

ANZOATEGUI RESIDENCE

2975 CORMORANT RD., PEBBLE BEACH, CA.

JAMES
NEWHALL
SMITH
ARCHITECT, Inc.

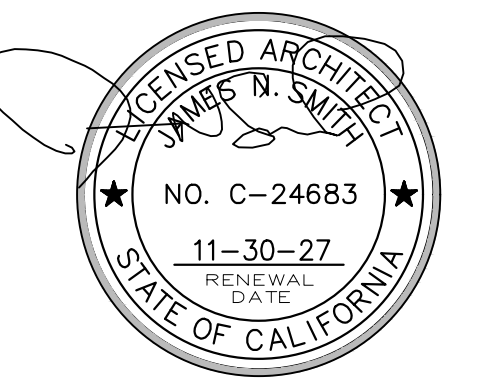
27880 DORRIS DR. #200
CARMEL VALLEY, CA.
93923

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PROJECT/CLIENT

ANZOATEGUI
RESIDENCE

2975 CORMORANT RD.
PEBBLE BEACH, CA.



SHEET TITLE

COVER SHEET

ISSUE REVISIONS

- ① 05-06-25 PRELIM. REVIEW
- ② 08-21-25 PEBBLE BEACH ARB
- ③ 01-12-26 P.B. RESUBMITTAL

DATE

PROJECT NUMBER

SHEET NUMBER

A0.0

PROGRESS SET - NOT FOR CONSTRUCTION

GENERAL NOTES

1. EXAMINATION OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT THIS WORK SHALL BE MADE IMMEDIATELY BY THE CONTRACTOR, WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. HE SHALL AT SUCH TIME ASCERTAIN AND CHECK LOCATIONS OF THE EXISTING STRUCTURES AND EQUIPMENT WHICH MAY AFFECT HIS WORK.

2. CONTRACTOR SHALL PROVIDE THE ARCHITECT, JAMES N. SMITH, AND OWNERS, ALVARO ANZOATEGUI AND JESSICA PURCELL, WITH A COMPLETE COST BREAKDOWN AND SCHEDULE OF CONSTRUCTION FOR THIS PROJECT PRIOR TO COMMENCEMENT OF WORK.

3. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS, INSPECTIONS, CERTIFICATES, AND FEES. HE SHALL ALSO BE RESPONSIBLE FOR FILING OF APPLICATION FOR PERMIT AND PLAN CHECK APPROVAL AS NECESSARY. (THIS SECTION SUBJECT TO OWNER'S REVIEW AND APPROVAL.)

4. CONTRACTOR SHALL PROTECT OWNER'S PROPERTY AND IMPROVEMENTS, NEW AND/OR EXISTING MATERIALS, AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC., AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC., AS REQUIRED TO PROTECT THE PUBLIC AND OWNER DURING THE PERIOD OF CONSTRUCTION. DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES, AND EQUIPMENT SHALL BE REPAIRED OR REPLACED. CONTRACTOR SHALL COORDINATE TEMPORARY BARRICADES WITH OWNER PRIOR TO COMMENCEMENT OF WORK AS NECESSARY.

5. MATERIALS THAT ARE SPECIFIED BY THEIR BRAND NAMES ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. ANY REQUEST FOR SUBSTITUTION SHALL BE SUBMITTED TO THE ARCHITECT AND OWNER FOR REVIEW FOR EQUAL QUALITY AND PRICE AND SHALL NOT BE PURCHASED OR INSTALLED WITHOUT THEIR WRITTEN APPROVAL. ALL NON-SPECIFIED PRODUCTS SHALL CONFORM TO REQUIREMENTS SET FORTH BY CODE COMPLIANCE OR INDUSTRY STANDARDS AND CONTRACTOR SHALL SUBMIT A LIST OF PRODUCTS AND MANUFACTURERS BEING USED FOR REVIEW BY THE ARCHITECT PRIOR TO PURCHASE OR INSTALLATION.

6. ALL CONSTRUCTION WORK, ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, ETC., AS MAY BE REQUIRED, SHALL CONFORM TO THE LATEST ADOPTED EDITION OF THE CALIFORNIA BUILDING CODE AND THE LATEST EDITION(S) OF ALL GOVERNING CODES AND REGULATIONS AS ADOPTED BY PEBBLE BEACH AND MONTEREY COUNTY. ALL WORK SHALL BE DONE IN A THOROUGH, WORKMANLIKE MANNER AND EQUAL TO THE BEST STANDARDS OF THE PRACTICE.

7. DIMENSIONS ON CONSTRUCTIONS DRAWINGS ARE TO FACE OF PLY SHEATHING, TYP, OR AS OTHERWISE NOTED TO BE FACE OF FINISH (F.O.F.), FACE OF COLUMN (F.O.C.), OR CENTER LINE OF OPENING, MULLION, PARTITION, OR COLUMN, ETC. SEE ALSO CORNER DETAIL ON A8 SHEETS

8. ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE. ANY DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT. CONTRACTOR AND/OR SUBCONTRACTORS SHALL NOT SCALE DRAWINGS. QUESTIONS REGARDING DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR OWNER PRIOR TO ANY START OF WORK.

9. ALL CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY ANY WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY CONSTRUCTION DOCUMENTS SHALL BE PROVIDED AS THOUGH ON ALL RELATED DOCUMENTS. DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. WORK THAT IS CONTINUED, COVERED UP OR COMPLETED WITHOUT SAID CLARIFICATION SHALL BE AT GENERAL OR SUB- CONTRACTOR'S RISK OF REPAIR, REPLACEMENT OR REWORKING AT HIS OWN EXPENSE.

10. ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONSTRUCTION DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR EXCEPT WHERE NOTED. THE CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE WITH MANUFACTURER'S REQUIREMENTS. WORK REQUIRED UNDER THIS CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, ETC. NECESSARY TO COMPLETE THIS PROJECT. ALL MATERIALS SHALL BE NEW AND UNUSED, UNLESS SPECIFICALLY NOTED AND BE A QUALITY ACCEPTABLE BY INDUSTRY STANDARDS.

11. THE USE OF THE WORD "PROVIDE" IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN THAT SUCH SHALL BE FURNISHED, INSTALLED, AND CONNECTED WHERE SO REQUIRED, EXCEPT AS NOTED.

12. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FABRICATED ITEMS, CUT SHEETS OF ALL FIXTURES AND EQUIPMENT, AND SAMPLES OF ALL FINISHES CALLED FOR BY THE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION AND/OR INSTALLATION.

13. THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS, INCLUDING PERMITTED "JOB COPY" SET(S) AND A COPY OF THE SOILS REPORT BY _____ DATED _____ ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. THE CONTRACTOR, IN ASSUMING RESPONSIBILITY FOR THE WORK INDICATED, SHALL COMPLY WITH THE SPIRIT AS WELL AS WITH THE LETTER IN WHICH THEY WERE DRAWN.

14. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS IN OR OUTSIDE THE JOB SITE.

15. THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.

16. ALL ELECTRICAL, MECHANICAL, AND PLUMBING WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, THE STATE FIRE MARSHALL, THE SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY, AND ANY APPLICABLE STATE OR LOCAL LAWS AND ORDINANCES. NOTHING ON THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

17. WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED IN ORDER TO PROVIDE A COMPLETELY OPERABLE INSTALLATION WITHIN THE LIMITS AND SCOPE OF WORK, BUT WHICH MAY NOT BE SPECIFICALLY INCLUDED IN THE PLANS, SHALL BE PERFORMED BY CONTRACTOR AND INCLUDED IN HIS BID.

18. ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS IN DESIGN, INSTALLATION AND MATERIAL FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF COMPLETION.

19. CONTRACTOR SHALL PERSONALLY SUPERVISE AND DIRECT THE WORK OR SHALL KEEP A COMPETENT EMPLOYEE, AUTHORIZED TO RECEIVE INSTRUCTIONS AND ACT ON THE CONTRACTOR'S BEHALF, CONTINUOUSLY ON SITE DURING WORKING HOURS.

20. CONSULT WITH FORESTER PRIOR TO ANY TREE TRIMMING OR REMOVAL. TREES ADJACENT TO STRUCTURES AND OVER DRIVEWAYS SHALL BE TRIMMED TO CLEAR STRUCTURES AND PROVIDE 15' CLEARANCE OVER DRIVEWAYS. PROTECT OTHER TREES DURING CONSTRUCTION PER PEBBLE BEACH/COUNTY STANDARDS. TREES TO BE REMOVED SHALL INCLUDE REMOVAL OF ALL ROOT STRUCTURES AND CONTRACTOR SHALL COORDINATE WITH OWNER FOR POSSIBLE STACKING OF CUT WOOD FOR FUTURE FIREPLACE WOOD.

22. CONTRACTOR SHALL OBTAIN AN 8-1-1 / DIG ALERT TICKET PRIOR TO PERMIT ISSUANCE AND SHALL MAINTAIN THE TICKET IN ACTIVE STATUS THROUGHOUT THE PROJECT. TICKET SHALL BE KEPT ON SITE FOR INSPECTOR REFERENCE.

ABBREVIATIONS

EXIST'G (E)	EXISTING	G.W.B.	GYPSUM WALLBOARD
A.B.	ANCHOR BOLT	N.I.C.	NOT IN CONTRACT
APPROX.	APPROXIMATE	N.T.S.	NOT TO SCALE
BD.	BOARD	O.C.	ON CENTER
BLK.	BLOCK	O.D.	OUTSIDE DIAMETER
CAB.	CABINET	PLYWD.	PLYWOOD
CLR.	CLEAR	R.O.	ROUGH OPENING
CONC.	CONCRETE	SIM.	SIMILAR
CONT.	CONTINUOUS	S.S.D.	SEE STRUCTURAL DRAWINGS
D.S.	DOWNSPOUT	T&G	TONGUE AND GROOVE
F.O.C.	FACE OF CONCRETE	T.O.P.	TOP OF PLATE
F.O.S.	FACE OF STUDS	TYP.	TYPICAL
F.O.F.	FACE OF FINISH	U.N.O.	UNLESS OTHERWISE NOTED
GALV.	GALVANIZED	V.I.F.	VERIFY IN FIELD (OR WORK SITE)
G.I.	GALVANIZED IRON	V.W.O.	VERIFY WITH OWNER
GP.	GYPSUM	W/O	WITHOUT
		WP	WATERPROOF

SPECIAL INSPECTIONS AND OBSERVATIONS

- THE GEOTECHNICAL ENGINEER SHALL INSPECT THE BUILDING PADS AND FOUNDATION EXCAVATIONS PRIOR TO THE PLACEMENT OF REINFORCING BARS, AND SHALL SUBMIT WRITTEN APPROVAL TO THE BUILDING INSPECTOR BEFORE REQUESTING FOUNDATION INSPECTION AND POURING OF FOOTINGS.
- THE STRUCTURAL ENGINEER OF RECORD SHALL PROVIDE STRUCTURAL OBSERVATION THROUGHOUT THE VARIOUS PHASES OF THE PROJECT AND AS OUTLINED ON STRUCTURAL SHEETS
- ALL STRUCTURAL WELDING SHALL BE CONTINUOUSLY INSPECTED BY AN APPROVED INDEPENDANT INSPECTOR IF REQUIRED BY THE BUILDING CODE.

BUILDING DEPARTMENT NOTES

- NO PERSON MAY TAP INTO ANY FIRE HYDRANT OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MOUNTREY COUNTY HEALTH DEPARTMENT.
- ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A NOZZLE SHUT-OFF. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.
- NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONBLY AVAILABLE SOURCE OF RECLAIMED OR OTHER SUB-POTABLE WATER APPROVED BY THE MONTEREY COUNTY HEALTH DEPARTMENT AND APPROPRIATE FOR SUCH USE.
- THE USE OF SOLDERS CONTAINING MORE THAN 2/10ths OF 1% LEAD IN MAKING JOINTS ON PRIVATE OR PUBLIC WATER SUPPLY SYSTEMS IS PROHIBITED (SB 164).
- PROVIDE NON-REMOVABLE BACKFLOW DEVICES AT ALL HOSEBIBS.
- THE BULDER/CONTRACTOR SHALL PROVIDE THE OWNER AND THE BUILDING DEPARTMENT WITH A COPY OF THE CF-6R INSTALLATION CERTIFICATE AT THE TIME OF FINAL INSPECTION.
- GRADING PERMIT, IF REQUIRED, IS BY SEPARATE PERMIT.
- SPRINKLER SYSTEM TO BE PER SEPARATE PERMIT.

ARCHAEOLOGICAL NOTE

IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. THE MONTEREY COUNTY RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST (I.E., AN ARCHAEOLOGIST REGISTERED WITH THE REGISTER OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR THE DISCOVERY.

DEFERRED SUBMITTALS

- RESIDENTIAL FIRE SPRINKLER SYSTEM TO BE BY SEPARATE PERMIT BY LICENSED FIRE SPRINKLER COMPANY.
- SOLAR PANEL ARRAY AND WIRING SYSTEM TO BE PER SEPARATE PERMIT BY APPROVED INSTALLER
- TRUSS CALCS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ANY TRUSS INSPECTIONS. CALCS BY MANUFACTURER SHALL INCLUDE TRUSS PROFILES AND LAYOUT PLANS.
- THE MANUFACTURED TRUSS SUBMITTALS SHALL BE REVIEWED (INDICATED BY LETTER OR STAMP, SIGNATURE AND DATE) BY THE ENGINEER OF RECORD FOR DESIGN COMPATIBILITY. A CERTIFICATION LETTER FROM THE ENGINEER SHALL BE SENT TO THE BUILDING DEPARTMENT STATING THIS APPROVAL.
- THE TRUSSES SHALL NOT BE INSTALLED UNTIL AN APPROVED JOB COPY OF THE TRUSS SUBMITTALS IS ISSUED BY THE BUILDING DEPARTMENT.
- GLU-LAM CERTIFICATES SHALL BE COPIED TO THE BUILDING DEPARTMENT.
- NEW SITE RETAINING WALLS HAVE NOT BEEN REVIEWED UNDER THIS PERMIT. A SEPERATE PERMIT APPLICATION IS REQUIRED FOR ALL NEW RETAINING WALLS.

DRAWING INDEX

ARCHITECTURAL

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- A0.1 RENDERING-FRONT
- A0.2 RENDERING-REAR
- A1.0 SITE PLAN
- A1.1 SITE PLAN-LIGHTING
- A1.D SITE PLAN-EXISTING // DEMO
- A1.OP SITE PLAN-PARKING
- A2.0 FLOOR PLAN-MAIN LEVEL
- A2.1 FLOOR PLAN-UPPER LEVEL
- A5.0 ROOF PLAN
- A6.0 EXTERIOR ELEVATIONS
- A6.1 EXTERIOR ELEVATIONS
- A6.2 EXTERIOR ELEVATIONS-ADU
- A6.3 EXTERIOR ELEVATIONS-FENCES
- A7.0 BUILDING SECTIONS

CIVIL

- C-1 GRADING AND DRAINAGE PLAN
- C-2 GRADING SECTIONS
- C-3 EROSION CONTROL PLAN
- C-4 CMP

LANDSCAPE

- L-1.1 LANDSCAPE PLAN

PROJECT DIRECTORY

PROPERTY OWNERS:
ALVARO ANZOATEGUI
AND JESSICA PURCELL
2975 CORMORANT RD
PEBBLE BEACH, CA. 93953
CONTACT: JESSICA PURCELL
(408)502-2608
EMAIL: JESSICA@GRANADA-CONSTRUCTION.COM

ARCHITECT:
JAMES N. SMITH, ARCHITECT, INC.
27880 DORRIS DR. #200
CARMEL, CA. 93923
CONTACT PERSON : JAMES SMITH
TEL. (831) 915-9518
EMAIL: JAMES@JNSARCH.COM

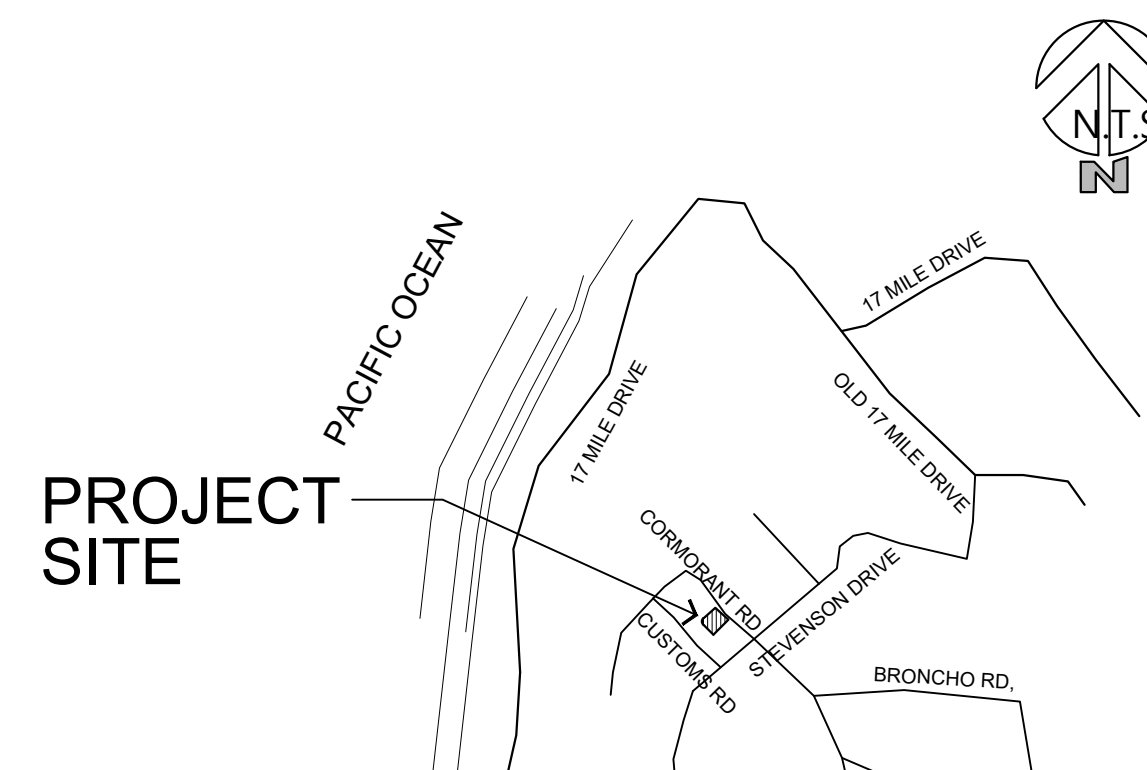
SOILS ENGINEER:
POLLACK ENGINEERING, INC.
909 UNIVERSITY AVE. #20
LOS GATOS, CA. 95032
CONTACT PERSON : ROBERT POLLACK
TEL. (408) 499-5589
EMAIL: -

STRUCTURAL ENGINEER:
TITLE 24 / MECHANICAL ENGINEER:
MONTEREY ENERGY GROUP
26465 CARMEL RANCHO BLVD. #8
CARMEL VALLEY, CA. 93923
CONTACT PERSON: DAVID KNIGHT
TEL. (831) 372-8328
FAX (831)372-4613
EMAIL: DAVE@MEG4.COM

CIVIL / SURVEYOR:
LANDSET ENGINEERS, INC.
520 B CRAZY HORSE CANYON RD.
SALINAS, CA. 93907
CONTACT PERSON: GUY GIRAUDO
TEL. (831) 443-6970

LANDSCAPE:
FLORAVISTA
DINAH IRING
19017 KAREN DR.
PRUNEDALE, CA. 93907
TEL. (831) 663-3652
CELL (831)261-4840
EMAIL: FLORA.VISTA@SBCGLOBAL.NET

VICINITY MAP



PROJECT SITE

PROJECT INFORMATION

- PROJECT DESCRIPTION:
DEMOLISH (E) ONE STORY RESIDENCE AND CONSTRUCT NEW TWO STORY SINGLE FAMILY RESIDENCE WITH ATTACHED 2 CAR GARAGE AND TRELISES. NEW DETACHED ADU AT REAR. NEW WOOD FENCES AT ALL FOUR PROPERTY LINES
- PROJECT ADDRESS:
2975 CORMORANT RD
PEBBLE BEACH, CA. 93953

PLANNING INFORMATION

- A.P.N. 007-262-003
- LEGAL DESCRIPTION LOT 3 BLOCK _____
- COUNTY OF MONTEREY ZONING: MDR / B-6-D-RES
- TITLE 21 (INLAND) ZONING ORDINANCE FOR MONTEREY COUNTY
ARCHAEOLOGICAL SENSITIVITY: HIGH
ASSS: N/A
SCHOOL DISTRICT: PACIFIC GROVE UNIFIED
COASTAL ZONE: NO
SEISMIC ZONE: III
LUAC: DEL MONTE FOREST LUAC
HISTORIC: NO
FLOOD HAZARD: MINIMAL

- MAX. ALLOWABLE BUILDING HEIGHT: 27'
DETACHED: 15' / ADU: 16'

- TREE REMOVAL: NONE

- APPROX. GRADING: 20 CY CUT, 5 CY FILL

PARKING REQUIRED	COVERED: 1	PARKING PROVIDED	COVERED: 2
	UNCOVERED: 1	UNCOVERED: 2	

BUILDING INFORMATION

- PROJECT CODE COMPLIANCE-CODE EDITIONS USED:
2022 CAL. BUILDING CODE-CBC 2022 CAL. RESIDENTIAL CODE-CRC
2022 CAL. ELEC. CODE-CEC 2022 CAL. MECH. CODE-CMC
2022 CAL. PLUMB. CODE-CPC 2022 CAL. ENERGY CODE-CEC
2022 CAL. CALGreen BLDG STNDS-CGBCS
2022 CAL. FIRE CODE-CFC

- CONSTRUCTION TYPE: VB
- BUILDING OCCUPANCY: R-3 / U

- FIRE DEPARTMENT:
FIRE DISTRICT: P.B.C.S.D.
AUTOMATIC SPRINKLERS REQUIRED: YES NFPA 13D PER 903.3.1.3
W/LD/LD URBAN INTERFACE CODES REQ'D: YES
W.U.I. ZONE: S.R.A.-MODERATE

- UTILITY PROVIDERS
SEWER: P.B.C.S.D.
WATER: CAL AM-MPWWMD
ELEC / GAS: PG&E

- HVAC SYSTEMS
RADIANT HEATING MAIN FLOOR-GYPCRETE
RADIANT HEATING UPPER FLOOR-WARMFLOOR, OR EO.
MINI-SPLIT COOLING-DUCTED OR NON-DUCTED? LINEAR DIFFUSERS PREFERRED

PROJECT SQUARE FOOTAGE INFORMATION

- TOTAL SITE AREA: = 10,972 S.F. (.25 Ac.)

PROPOSED LOT COVERAGE	
MAIN LEVEL	= 1,872 S.F.
GARAGE	= 650 S.F.
FIREPT	= 82 S.F.
LIVING RM TRELIS	= 217 S.F.
DINING RM TRELIS	= 183 S.F.
GUEST RM TRELIS	= 70 S.F.

PROPOSED COVERAGE	= 3,688 S.F.	(34.5%)
MAX. ALLOWABLE COVERAGE	= 3,840 S.F.	(35%)

PROPOSED FLOOR AREA RATIO (FAR)

MAIN LEVEL	= 1,872 S.F.
UPPER LEVEL	= 1,312 S.F.
TOTAL LIVABLE AREA	= 3,184 S.F.
GARAGE	= 650 S.F.

PROPOSED FLOOR AREA RATIO	= 3,834 S.F.	(33.6%)
MAX. ALLOWABLE FAR	= 3,840 S.F.	(35%)

- ADU = 874 S.F.

EXISTING FLOOR AREA	
EXISTING HOUSE	= 2,190 S.F.
EXISTING GARAGE	= 400 S.F.
EXISTING FLOOR AREA	= 2,590 S.F.

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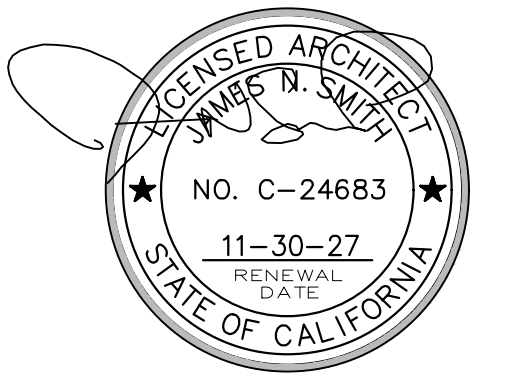
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RENDERING
FRONT

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- 1 05-06-25 PRELIM. REVIEW
- 2 08-21-25 PEBBLE BEACH ARB
- 3 01-12-26 P.B. RESUBMITTAL

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PROGRESS SET -- NOT FOR CONSTRUCTION

RENDERING - FRONT

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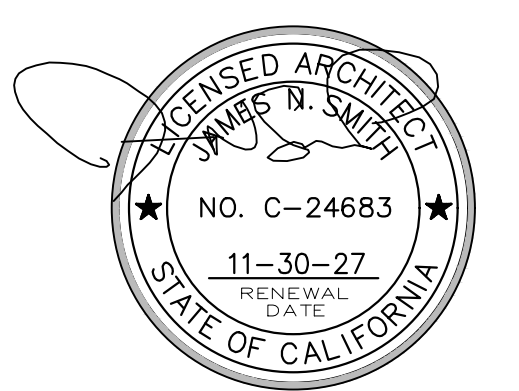
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SHEET TITLE

**RENDERING
REAR**

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PROGRESS SET -- NOT FOR CONSTRUCTION

RENDERING - REAR

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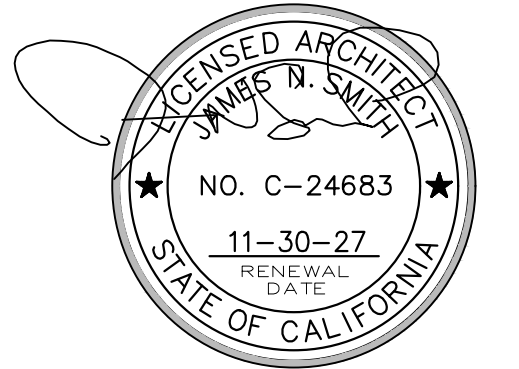
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SITE PLAN

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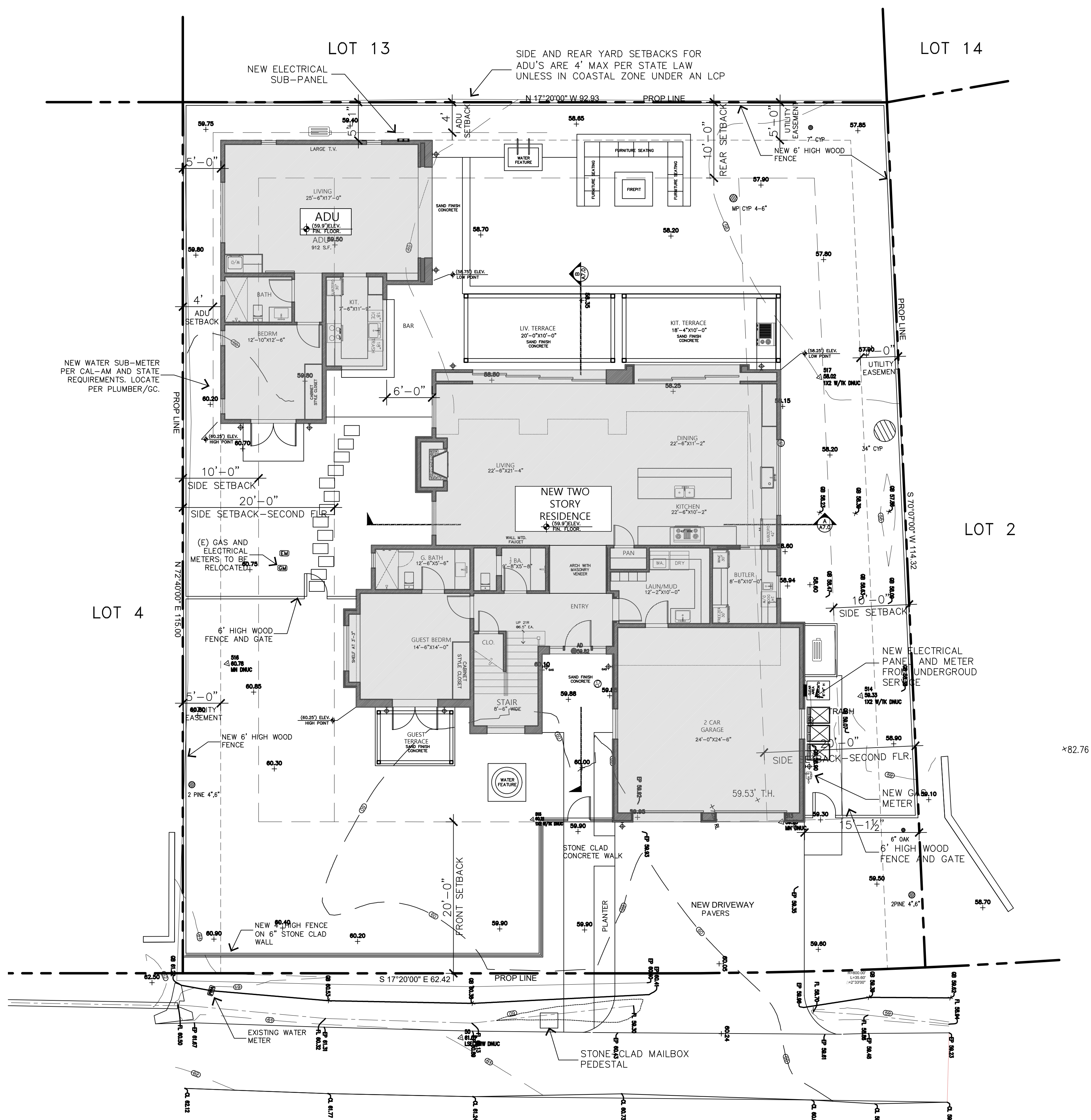
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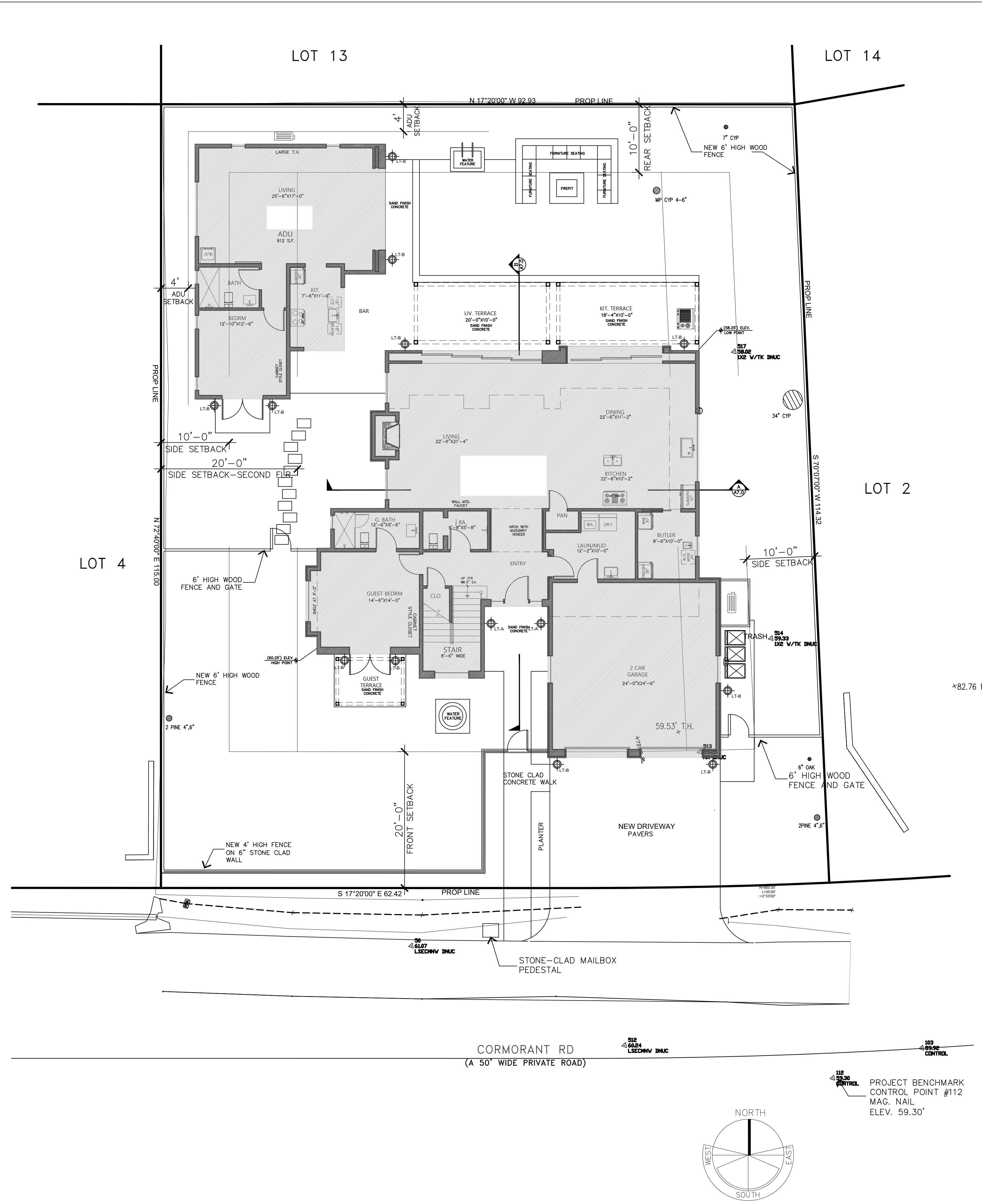
PROGRESS SET - NOT FOR CONSTRUCTION



SITE PLAN

SCALE : 1/8" = 1'-0"

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- ### LIGHTING NOTES
- EXTERIOR LIGHTING SHALL BE LIMITED TO 40 WATTS OF LESS PER FIXTURE.
 - ALL FIXTURES SHALL BE SHEILDLED AND DOWNWARD FACING. LIGHTING SHALL NOT PRODUCE GLARE TO ADJOINING PROPERTIES
 - SEE LANDSCAPE PLAN FOR LANDSCAPE LIGHTING SPECIFICATIONS AND LOCATIONS
 -

LT-A
 WALL LIGHT
 MODEL ALBERMARLE LARGE GAS WALL LANTERN
 FINISH: DARK BRONZE
 WATTS: 1350 BTU

TEAR SHEET

Albermarle Large Bracketed Gas Wall Lantern
 Item # CHO 2437BLK-CG
 Designer: Chapman & Myers

Height: 39.75"
 Width: 18"
 Extension: 19"
 Backplate: 4.5" x 6" Decorative
 Finishes: BLK, SC
 Glass Options: CG
 Lightsource: Gas Burner
 Wattage: 1350 - 1650 BTU
 Weight: 30 Pounds
 Note: Powder-Coated Aluminum | Brass Details and Iron Hardware | Natural Gas Only | Professional Installation Only | Limited Lifetime Warranty | Brass Will Patina

VISUAL COMFORT & Co.

LT-B
 WALL LIGHT
 MODEL HALLE LARGE NARROW WALL LANTERN
 FINISH: DARK BRONZE
 WATTS: LED 8

TEAR SHEET

Halle Large Narrow Wall Lantern
 Item # S 2197AI-CG
 Designer: Ian K. Fowler

Height: 26"
 Width: 8.5"
 Extension: 7.25"
 Backplate: 7" x 19.5" Rectangle
 Finishes: AI
 Glass Options: CG
 Socket: E26 Keyless
 Wattage: 8 LED T10
 Weight: 21 Pounds

VISUAL COMFORT & Co.

JAMES NEWHALL SMITH
 ARCHITECT, Inc.

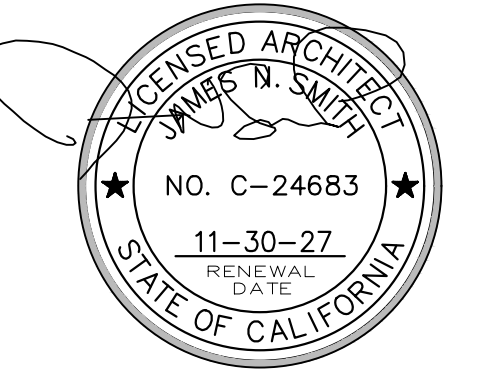
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831-915-9518
 JAMES@JNSARCH.COM

PROJECT/CLIENT

ANZOATEGUI
 RESIDENCE

2975 CORMORANT RD.
 PEBBLE BEACH, CA.



SHEET TITLE

LIGHTING PLAN

- ISSUE
- REVISIONS

- 05-06-25 PRELIM. REVIEW
- 08-21-25 PEBBLE BEACH ARB
- 01-12-26 P.B. RESUBMITTAL

- DATE
- PROJECT NUMBER
- SHEET NUMBER

PROGRESS SET - NOT FOR CONSTRUCTION

A1.0L

LIGHTING PLAN - BUILDINGS ONLY

SCALE: 1/8" = 1'-0"

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ARCHITECT, Inc.

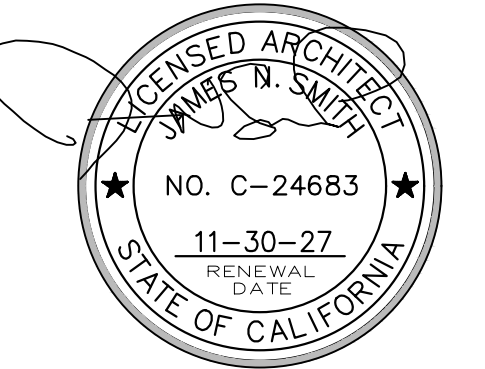
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RESIDENCE**

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PEBBLE BEACH, CA.



SHEET TITLE

DEMO PLAN

ISSUE REVISIONS

- ① 05-06-25 PRELIM. REVIEW
- ② 08-21-25 PEBBLE BEACH ARB
- ③ 01-12-26 P.B. RESUBMITTAL

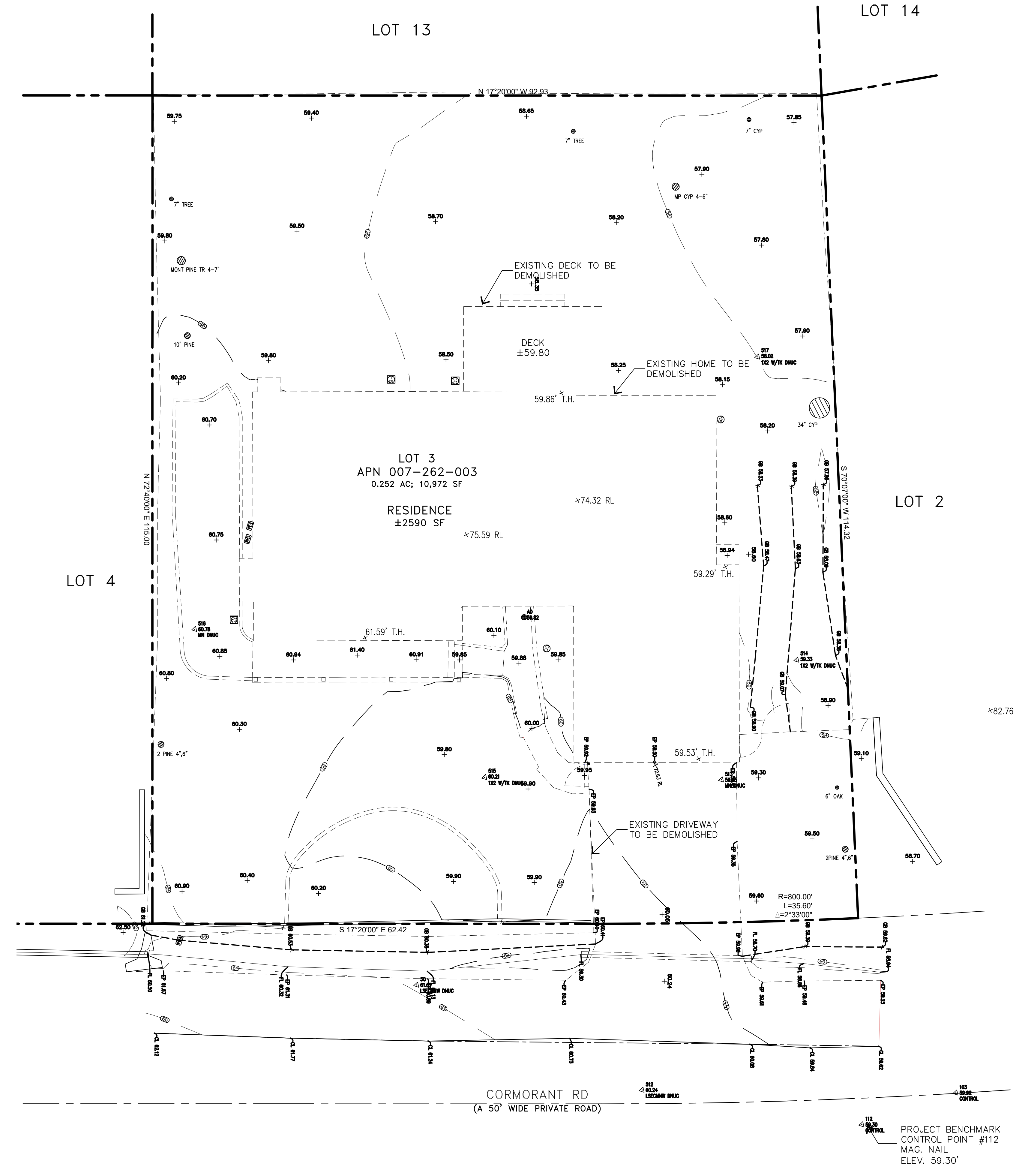
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PROJECT NUMBER

SHEET NUMBER

A1.D

PROGRESS SET - NOT FOR CONSTRUCTION



DEMO PLAN

SCALE: 1/8" = 1'-0"

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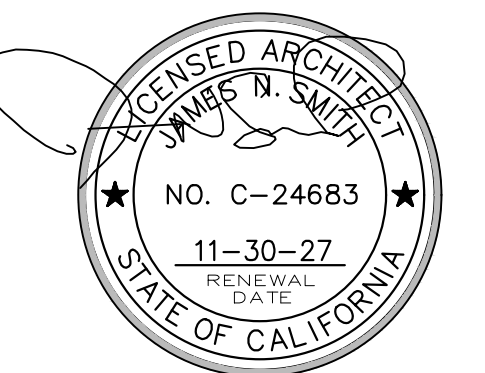
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RESIDENCE**

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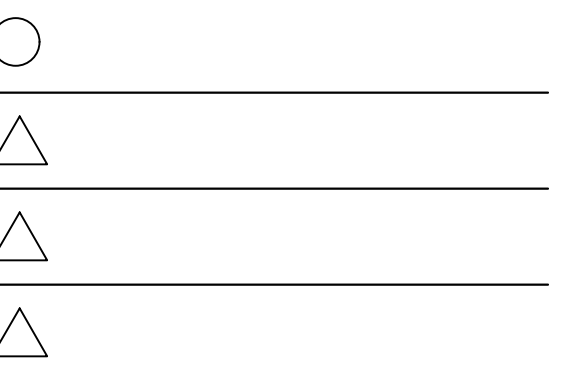


SHEET TITLE

PARKING SITE PLAN

ISSUE REVISIONS

- ① 05-06-25
PRELIM. REVIEW
- ② 08-21-25
PEBBLE BEACH ARB
- ③ 01-12-26
P.B. RESUBMITTAL



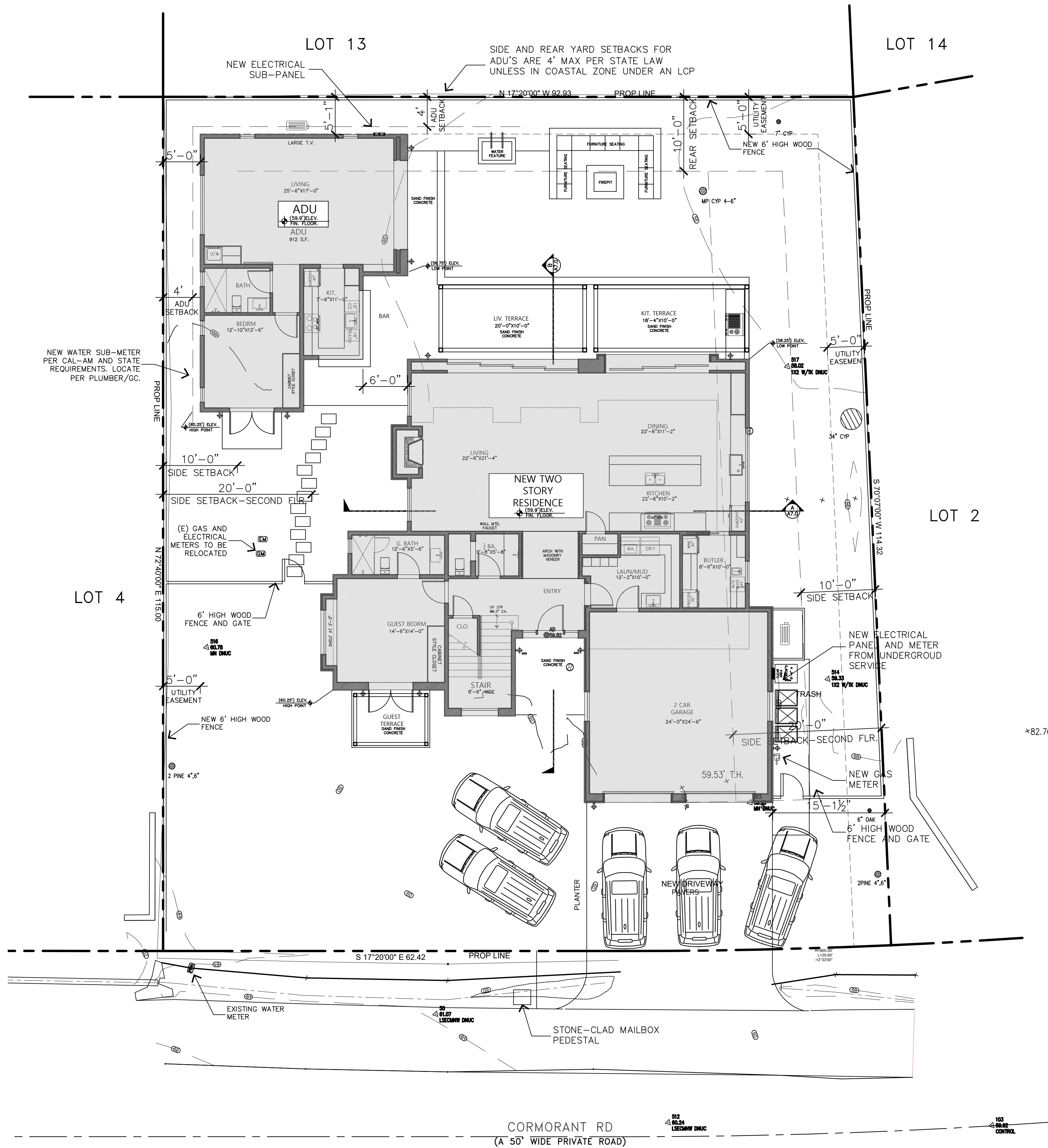
DATE

PROJECT NUMBER

SHEET NUMBER

A1.0P

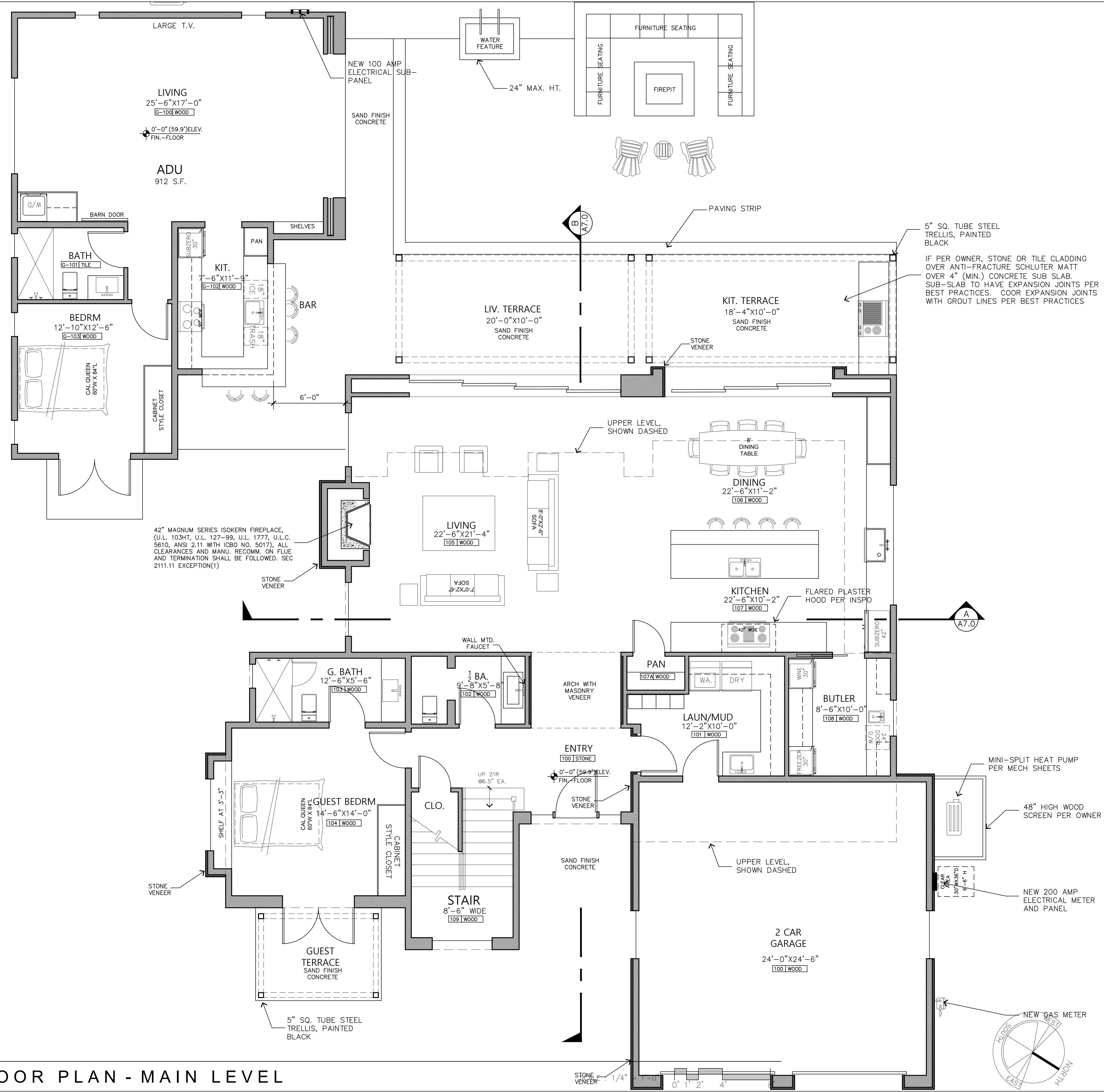
PROGRESS SET - NOT FOR CONSTRUCTION



SITE PLAN PARKING

SCALE: 1/8" = 1'-0"

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FLOOR PLAN NOTES

ALL DIMENSIONS ARE TO THE FACE OF STUD, OR TO CENTER OF OPENING, UNLESS OTHERWISE NOTED.

CONTRACTOR TO VERIFY EXISTING CONDITIONS AND ALL DIMENSIONS AND NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING.

ACCESSIBLE UNDER FLOOR AREAS SHALL BE PROVIDED WITH AN 18"x24" MIN. ACCESS WITHIN 20" OF ALL PLUMBING CLEANOUTS (CPC 707.10). FURNACE OR WATER HEATERS LOCATED IN THE CRAWL SPACE OR ATTIC SHALL HAVE A MIN 30"x30" ACCESS OPENING LOCATED WITHIN 20" OF THE EQUIPMENT AND A MIN 24" WIDE PASSAGE (CMC 912.8)

ATTIC ACCESS SHALL BE A MINIMUM SIZE OF 22"x30", LOCATED WHERE AT LEAST 30" OF UNOBSTRUCTED HEADROOM OCCURS. (CRC R807.1) ADD LIGHT FIXTURE WITH SWITCH IN VICINITY OF OPENING.

EXCEPTION: ATTICS WITH LESS THAN 30" MAX. HEIGHT NEED NOT PROVIDE ACCESS.

JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION.

ALL PROJECTS WITH WATERPROOF ROOF DECKS WILL REQUIRE PERIODIC MAINTENANCE. OWNER SHALL BE RESPONSIBLE TO SEAL, CAULK, OR OTHERWISE MAINTAIN OR REPLACE SEALANT AS RECOMMENDED BY MANUFACTURER OF WATERPROOFING SURFACE.

SEE DETAIL SHEETS A8.0 ELECTRICAL / A8.1 MECHANICAL AND A8.2 PLUMBING FOR STANDARD DETAILS AND NOTES

WALL LEGEND

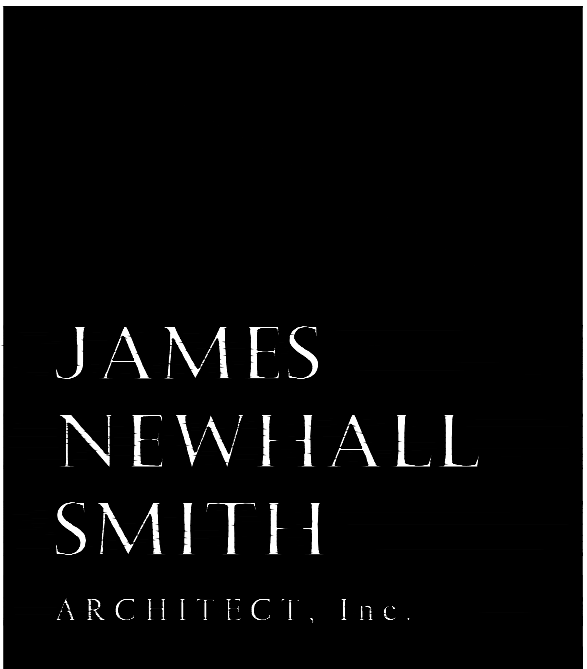
- EXISTING 2X WOOD STUD FRAMED WALL TO BE REMOVED
- NEW 2X WOOD STUD FRAMED WALL. SEE PLAN FOR WALL THICKNESS. EXTERIOR WALLS TO HAVE SHEAR PLY, HOUSE WRAP AND INSULATION PER TITLE 24 DOCS. INTERIOR WALLS TO HAVE SOUND BATT INSULATION, TYP.
- NEW NON-STRUCTURAL STONE VENEER, 3" MAX. THICKNESS
- NEW CMU/CONCRETE WALL

ELECTRICAL SYMBOLS

- DUPLEX OUTLET
- DUPLEX OUTLET RECESSED INTO WALL
- HALF SWITCHED OUTLET
- DEDICATED CIRCUIT (20 amps)
- 220 VOLT OUTLET
- 4 PLEX OUTLET
- GROUND FAULT INTERRUPT (GFCI)
- WATERPROOF OUTLET (EXTERIOR)
- RECESSED FLOOR MOUNTED OUTLET
- TELEPHONE JACK
- HIGH SPEED DATA LINE
- RECESSED FLOOR MOUNTED TELEPHONE JACK, BRASS
- THERMOSTAT CONTROL
- TELEVISION CABLE
- DOORBELL
- CENTRAL VACUUM OUTLET
- GAS OUTLET
- GAS KEY VALVE, VERIFY MOUNT LOCATION WITH OWNER
- HOSE BIB VALVE (WITH NON-REMOVABLE BACKFLOW PREVENTION DEVICE. (CPC 603.4.7, TYP.))
- WALL MOUNTED AIR SUPPLY REGISTER
- RETURN AIR REGISTER
- FLOOR MOUNTED SUPPLY AIR REGISTER
- ELECTRICAL MAIN PANEL-SEE PLAN FOR LOCATION/SIZE
- ELECTRICAL SUB-PANEL-SEE PLAN FOR LOCATION(S) AND SIZE(S)

ELECTRICAL LEGEND NOTES

1. NOT ALL OF THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS PROJECT.
2. THE ELECTRICIAN IS REQUIRED TO CONDUCT AN ON-SITE WALK THROUGH WITH THE OWNERS TO DETERMINE FINAL LOCATIONS AND HEIGHTS FOR ALL RECEPTACLES, FIXTURES, PHONES, CABLE, STEREO, SECURITY, DATA LINES, ETC. PRIOR TO ROUGH-IN.
3. POLESWITCH AND SWITCHPLATE STYLE, COLOUR AND EXACT LOCATION AND ORIENTATION TO BE DETERMINED/VERIFIED BY OWNER.
4. FOR JACUZZI-TYPE TUBS SEE DETAIL SHEETS FOR ADDITIONAL REQUIREMENTS AND CODE RESTRICTIONS.
5. PERMANENTLY LABEL EACH DISCONNECT (CIRCUIT BREAKER) ON THE MAIN AND ALL SUB ELECTRICAL PANEL(S) WITH THE APPLIANCE OR ROOM(S) SERVED BY THE CIRCUIT.
6. SEE NOTES ON DETAIL SHEETS A8.0, A8.1, A8.2 FOR MORE INFORMATION
7. SEE A4.0 FOR LIGHTING NOTES



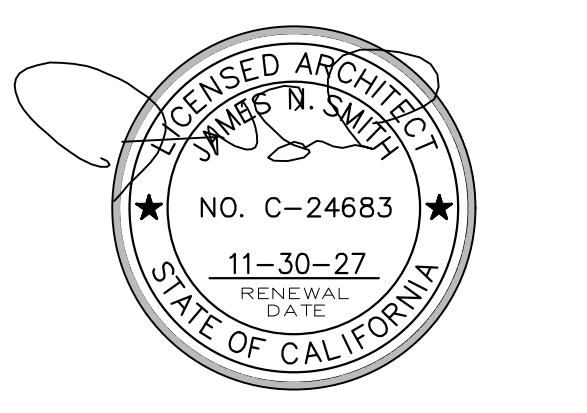
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PROJECT/CLIENT

ANZOATEGUI
RESIDENCE

2975 CORMORANT RD.
PEBBLE BEACH, CA.



SHEET TITLE

**FLOOR PLAN
MAIN LEVEL**

ISSUE REVISIONS

- ① 05-06-25 PRELIM. REVIEW
- ② 08-21-25 PEBBLE BEACH ARB
- ③ 01-12-26 P.B. RESUBMITTAL

DATE

PROJECT NUMBER

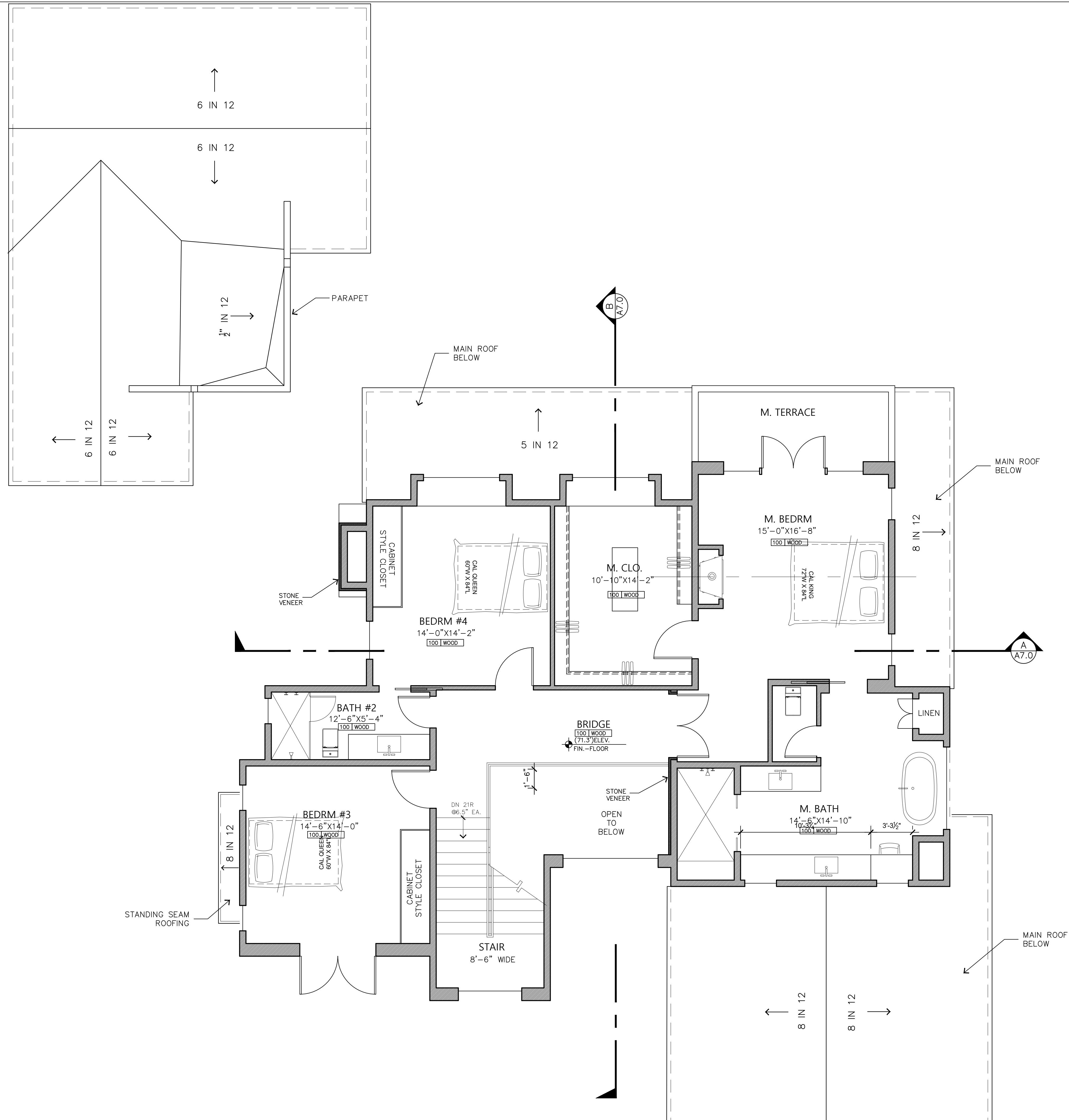
SHEET NUMBER

A2.0

PROGRESS SET - NOT FOR CONSTRUCTION

FLOOR PLAN - MAIN LEVEL

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FLOOR PLAN - UPPER LEVEL

SCALE : 1/4" = 1'-0"

FLOOR PLAN NOTES

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SEE DETAIL SHEETS A8.0 ELECTRICAL / A8.1 MECHANICAL AND A8.2 PLUMBING FOR STANDARD DETAILS AND NOTES

WALL LEGEND

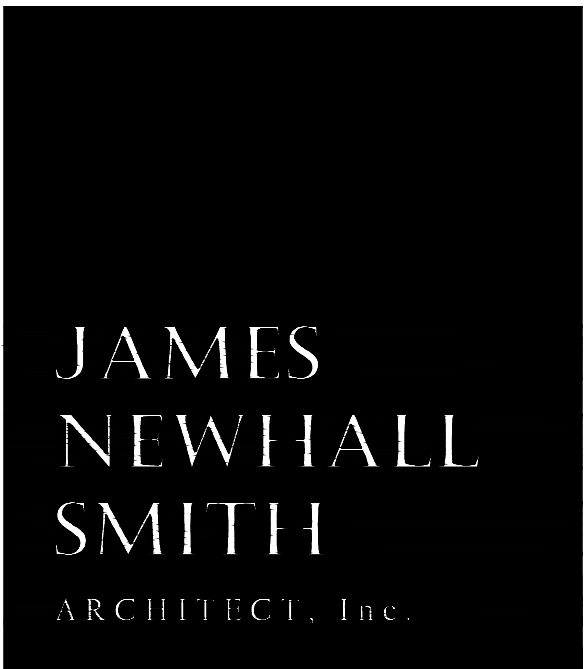
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- CENTRAL VACUUM OUTLET
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- ELECTRICAL SUB-PANEL-SEE PLAN FOR LOCATION(S) AND SIZE(S)

ELECTRICAL LEGEND NOTES

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6. SEE NOTES ON DETAIL SHEETS A8.0, A8.1, A8.2 FOR MORE INFORMATION
7. SEE A4.0 FOR LIGHTING NOTES



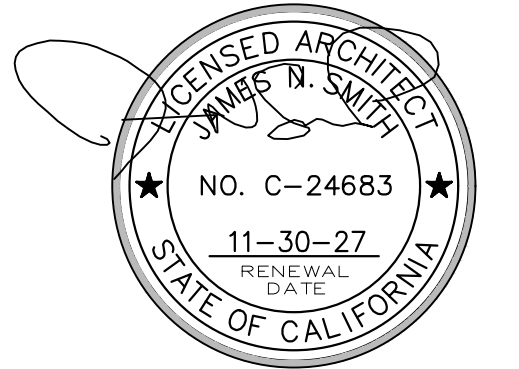
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PROJECT/CLIENT

ANZOATEGUI
RESIDENCE

2975 CORMORANT RD.
PEBBLE BEACH, CA.



SHEET TITLE

**FLOOR PLAN
UPPER LEVEL**

ISSUE REVISIONS

- 1 05-06-25 PRELIM. REVIEW
- 2 08-21-25 PEBBLE BEACH ARB
- 3 01-12-26 P.B. RESUBMITTAL

DATE

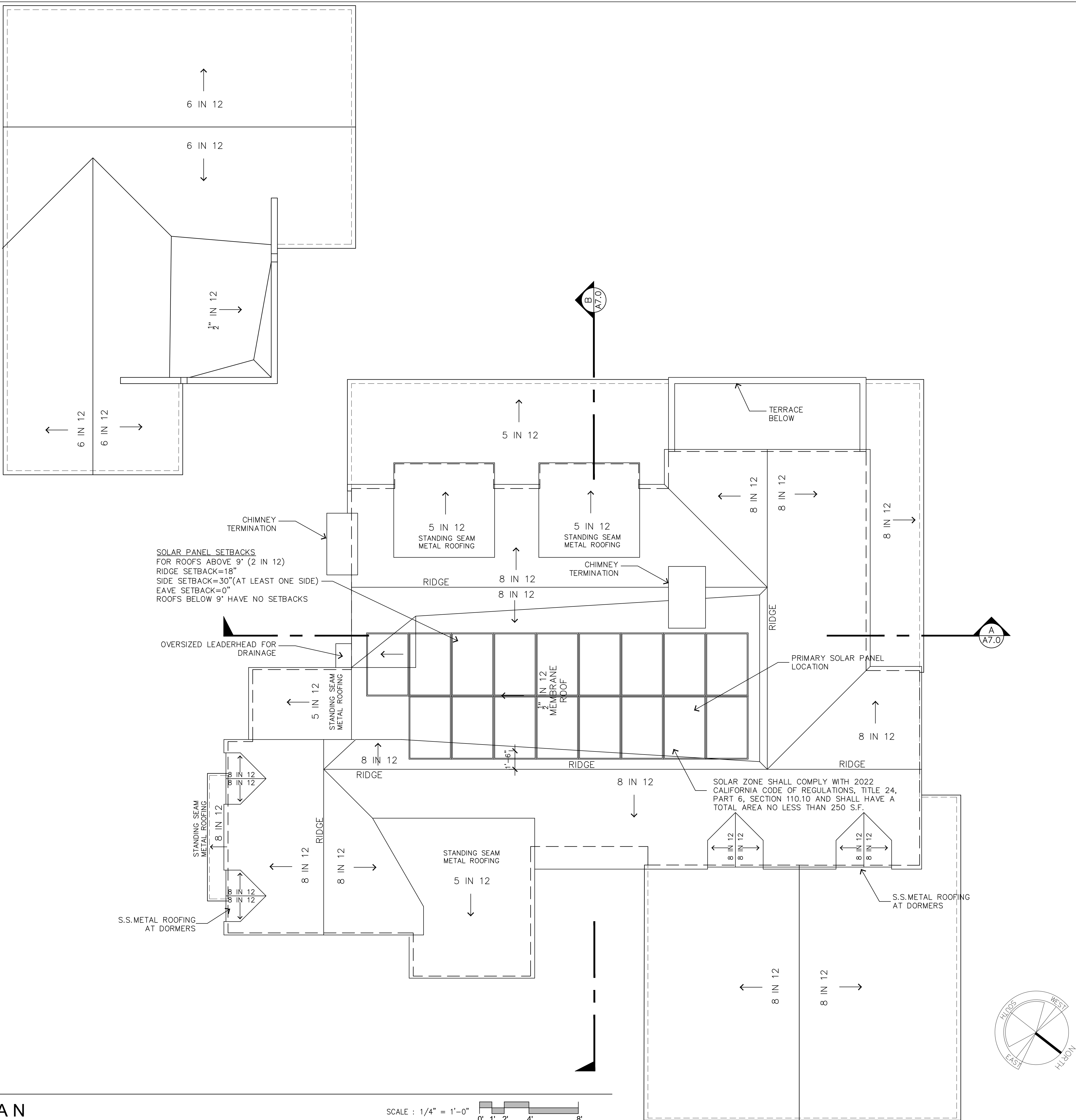
PROJECT NUMBER

SHEET NUMBER

A2.1

PROGRESS SET - NOT FOR CONSTRUCTION

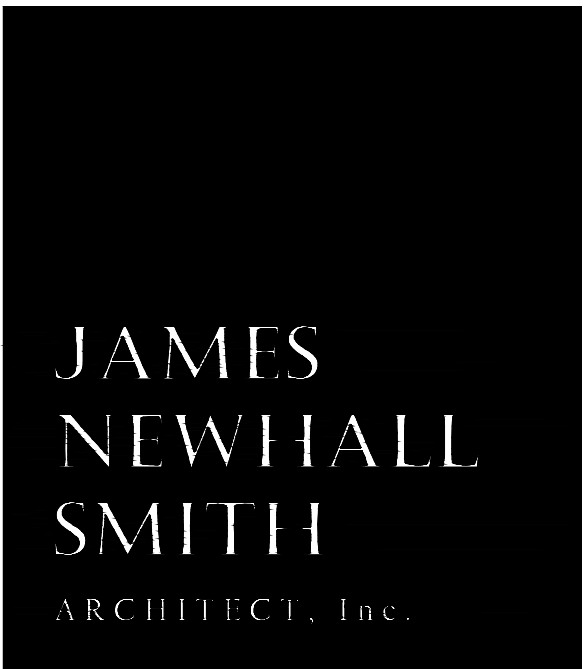
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ROOF PLAN

ROOF NOTES

1. ROOF MATERIAL TO BE SLATE ROOFING WITH STANDING SEAM METAL ROOFING ACCENT AREAS AS NOTED
2. FIELD VERIFY WITH OWNER AND ARCHITECT COLOR AND/OR BLEND OF ROOFING UNITS PRIOR TO INSTALLATION
3. ROOF SLOPE = 8 IN 12 UNLESS OTHERWISE NOTED
4. EAVE OVERHANG = 4" UNLESS OTHERWISE NOTED
5. RAKE/BARGE OVERHANG = 2" UNLESS OTHERWISE NOTED
6. COPPER GUTTERS WITH ROUND DOWNSPOUTS
7. GANG ALL VENT STACKS TO MINIMIZE QUANTITY OF ROOF JACKS AND LOCATE ROOF JACKS IN LEAST VISIBLE LOCATION
8. SPARK ARRESTOR TO BE 3 TIMES THE NET FREE OPENING OF THE CHIMNEY OUTLET
9. CHIMNEY SHALL BE 2' ABOVE THE HIGHEST POINT OF THE ROOF WITHIN 10' MEASURED HORIZONTALLY
10. METAL CHIMNEYS SHALL BE ANCHORED AT EACH FLOOR AND AT THE ROOF WITH (2) 1-1/2"x1/8" S.S. METAL STRAPS LOOPED AROUND THE CHIMNEY AND NAILED WITH NOT LESS THAN (6) 8d NAILS PER STRAP AT EACH JOIST OR RAFTER PER UBC 3102.6 TO PREVENT LATERAL DISPLACEMENT.
11. EACH BUNDLE OF ROOFING SHALL BEAR LABELS FROM AN ICBO ACCREDITED QUALITY CONTROL AGENCY IDENTIFYING THEIR ROOF COVERING CLASSIFICATION AND INDICATING THEIR COMPLIANCE WITH ICC-ES E-6107 AND WITH THE WEATHERING REQUIREMENTS CONTAINED IN HEALTH AND SAFETY CODE SECTION 13132.70 (R902.2 CRC)
12. ALL PLUMBING VENTS TO BE A MINIMUM 10 FEET AWAY FROM, OR AT LEAST 3 FEET ABOVE ANY OPERABLE SKYLIGHTS PER CPC 906.2.
13. PER C.B.C. CHAPTER 7A (ROOF EDGE) AND CHAPTER 15 (ROOF FIELD), LARGE GAPS BETWEEN THE ROOF COVERING AND THE ROOF DECK (SHEATHING) MUST BE PLUGGED TO PREVENT EMBER OR FLAME INTRUSION. EXAMPLE: BIRD-STOPS OR MORTAR FOR BARREL TILE ROOFS AT EAVES.
14. ROOF DOWNSPOUTS TO BE COLLECTED IN A TIGHT-LINE AND DISPERSED PER CITY/COUNTY STANDARDS



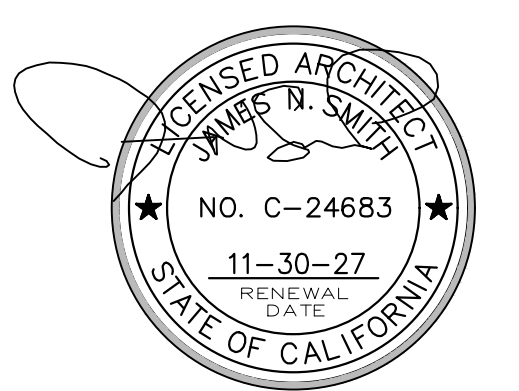
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 RESIDENCE**

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 PEBBLE BEACH, CA.



SHEET TITLE

ROOF PLAN

ISSUE REVISIONS

- | | | |
|---|----------|------------------|
| 1 | 05-06-25 | PRELIM. REVIEW |
| 2 | 08-21-25 | PEBBLE BEACH ARB |
| 3 | 01-12-26 | P.B. RESUBMITTAL |

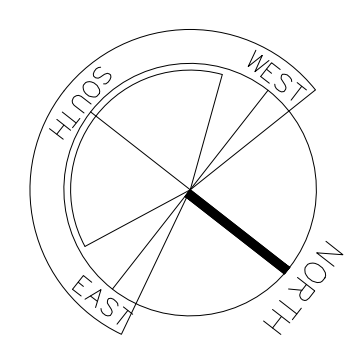
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PROJECT NUMBER

SHEET NUMBER

A5.0

PROGRESS SET - NOT FOR CONSTRUCTION



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NORTHEAST ELEVATION - FRONT ENTRY

SCALE : 1/4" = 1'-0"

ELEVATION MATERIALS LEGEND

- 1 SLATE TILE ROOFING, CLASS 'A'. COLOR TO BE LIGHT GREY
- 2 STANDING SEAM METAL ROOFING BY MBCI, MODEL CRAFTSMAN SB-12 OR EQ., CLASS 'A', COLOR: BURNISHED SLATE, SMOOTH FINISH
- 3 3 COAT EXTERIOR PLASTER WITH LEVEL 4 SMOOTH FINISH. COLOR: SEE ELEVATIONS
- 4 EXTERIOR VERTICAL STONE—"GOLD STONE" 2" THIN VENEER FLATS, BY GRANITE ROCK. LAY IS TRADITIONAL HORIZONTAL WITH SOME PIECES CHIPPED FOR IRREGULARITY. GROUT JOINTS AT 8" TO 12" WITH OVER-SPREAD MORTAR. COLOR OF GROUT IS "WHITE CEMENT" WITH HALF CUP DAVIS COLOR #5447 (LT. BROWN) PER 94 LB. BAG AND MIRACLE LIME
- 5 DOORS AND WINDOWS TO BE THERMALLY BROKEN ALUMINUM BY ARCADIA, OR EQ. COLOR: DARK BRONZE ANODIZED
- 6 FASCIA BOARD PRE-PRIMED RADIATA PINE "ADVANTAGE PLUS" BY KELLEHER, OR EQ. COLOR: PER ELEVATION
- 7 STONE AND COPPER CHIMNEY SHROUD
- 8 GALV. STEEL RAILING BY CR LAWRENCE, OR EQUAL, WITH 2 PART EPOXY PAINT, TYP.
- 9 VERTICAL WOOD SIDING COLOR: DARK BROWN
- 10 GALV. STEEL TRELIS PAINTED WITH 2 PART EPOXY PAINT, COLOR: MATTE BLACK

ELEVATION NOTES

THIS PROJECT IS LOCATED WITHIN WILDLAND URBAN INTERFACE, REFER TO WALL SECTION DETAIL 1 / A0.1 FIRE NOTES SHEET FOR COMPLIANCE REQUIREMENTS

ROOF COVERINGS AND FLASHINGS AND WALL COVERINGS SHALL COMPLY WITH ALL REQUIRED W.U.I. SPECIFICATIONS

ROOF GUTTERS, IF ANY, SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS

ALL VENTS (ROOF, FOUNDATION, COMBUSTION-AIR, ETC.) SHALL BE PROTECTED BY LOUVERS AND 1/8" NON-COMBUSTIBLE, CORROSION-RESISTANT MESH UNLESS VENTS ARE APPROVED FOR RESISTING FLAME AND EMBER INTRUSION.

PAINTS, COATINGS, STAINS OR OTHER SURFACE TREATMENTS ARE NOT ACCEPTABLE MEANS OF COMPLIANCE WITH ANY WILDFIRE-RESISTIVE CONSTRUCTION REQUIREMENT, UNLESS APPROVED FOR SUCH USE.

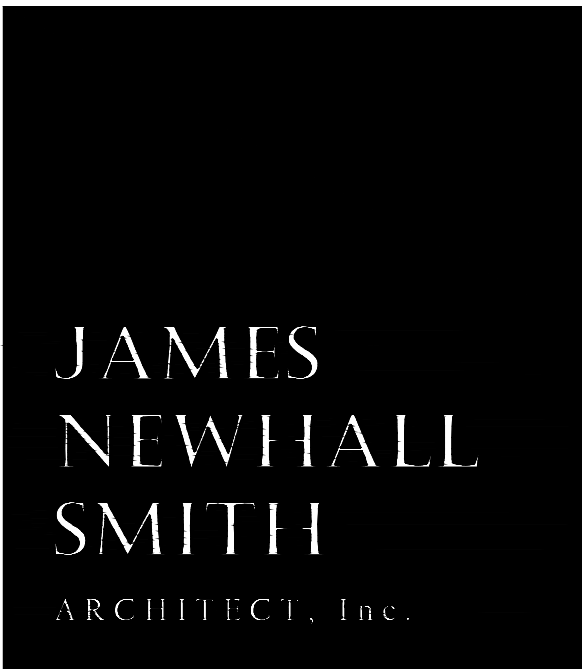
WALL SIDING SHALL COMPLY WITH CRC R703, AND ATTACHMENT REQUIREMENTS PER TABLE R703.3(1)

FLASHING INSTALLATIONS AND LOCATIONS FOR WALLS AND ROOFS SHALL COMPLY WITH CRC R703.4

WOOD SIDING INSTALLATION SHALL COMPLY WITH CRC R703.5

EXTERIOR PLASTER INSTALLATION SHALL COMPLY WITH CRC R703.7 AND WEAP SCREDS SHALL BE INSTALLED IN ACCORDANCE WITH R703.7.2.1

ANCHORED STONE VENEER SHALL BE INSTALLED IN ACCORDANCE WITH CRC R703.8 AND R703.12



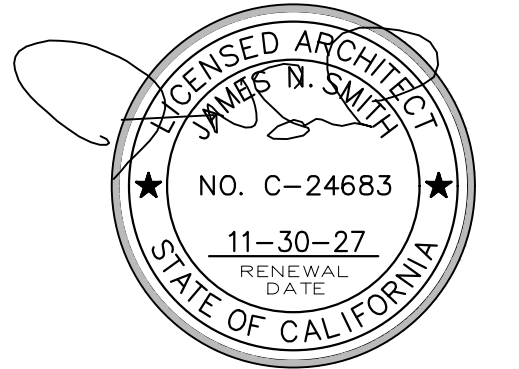
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**ANZOATEGUI
RESIDENCE**

2975 CORMORANT RD.
PEBBLE BEACH, CA.



SHEET TITLE

**EXTERIOR
ELEVATIONS**

ISSUE REVISIONS

- 1 05-06-25 PRELIM. REVIEW
- 2 08-21-25 PEBBLE BEACH ARB
- 3 01-12-26 P.B. RESUBMITTAL

DATE

PROJECT NUMBER

SHEET NUMBER

PROGRESS SET -- NOT FOR CONSTRUCTION

A6.0

NORTHWEST ELEVATION - SIDE

SCALE : 1/4" = 1'-0"

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SOUTHWEST ELEVATION - REAR

SCALE : 1/4" = 1'-0"
0' 1' 2' 4' 8'

ELEVATION MATERIALS LEGEND

- 1 SLATE TILE ROOFING, CLASS 'A'. COLOR TO BE LIGHT GREY
- 2 STANDING SEAM METAL ROOFING BY MBCI, MODEL CRAFTSMAN SB-12 OR EQ., CLASS 'A', COLOR: BURNISHED SLATE, SMOOTH FINISH
- 3 3 COAT EXTERIOR PLASTER WITH LEVEL 4 SMOOTH FINISH. COLOR: SEE ELEVATIONS
- 4 EXTERIOR VERTICAL STONE--"GOLD STONE" 2" THIN VENEER FLATS, BY GRANITE ROCK. LAY IS TRADITIONAL HORIZONTAL WITH SOME PIECES CHIPPED FOR IRREGULARITY. GROUT JOINTS AT 3/8" TO 1/2" WITH OVER-SPREAD MORTAR. COLOR OF GROUT IS "WHITE CEMENT" WITH HALF CUP DAVIS COLOR #5447 (LT. BROWN) PER 94 LB. BAG AND MIRACLE LIME
- 5 DOORS AND WINDOWS TO BE THERMALLY BROKEN ALUMINUM BY ARCADIA, OR EQ. COLOR: DARK BRONZE ANODIZED
- 6 FASCIA BOARD PRE-PRIMED RADIATA PINE "ADVANTAGE PLUS" BY KELLEHER, OR EQ. COLOR: PER ELEVATION
- 7 STONE AND COPPER CHIMNEY SHROUD
- 8 GALV. STEEL RAILING BY CR LAWRENCE, OR EQUAL, WITH 2 PART EPOXY PAINT, TYP.
- 9 VERTICAL WOOD SIDING COLOR: DARK BROWN
- 10 GALV. STEEL TRELLIS PAINTED WITH 2 PART EPOXY PAINT, COLOR: MATTE BLACK

ELEVATION NOTES

THIS PROJECT IS LOCATED WITHIN WILDLAND URBAN INTERFACE, REFER TO WALL SECTION DETAIL 1 / A0.1 FIRE NOTES SHEET FOR COMPLIANCE REQUIREMENTS

ROOF COVERINGS AND FLASHINGS AND WALL COVERINGS SHALL COMPLY WITH ALL REQUIRED W.U.I. SPECIFICATIONS

ROOF GUTTERS, IF ANY, SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS

ALL VENTS (ROOF, FOUNDATION, COMBUSTION-AIR, ETC.) SHALL BE PROTECTED BY LOUVERS AND 1/4" NON-COMBUSTIBLE CORROSION-RESISTANT MESH UNLESS VENTS ARE APPROVED FOR RESISTING FLAME AND EMBER INTRUSION.

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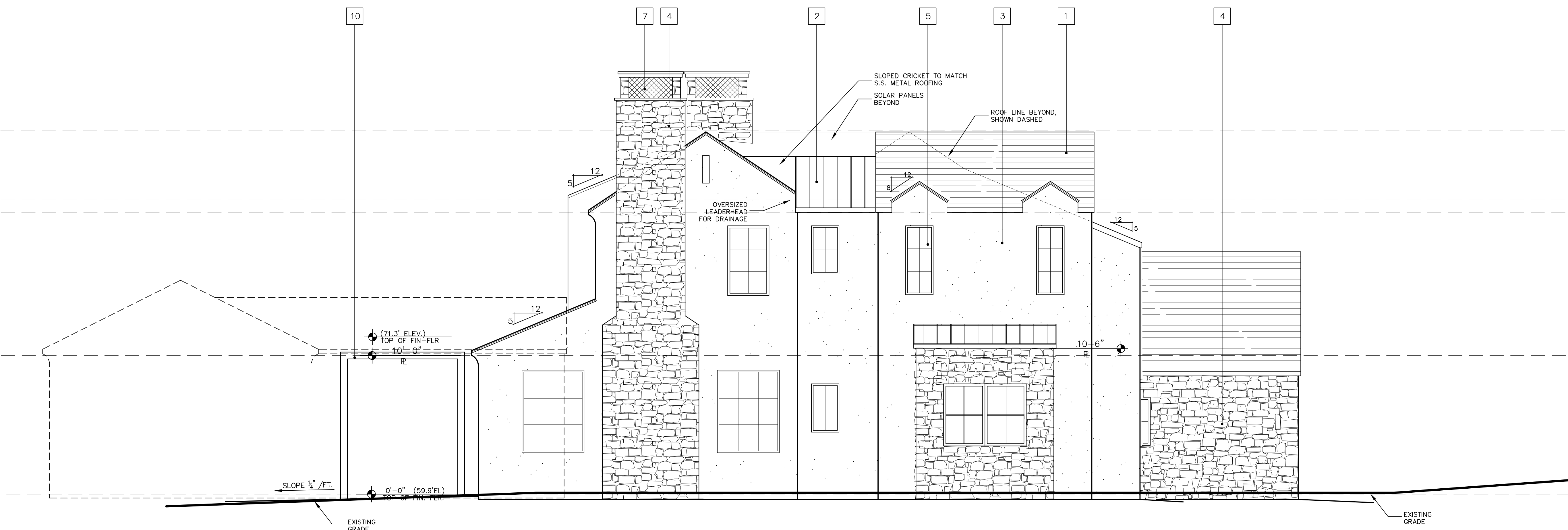
WALL SIDING SHALL COMPLY WITH CRC R703, AND ATTACHMENT REQUIREMENTS PER TABLE R703.3(1)

FLASHING INSTALLATIONS AND LOCATIONS FOR WALLS AND ROOFS SHALL COMPLY WITH CRC R703.4

WOOD SIDING INSTALLATION SHALL COMPLY WITH CRC R703.5

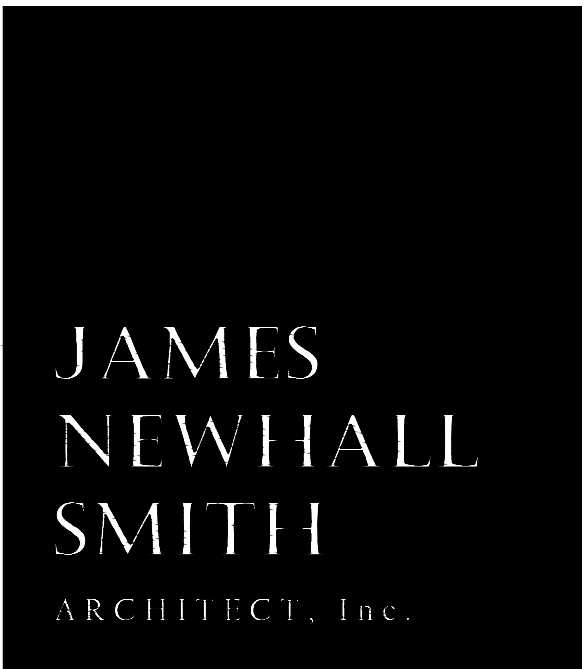
EXTERIOR PLASTER INSTALLATION SHALL COMPLY WITH CRC R703.7 AND WEEP SCREENS SHALL BE INSTALLED IN ACCORDANCE WITH R703.7.2.1

ANCHORED STONE VENEER SHALL BE INSTALLED IN ACCORDANCE WITH CRC R703.8 AND R703.12



SOUTHEAST ELEVATION - SIDE

SCALE : 1/4" = 1'-0"
0' 1' 2' 4' 8'



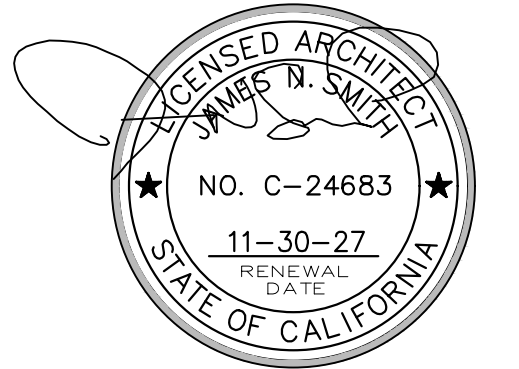
27880 DORRIS DR. #200
CARMEL VALLEY, CA.
93923

831-915-9518
JAMES@JNSARCH.COM

PROJECT/CLIENT

**ANZOATEGUI
RESIDENCE**

2975 CORMORANT RD.
PEBBLE BEACH, CA.



SHEET TITLE

**EXTERIOR
ELEVATIONS**

ISSUE REVISIONS

- 1 05-06-25 PRELIM. REVIEW
- 2 08-21-25 PEBBLE BEACH ARB
- 3 01-12-26 P.B. RESUBMITTAL

DATE

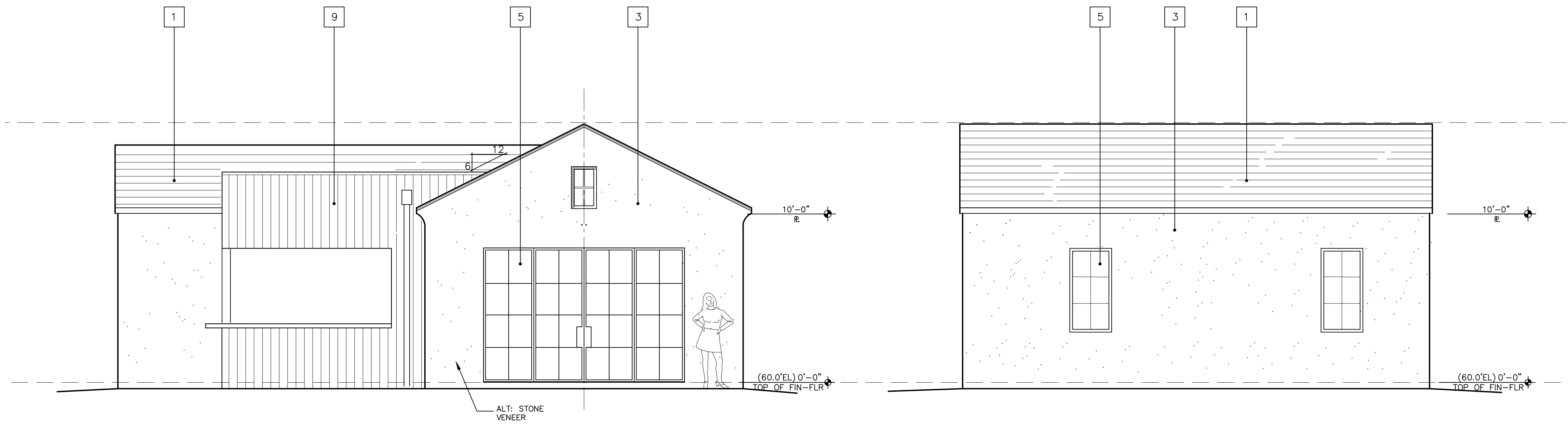
PROJECT NUMBER

SHEET NUMBER

PROGRESS SET -- NOT FOR CONSTRUCTION

A6.1

ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK AND ARE THE PROPERTY OF THE ARCHITECT, JAMES N. SMITH, INC. ANY AND WRITTEN MATERIALS ARE DEVELOPED FOR THIS PROJECT ONLY, AND SHALL NOT BE DUPLICATED OR DISCLOSED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.



NORTHWEST ELEV - ADU

SOUTHWEST ELEV - ADU SCALE : 1/4" = 1'-0"

ELEVATION MATERIALS LEGEND

- 1 SLATE TILE ROOFING, CLASS 'A'.
COLOR TO BE LIGHT GREY
- 2 STANDING SEAM METAL ROOFING BY MBCI, MODEL CRAFTSMAN SB-12 OR EQ., CLASS 'A', COLOR: BURNISHED SLATE, SMOOTH FINISH
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COLOR: SEE ELEVATIONS
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- 8 GALV. STEEL RAILING BY CR LAWRENCE, OR EQUAL, WITH 2 PART EPOXY PAINT, TYP.
- 9 VERTICAL WOOD SIDING
COLOR: DARK BROWN
- 10 GALV. STEEL TRELLIS PAINTED WITH 2 PART EPOXY PAINT, COLOR: MATTE BLACK

ELEVATION NOTES

THIS PROJECT IS LOCATED WITHIN WILDLAND URBAN INTERFACE, REFER TO WALL SECTION DETAIL 1 / A0.1 FIRE NOTES SHEET FOR COMPLIANCE REQUIREMENTS

ROOF COVERINGS AND FLASHINGS AND WALL COVERINGS SHALL COMPLY WITH ALL REQUIRED W.U.I. SPECIFICATIONS

ROOF GUTTERS, IF ANY, SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS

ALL VENTS (ROOF, FOUNDATION, COMBUSTION-AIR, ETC.) SHALL BE PROTECTED BY LOUVERS AND 3/8" NON-COMBUSTIBLE CORROSION-RESISTANT MESH UNLESS VENTS ARE APPROVED FOR RESISTING FLAME AND EMBER INTRUSION.

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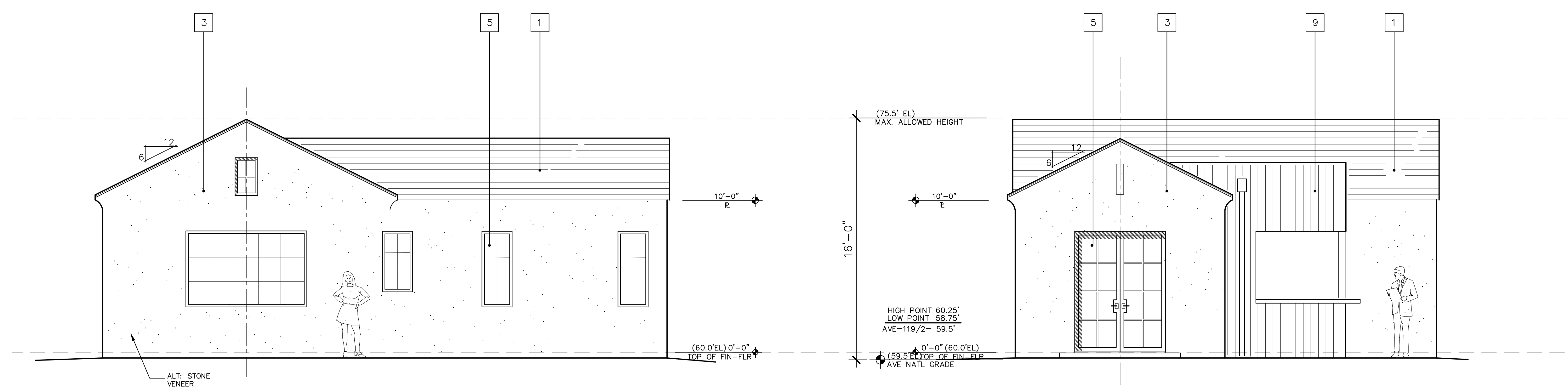
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FLASHING INSTALLATIONS AND LOCATIONS FOR WALLS AND ROOFS SHALL COMPLY WITH CRC R703.4

WOOD SIDING INSTALLATION SHALL COMPLY WITH CRC R703.5

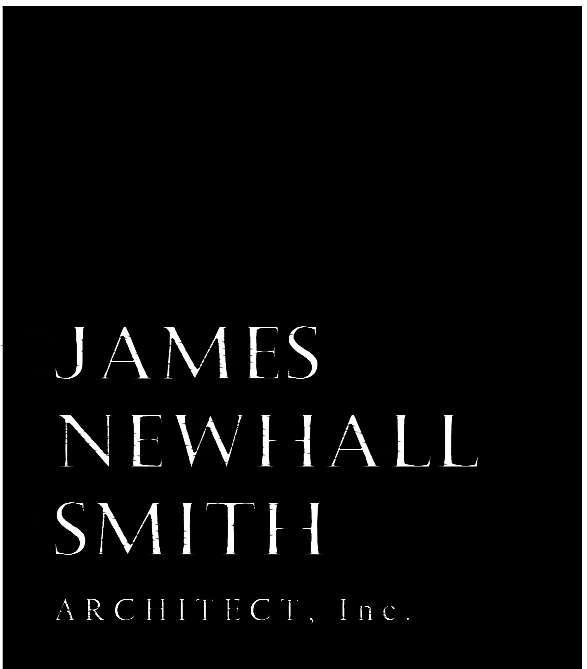
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ANCHORED STONE VENEER SHALL BE INSTALLED IN ACCORDANCE WITH CRC R703.8 AND R703.12



SOUTHEAST ELEV - ADU

NORTHEAST ELEV - ADU SCALE : 1/4" = 1'-0"



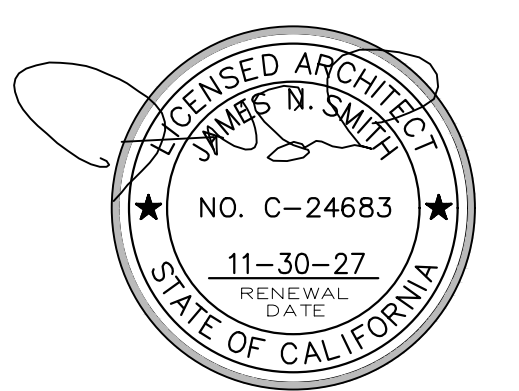
27880 DORRIS DR. #200
CARMEL VALLEY, CA.
93923

831-915-9518
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PROJECT/CLIENT

**ANZOATEGUI
RESIDENCE**

2975 CORMORANT RD.
PEBBLE BEACH, CA.



SHEET TITLE

**EXTERIOR
ELEVATIONS**

ISSUE REVISIONS

- 1 05-06-25
PRELIM. REVIEW
- 2 08-21-25
PEBBLE BEACH ARB
- 3 01-12-26
P.B. RESUBMITTAL

DATE _____

PROJECT NUMBER _____

SHEET NUMBER _____

A6.2

PROGRESS SET -- NOT FOR CONSTRUCTION

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NORTHEAST ELEV - FENCES

SCALE : 1/4" = 1'-0"

ELEVATION MATERIALS LEGEND

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ELEVATION NOTES

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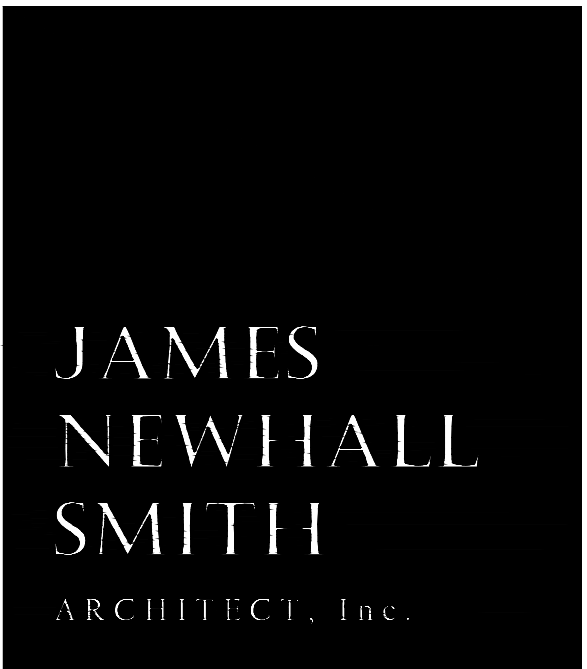
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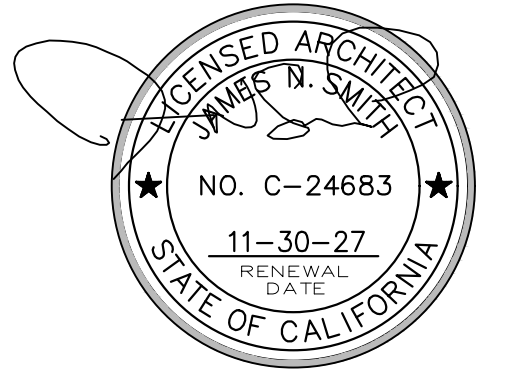
27880 DORRIS DR. #200
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PROJECT/CLIENT

**ANZOATEGUI
 RESIDENCE**

2975 CORMORANT RD.
 PEBBLE BEACH, CA.



SHEET TITLE

**EXTERIOR
 ELEVATIONS**

ISSUE REVISIONS

- 1 05-06-25 PRELIM. REVIEW
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- 3 01-12-26 P.B. RESUBMITTAL

DATE

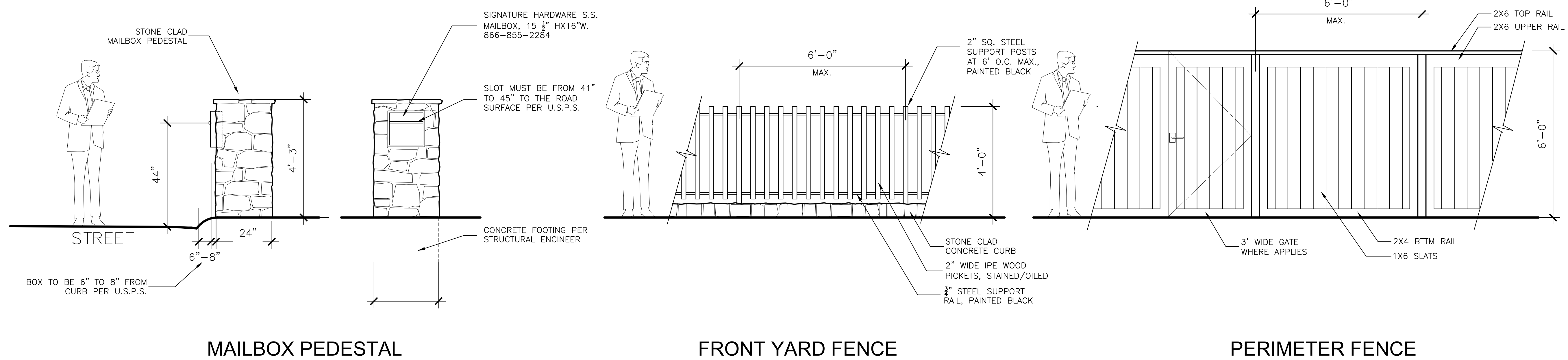
PROJECT NUMBER

SHEET NUMBER

A6.3

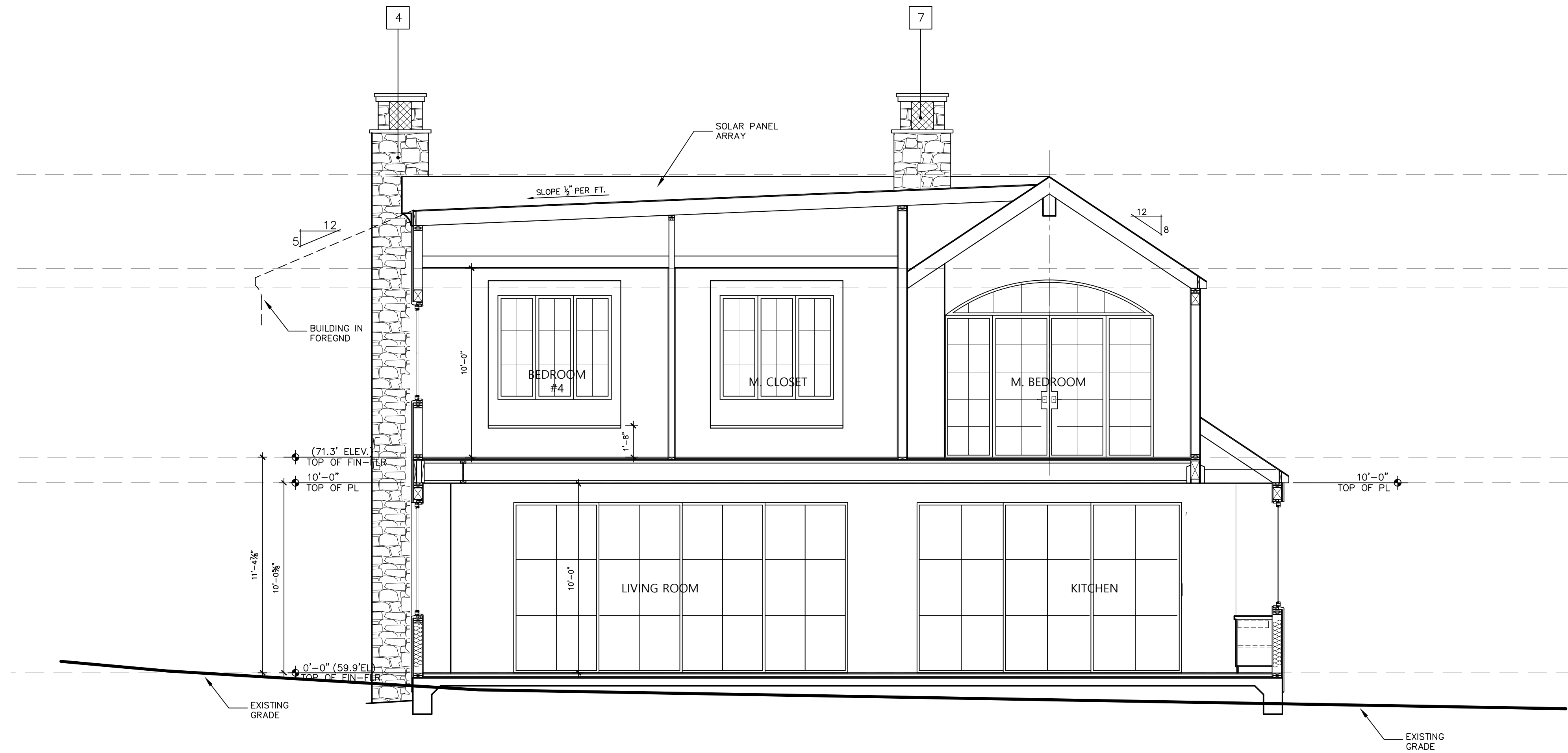
SCALE : 1/2" = 1'-0"

PROGRESS SET -- NOT FOR CONSTRUCTION



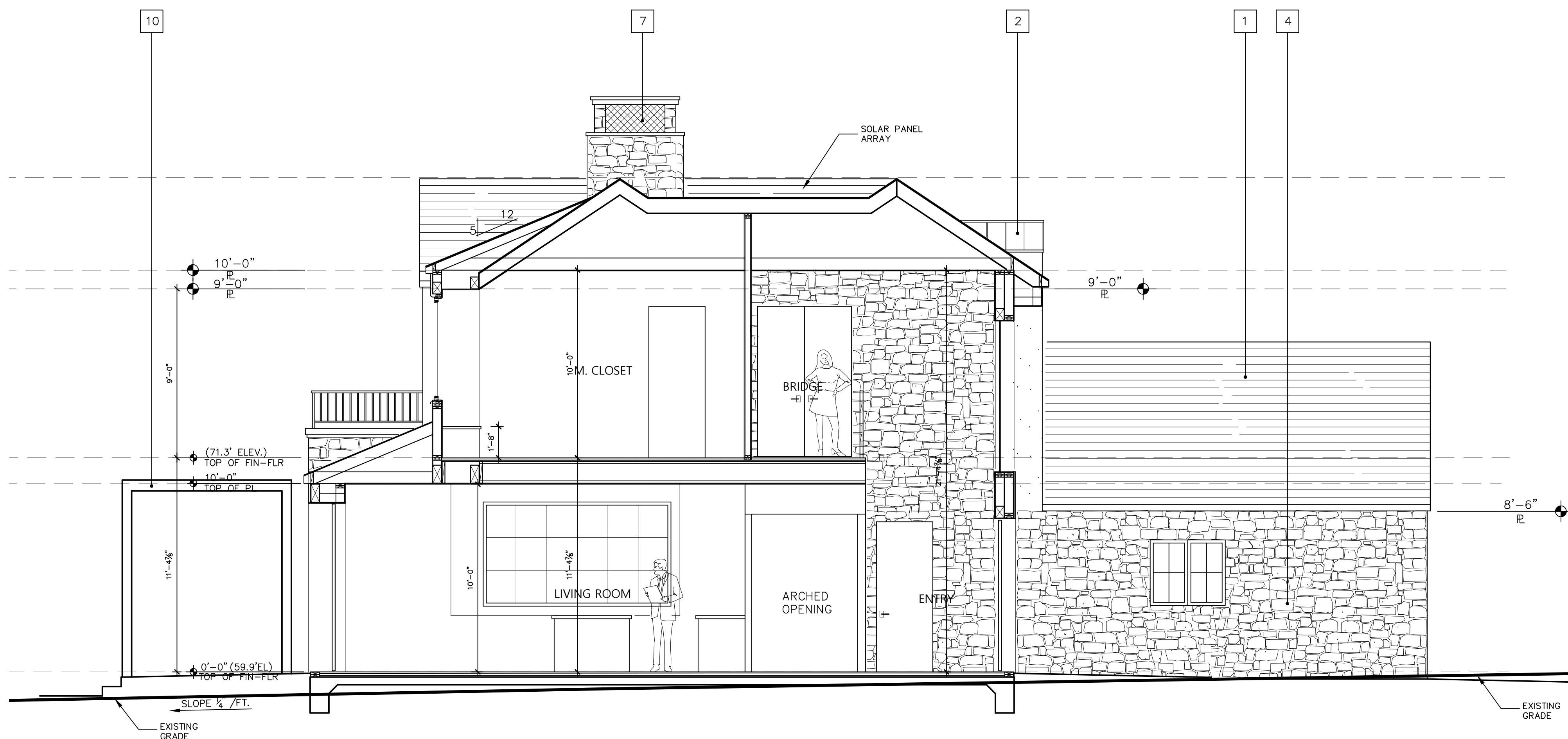
FENCES

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SECTION 'A'

SCALE : 1/4" = 1'-0"



SECTION 'B'

SCALE : 1/4" = 1'-0"

ELEVATION MATERIALS LEGEND

- 1 SLATE TILE ROOFING, CLASS 'A'. COLOR TO BE LIGHT GREY
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ELEVATION NOTES

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ANCHORED STONE VENEER SHALL BE INSTALLED IN ACCORDANCE WITH CRC R703.8 AND R703.12

SECTION NOTES

- 1. CONDITIONED BUILDING ENVELOPE IS CREATED AT UNDERSIDE OF ROOF PLY SHEATHING BY CLOSED CELL FOAM. ATTIC VENTS ARE THEREFORE NOT REQUIRED. CLOSED CELL FOAM OF 3" MINIMUM BUILD-UP FOR R-14 VALUE WITH R-19 FIBERGLASS BATT INSUL APPLIED TO UNDERSIDE OF FOAM FOR MIN. R-30 VALUE
- 2. EXTERIOR WALLS WITH R-21 VALUE BY FIBERGLASS BATTS OR SPIDER (SPRAY APPLIED FIBERGLASS INSULATION) MUST FILL ALL NON-VENTED FRAMING CAVITIES
- 3. INTERIOR WALLS TO HAVE UNFACED SOUND BATT INSULATION
- 4. SEE SHEET A0.1 FIRE PROTECTION NOTES FOR FIREBLOCKING AT FRAMING CAVITIES
- 5. SEE STRUCTURAL DWGS FOR SIZES, LOCATIONS AND CONNECTIONS OF STRUCTURAL MEMBERS. STRUCTURAL DWGS SHALL PREVAIL

JAMES NEWHALL SMITH
ARCHITECT, Inc.

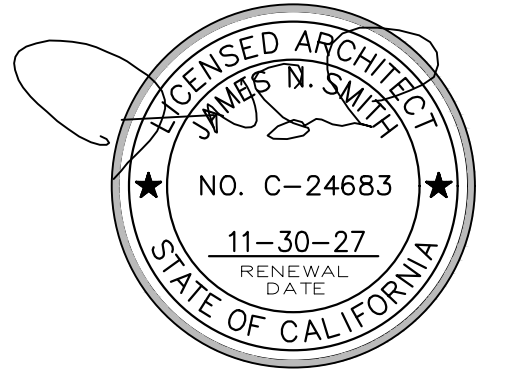
27880 DORRIS DR. #200
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PROJECT/CLIENT

ANZOATEGUI RESIDENCE

2975 CORMORANT RD.
PEBBLE BEACH, CA.



SHEET TITLE

SECTIONS

ISSUE REVISIONS

- 1 05-06-25 PRELIM. REVIEW
- 2 08-21-25 PEBBLE BEACH ARB
- 3 01-12-26 P.B. RESUBMITTAL

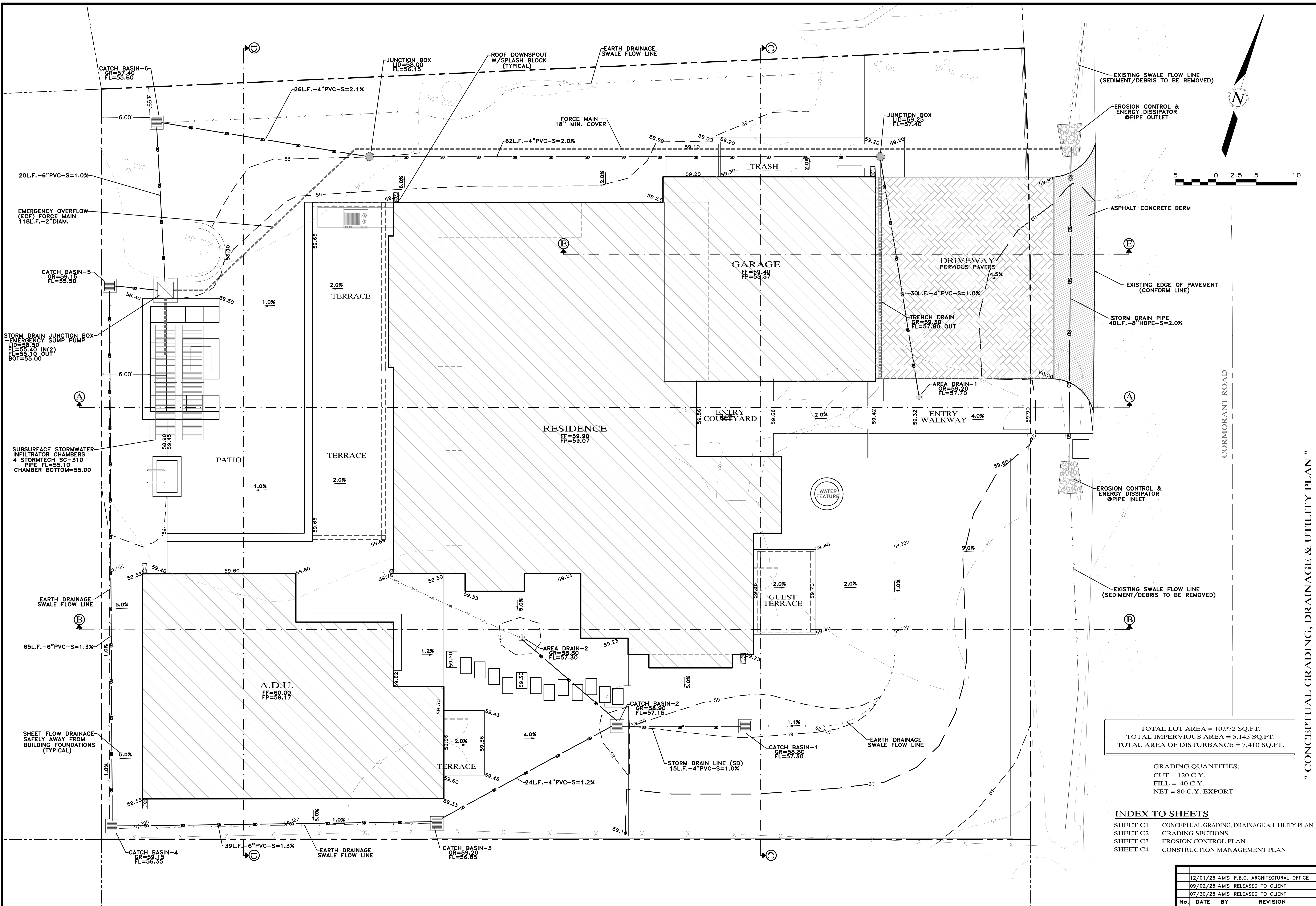
DATE

PROJECT NUMBER

SHEET NUMBER

A7.0

PROGRESS SET - NOT FOR CONSTRUCTION



TOTAL LOT AREA = 10,972 SQ.FT.
 TOTAL IMPERVIOUS AREA = 5,145 SQ.FT.
 TOTAL AREA OF DISTURBANCE = 7,410 SQ.FT.

GRADING QUANTITIES:
 CUT = 120 C.Y.
 FILL = 40 C.Y.
 NET = 80 C.Y. EXPORT

INDEX TO SHEETS

SHEET C1	CONCEPTUAL GRADING, DRAINAGE & UTILITY PLAN
SHEET C2	GRADING SECTIONS
SHEET C3	EROSION CONTROL PLAN
SHEET C4	CONSTRUCTION MANAGEMENT PLAN

" CONCEPTUAL GRADING, DRAINAGE & UTILITY PLAN "

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF
ANZOATEGUI RESIDENCE
 A.P.N.: 007-262-003
 PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
 FOR
 MR. ALVARO ANZOATEGUI & MRS. JESSICA PURCELL

SCALE: 1"=5'
 DATE: JULY 2025
 JOB NO. 2866-02

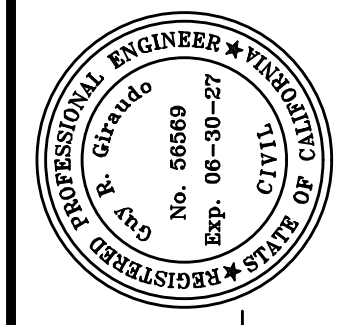
No.	DATE	BY	REVISION
12/01/25	AMS	P.B.C. ARCHITECTURAL OFFICE	
09/02/25	AMS	RELEASED TO CLIENT	
07/30/25	AMS	RELEASED TO CLIENT	

SHEET **C1**
 OF 4 SHEETS

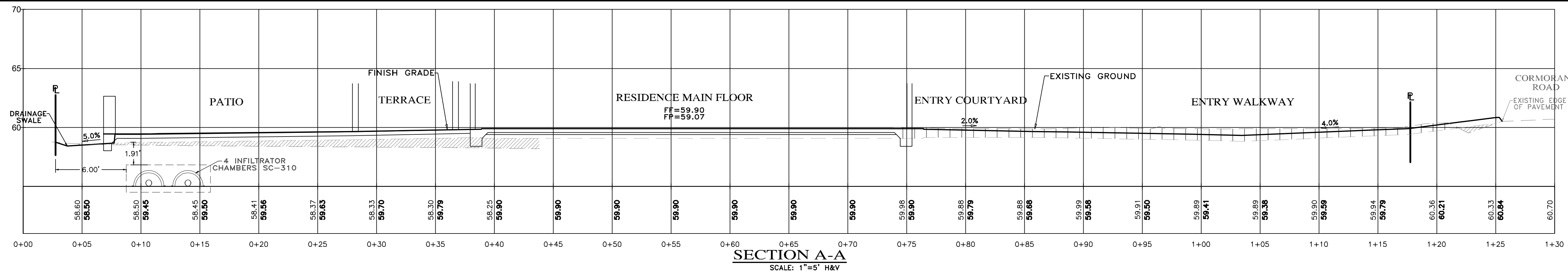


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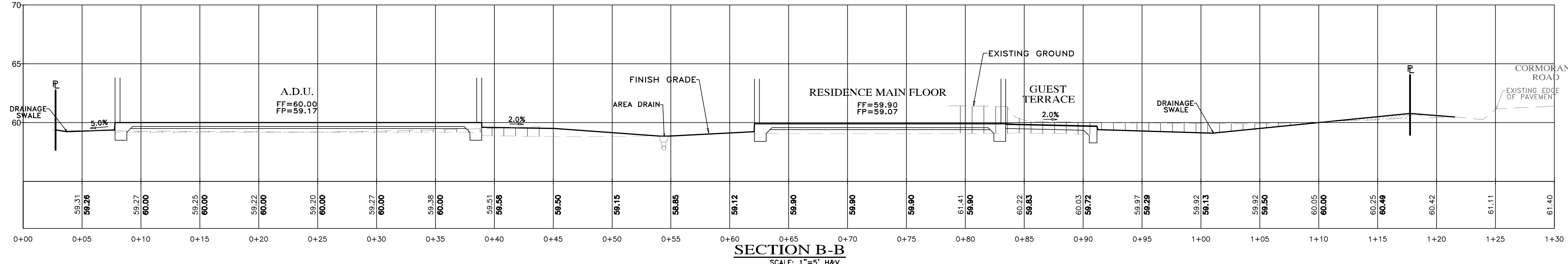
 GUY R. GIRARDO



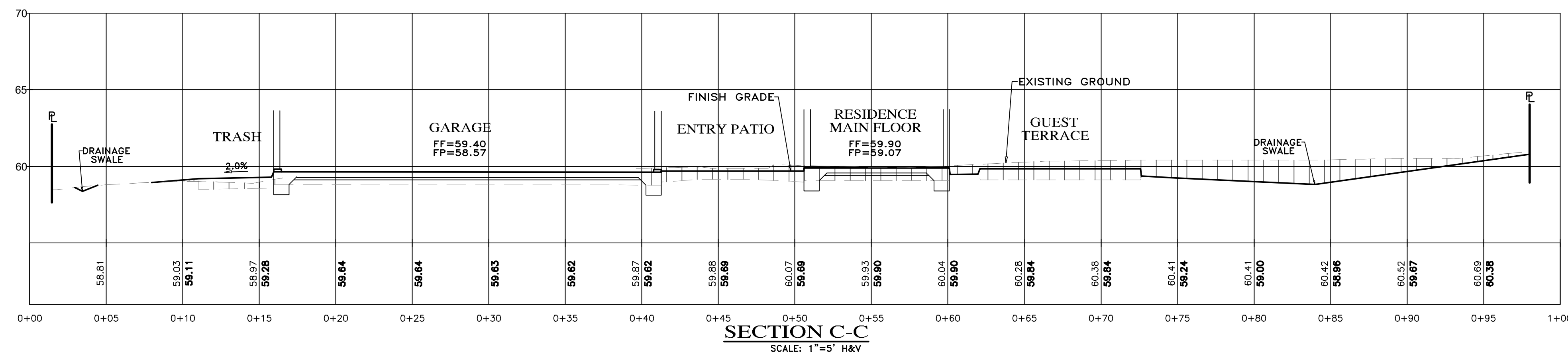
L:\PROJ\2866-ANZOATEGUI\2866-CVIL\DWG\2866-02\CP.DWG/24a36c3



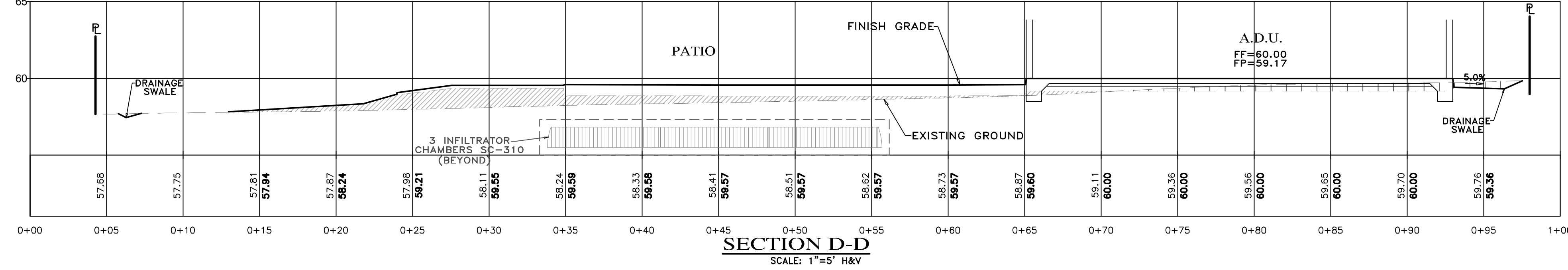
SECTION A-A
SCALE: 1"=5' H&V



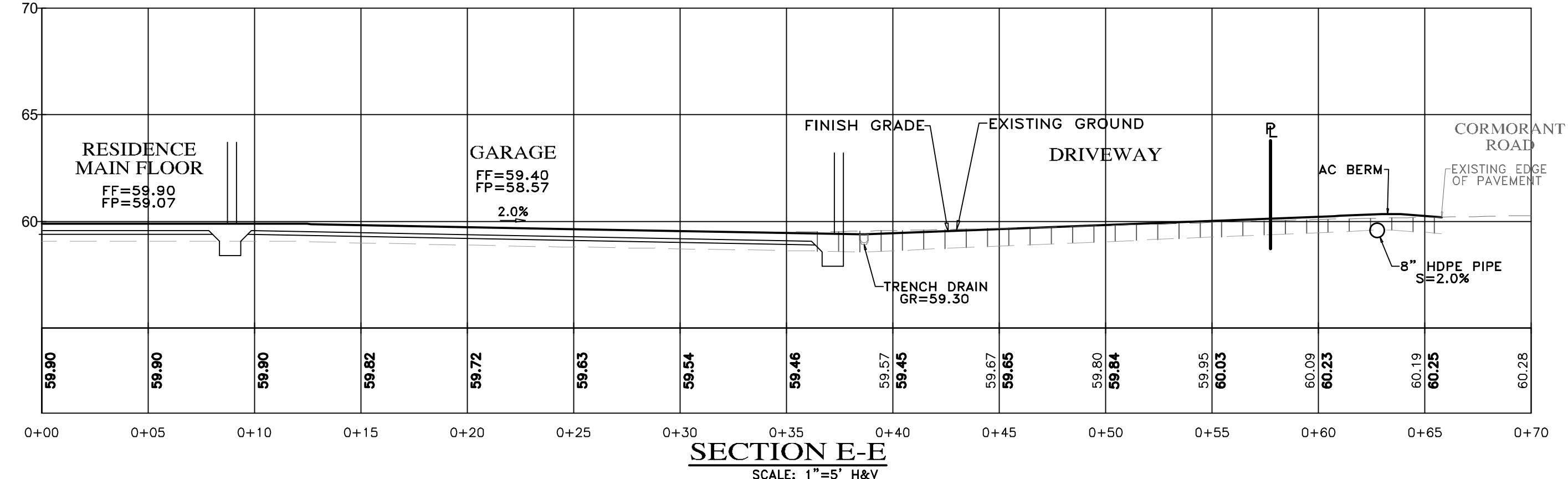
SECTION B-B
SCALE: 1"=5' H&V



SECTION C-C
SCALE: 1"=5' H&V



SECTION D-D
SCALE: 1"=5' H&V

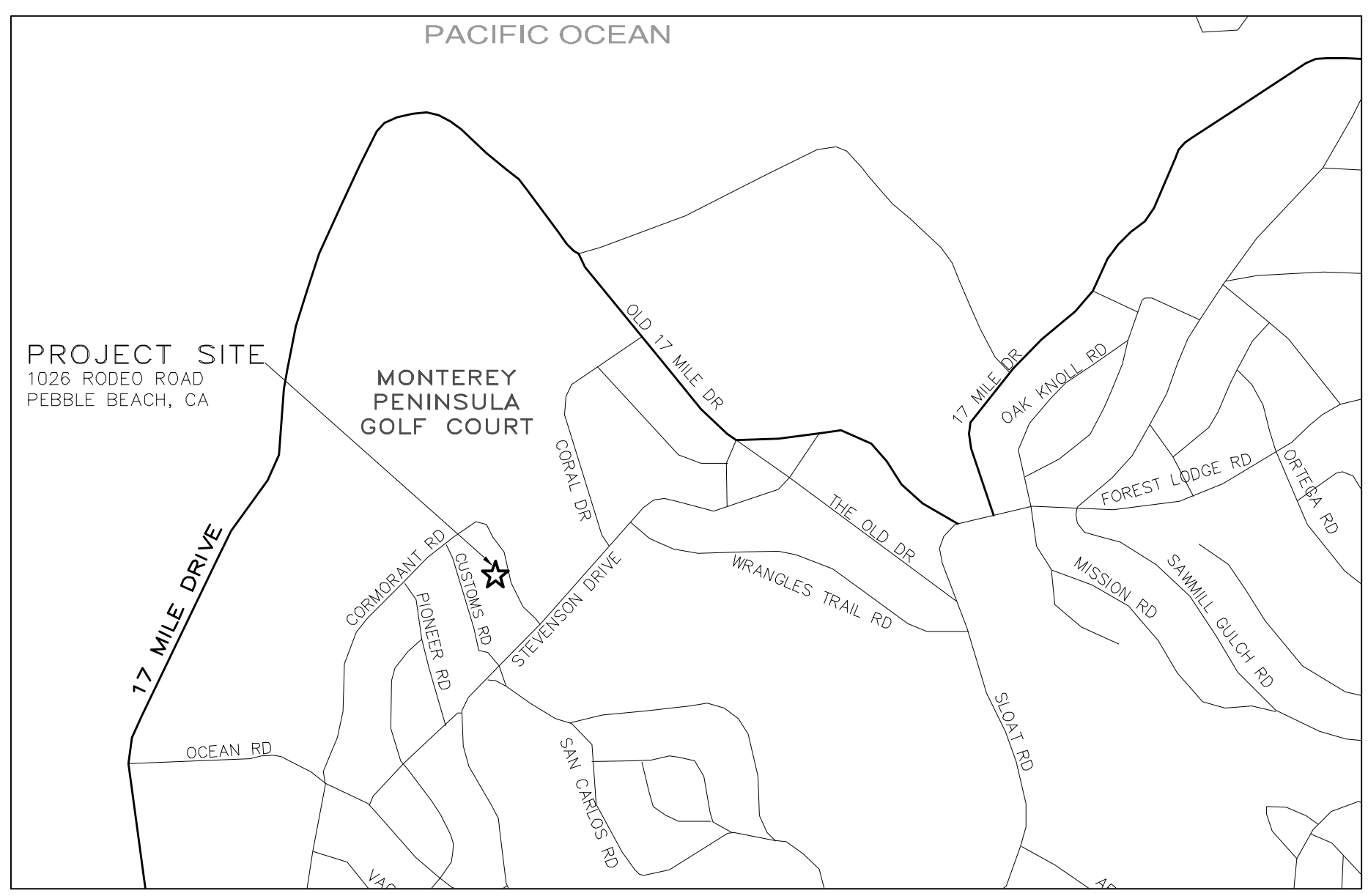


SECTION E-E
SCALE: 1"=5' H&V

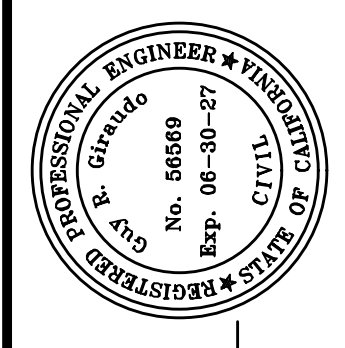
STORM WATER CONTROL NOTES:

- 1) THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER NO. 2013-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- 2) THE PROJECT IS NOT IN ANY OF THE CONDITIONED AREAS OF THE PEBBLE BEACH COMPANY DRAINAGE REQUIREMENTS AND IS NOT REQUIRED TO ANY SPECIAL STORM WATER FACILITY DESIGN.

- NOTES:**
- ALL FILL MATERIAL SHALL BE STRUCTURAL FILL PER SOILS ENGINEERING INVESTIGATION REPORT
 - SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR LAYOUT OF FOUNDATION COMPONENTS
 - OVEREXCAVATION ON BUILDING AREAS PER SOILS ENGINEERING INVESTIGATION REPORT



VICINITY MAP
NOT TO SCALE



APPROVED BY:
GUY R. GIRARDO
GUY R. GIRARDO



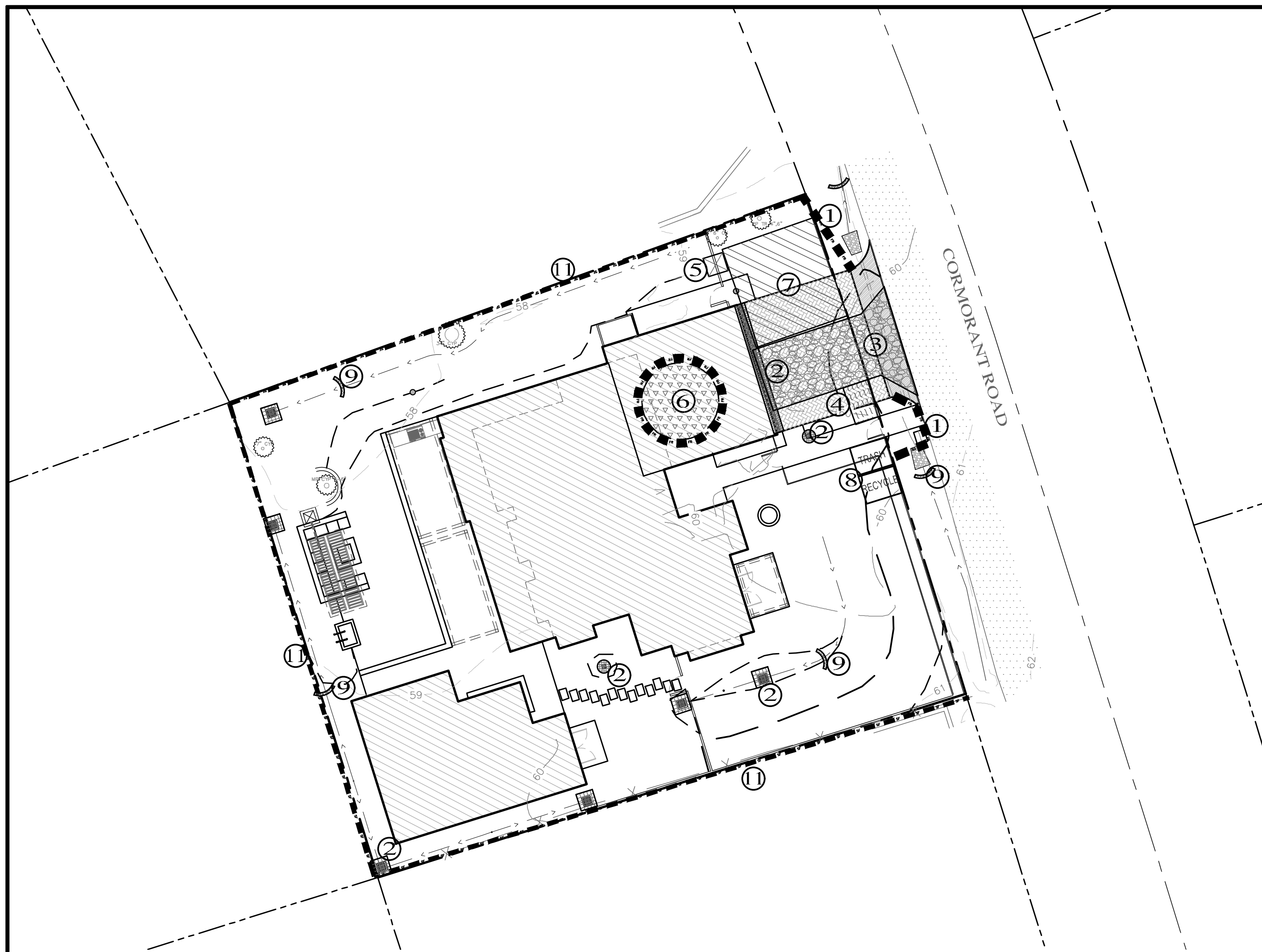
GRADING, DRAINAGE & EROSION CONTROL PLAN
 OF
ANZOATEGUI RESIDENCE
 A.P.N.: 007-262-003
 PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
 FOR
 MR. ALVARO ANZOATEGUI & MRS. JESSICA PURCELL

SCALE: 1"=5' H&V
DATE: JULY 2025
JOB NO. 2866-02

No.	DATE	BY	REVISION
12/01/25	AMS	P.B.C. ARCHITECTURAL OFFICE	
09/02/25	AMS	RELEASED TO CLIENT	
07/30/25	AMS	RELEASED TO CLIENT	

SHEET **C2**
OF 4 SHEETS

LS\PROJ\2866-ANZOATEGUI\2866-CIVIL\DWG\2866-GDSCP-DWG\24-2866-C4



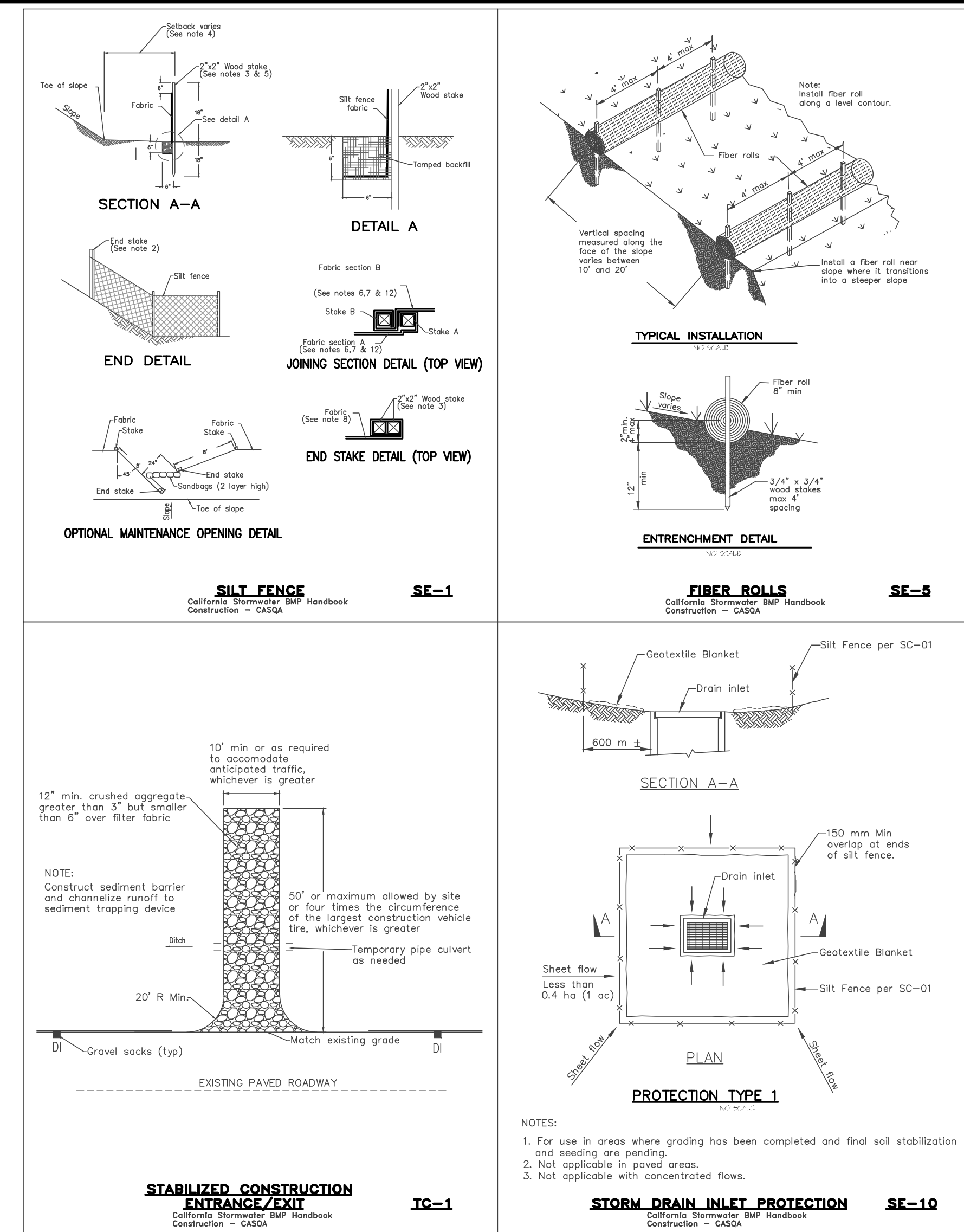
PLAN
SCALE: 1"=16'

LEGEND:

- 1 FR FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ON-SITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER), SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
- 2 DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
- 3 STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
- 4 CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
- 5 SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ON-SITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.
- 6 STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.
- 7 CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
- 8 WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATER TIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ON-SITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
- 9 GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE, OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 1/2" - 1" CRUSHED ROCK. TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
- 10 TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BY A LICENSED AND CERTIFIED ARBORIST.
- 11 SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEVED INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

EROSION & SEDIMENT CONTROL NOTES:

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- 2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- 3) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 4) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 5) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- 6) EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- 7) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- 8) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 9) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- 10) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 11) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- 12) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDING WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYUS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRMOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 13) THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- 14) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO COUNTY RMA-ENVIRONMENTAL SERVICES PRIOR TO BEG. WORK.



Material Delivery and Storage WM-1

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- ☑ Primary Category
- ☒ Secondary Category

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

- None

Description and Purpose
Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or watercourses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

This best management practice covers only material delivery and storage. For other information on materials, see WM-2, Material Use, or WM-4, Spill Prevention and Control. For information on wastes, see the waste management BMPs in this section.

Stockpile Management WM-3

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- ☑ Primary Category
- ☒ Secondary Category

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

- None

Description and Purpose
Stockpile management procedures and practices are designed to reduce or eliminate air and stormwater pollution from stockpiles of soil, soil amendments, sand, paving materials such as portland cement concrete (PCC) rubble, asphalt concrete (AC), asphalt concrete rubble, aggregate base, aggregate sub base or pre-mixed aggregate, asphalt binder (so called "cold mix" asphalt), and pressure treated wood.

Solid Waste Management WM-5

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- ☑ Primary Objective
- ☒ Secondary Objective

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

- None

Description and Purpose
Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

Hazardous Waste Management WM-6

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- ☑ Primary Objective
- ☒ Secondary Objective

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

- None

Description and Purpose
Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

Sanitary/Septic Waste Management WM-9

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- ☑ Primary Category
- ☒ Secondary Category

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

- None

Description and Purpose
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

Preservation Of Existing Vegetation EC-2

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- ☑ Primary Objective
- ☒ Secondary Objective

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

- None

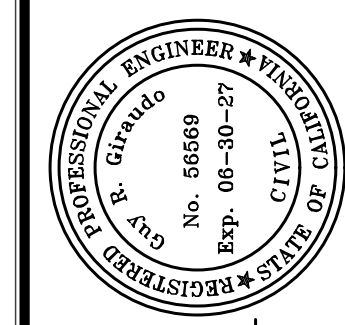
Description and Purpose
Carefully planned preservation of existing vegetation minimizes the potential of removing or injuring existing trees, vines, shrubs, and grasses that protect soil from erosion.

TABLE 1706.6 REQUIRED VERIFICATION AND INSPECTION OF SOILS

VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
1. Verify material below shallow foundations are adequate to achieve the design bearing capacity	--	X
2. Verify excavations are extended to proper depth and have reached proper material	--	X
3. Perform classification and testing of compacted fill materials	--	X
4. Verify use of proper materials, densities and lift thicknesses during placement and compaction of compacted fill.	X	--
5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly.	--	X

CONSTRUCTION INSPECTION REQUIREMENTS

- A-PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- B-DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- C-PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.



APPROVED BY:
GUY R. GIRA, P.E.
CIVIL ENGINEER



" EROSION & SEDIMENT CONTROL PLAN "

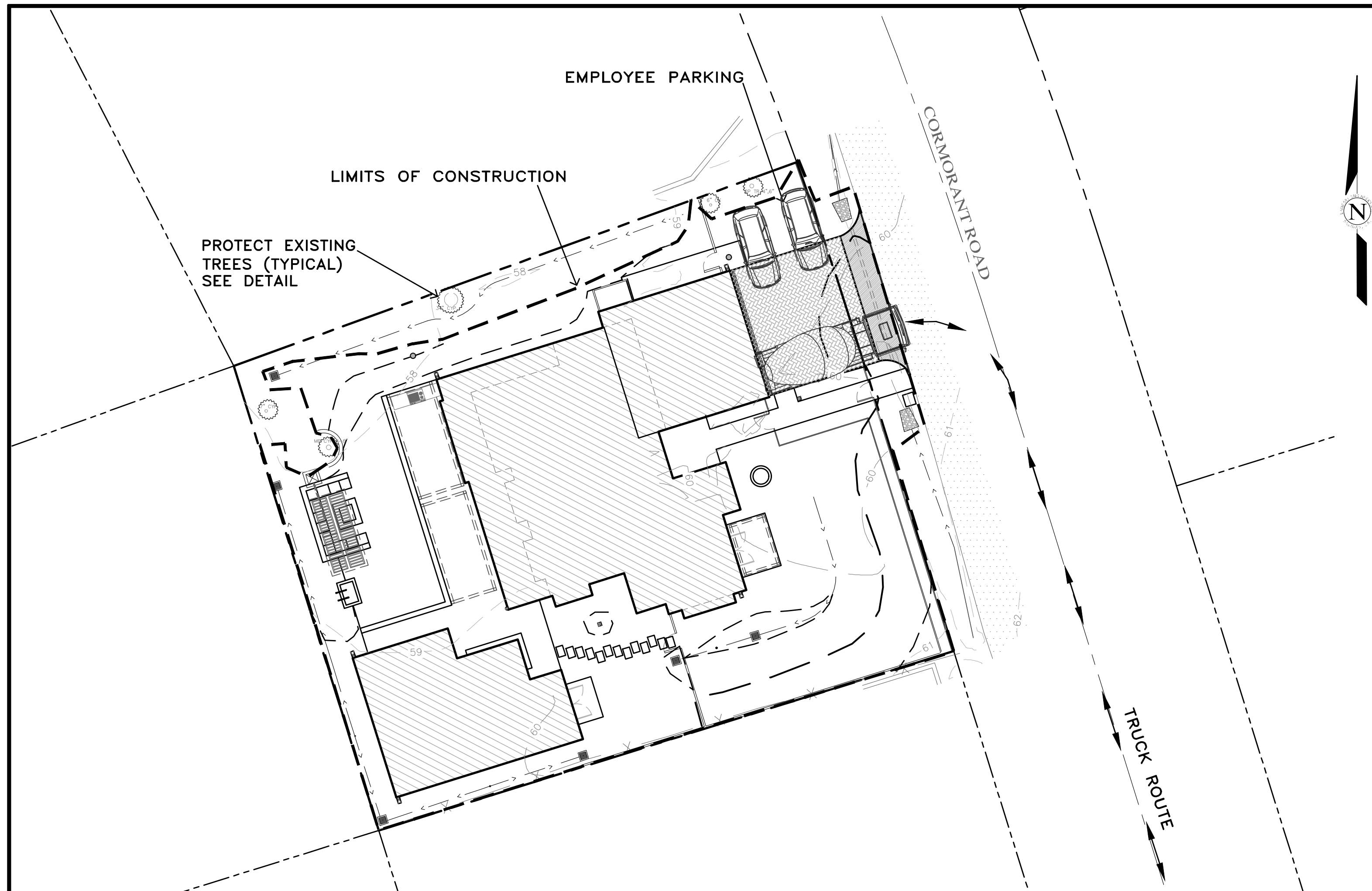
GRADING, DRAINAGE & EROSION CONTROL PLAN

ANZOATEGUI RESIDENCE
A.P.N. : 007-262-003
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR MR. ALVARO ANZOATEGUI & MRS. JESSICA PURCELL

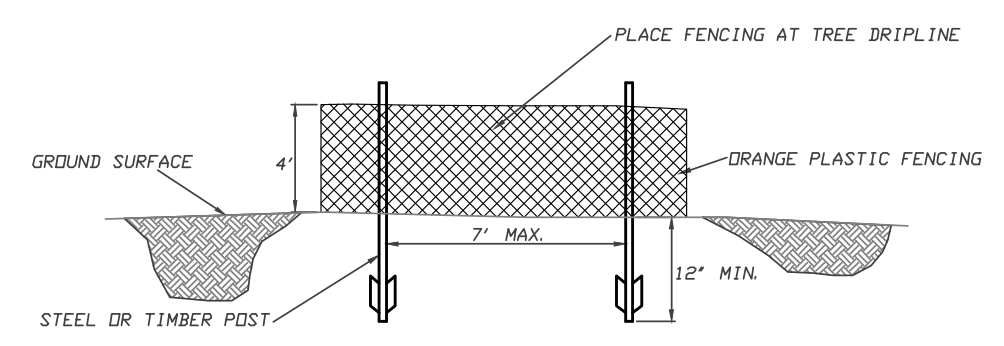
SCALE: AS SHOWN
DATE: JULY 2025
JOB NO. 2866-02

No.	DATE	BY	REVISION
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	09/02/25	AMS	RELEASED TO CLIENT
	07/30/25	AMS	RELEASED TO CLIENT

SHEET **C3** OF 4 SHEETS



PLAN
SCALE: 1"=16'



EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.:
120 CY CUT
45 CY FILL

CONSTRUCTION STAGING:
DEMOLISH EXISTING HARDSCAPE AND OFFHAUL DEBRIS: EXISTING DRIVEWAY TO BE USED FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREA.

PERFORM GRADING, CONSTRUCT NEW STRUCTURE, AND INSTALL UNDERGROUND UTILITIES: EXISTING DRIVEWAY AREA TO BE USED FOR MATERIAL AND EQUIPMENT STAGING.

INSTALL NEW PAVERS DRIVEWAY AND LANDSCAPING.

SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON CORMORANT ROAD AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

HAUL ROUTES:

THE HAUL ROUTE TO THE SITE IS FROM HIGHWAY 68 TO MORSE DRIVE TO CONGRESS ROAD TO SAWMILL GULCH ROAD TO SLOAT ROAD TO OLD 17 MILE DRIVE TO STEVENSON DRIVE TO CORMORANT ROAD. (HAUL TRUCKS EXIT IN THE SAME FASHION.) VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE (IF NECESSARY) ON CORMORANT ROAD. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

MATERIAL DELIVERIES:

IN THE EVENT THAT MATERIAL DELIVERIES CAUSE ANY STREETS ALONG THE HAUL ROUTE TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY/CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE HAUL ROUTE AND SURROUNDING STREETS.

EMPLOYEE PARKING:

LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING LOTS AND CARPOOL TO JOBSITE IF POSSIBLE. ON-SITE PARKING SHALL BE IN THE NEW MOTOR COURT AREA. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

TRUCK TRIP GENERATION CHART:

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION/CLEARING	4	4
GRADING & SOIL REMOVAL (EXPORT)	4	2
ENGINEERING MATERIALS (IMPORT)	1	1
TOTALS	9	7

TRUCK TRIP GENERATION NOTES:

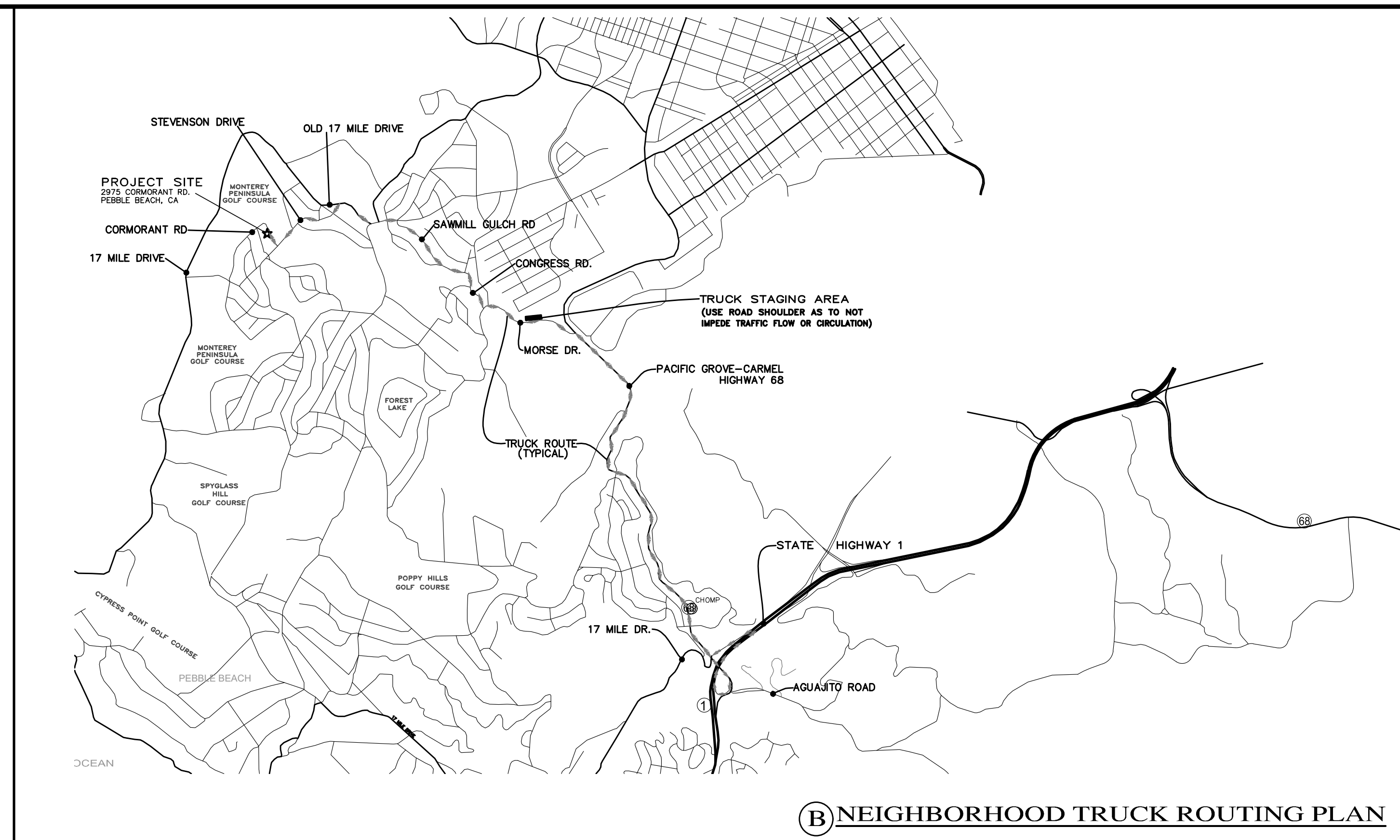
- TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 5 TRUCK LOADS PER DAY.
- THERE ARE 75 C.Y. OF SURPLUS SOIL MATERIAL THAT WILL BE EXPORTED OFF THE SITE.
- GRADING OPERATIONS SHALL TAKE APPROXIMATELY 7 WORKING DAYS TO COMPLETE.
- THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 120 CUBIC YARDS.

NUMBER OF EMPLOYEES/DAY: 6-10

HOURS OF OPERATION/DAY: 8

PROJECT SCHEDULING: PROJECTED START DATE 29 SEPTEMBER 2025, 7 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 AM - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.

A CONSTRUCTION STAGING PLAN



B NEIGHBORHOOD TRUCK ROUTING PLAN



OVERALL TRUCK ROUTING PLAN
NOT TO SCALE

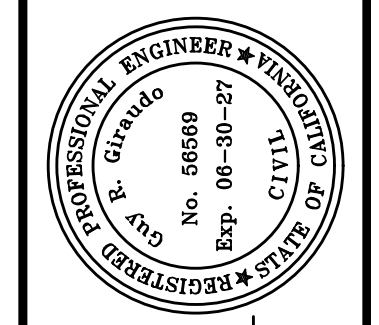
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GRADING, DRAINAGE & EROSION CONTROL PLAN

OF
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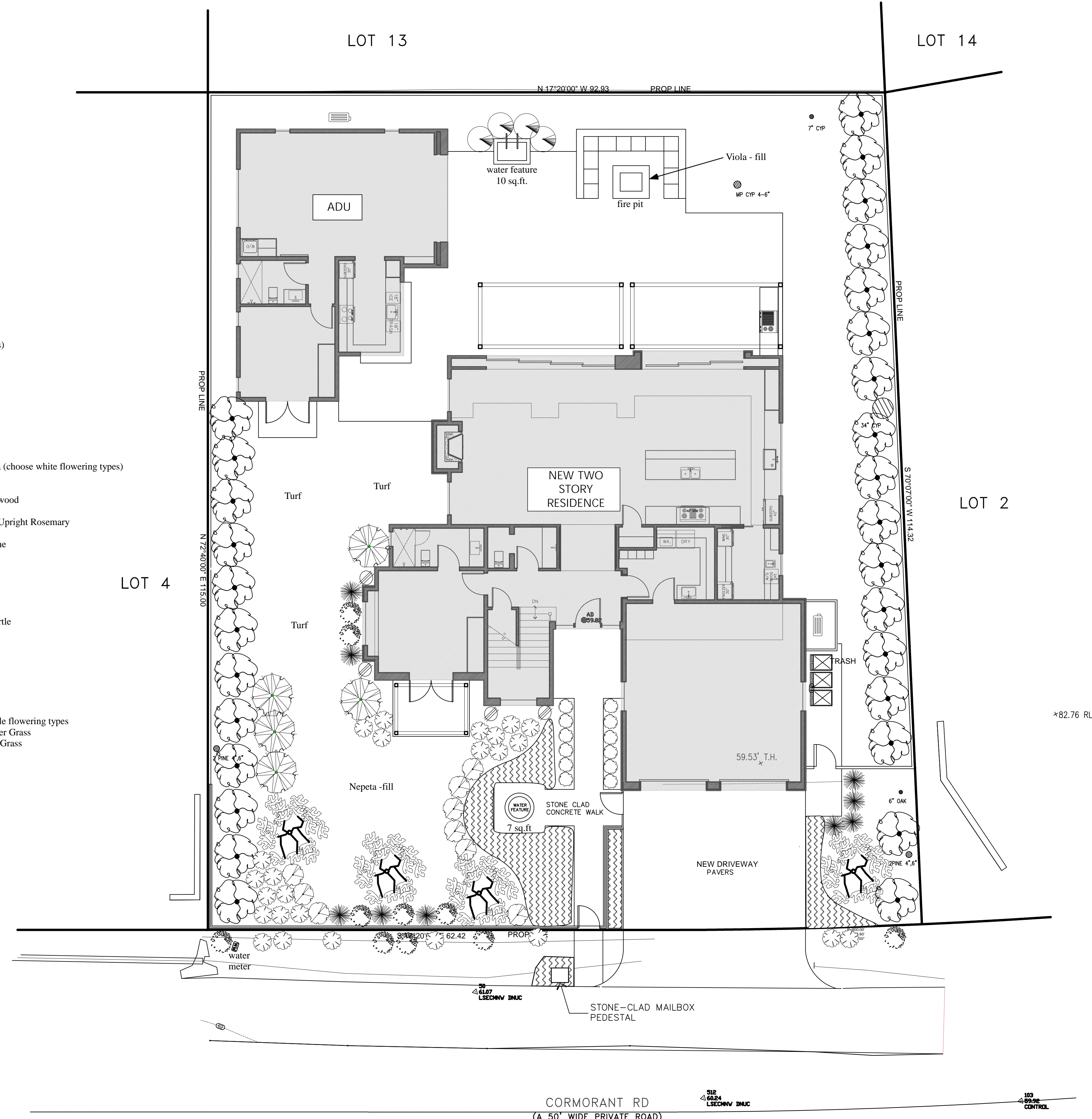


APPROVED BY:
GUY R. GIRARDI
CIVIL ENGINEER



RECOMMENDED PLANTS & KEY

Symbol	Q/Size	Name
TREES		
	4/24" box	Olea europaea - Olive (choose fruitless types)
SHRUBS		
	x/1 gal.	Lavandula detata - French Landender
	x/5 gal.	Rosa 'Iceberg' - Shrub Iceberg Rose
	x/5 gal.	Hydrangea macrophylla - Garden Hydrangea (choose white flowering types)
	x/1 gal.	Buxus microphylla japonica - Japanese Boxwood
	x/1 gal.	Rosmarinus officinalis (Salvia officinalis) - Upright Rosemary
	x/5 gal.	Trachelospermum jasminoides - Star Jasmine
	x/1 gal.	Cistus x hybridus - White Rockrose
	x/15 gal.	hedge plant - choose one of the following: Podocarpus gracilior - Fern Pine Myrica californica - Pacific Wax Myrtle
VINES		
	x/5 gal.	Rosa 'Iceburg' - Climbing Iceburg Rose
PERENNIALS		
	x/1 gal.	Choose a mix of the following: Salvia leucantha - Mexican Sage Penstemon hybrids - White and Purple flowering types Nassella tenuissima - Mexican Feather Grass Muhlenbergia dubia - Mexican Deer Grass
GROUND COVER		
	x/1 gal.	Nepeta x faassenii - Catmint
	x/sq.ft.	Dwarf Tall Fesue Sod
	x/flats	Viola hederacea - Australian Violet



Project: Anzoategui Residence
 2975 Cormorant Road
 Pebble Beach, CA 93953
 APN: 007-262-003-000
 Contact: Alvaro & Jessica Anzoategui
 Granada Construction
 408-355-4282

Landscape Plan
 Scale: 1/8" = 10"
 Date: 7/23/2025

Florausta
 Dinah Irimo
 Landscape Designer
 982 Phoenix Avenue
 Ventura, CA 93004
 831.261.4840
 flora.vista@sbcglobal.net