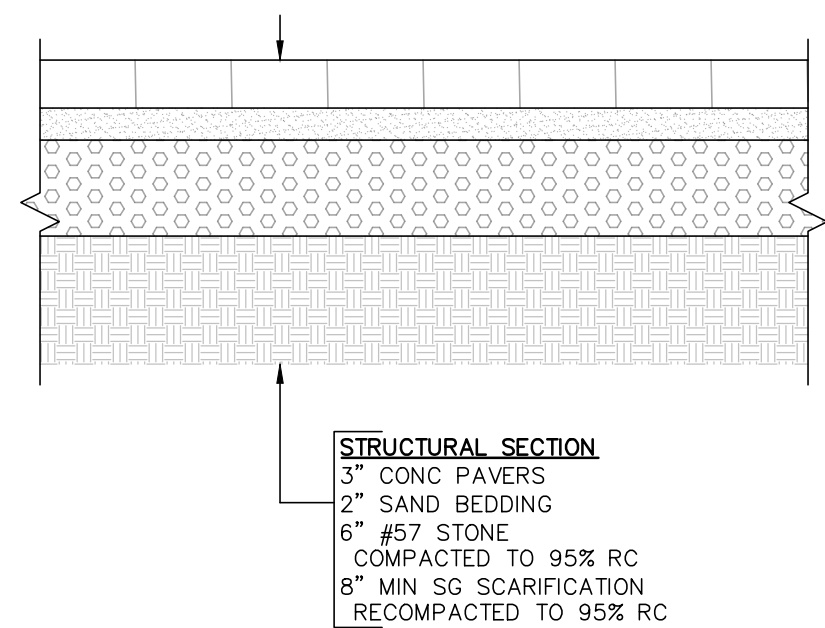
2 G5 STORM DRAIN CLEANOUT



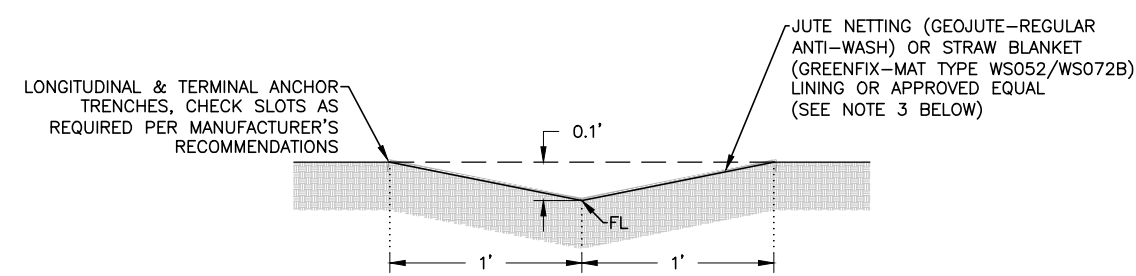
3 DRY WELL SYSTEM



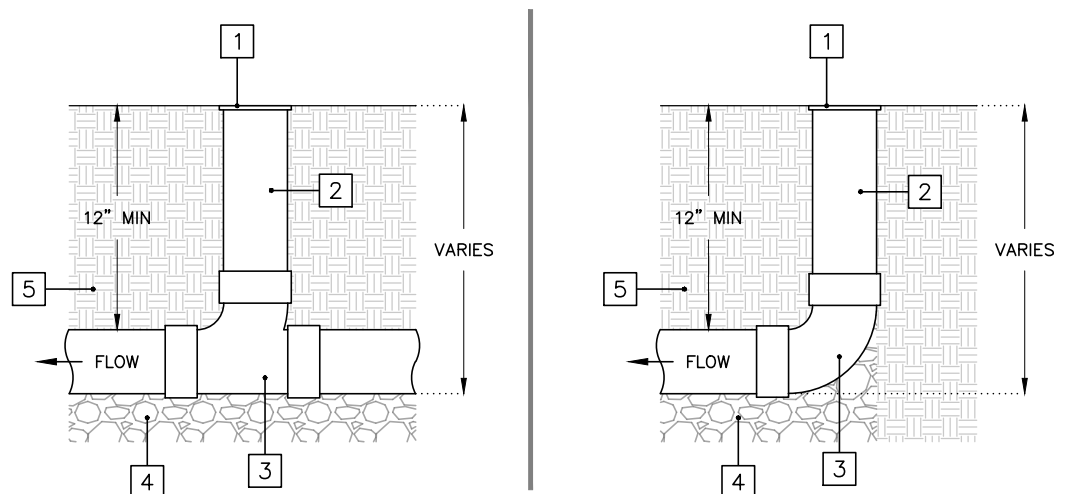
4 PAVEMENT SECTION (ASPHALT)



5 PAVEMENT SECTION (PAVERS)



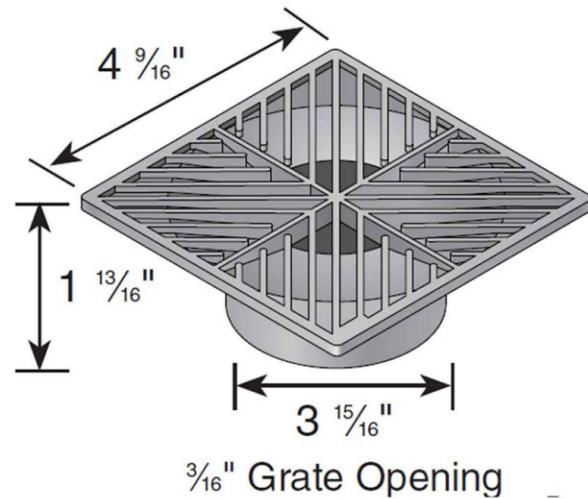
6 EARTH SWALE



7 AREA DRAIN INSTALLATION



5" Square Grate



Load Recommendation Guide

Class A

- Loads of 160 psf.
- Recommended for pedestrians, bicycles and wheel chair traffic.

ADA Compliant/Heel-proof

Part #: 7, 8, & 9
Material: (HDPE) High Density Polypropylene
Color: #7(Green), #8(Black), & #9(Gray)
Fits: 4" sewer and drain pipe & fittings, 4" corrugated and triple wall pipe.
Grate Opening: 3/16"
Open Surface Area: 4.25 Sq. Inches
Head Pressure / Flow Rate:
Liquid (Inches)-Max Flow:
1"= 18.39 GPM
6.5" = 13.00 GPM
Weight Per Each: 0.20 lbs.
UV Inhibitor

801 N. Harvard Avenue
Fremont, CA 94539
888-732-1994

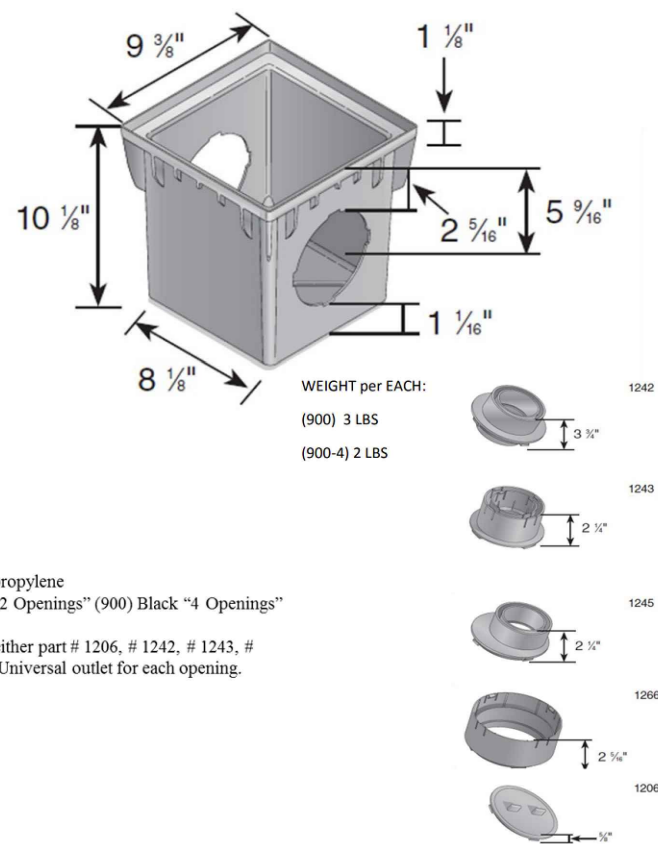
Visit ndspro.com for specs, detail drawings, and case studies

NDS

8 NDS 5" SQUARE GRATE



9" x 9" SQUARE CATCH BASIN



Material: Polypropylene
Colors: Black "2 Openings" (900) Black "4 Openings" (900-4)
Fits: Requires either part # 1206, # 1242, # 1243, # 1245 or #1266 Universal outlet for each opening.

801 N. Harvard Avenue
Fremont, CA 94539
888-732-1994

Visit ndspro.com for specs, detail drawings, and case studies

NDS

9 NDS 9x9 CATCH BASIN

	09/23/25	JAN	ADU	
	06/25/25	JAN	RELEASED TO CLIENT	
No.	DATE	BY	REVISION	

"CONSTRUCTION DETAILS"

GRADING, DRAINAGE, AND EROSION CONTROL PLAN

OF

2755 15TH AVENUE

A.P.N.: 009-383-012

CARMEL, CALIFORNIA

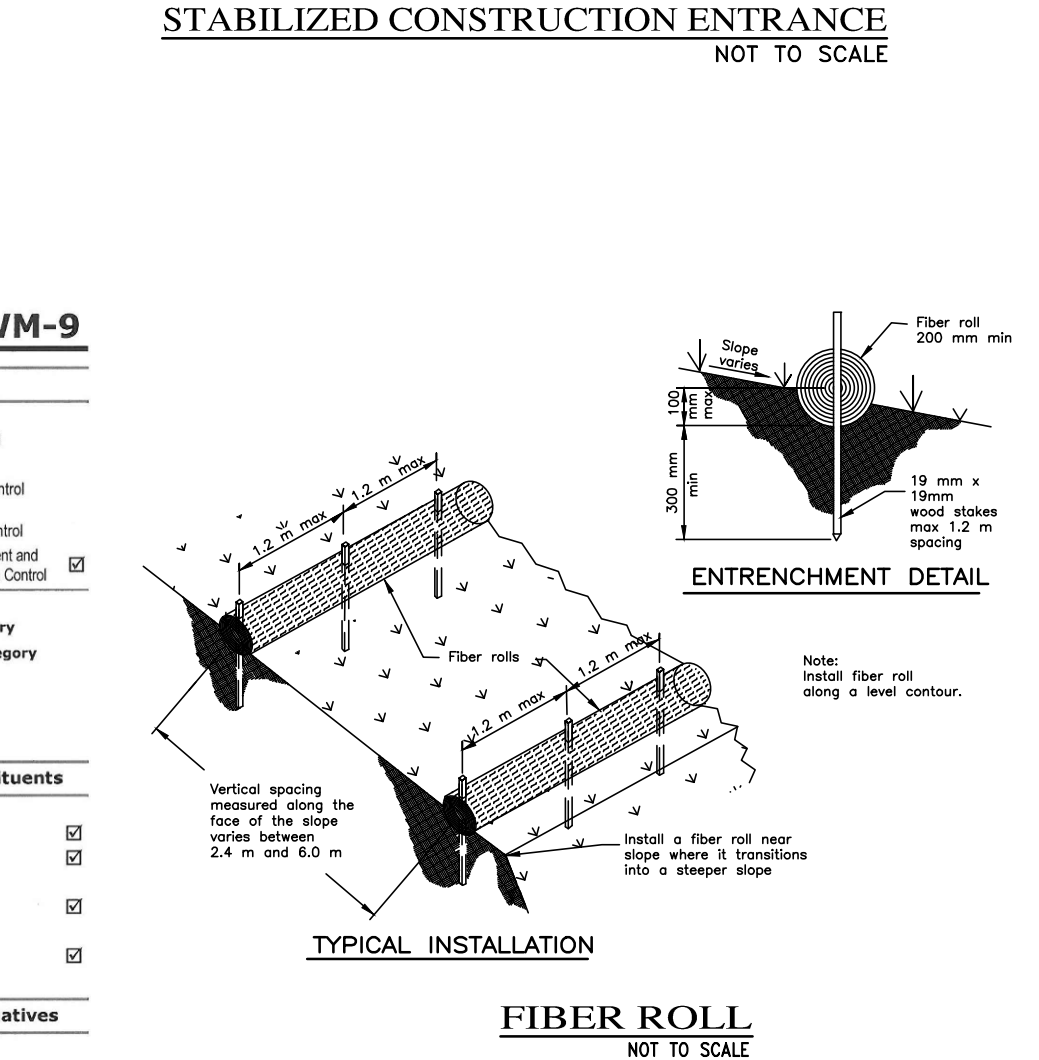
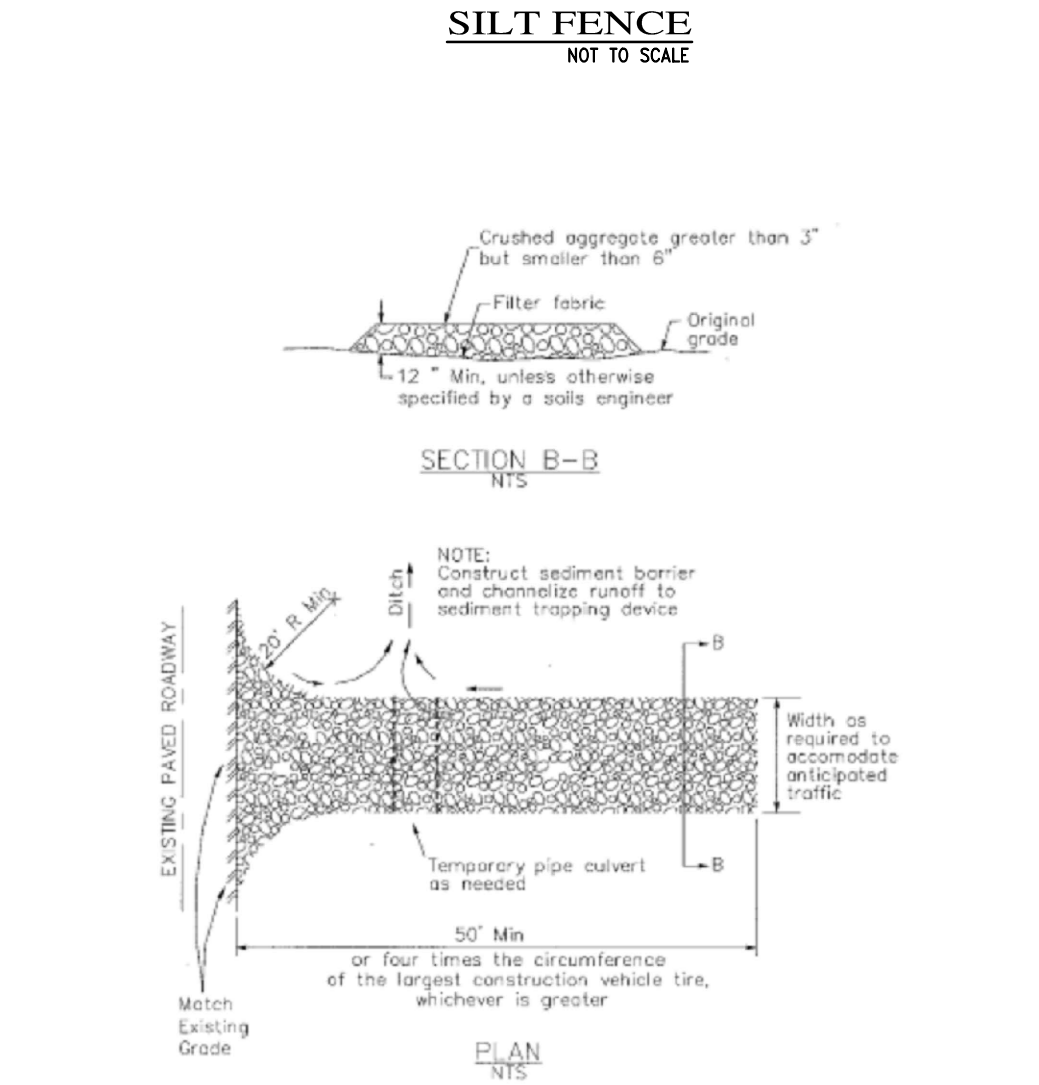
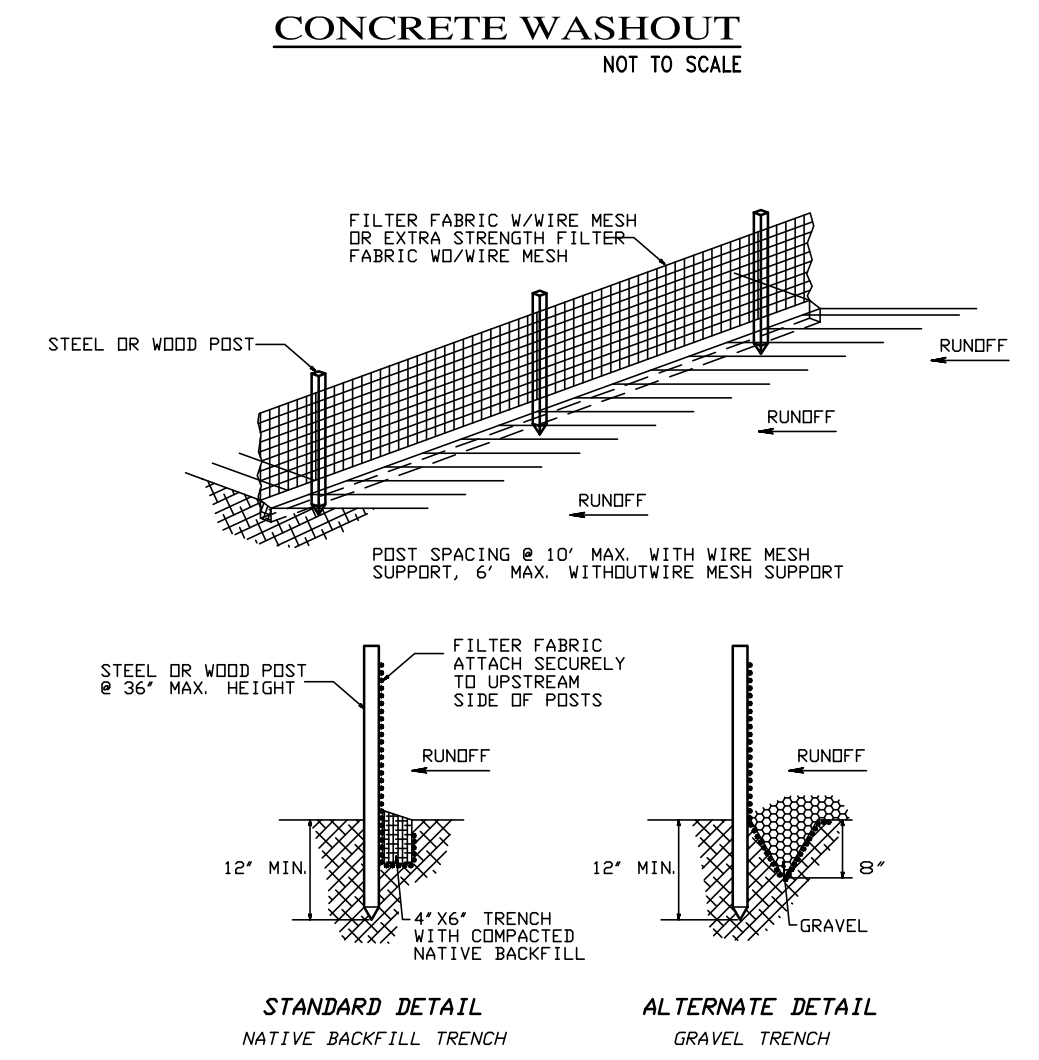
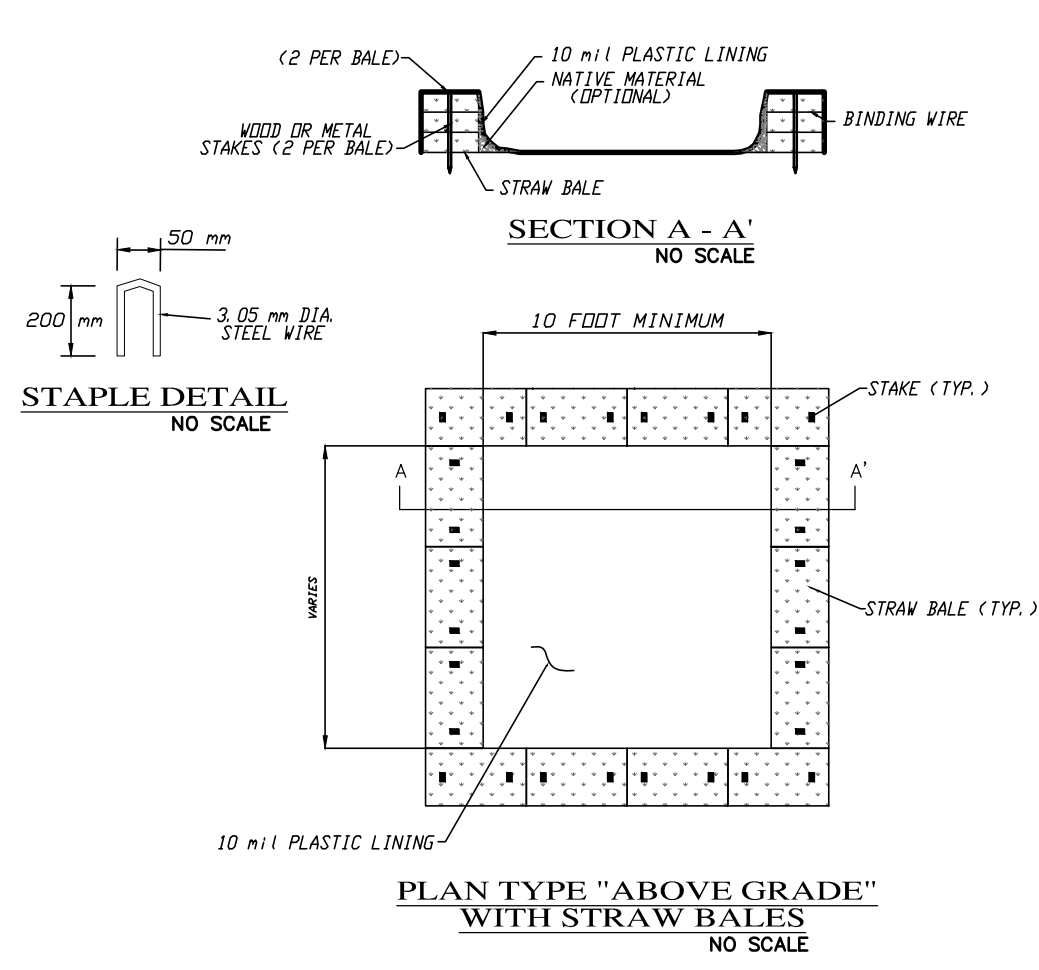
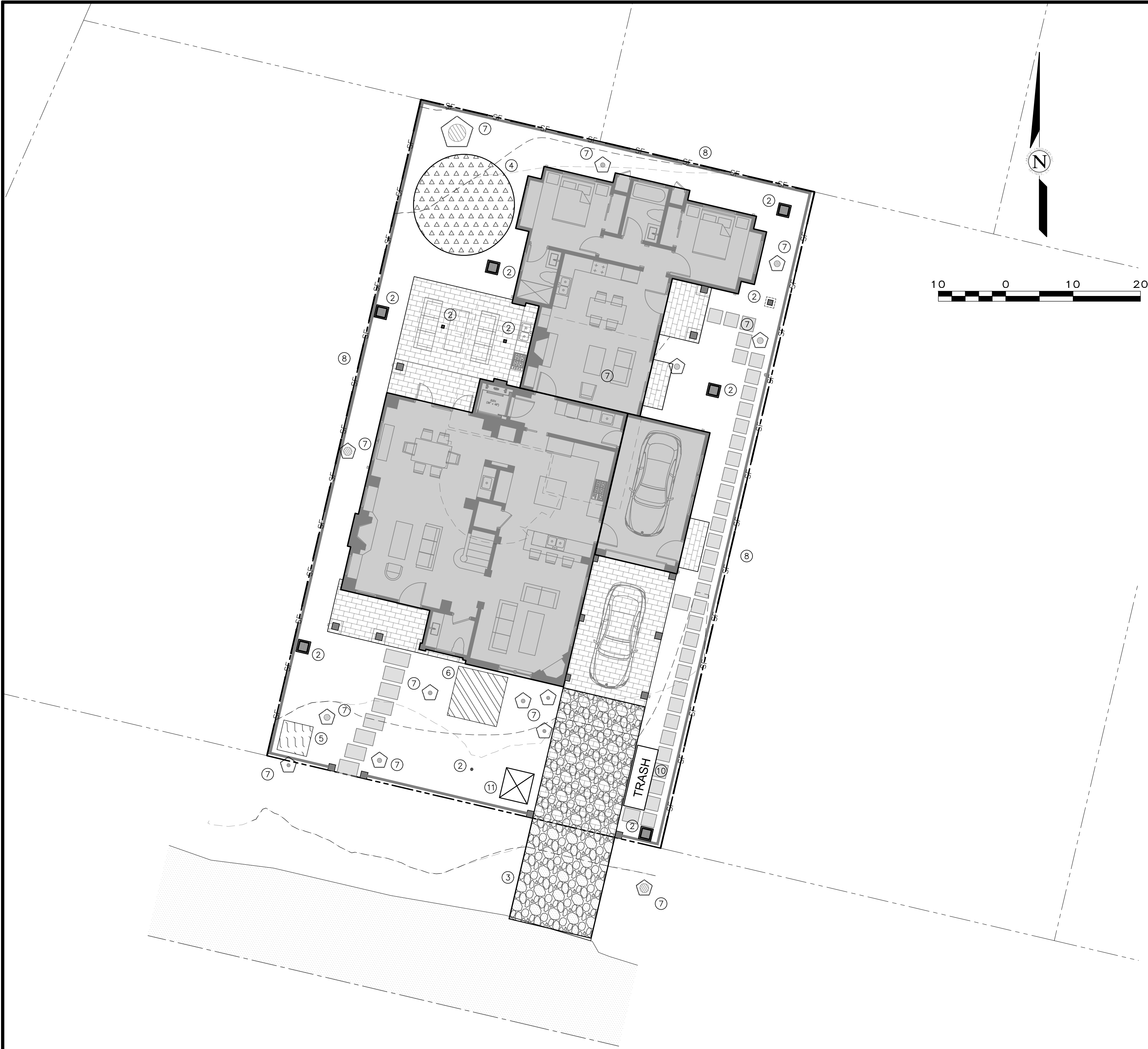
FOR

KSHIRE PROPERTY INVESTMENTS LLC

SCALE: AS SHOWN
DATE: SEP 2025
JOB No. 2822-02

SHEET C5

OF 7 SHEETS



- EROSION & SEDIMENT CONTROL NOTES:**
- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE AUTHORITY HAVING JURISDICTION EROSION CONTROL ORDINANCE.
 - 2) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
 - 3) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
 - 4) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK. ACCESS ROADS SHALL BE CLEANED DAILY (IF NECESSARY) AND PRIOR TO ANY RAIN EVENT.
 - 5) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
 - 6) CONTRACTOR SHALL PROVIDE WATERING FOR DUST CONTROL DURING ALL GROUND DISTURBANCE OPERATIONS.
 - 7) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
 - 8) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITEE AT THEIR EXPENSE.
 - 9) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDING WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUHRMOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
 - 10) SEEDING AREAS SHALL BE RETAINED ON-SITE AND SHALL BE PREVENTED FROM FLOWING INTO THE STORM DRAINAGE SYSTEM. SEDIMENT CATCHMENT BARRIERS SHALL BE INSPECTED BY THE APPLICANT IMMEDIATELY AFTER ANY SIGNIFICANT RAINFALL AND AT LEAST DAILY DURING ANY PERIOD OF PROLONGED RAINFALL.
 - 11) PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE AUTHORITY HAVING JURISDICTION TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH AUTHORITY HAVING JURISDICTION GRADING AND EROSION CONTROL REGULATIONS.
 - 12) DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE AUTHORITY HAVING JURISDICTION TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
 - 13) PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE AUTHORITY HAVING JURISDICTION TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
 - 14) THE APPLICANT SHALL SCHEDULE WEEKLY INSPECTIONS WITH THE AUTHORITY HAVING JURISDICTION DURING THE RAINY SEASON, OCTOBER 15th TO APRIL 15th, TO ENSURE CONTAMINANTS ARE NOT DISCHARGED INTO THE AREAS OF SPECIAL BIOLOGICAL SIGNIFICANCE.

- BMP LEGEND:**
- 1) FR: FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ON-SITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER). SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
 - 2) DI: DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
 - 3) SC: STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (IF NECESSARY FOR THIS APPLICATION, SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
 - 4) SM: STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.
 - 5) CW: CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
 - 6) SA: CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
 - 7) TP: TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BE A LICENSED AND CERTIFIED ARBORIST.
 - 8) SF: SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEPT INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.
 - 9) N/A: GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 0.5" - 1" CRUSHED ROCK. TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
 - 10) TRASH: WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATERTIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ON-SITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
 - 11) X: SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ON-SITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.

DETAILS
NOT TO SCALE

Material Delivery and Storage WM-1

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- Primary Category
- Secondary Category

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

None

Description and Purpose

Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or watercourses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

This best management practice covers only material delivery and storage. For other information on materials, see WM-2, Material Use, or WM-4, Spill Prevention and Control. For information on wastes, see the waste management BMPs in this section.

Solid Waste Management WM-5

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- Primary Objective
- Secondary Objective

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

None

Description and Purpose

Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

Hazardous Waste Management WM-6

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- Primary Objective
- Secondary Objective

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

None

Description and Purpose

Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

Sanitary/Septic Waste Management WM-9

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- Primary Category
- Secondary Category

Targeted Constituents

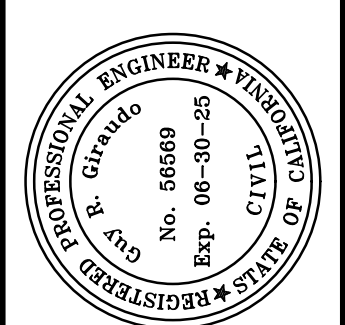
- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

None

Description and Purpose

Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.



APPROVED BY:
GUY R. GIRARDINO



"EROSION & SEDIMENT CONTROL PLAN"

GRADING, DRAINAGE, AND EROSION CONTROL PLAN
OF
2755 15TH AVENUE
A.P.N.: 009-383-012
CARMEL, CALIFORNIA
KSHIRE PROPERTY INVESTMENTS LLC

SCALE: 1" = 10'
DATE: SEP 2025
JOB No. 2822-02
SHEET C6
OF 7 SHEETS

No.	DATE	BY	REVISION
	09/23/25	JAN	ADU
	06/25/25	JAN	RELEASED TO CLIENT

SITE GRADING:
THE PROPOSED GRADING INCLUDES APPROXIMATELY 25 CY OF CUT & 55 CY OF FILL.

CONSTRUCTION STAGING:

- A. MOBILIZE, CLEAR AND GRUB
B. SITE GRADING
C. UTILITY INSTALLATION
D. CONSTRUCT STRUCTURE
E. INSTALL PAVERS AND LANDSCAPING
F. SITE CLEANING, PUNCH LIST

MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY. SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

HAUL ROUTES:
HAUL TRUCKS SHALL BACK ONTO THE SITE FROM 15TH AVE. HAUL TRUCKS WILL EXIT THE SITE, HEADING WEST ON 15TH AVE. THEY WILL THEN FOLLOW THE ROUTE SHOWN IN DETAIL B, FROM 15TH AVE TO MONTE VERDE ST TO SANTA LUCIA AVE TO RIO RD TO CA HWY 1. FLAGGERS SHALL BE STATIONED ON 15TH AVE AS TRUCKS BACK FROM THE PUBLIC RIGHT-OF-WAY ONTO THE SITE. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE EASEMENT/DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

TRUCK STAGING AREA:
VEHICLES OR TRUCKS SHALL NOT QUEUE ON 15TH AVE. TRUCKS SHALL QUEUE OFFSITE AND BE DIRECTED TO APPROACH THE SITE BY ONSITE PERSONNEL VIA RADIO OR PHONE.

EMPLOYEE PARKING:
EMPLOYEES SHALL PARK ON SITE WHENEVER POSSIBLE. EMPLOYEES SHALL CARPOOL WHENEVER POSSIBLE. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION:
ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

NUMBER OF EMPLOYEES ONSITE PER DAY: APPROXIMATELY 10-20

NUMBER OF TRUCK TRIPS/DAY: 4

AMOUNT OF GRADING/DAY: 80 C.Y.

HOURS OF OPERATION/DAY: 8

DAYS OF OPERATION: MONDAY THROUGH FRIDAY

TIME OF OPERATION: 8:00 AM - 4:30 PM

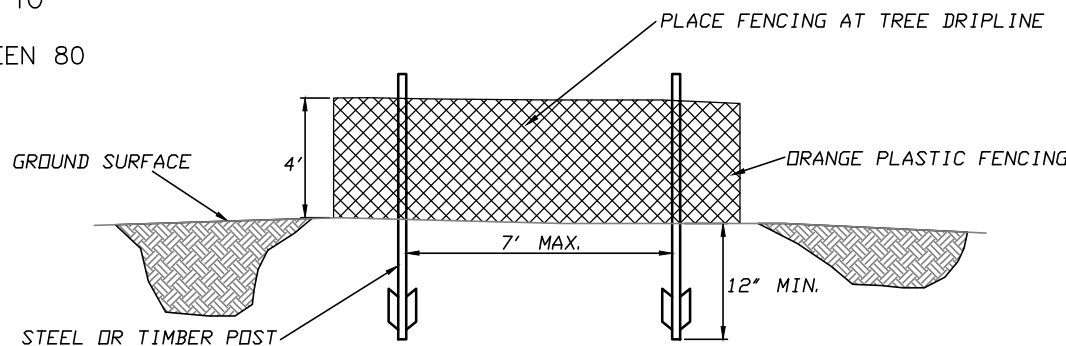
PROJECT SCHEDULING: PROJECTED START DATE IS JANUARY 1, 2026. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.

TRUCK TRIP GENERATION CHART:

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION	4	5
GRADING & SOIL REMOVAL (EXPORT)	4	1
ENGINEERING MATERIALS (IMPORT)	-	-
TOTALS	8	6

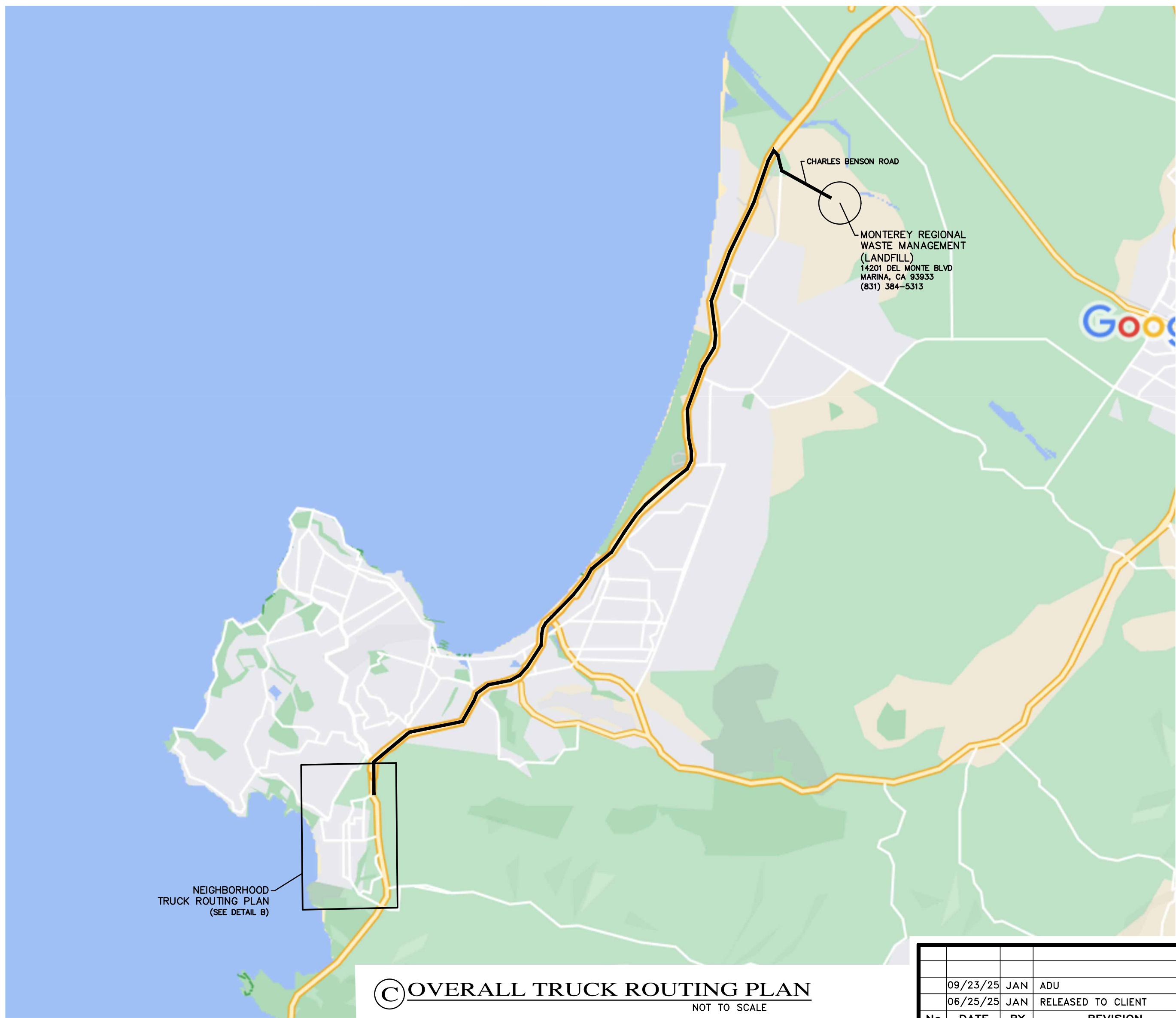
TRUCK TRIP GENERATION NOTES:

- TRUCK TRIPS FOR THE GRADING/SOIL IMPORT IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 4 TRUCK LOADS PER DAY.
- THERE ARE APPROXIMATELY 30 CUBIC YARDS OF SOIL MATERIAL TO BE IMPORTED TO THE SITE.
- GRADING OPERATIONS SHALL TAKE APPROXIMATELY 6 WORKING DAYS TO COMPLETE.
- THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 100 CUBIC YARDS.



ESA FENCING
NOT TO SCALE

PLAN
SCALE: 1" = 10'

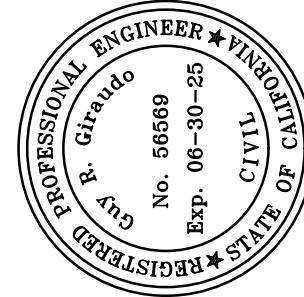


"CONSTRUCTION MANAGEMENT PLAN"
GRADING, DRAINAGE, AND EROSION CONTROL PLAN
OF
2755 15TH AVENUE
A.P.N.: 009-383-012
CARMEL, CALIFORNIA
KSHIRE PROPERTY INVESTMENTS LLC

SCALE: 1" = 10'
DATE: SEP 2025
JOB No. 2822-02

SHEET **C7**

OF 7 SHEETS



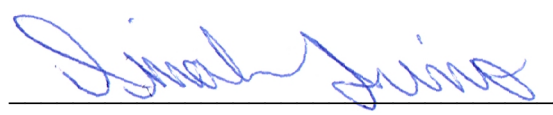
APPROVED BY:

GUY R. GIRARDO

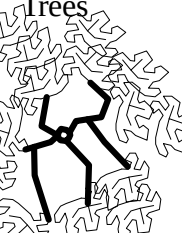
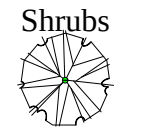
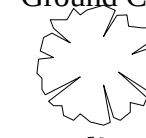
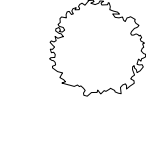


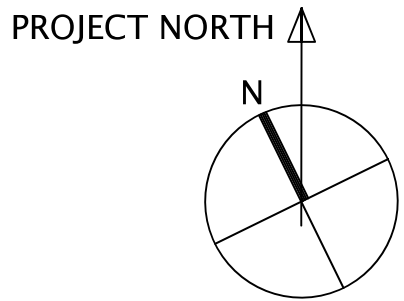
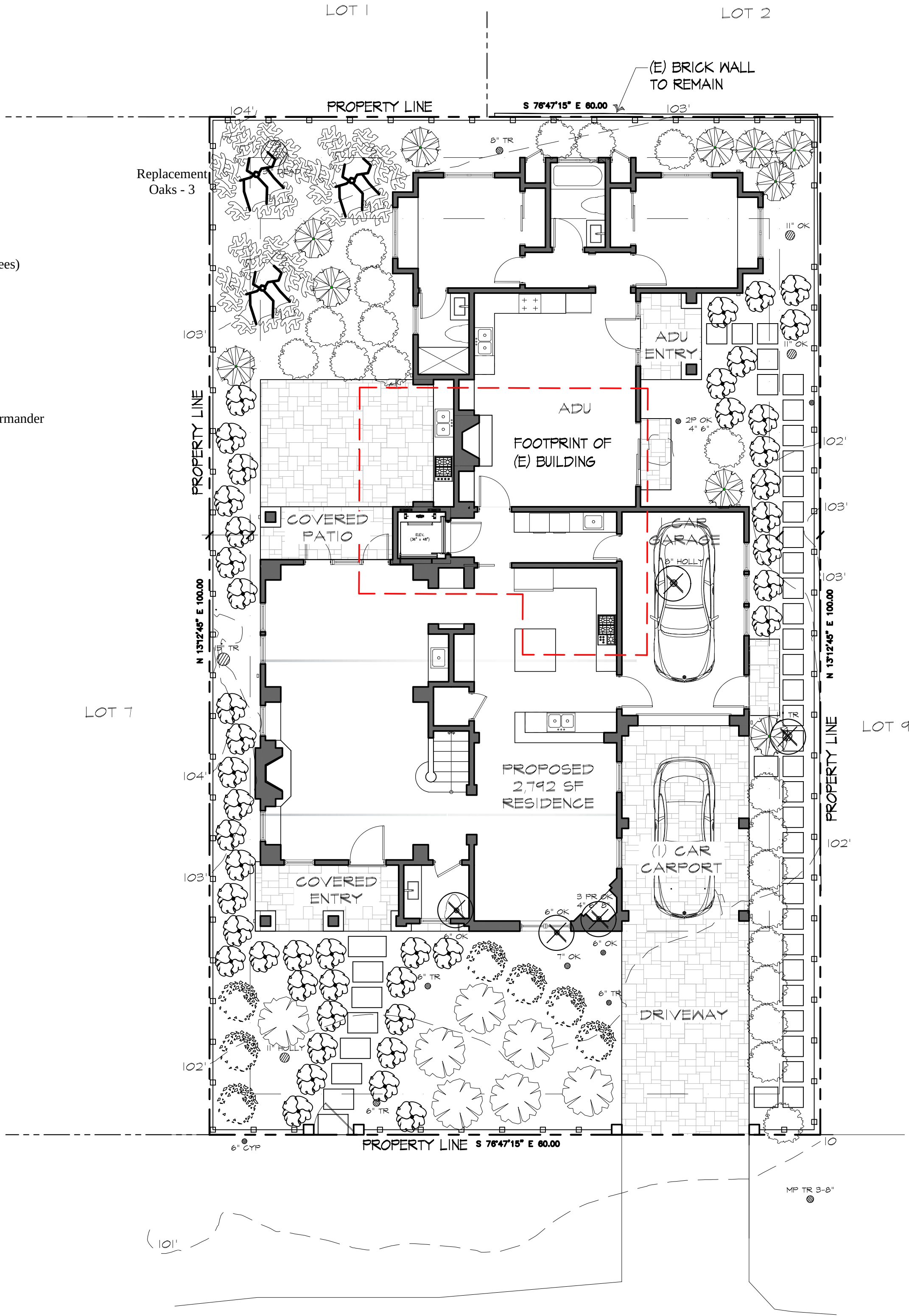
Landscaping Notes

1. Soil to be amended with compost at time of planting. Compost at a rate of a minimum of four (4) cubic yards per 1,000 sq.ft. of permeable area, and incorporated to a depth of six (6) inches into the soil. Soils with greater than 6% organic matter in the top 6 inches of soil are exempt from adding compost and tiling.
2. A minimum three (3) inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf, creeping or rooting ground covers, or direct seeding applications where mulch is contraindicated. To provide habitat for beneficial insects and other wildlife, up to 5% of the landscape area may be left without mulch. Designated insect habitat will be indicated on the landscape plan if applicable.
3. Hydrozone areas of chosen plants are indicated on plan. All plants are low hydrozone.
4. "I have complied with the criteria of the ordinance (MWELO) and applied them for the efficient use of water in the landscape design plan."
5. "I have complied with the Monterey Peninsula Water Management District Water Efficient Landscape Requirements including, but not limited to, the use of climate appropriate, non-invasive species, and limited Turf."

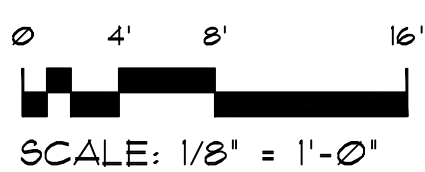

Dinah Irino, Floravista

PLANT LIST (all plants are low hydrozone)

Symbol	Q/Size	Name
Trees		
	3/15 gal.	Quercus agrifolia - Coast Live Oak (replacement trees)
Shrubs		
	9/5 gal.	Ribes sanguineum - Red Flowering Current
	7/5 gal.	Teucrium fruticans 'Compactum' - Dwarf Bush Germander
Perennials		
	46/1 gal.	Choose a mix of the following: Achillea filipendulina - Fernleaf Yarrow Limonium perezii - Statice Penstemon sp. - Penstemon Salvia leucantha - Mexican Sage Tulbagia violacea - Society Garlic
Ground Cover		
	7/1 gal.	Cistus salvifolius 'Prostratus' - Sageleaf Rockrose
	19/1 gal.	Correa 'Dusky Bells' - Australian Fuchsia



LANDSCAPE PLAN



LEGEND
 = TREE TO BE REMOVED

Project: **Kshire Property Investments LLC**
2755 15th Avenue, Carmel, CA
APN 009-383-012-000
Contact: KinEra Global Services
408-791-0120

Landscape Plan

Scale: 1/8" = 1'0" Date: 9/8/2025

Floravista
Dinah Irino
Landscape Designer
982 Phoenix Avenue
Ventura, CA 93004
831.261.4840
flora.vista@sbcglobal.net

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (ETo) 36.0

Hydrozone # (Planting Description*)	Plant Factor (PF)	Irrigation Method*	Irrigation Efficiency (IE)*	ETAF (PFIE)	Landscape Area (sq.ft.)	ETAF x Area	Estimated Total Water Use (ETWU)*
Regular Landscape Areas							
all plants - low hydrozone	0.20	drip	0.81	0.25	1,449	358	7,986
		drip	0.81	0.00			
		drip	0.81	0.00			
		drip	0.81	0.00			
		drip	0.81	0.00			
		drip	0.81	0.00			
		drip	0.81	0.00			
				Totals	1,449	358	7,986
Special Landscape Areas							
				Totals	0	0	0
						ETWU Total	7,986
						Maximum Allowed Water Allowance (MAWA)*	17,788

* Hydrozone #/Planting Description
E.g.
1.) high water use
2.) low water use
3.) moderate water use

* Irrigation Method
overhead spray
or drip

* Irrigation Efficiency
0.75 for spray head
0.81 for drip

* ETWU (Annual Gallons Required)
Eto x 0.62 x ETAF x Area

* MAWA (Annual Gallons Allowed)
(Eto) (.062) [(ETAF x LA) + ((1-ETAF) x SLA)]

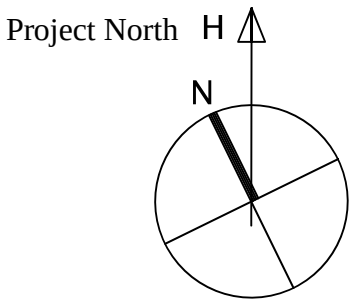
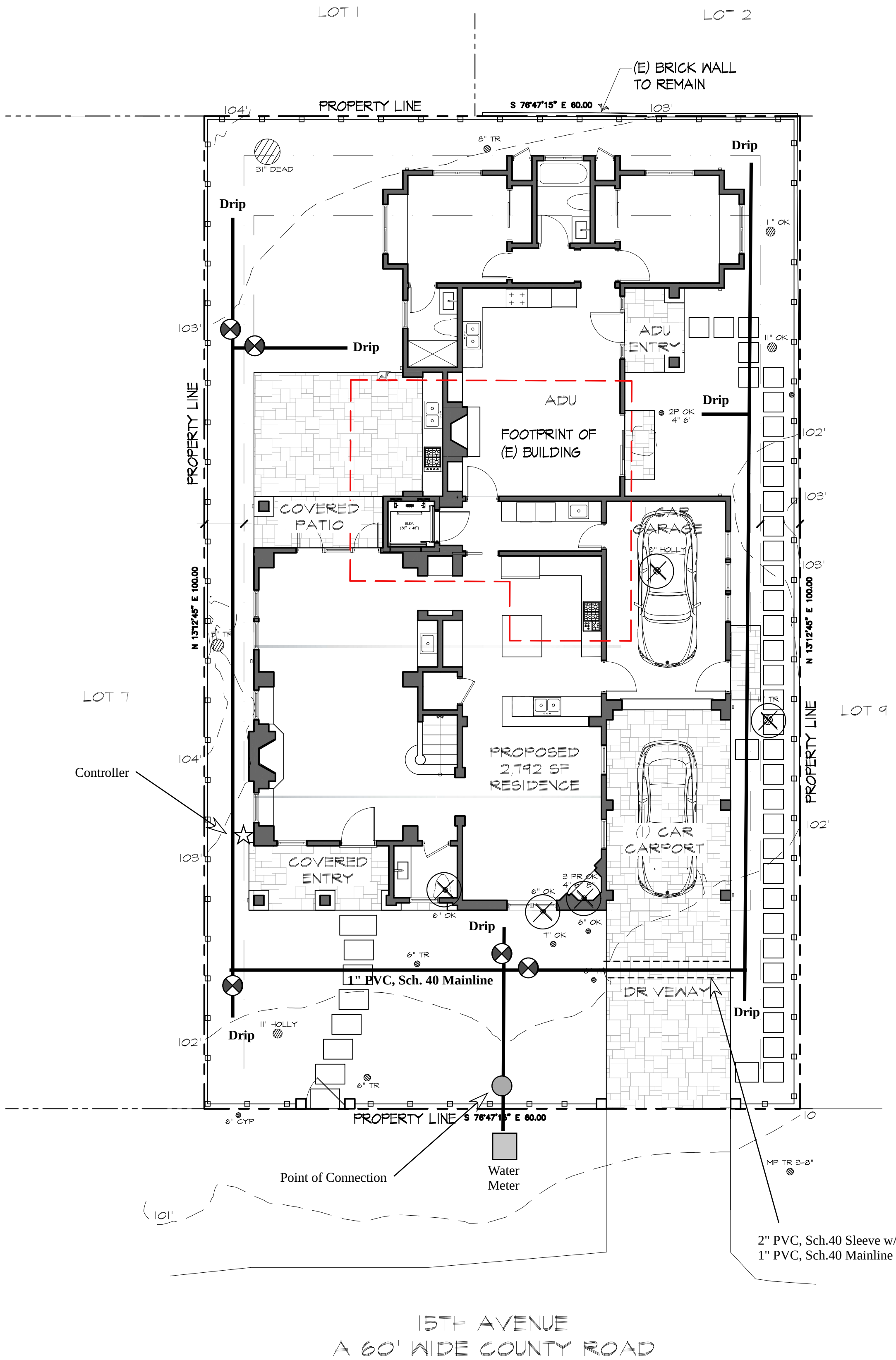
ETAF CALCULATION

Regular Landscape Areas	
Total ETAF X Area	358
Total Area	1,449
Average ETAF	0.25

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas	
Total ETAF X Area	358
Total Area	1,449
Sitewide ETAF	0.25

Powered by:



IRRIGATION PLAN

0 4' 8' 16'
SCALE: 1/8" = 1'-0"

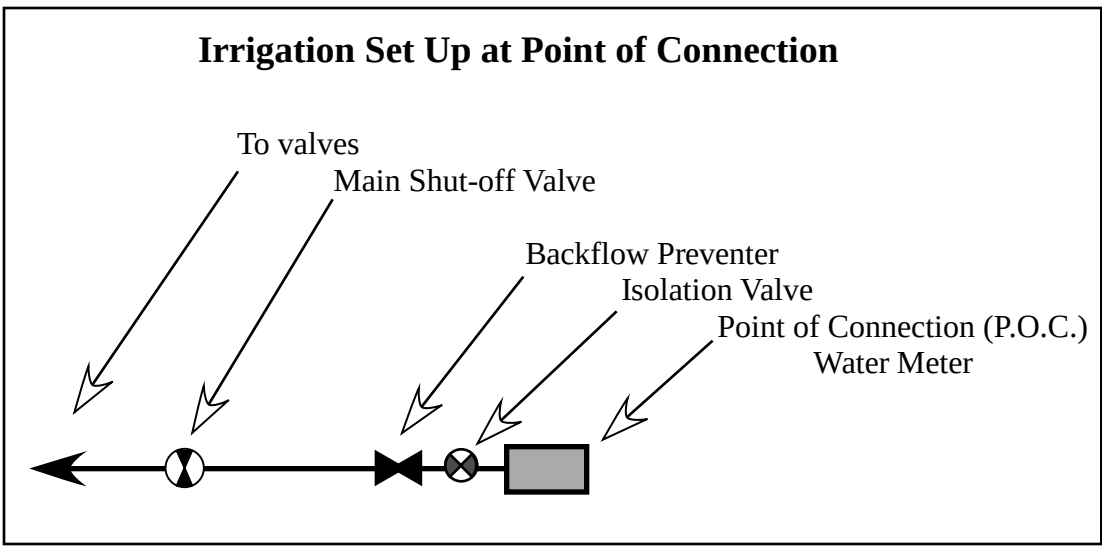
IRRIGATION NOTES

- Using a point of connection (water meter) as shown on plan, a 1" main line PVC will run to the valves. Installer to verify point of connection.
- All landscape will be drip irrigated. Within the planting beds 1/2" drip tubing will be used with emitters leading to each plant as follows:
 - 1 GPH emitter for each 1 gallon plant
 - 1 GPH emitters for each 5 gallon plant
 - 1 GPH emitters for each 15 gallon plant
- A backflow device will be used to prevent any contamination of drinking water. The Wilkins LF975XL will be used. Additionally the following components will be attached to each drip valve: Filter and pressure regulator.
- A controller will be used to regulate watering. A Hunter Pro-C is recommended used with a wireless on site weather station (Solar Sync), which will suspend or alter irrigation operation during unfavorable weather conditions. A similar "water sense" labeled controller may be used if desired.
- All work to conform to state and local codes (i.e. wiring depth of lines, flushing mainlines, and laterals, etc.).
- This drawing is diagrammatic therefore changes may be made due to conditions at the site. Contractor to make a note of changes.
- Irrigation parts and supplies are available at: Hydro Turf; 750 Work Street; Salinas (754-2020 office/754-2096 fax).
- Estimated static pressure at the site is 60psi. If pressure is significantly lower or higher pressure regulation will be needed.
- Install a Neptune T-10 Water Meter to facilitate water management on commercial sites of 1,000 - 5,000 sq.ft and residential sites over 5,000 sq.ft. N/A
- For sites with landscaping over 5,000 sq.ft. install a flow meter. A Badger Industrial/Data Industrial Impeller series 228 PVC Irrigation Sensor #228PV1506-1211. is recommended. N/A Manual and master shut-off valves to be installed as shown.
- Any spray portions of the irrigation will be irrigated with MP Rotators for maximum water efficiency with head to head coverage, with check valves, and installed on swing joints. N/A
- Trees to be on a dedicated valve where feasible as shown.
- Hydrozones areas are indicated on plan. All valves irrigate low hydrozone plants.
- "I have complied with the criteria of the ordinance (MWEL0) and applied them accordingly for the efficient use of water in the irrigation design plan"
- "I have complied with the Monterey Peninsula Water Management District Water Efficient Landscape Requirements including, but not limited to, the use of climate appropriate, non-invasive species, and limited Turf."

John Davis

IRRIGATION LEGEND & KEY

Symbol	Name	Manufacture & Model	Details
★	Controller	Hunter Pro-C	w/wireless Solar Sync
➡	Backflow preventer	Wilkins 375XL	reduced pressure backflow assembly
----	conduit		3/4" PVC
—	Mainline		1" PVC, sch. 40
⊗	Master/Main Shut-off Valve		PEX Ball Valve
=====	Sleeve		2" PVC, sch. 40
⊙	Valves	Weathermatic 21000 series	normally closed, forward flow design
---	--this is the beginning of 1/2" drip distribution tubing--		
⊙	Emitters	Hunter HE-10-B	1 GPH
⊙	Filter	Hunter HFR-100-075-25	regulator/filter combo
⊙	Pressure Reg.	<see above>	



LEGEND

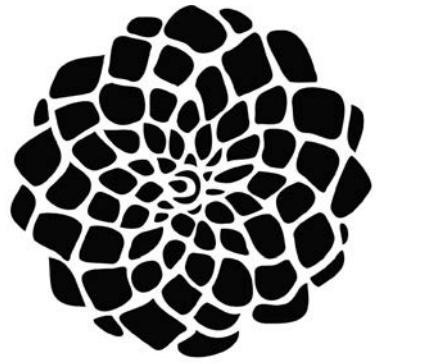
⊗ = TREE TO BE REMOVED

Project: **Kshire Property Investments LLC**
2755 15th Avenue, Carmel, CA
APN 009-383-012-000
Contact: KinEra Global Services
408-791-0120

Irrigation Plan

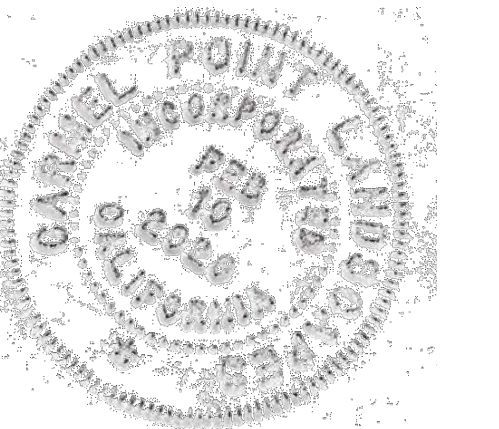
Scale: 1/8" = 10" Date: 9/8/2025

Flora Vista
Dinah Irino
Landscape Designer
982 Phoenix Avenue
Ventura, CA 93004
831.261.4840
flora.vista@sbcglobal.net



CARMEL POINT
LANDSCAPES

LIC # 106873
P.O. BOX 4195,
Carmel-by-the-Sea,
CA. 93921
(831)574-9837
carmelpointlandscapes.com



JACOB RADZINSKI
LANDSCAPE DESIGNER
CARMEL POINT LANDSCAPES

PROJECT:
2755 15TH AVENUE
APN: 009383012000

OWNER/ CLIENT:
KSHIRE PROPERTY
INVESTMENTS LLC

SCOPE:
LIGHTING PACKET

PROGRESS ISSUE:

NAME:	PROGRESS SUBMIT:	DATE:
	LIGHTING PACKET	10.7.25

NOTES FOR CONSTRUCTION:

DISCLAIMER:
All plans created by Carmel Point Landscapes are made exclusively for landscape purposes and do not constitute civil engineering or architecture plans. Carmel Point Landscapes shall not be held liable for any damages or claims arising from the use of these plans by other contractors or installers. Field verify all measurements before commencing construction.

SHEET TITLE:
LIGHTING PLAN

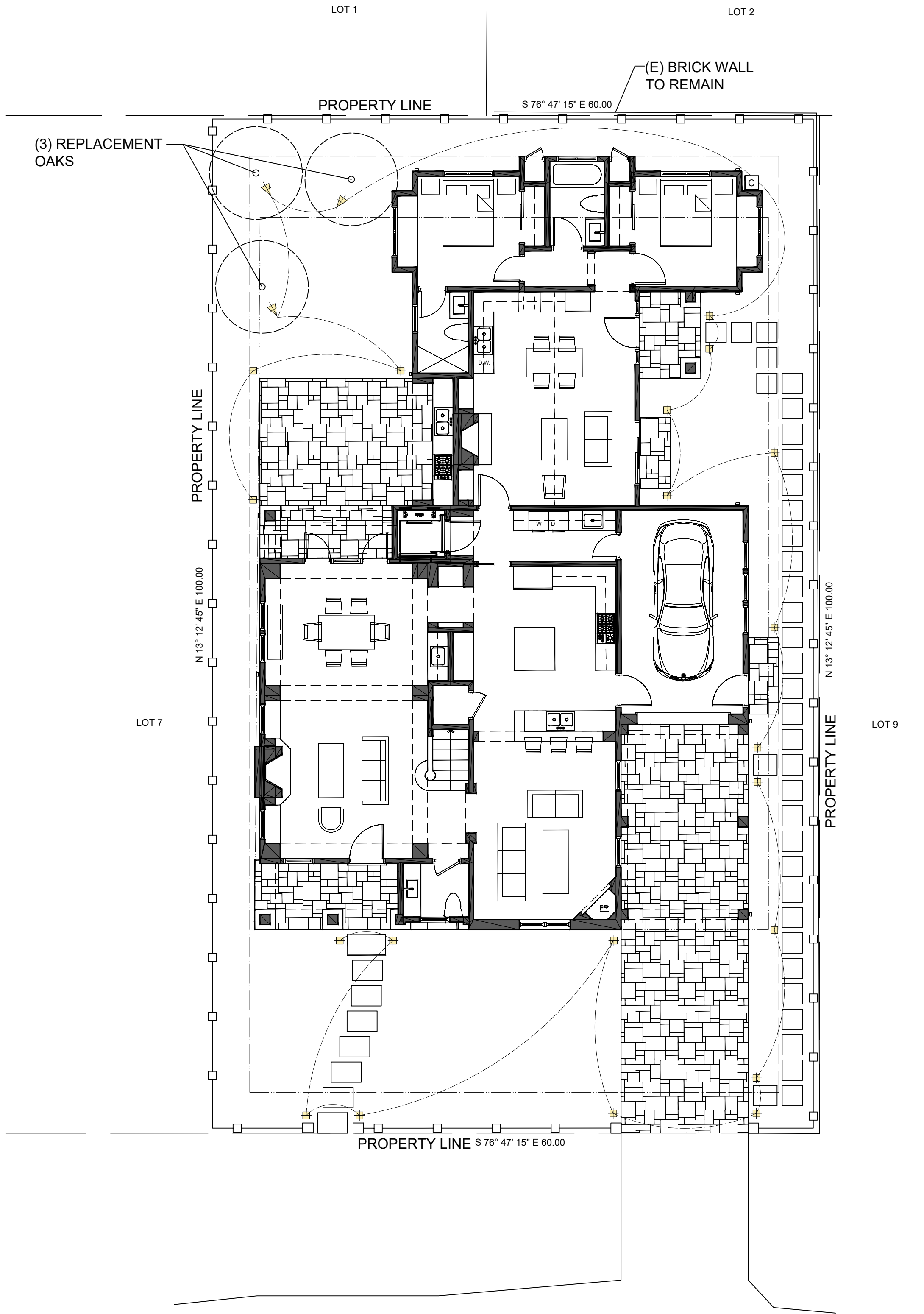
SCALE: 1/8" = 1'-0" 7 OCTOBER 2025
SHEET NUMBER:

LA - 1.00

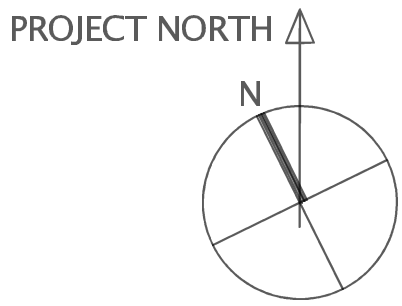
- NOTE:
- Contractor to verify all locations and fixtures with Client and Landscape Designer prior to ordering.
 - See LA-1.01 for general lighting specs.
 - Contractor to coordinate with client regarding switching of proposed lighting zones with house lighting system.
 - Landscape transformer to be located in field by Electrical Contractor. Locations to be confirmed with Landscape Designer prior to trenching and installation.
 - Transformers shall not be in view of any areas intended for regular use by the client.
 - Transformers shall not be located as to convey any noise or vibration into a habitable structure or general seating area.
 - Any utility or electrical pull boxes to be located no closer than 3' from any lawn or paving Locations to be reviewed in field with Landscape Designer prior to installation and trenching.

LIGHTING SCHEDULE

Symbol	Quantity	Type	Model/Manufacturer
	20	Path Light	Model #: C-PL-7-L-ED20W-18R-AB Manufacturer: FXLuminaire SEE LA-1.01 FOR COMPLETE SPECS
	3	Up Light	Model #: CA-51-E6-W-WF-AB Manufacturer: FXLuminaire SEE LA-2.01 FOR COMPLETE SPECS
	1	Controller	Model #: DX-300-SS Manufacturer: FXLuminaire SEE LA-2.01 FOR COMPLETE SPECS

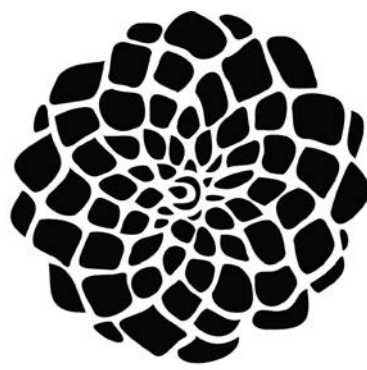


15TH AVENUE
A 60' WIDE COUNTY ROAD



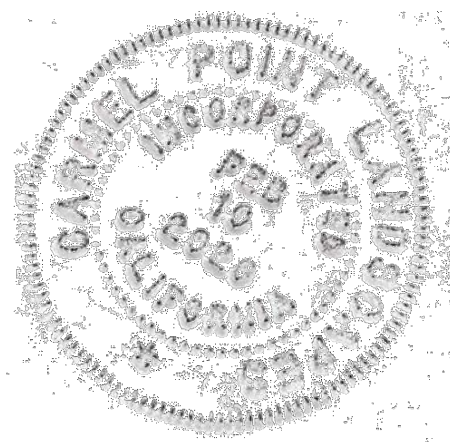
LIGHTING PLAN

0 4' 8' 16'
SCALE: 1/8" = 1'-0"



CARMEL POINT
LANDSCAPES

LIC # 106873
P.O. BOX 4195,
Carmel-by-the-Sea,
CA. 93921
(831)574-9837
carmelpointlandscapes.com



JACOB RADZINSKI
LANDSCAPE DESIGNER
CARMEL POINT LANDSCAPES

PROJECT:
2755 15TH AVENUE
APN: 009383012000

OWNER/ CLIENT:
KSHIRE PROPERTY
INVESTMENTS LLC

SCOPE:
LIGHTING PACKET

PROGRESS ISSUE:

NAME: PROGRESS SUBMIT: DATE:

LIGHTING PACKET 10.7.25

NOTES FOR CONSTRUCTION:

DISCLAIMER:
All plans created by Carmel Point Landscapes are made exclusively for landscape purposes and do not constitute civil engineering or architecture plans. Carmel Point Landscapes shall not be held liable for any damages or claims arising from the use of these plans by other contractors or installers. Field verify all measurements before commencing construction.

SHEET TITLE:

LIGHTING NOTES

SCALE: 1/8" = 1'-0" 7 OCTOBER 2025
SHEET NUMBER:

LA - 1.01

1. PATH LIGHT

PATH LIGHTS

CORACOLLECTION

CP-L

CP-L4, CP-L7

Made with durable, select brass, these compact path lights are the perfect additions to projects for budget-conscious clients. Due to their corrosion-resistant construction, they're especially at home in coastal regions.

CP-L4CP-L7

4.3" (109 mm)

6.5" (165 mm)

15.0" (381 mm)

21.5" (546 mm)

CP-L4

CP-L7

KEY FEATURES

- Select brass construction and black oxide stainless steel hardware deliver strong corrosion resistance, increased durability, and an elegant look
- Compatible with the Luxor® Low-Voltage CUBE for powerline zoning and smooth dimming
- Available in a warm (2700K) color temperature
- Antique bronze finish provides increased durability and elegant look

CORA CP-L4 PETITE PATH LIGHT & CORA CP-L7 PATH LIGHT

Light Source	G4 LED
Power	LED20W
Total Lumens (lm)	45
Power Consumption (VA)	1.3
LED Color	
Rated Life, L70 B10 (Hrs)	33,000
Control	● ■
Included Components	Large Slot Spike
International (CE)	North America Only
Finish	AB

● On/Off ■ Phase Dimmable ■ 2700K

56 |

SPECS:

Model #: C-PL-7-LED20W-18R-AB
Manufacturer: FXLuminaire

Control: N/A
Color: Warm (2700K)
Finish: Antique Bronze
Total Lumens (lm) 35 lm
Input Voltage (V): 10-15
Power Consumption (VA): 1.3
Efficacy (lm/W): 30.0
Minimum Rated Life: 33,000 Hrs
Mounting Height: 18 in. Riser

2. UP LIGHT

ACCENT LIGHTS

CORACOLLECTION

CA-51

C-UL

Made with durable, select brass, these elegant accent lights are the perfect additions to lighting projects with modest budgets.

CA-51C-UL

2.2" (56 mm)

2.4" (61 mm)

7.9" (201 mm)

6.5" (165 mm)

CA-51

C-UL

KEY FEATURES

- Select brass construction and black oxide stainless steel hardware deliver strong corrosion resistance, increased durability, and an elegant look
- Multidirectional fixture offers up/down capability for added design flexibility
- Preinstalled with a 10' (3 m) or extra-long 26' (8 m) wire lead for high and hard-to-reach installations
- Features ProAim® Technology with over 220° of vertical adjustability and compress-and-lock features to prevent slip after installation

CORA CA-51 ACCENT LIGHT

Light Source	MR-16 LED Lamp
Power	ECO20WFL
Total Lumens (lm)	250
Power Consumption (VA)	6.0
LED Color	
Rated Life (L70 B10 Hrs)	30,000
Control	● ■
Beam Angles	FL (30°)
Glare Control	Adjustable (CU-L), 45° Angled (CA-51)
Included Components	Large Slot Spike (CU-L) Super Slot Spike, Lock Ring, Mini Mount Wall Bracket (CA-51)
International (CE)	North America only
Finish	AB

● On/Off ■ Phase Dimmable ◆ Addressing and Zoning w/Luxor ◆ Luxor Dimming ■ 2700K ■ 3000K

CORA C-UL ACCENT LIGHT

Light Source	MR-16 LED Lamp
Power	ECO20WFL
Total Lumens (lm)	250
Power Consumption (VA)	6.0
LED Color	
Rated Life (L70 B10 Hrs)	30,000
Control	● ■
Beam Angles	FL (30°)
Glare Control	Adjustable (CU-L), 45° Angled (CA-51)
Included Components	Large Slot Spike (CU-L) Super Slot Spike, Lock Ring, Mini Mount Wall Bracket (CA-51)
International (CE)	North America only
Finish	AB

● On/Off ■ Phase Dimmable ◆ Addressing and Zoning w/Luxor ◆ Luxor Dimming ■ 2700K ■ 3000K

31 |

SPECS:

Model #: CA-51-E6-W-WF-AB
Manufacturer: FXLuminaire

Control: N/A
Color: Warm (2700K)
Finish: Antique Bronze
Total Lumens (lm) 395 lm
Input Voltage (V): 10-15
Power Consumption (VA): 6.0
Efficacy (lm/W): 69.0
Minimum Rated Life: 30,000 Hrs

3. CONTROLLER

TRANSFORMERS AND CONTROLLERS

DX

The low-voltage, on/off DX Controller is the only digital facepack-controlled transformer with astronomical timing and event-based programming capabilities preinstalled.

DX

KEY FEATURES

- Digital facepack control with built-in astronomical timing
- Event-based programming with timed offsets
- 150 W and 300 W models
- 13 V, 14 V, and 15 V output taps
- Powder-coated galvanized steel and stainless steel finish options

DX CONTROLLER

Capacity (W)	150, 300
Input Power (Primary, VAC)	120
Output Voltage (Secondary, VAC)	13-15
Transformer Class	2
Plug Type	Type B
Integrated Control	Astronomical Timer, 12 VAC External Input
International (CE)	North America Only
Safety (UL 1838)	Yes
Pool & Spa Rated (UL 379)	Yes
Finish	SS, M

171 |

SPECS:

Model #: DX-300-SS
Manufacturer: FXLuminaire

Power: 300 watts
Input Primary: 120 Volts, 60 Hz
Input Amperage Primary: 2.68A
Output Voltage Secondary: 12 VAC, 13 VAC, 14 VAC
Maximum Open Circuit Volts: 15 VAC
Class 2