

# Exhibit A

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**EXHIBIT A  
DRAFT RESOLUTION**

**Before the Planning Commission  
in and for the County of Monterey, State of California**

In the matter of the application of:

**BOCCONE NORMAN B & VICTORIA E IGEL TRS (PLN220229-AMD1)**

**RESOLUTION NO. 26-053**

Resolution by the County of Monterey Planning Commission:

- 1) Finding the project consistent with a previously adopted Mitigated Negative Declaration and that no additional environmental review is warranted pursuant to CEQA Guidelines sections 15162 and 15164; and
- 2) Approving a Minor and Trivial Amendment to a previously approved Combined Development Permit that consisted of 1) a Coastal Administrative Permit to allow construction of a 2,676 square foot single family dwelling with a 516 square foot attached carport and associated site improvements; 2) a Coastal Administrative Permit to allow construction of a 414 square foot detached guesthouse with a 133 square foot covered porch, an attached 507 square foot workshop, and a 415 square foot garage; 3) a Coastal Development Permit to allow development within 100 feet of Environmentally Sensitive Habitat Areas; 4) a Coastal Development Permit to allow the removal of 17 Coast Live Oak trees; and 5) a Coastal Development Permit to allow development on slopes in excess of 25 percent. This Minor and Trivial Amendment includes converting the guesthouse, workshop, and garage into a 966 square foot Accessory Dwelling Unit with a 368 square foot attached garage and a 133 square foot covered porch.

[827 Elkhorn Road, Royal Oaks, (APNs: 181-151-021-000 & 181-151-016-000), North County Coastal Land Use Plan, Coastal Zone]

**The BOCCONE NORMAN B & VICTORIA E IGEL CO-TRS application (PLN220229-AMD1) came on for an administrative hearing before the County of Monterey Chief of Planning June 17, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:**

## FINDINGS

- 1. FINDING: PROCESS REQUIREMENTS** - The County has received and processed a minor and trivial amendment (PLN220229-AMD1) to a previously approved Combined Development Permit (HCD-Planning File No. PLN220229; Planning Commission Resolution No. 25-020) in compliance with all applicable procedural requirements.
- EVIDENCE:**
- a) On January 29, 2025, an application for an Amendment (PLN220229-AMD1) was submitted to HCD-Planning to modify the project scope approved under the Combined Development Permit HCD-Planning File No. PLN220229.
  - b) On June 25, 2025, the County of Monterey Planning Commission approved a Combined Development Permit (PLN220229, Planning Commission Resolution No. 25-020) consisting of: 1) a Coastal Administrative Permit to allow construction of a 2,676 square foot single family dwelling with a 516 square foot attached carport and associated site improvements; 2) a Coastal Administrative Permit to allow construction of a 414 square foot detached guesthouse with a 133 square foot covered porch, an attached 507 square foot workshop, and a 415 square foot garage; 3) a Coastal Development Permit to allow development within 100 feet of Environmentally Sensitive Habitat Areas; 4) a Coastal Development Permit to allow the removal of 17 Coast Live Oak trees; and 5) a Coastal Development Permit to allow development on slopes in excess of 25 percent.
  - c) Conditions of Approval. Planning Commission Resolution No. 25-020 was approved with 28 conditions. Several conditions were met or partially met under the original permit and the condition of approval/mitigation monitoring plan fees were paid (Condition No. 7). All previously approved conditions of approval will not be carried forward to this amendment (PLN220229-AMD1).
  - d) The findings and evidence from PLN220229 (Planning Commission Resolution No. 25-020) are incorporated by reference. The proposed Amendment (PLN220229-AMD1) will be the operating entitlement for the subject property and conditions shall be cleared under both permits.
  - e) The application, plans, and supporting materials submitted by the project applicant to the County of Monterey HCD-Planning for the proposed amendment can be found in Project File Nos. PLN220229 and PLN220229-AMD1.
- 2. FINDING: CONSISTENCY** – The project has been reviewed for consistency with the text, policies, and regulations in the:
- 1982 County of Monterey General Plan (General Plan);
  - North County Coastal Land Use Plan (LUP);
  - County of Monterey Coastal Implementation Plan, Part 2 (North County CIP); and
  - County of Monterey Coastal Zoning Ordinance (Title 20).
- No conflicts were found to exist. No communication was received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these

- documents. The subject property is located within the coastal zone; therefore, the 2010 County of Monterey General Plan does not apply.
- EVIDENCE:**
- a) Amendment. The project modifies the previously approved scope of work to allow the conversion of a 414 square foot detached guesthouse with a 133 square foot covered porch, an attached 507 square foot workshop, and a 415 square foot garage, to a 966 square foot detached Accessory Dwelling Unit and 368 square foot attached garage.
  - b) Allowed Use. The property is located at 827 Elkhorn Road, Royal Oaks, North County Land Use Plan, (Assessor's Parcel Number (APNs): 181-151-021-000 & 181-151-016-000). The parcel is zoned Rural Density Residential, 10 acres per unit, within the Coastal Zone ("RDR/10(CZ)"), which allows for the construction of the permitted single-family dwelling, guesthouse, and ADUs, subject to the granting of a Coastal Administrative Permit in each case. As proposed, the project involves amending a previously approved Combined Development Permit (PLN220029) by converting a 414 square foot detached guesthouse with a 133 square foot covered porch, an attached 507 square foot workshop, and a 415 square foot garage into a 966 square foot accessory dwelling unit and 368 square foot attached garage. Therefore, the project is an allowed land use for this site.
  - c) Lot Legality. The subject lot (18.17 acres) consisting of APNs: 181-151-021-000 & 181-151-016-000 in the ownership of Norman Boccone and Victoria Igel of and shown in the Assessor's Map Book 181 Page 15-1. Therefore, the County recognizes the subject property as a legal lot of record.
  - d) Review of Development Standards. The previously approved project meets all required development standards. Development standards for the RDR zoning district are identified in Title 20 section 20.16.060.  
This trivial and minor amendment would convert a detached guesthouse into an Accessory Dwelling Unit.

The maximum height for detached accessory dwelling units in the Coastal Zone is 16 feet on a legal lot with an existing or proposed single-family dwelling. As proposed the detached 966 square foot accessory dwelling unit complies with height regulations and has of approximately 11 feet and 10 ½ inches from average natural grade.

A minimum setback for converting an existing structure into an accessory dwelling unit in the Coastal Zone shall not be required. As proposed the detached accessory dwelling unit would be a conversion of the previously approved guesthouse, workshop, and garage. This amendment as proposed does not impact the previously approved setbacks. The size limitation for detached accessory dwelling units in North County shall not exceed 1,200 square feet. As proposed, the detached accessory dwelling unit complies with size limitation and has a square footage of 966.

The site coverage maximum in this RDR district is 25 percent. The property is 18.14 acres which would allow site coverage of approximately 197,737 square feet. The previously approved project resulted in a site coverage of approximately 5,304 square feet (0.8% of the lot). This amendment proposes a site coverage of approximately 4,739 square feet (0.8%) which is the same as the previously approved project site coverage.

- e) Visual Resources/Visual Impact. The subject property is in an area of visual sensitivity; this trivial and minor amendment does not modify the visual resources/visual impact analyzed approved in HCD-Planning File No. PLN220229. The property is east and above Elkhorn Slough, which is categorized in its entirety as a visually sensitive area by the North County LUP (Policy 2.2.2.1). Views of the project site from Elkhorn Road, Highway 1, and most trailheads are interrupted by forest and topography. Based on a site visit on May 7, 2024, staff determined the single-family dwelling approved in the original project would potentially impact views from the trail along the east side of the Slough (North of Kirby Park). In response to this feedback, the applicant reduced the height and pitch of the roof of the main dwelling and updated colors and materials to muted natural colors (the applicant discussed moss green painted Hardee horizontal board and batten body and earth tone trim and windows at the Land Use Advisory Committee meeting on the project). The reduced mass, combined with muted natural colors and materials, improved the potential to avoid negative visual impacts from Elkhorn Slough. The previously approved project's structures are surrounded by trees, and the topography helps to conceal the subject development, in accordance with North County LUP Policy 2.2.2.4. There are less than significant impacts to aesthetics, protected viewsheds, or public views, as discussed in the Project Initial Study (see Finding 8).
- f) Grading and Development on Slopes in Excess of 25 percent. The minor and trivial amendment does not modify the grading and development on slopes in excess of 25 percent (350 square feet), as approved in HCD-Planning No. PLN220229. The excess excavated soil will continue to be balanced on-site within a 0.7-acre area in the southeastern portion of the project site, where adaptive grassland management (Mitigation Measure BIO-9 of PLN220229) will occur and enhance native planting. The previously approved project also requires implementation of standard construction BMPs intended to minimize potential erosion-related effects and would also be required to implement standard erosion control measures during construction. This Amendment would not change the land disturbance target evaluation for the subject parcel as described in the LUP Policy 2.5.3.C.2 and North County CIP section 20.144.070.B. The LUP establishes permissible densities of 0.10 acres in HDR to 5 acres in RDR in Policy 2.3.3.C.5. Implementation of this project, as amended, will continue to require temporary changes to 1.04 acres of ground cover. Therefore, the planned scale minimizes erosion and is compatible with permissible land disturbance target density of the RDR zoning district.

- g) Development within 100 Feet of Environmentally Sensitive Habitat Area (ESHA). The previously approved project includes a Coastal Development Permit to allow development within 100 feet of ESHA (i.e., maritime chaparral in the form of Pajaro manzanita, and Oak woodland); this trivial and minor amendment does not modify the development with 100 feet of ESHA as approved in PLN220029. Policies 2.3.1 and 2.3.2 of the North County LUP require maintenance, protection, and, where possible, enhancement of sensitive habitats. As designed, conditioned, and mitigated, the previously approved project minimizes impacts to ESHA in accordance with the applicable goals and policies of the LUP. All previously applied mitigation measures remain applicable and will be implemented as required. No additional impacts will occur with implementation of the amendment.
- h) Tree Removal. The previously approved project included the removal of up to 20 Coast live oak trees, 17 of which are protected Coast live oak trees, and 1 of those is a landmark tree. Therefore, a Coastal Development Permit was required and was granted. The minor and trivial amendment does not modify the tree removal, as approved in HCD-Planning No. PLN220229.
- i) Cultural Resources. This minor and trivial amendment does not modify the cultural resources consistency as approved in HCD-Planning File No. PLN220229. The project site is in an area identified in County records as having a low sensitivity for cultural resources; however, the previously approved project required new ground disturbance for an onsite wastewater treatment system and well connection that will extend into an area of the parcel that County records identified as high sensitivity for cultural resources. An archaeological report was submitted with the original permit (County of Monterey Library No. LIB240019). Converting the guesthouse into an ADU will not change the ground disturbance and therefore, no new impacts on cultural resources will occur. The project will be required to adhere to the prior project's mitigation measure (TR-1, Tribal Cultural Monitor) and County's standard condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction.
- j) Guesthouse & Accessory Dwelling Unit. This minor and trivial amendment modifies the previously approved guesthouse by converting it into an ADU. No guesthouse will exist on site with implementation of this Amendment. The proposed ADU complies with all requirements, as described in Finding 5 and supporting evidence.
- k) Land Use Advisory Committee. The minor and trivial amendment of previously approved HCD-Planning File No. PLN2200229 was not referred to the North County Land Use Advisory Committee (LUAC) for review.
- l) The application, project plans, comment letters, and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the approved development are found in Project File Nos. PLN220229 and PLN220229-AMD1.

**3. FINDING: HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) This minor and trivial amendment was reviewed by the HCD-Planning, North County Fire Protection District, HCD-Engineering Services, HCD-Environmental Services, California Coastal Commission, and the Environmental Health Bureau (EHB). EHB added one condition of approval and HCD-Engineering Services added two conditions of approval where appropriate, to ensure that the proposed scope of will not have an adverse effect on health, safety, and welfare of persons either residing or working near the subject property.
  - b) Potable water facilities to serve the project are available from an established well on the subject parcel (Elkhorn Road Water System #9). EHB reviewed the project and witnessed source capacity testing. Although EHB found the well will support the new shared connection (main dwelling and accessory dwelling unit) without change to the existing well permit, and reviewed the water quality test results, EHB added Condition No. 6 to process the capacity and water quality paperwork.
  - c) Wastewater is approved to be contained and dispersed in the form of an onsite wastewater treatment system which EHB has reviewed and found will be sufficient to serve the project.
  - d) The application, plans, and supporting materials submitted by the project applicant to HCD for the approved development are found in HCD-Planning File No. PLN220229 and PLN220229-AMD1.

**4. FINDING: SITE SUITABILITY** – The site is physically suitable for the previously approved development . The minor and trivial amendment does not modify the site suitability finding in HCD-Planning File No. PLN220229.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, and the Environmental Health Bureau. County staff reviewed application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
  - b) The following technical reports were prepared for the previously approved project:
    - "Geotechnical Investigation Proposed Residence and Workshop 827 Elkhorn Road Royal Oaks, California APN: 181-151-009-000" prepared by Rock Solid Engineering, Inc., San Jose, CA dated June 2023, (LIB230237).
    - "Monterey County Onsite Wastewater Treatment System Feasibility Study APN 181-151-009-000 827 Elkhorn Road

Royal Oaks, CA 95076" prepared by Fox Onsite Solutions, San Jose, CA dated July 2023 (in application submittal).

- "Boccone/Igel Residence, APN 181-151-009 Forest Resource Analysis/Construction Impact Assessment/Tree Protection Plan" prepared by James P. Allen & Associates, Santa Cruz, CA dated November 2024, (LIB230235).
- "Elkhorn Road Parcel APN 181-151-009 Biological Assessment" prepared by Biotic Resources Group and Bryan Mori Biological Consulting, Soquel CA dated December 2024, with supplemental surveys reported in April 2025 (HCD-Planning Library Doc. No. LIB230236).
- "Archaeological Assessment Results for Elkhorn Road Driveway Water Line and Septic Field Improvements, Monterey County" prepared by John Schlagheck, Dudek, Santa Cruz, dated January 2024 (LIB240019).

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the approved use. This minor and trivial amendment does not modify the conclusion or approved conditions that were recommended by these reports.

- c) The application, plans, and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the approved development are found in HCD-Planning File PLN220229 and PLN220229-AMD1.

**5. FINDING: ACCESSORY DWELLING UNIT** – The project meets the established regulations and standards as identified in title 20, Section 20.64.030.

- EVIDENCE:**
- a) Title 20 Section 20.64.030 establishes regulation and standards for which an ADU, accessory to the main residence on a lot, may be permitted. The project includes the conversion of a 414 square foot guesthouse, 507 square foot workshop, and 415 square foot garage into a one-story 966 square foot ADU with an attached garage and covered porch. The proposed ADU will be detached from the previously approved single-family dwelling (HCD-Planning File No. PLN220229).
  - b) The proposed ADU will be the first accessory dwelling with independent living facilities detached from the existing main residence and constructed on an 18.17-acre lot. Parking for the ADU will be accommodated within the attached ADU garage. The ADU is designed to not substantially degrade possible archaeological resources at the site by utilizing previously disturbed areas for development.
  - c) The ADU meets the required site development standards and design criteria as defined in Title 20 Section 20.64.030 and Section 20.16.060. See Finding No. 2, Evidence “i” above
  - d) Regulations for Accessory Dwelling Units in Title 20 Section 20.64.030.D.4, require the implementation of water efficiency and conservation standards to protect groundwater resources in North County. Required water efficiency and conservation standards are: 1) toilets with a maximum tank size or flush capacity of 1.28 gallons; 2)

shower heads with a maximum flow capacity of 1.8 gallons per minute; 3) bathroom faucets with a maximum flow capacity of 1.2 gallons per minute; 4) all cloth washers and dish washers shall be Energy Star certified; and 5) kitchen faucets with a maximum flow capacity of 1.8 gallons per minute shall be installed. Additional landscaping and water conservation measures in Title 20 Section 20.64.030.D.4.B and Section 20.64.030.D.C are required.

- e) The application, plans, and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the approved development are found in HCD-Planning File PLN220229 and PLN220229-AMD1.

**10. FINDING:** **NO VIOLATIONS** – The minor and trivial amendment does not modify the no violation finding as previously approved in HCD-Planning File No. PLN220229. The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed County of Monterey Housing and Community Development (HCD) records and is not aware of any violations existing on the subject property.
  - b) The application, plans and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the approved development are found in Project File PLN220229.

**11. FINDING:** **CEQA (CONSISTENT WITH PREVIOUS MITIGATED NEGATIVE DECLARATION)** - The original CEQA action on the project was assessed for environmental impacts with an Initial Study and mitigated to a less than significant level. The Minor and Trivial Amendment does not require subsequent environmental review pursuant to CEQA Guidelines Section 15162.

- EVIDENCE:**
- a) On June 25, 2025, the County of Monterey Planning Commission approved a Combined Development Permit (PLN220229, Planning Commission Resolution No. 25-020) consisting of: 1) a Coastal Administrative Permit to allow construction of a 2,676 square foot single family dwelling with a 516 square foot attached carport and associated site improvements; 2) a Coastal Administrative Permit to allow construction of a 414 square foot detached guesthouse with a 133 square foot covered porch, an attached 507 square foot workshop, and a 415 square foot garage; 3) a Coastal Development Permit to allow development within 100 feet of Environmentally Sensitive Habitat Areas; 4) a Coastal Development Permit to allow the removal of 17 Coast Live Oak trees; and 5) a Coastal Development Permit to allow development on slopes in excess of 25 percent. Approval of this permit included adopting a Mitigated Negative Declaration and a Mitigation Monitoring and Reporting Plan (State Clearinghouse No. 2025050246).
  - b) The proposed Amendment does not increase the ground disturbance or potential environmental impact previously analyzed by the MND. The previously considered guesthouse would be converted to an ADU.

- c) The project meets Section 15162 of the CEQA Guidelines because no substantial changes are proposed requiring major revisions of the MND; no substantial changes have occurred with respect to circumstances under which the project was undertaken that will require major revisions to the MND; the project includes interior improvements to a previously approved structure (yet to be considered) and there is no additional ground disturbance, and none of the work is within the sensitive habitat area. Therefore, as proposed and conditioned, this amendment is consistent with the previously adopted Mitigated Negative Declaration. See Finding 2, and supporting evidence.
- d) No mitigation measures are required to be carried forward to this Amendment. All previously approved conditions and mitigation measures shall be satisfied under the original Coastal Development Permit.
- e) County of Monterey HCD-Planning, located at 1441 Schilling Place, 2nd Floor, Salinas, California, is the custodian of documents and other materials that constitute the record of proceedings upon which the decision to adopt the MND is based.

**12. FINDING:** **PUBLIC ACCESS** – The minor and trivial amendment does not modify the public access as approved in HCD-Planning No. PLN220229. The project as approved is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.144.150 of the County of Monterey Coastal Implementation Plan can be demonstrated.
  - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over the project site.
  - c) The subject project site is located on Elkhorn Road more than 1 and ¼ miles from Highway 1 and is on Elkhorn Slough Road, accessed by a private driveway. The area is not illustrated or described as one requiring physical public access pursuant to the Local Coastal Program (Figure 4, Public Access and Recreation, in the North County LUP).
  - d) The subject project site is identified as an area adjacent to Elkhorn Slough, where the Local Coastal Program requires visual public access (Figure 4, Public Access and Recreation, in the North County LUP). Visual impacts were analyzed in the IS/MND and were found to be less than significant, and no public access was required by the original project, nor this Amendment.

**13. FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Title 20 section 20.86.030, an appeal may be made to the Board of Supervisors by any public

agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.

- b) Coastal Commission. Pursuant to Title 20 section 20.86.080.A, the project is subject to appeal by/to the California Coastal Commission because it involves development project involving development that is permitted in the underlying zone as a conditional use.

### **DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the County of Monterey Planning Commission does hereby:

- 1) Finding the project consistent with a previously adopted Mitigated Negative Declaration and that no additional environmental review is warranted pursuant to CEQA Guidelines sections 15162 and 15164; and
- 2) Approving a Minor and Trivial Amendment to a previously approved Combined Development Permit that consisted of 1) a Coastal Administrative Permit to allow construction of a 2,676 square foot single family dwelling with a 516 square foot attached carport and associated site improvements; 2) a Coastal Administrative Permit to allow construction of a 414 square foot detached guesthouse with a 133 square foot covered porch, an attached 507 square foot workshop, and a 415 square foot garage; 3) a Coastal Development Permit to allow development within 100 feet of Environmentally Sensitive Habitat Areas; 4) a Coastal Development Permit to allow the removal of 17 Coast Live Oak trees; and 5) a Coastal Development Permit to allow development on slopes in excess of 25 percent. This Minor and Trivial Amendment includes converting the guesthouse, workshop, and garage into a 966 square foot Accessory Dwelling Unit with a 368 square foot attached garage and a 133 square foot covered porch.

This approval is for project to be constructed in general conformance with the plans and adhering to the mitigation monitoring and reporting plan, both attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 17<sup>th</sup> day of June 2026.

\_\_\_\_\_  
Melanie Beretti, AICP,  
Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON \_\_\_\_\_.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE \_\_\_\_\_.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION-MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

#### NOTES

1. The Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and/or use clearances from County of Monterey HCD-Planning office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction permits are started within this period.

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# County of Monterey HCD Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN220229-AMD1

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** This Minor and Trivial Amendment permit (PLN220229-AMD1) allows the conversion of the guesthouse, workshop, garage into a 966 square foot Accessory Dwelling Unit with a 368 square foot garage and a 133 square foot porch. The property is located at 827 Elkhorn Road, Royal Oaks, (Assessor's Parcel Number 181-151-016-000 & 181-151-021-000), North County Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

### 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"A Minor and Trivial Amendment (Resolution Number \_\_\_\_\_) was approved by the Chief of Planning for Assessor's Parcel Numbers 181-151-016-000 & 181-151-021-000 on June 17, 2026. The permit was granted subject to 7 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

### 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

### 4. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

## 5. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

**Responsible Department:** Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule. Fee schedule can be found here: [https://www.tamcmonterey.org/files/53eb01ba3/2025-0701Fee\\_Implementation\\_Worksheet.xlsx](https://www.tamcmonterey.org/files/53eb01ba3/2025-0701Fee_Implementation_Worksheet.xlsx)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

## 6. PW0045 – COUNTYWIDE TRAFFIC FEE

**Responsible Department:** Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule. The fee schedule can be found here: <https://www.countyofmonterey.gov/home/showpublisheddocument/138985/638884451861730000>

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

## 7. EHSP01 - CENTRALIZED WATER TREATMENT SYSTEM DESIGN (NON-STANDARD)

**Responsible Department:** Health Department

**Condition/Mitigation Monitoring Measure:** Water quality analysis of a samples collected from the local small water system (ID:270-1618) on April 23, 2025 and November 10, 2025 indicate that Hexavalent Chromium was detected at nine point eight micrograms per liter (9.8 ug /L) and thirteen micrograms per liter (13 ug / L), respectively, which exceeds the maximum containment level of ten micrograms per liter (10 ug / L). A centralized water treatment system shall be designed and installed to provide water that meets primary drinking water standards. The water treatment system shall be designed to meet the standards of Monterey County Code, Chapter 15.04 and 15.08, and Titles 17 and 22 of the California Code of Regulations. The design shall address water treatment wastewater management. (Environmental Health)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of construction permit, the applicant shall submit to the Environmental Health Bureau (EHB) for review and approval plans for a centralized water treatment system and any associated fees.  
Prior to final inspection of construction permit, the EHB-approved water treatment system shall be installed. The applicant shall provide to the EHB for review and acceptance as-built plans for the centralized treatment system prepared by a qualified individual and shall submit acceptable water quality results for a pre- and post-treatment Hexavalent Chromium sample from the water system.  
This condition shall not apply if the annual average is determined to be under the MCL.

**PROJECT DATA**

<b>OWNER</b>	Norman Boccone & Victoria Igel 7150 Rainbow Drive #3 San Jose CA 95129 408-209-1918
<b>ARCHITECT</b>	Carol Riewe AIA 1416 Laurent Street Santa Cruz, CA 95060 831-426-0658
<b>GEOTECHNICAL ENGINEER</b>	Rock Solid Engineering Inc. 1100 Main Street Suite A Watsonville, CA 95076 831-724-5888
<b>CIVIL ENGINEER</b>	Roper Engineering 48 Mann Avenue Corralitos, CA 95076 831-724-5300
<b>STRUCTURAL</b>	John Buchanan 1515 Capitola Road Suite H Santa Cruz, CA 95062 831-476-3145
<b>ARBORIST &amp; FORESTER</b>	James P Allen & Assoc. 119 Surfside Ave. Santa Cruz CA 95060 831-234-7739
<b>BIOLOGIST</b>	Biotic Resources Group 2552 S. Rodeo Gulch Rd Soquel, CA 95073 831-476-4803  Bryan Mori Biological Consulting 1016 Brewington Ave. Watsonville, CA 95076 831-728-1043
<b>ENERGY</b>	Bright Green Strategies 1717 Seabright Ave. Suite 4 Santa Cruz, CA 95062 831-454-9956
<b>SEPTIC</b>	Fox Onsite Solutions 1409 Beninger Ct. San Jose CA 95125 831-431-7205
<b>SITE ADDRESS</b>	827 Elkhorn Road Royal Oaks CA
<b>APN ZONING OCCUPANCY CONSTRUCTION SRA</b>	181-151-021 & 181-151-010 RDR40/CZ - RDR10/CZ R-3 & U Type VB Sprinklered Moderate/High
<b>LOT AREA</b>	+/-18.14031227 Acres (+/- 791,495 SF) Prior to LLA +/- 13.53 Acres (589,374 SF) after LLA
<b>WELL</b>	ELKHORN WS #9
<b>PROJECT DESCRIPTION</b>	Construct new single family residence to include 3 bdrm/3bath plus office and deck with attached carport. <b>CONVERT PREVIOUSLY APPROVED DETACHED GUEST HOUSE / WORKSHOP / GARAGE UNDER PLN 220229 TO DETACHED 2 BDRM / 2BA ACCESSORY DWELLING UNIT WITH GARAGE.</b> Development will be off grid using roof top solar panels with ESS and b/u generator. Site plans reflect proposed LLA under application PLN 240187.
<b>AREA TOTALS:</b>	1620 SF
MAIN FLOOR	1056 SF (896 SF beyond main floor footprint)
LOWER FLOOR	240 SF
COVERED PORCH	471 SF
DECK	516 SF
CARPORIT	516 SF
<b>(E) GUEST HOUSE</b>	413.5 SF Convert to ADU
<b>(E) WORKSHOP</b>	506.5 SF Convert to ADU
<b>(E) GARAGE</b>	414 SF Convert 465 SF to ADU
<b>(N) ADU</b>	966.0 SF
<b>(N) GARAGE</b>	368 SF Revised
COVERED PORCH	133 SF
<b>TOTAL HABITABLE</b>	3642 SF
<b>TOTAL STRUCTURES</b>	4899 SF
<b>BUILDING COV.</b>	4739 SF

(E) PAVING	+/- 10,320 SF
(N) PAVING	8,802 SF Impervious
(N) IMPERVIOUS COVER	13,541 SF
FAR	2676 + 1334 + 516 = 4526 / 589,372 = 77%
LOT COVERAGE	1620 + 896 + 240 + 516 + 1334 + 133 = 4739 / 589,372 = 8%
IMPERVIOUS COVER	4739 + 10,320 + 8,802 = 23,861 / 589,372 = 4% (exist + new)
PARKING	3 spaces required, 5 spaces provided
AVG. GRADE	21% at building site

All work and materials shall be in full accordance with the 2022 edition for Main House and 2025 edition for the ADU of the following codes: California Bldg. Code, California Residential Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Fire Code, California Energy Code, California Green Building Standards Code.

**FUEL MANAGEMENT PLAN**

**ZONE 1 EXTENDING 30 FEET FROM ALL STRUCTURES**

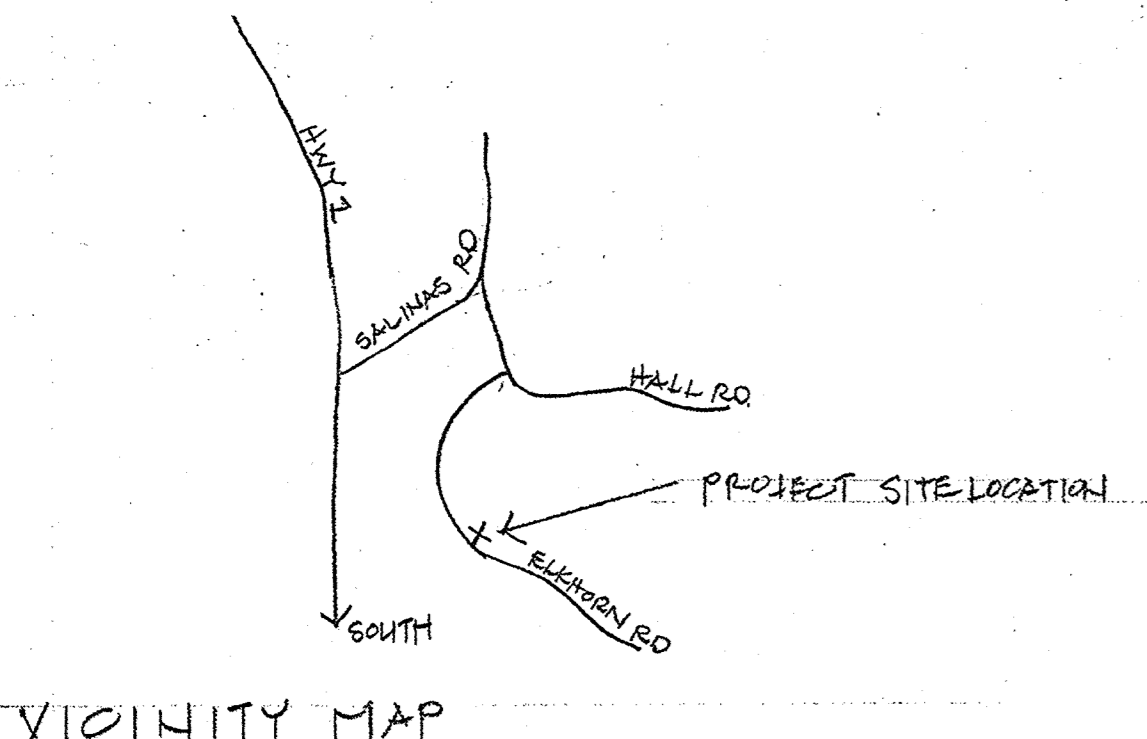
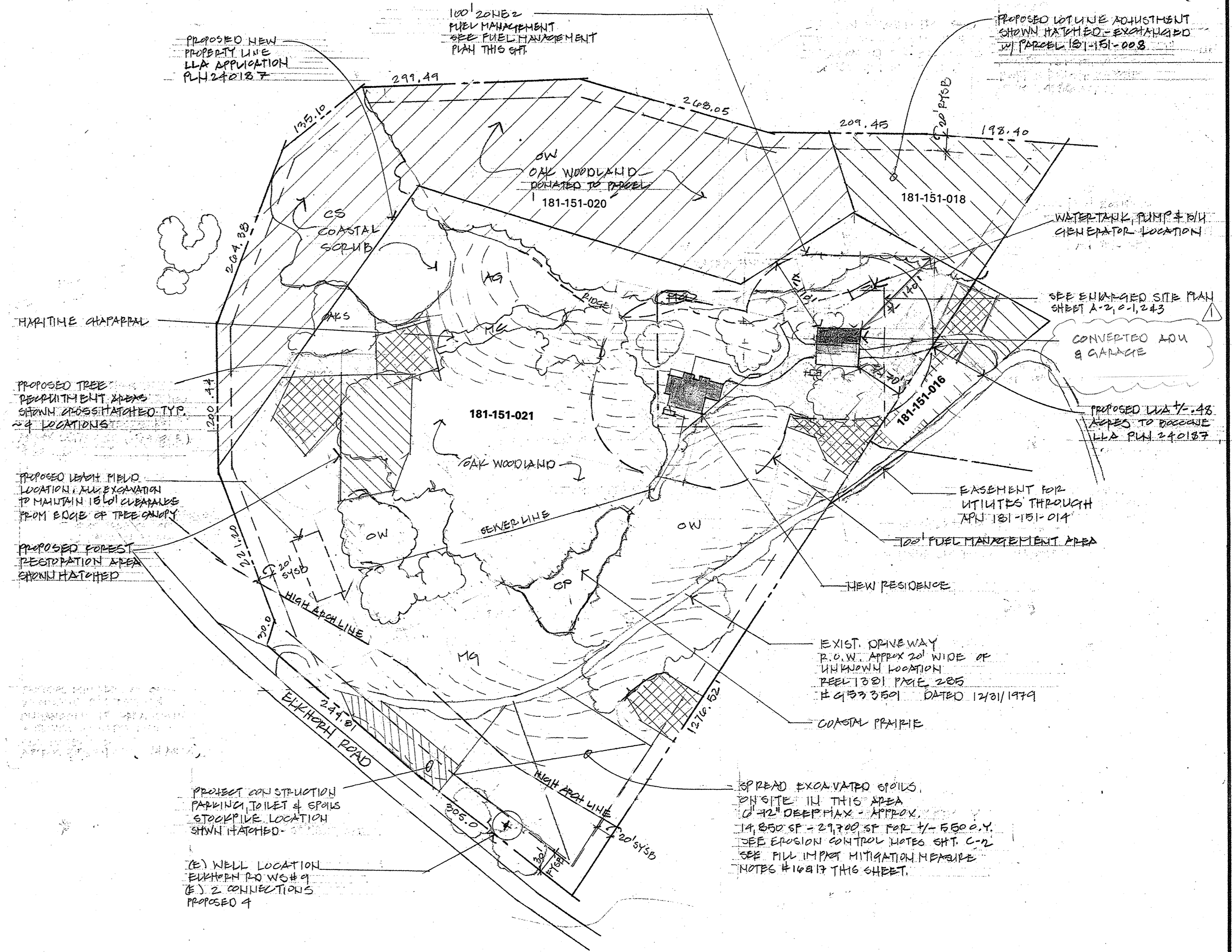
- Remove all dead plants, grass and weeds
- Remove dead or dry leaves and pine needles from yard, roof and rain gutters.
- Remove branches that hang over roof and keep branches 10 away from chimney.
- Trim dead portions of tree limbs within 10 feet from the ground.
- Remove or prune flammable plants and shrubs near windows.
- Create a separation between trees, shrubs and items that could catch fire such as patio furniture, wood piles etc.
- Trim trees regularly to keep branches a minimum of 10 feet from other trees. Review by project Arborist.
- Trim all limbs within 6 feet of the ground. To be determined and finalized during planning review process in sensitive habitat areas. See note #3 under zone 2.
- Remove all cut material or chip and spread on site.
- Provide and maintain at all times a screen over the outlet of every chimney or stovepipe that is attached to a fireplace.
- Post house numbers per Fire Departments requirements.

**ZONE 2 EXTENDING 100 FEET FROM ALL STRUCTURES**

- Manage vegetation in defensible spaces in a manner that is sensitive to the biological resources and compatible with CalFire guidelines. To reduce the fire ladder to the tree canopy, maintain a low (12-18 inches tall) understory of native vegetation. Trim tree limbs within 6 feet of ground. Remove tree limbs up to 15 feet where necessary to create vertical space between bushes and trees per note #3. Leave some logs scattered on bare soil to provide cover for wildlife. All trimming and tree pruning shall be performed under the guidance of the project Arborist.
- Remove fallen dead trees, see #1.
- Create vertical space between grass, shrubs and trees by thinning undergrowth adjacent to trees and/or pruning trees. On moderate slopes 20-40%, horizontal spacing between bushes should be 4x the height of the bush. All undergrowth thinning, tree pruning and woodland thinning must be performed under the guidance of the project Arborist in the field. Environmentally sensitive areas may require alternative fire protection measures, to be determined by the reviewing agency and the director of planning and building inspection.
- Remove fallen leaves, twigs, bark, cones and small branches. Care must be taken not to disturb any SF dusty footed woodrat houses as located by project biologist.
- Any Pajaro manzanita occurring within the fire protection zone is to be protected at all times per biotic report and mitigation measure note #1 on this sheet. Pajaro manzanita and maritime chaparral are never to be pruned, thinned or removed.
- Project shall be inspected for clearances by the fire department.

**SHEET INDEX**

- A1 OVERALLSITE PLAN , PROJECT DATA
- A2 PROJECT SITE PLAN, LIGHTING & PLANTING
- C1 SITE PLAN
- C2 DRIVEWAY PLAN
- C3 GRADING PLAN
- C4 EROSION CONTROL PLAN
- FR1 FOREST RESOURCE ANALYSIS, CONST. IMPACT ASSESSMENT
- FR2 FOREST RESOURCE ANALYSIS, TREE PROTECTION PLAN
- A3 MAIN FLOOR PLAN
- A4 LOWER FLOOR PLAN
- A5 ELEVATIONS
- A6 ELEVATIONS
- A7 GUEST HOUSE - WORKSHOP PLAN & ELEVATIONS
- A8 ADU & GARAGE - PLAN & ELEVATIONS



**SITE PLAN**  
1" = 100'

**WATER CONSERVATION REQRMS**

Toilets with a maximum tank size or flush capacity of 1.28 gallons  
 Shower heads with a maximum flow capacity of 1.8 GPM at 80 PSI  
 Bathroom faucets with a maximum flow capacity of 1.2 GPM at 60 PSI  
 All cloth washers and dish washers shall be Energy Star certified.  
 Kitchen faucets with a maximum flow capacity of 1.8 GPM at 60 PSI

Proposed and existing landscaping must consist of either of the following:  
 open space, native vegetative areas, use of drought tolerant native and/or non-invasive landscape plants with preferences given to native plants, and/or pervious or non-pervious hardscapes that do not require a permanent irrigation system. Pervious hardscapes shall be preferred over non-pervious options where feasible. Proposed or existing subsistence gardens such as family gardens, community gardens, or fruit/nut trees must employ water efficiency measures as drip irrigation to the greatest extent feasible.

REVISIONS	BY
12/11/24	CR
2/2/26	CR
4/27/20	CR

**CR design**

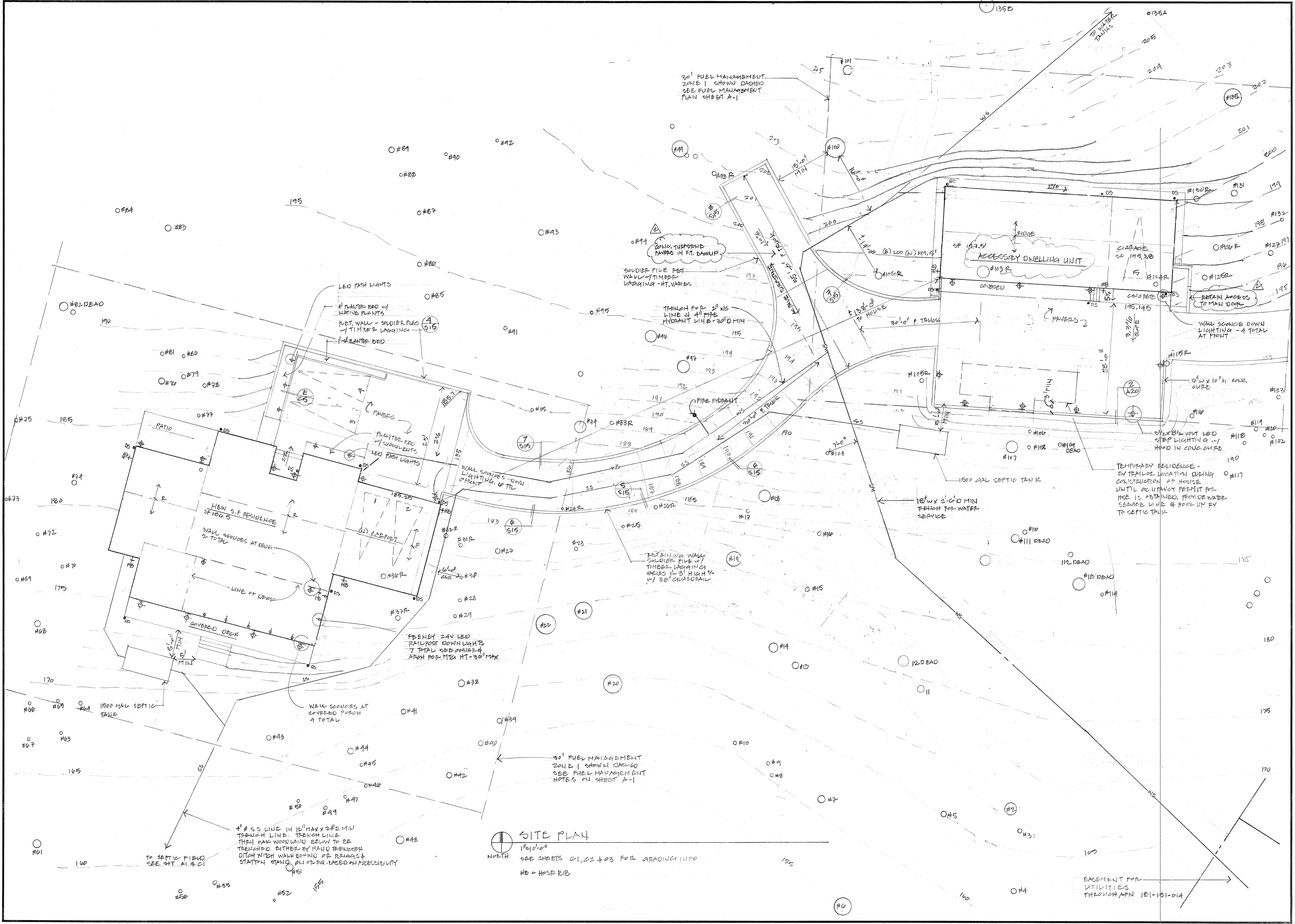
Carol Riewe  
Architect AIA

voice/facsimile  
831.426.0658  
1416 laurent street  
santa cruz, ca. 95060

SITE PLAN, PROJECT DATA, FIRE MITIGATION & HABITAT MITIGATION

**BOCCONE & IGEL**  
NEW RESIDENCE AND ADU  
827 ELKHORN ROAD ROYAL OAKS CA  
APN 181-151-021 & 181-151-010

Date	10/25/24
Scale	1" = 100'
Drawn	CR
Job	
Sheet	<b>A1</b>
Of	Sheets



REVISIONS	BY
8/11/25	CR
9/19/25	CR
10/27/25	CR
3/10/26	CR



Carol Riewe  
Architect AIA

voice/facsimile  
831.426.0658  
1416 laurent street  
santa cruz, ca. 95060

PROJECT SIGHTING PLAN  
EXTERIOR LIGHTING PLAN

**BOCCONE & IGEL**  
NEW RESIDENCE AND ADU  
827 ELKHORN ROAD ROYAL OAKS CA  
APN 181-151-021 & 181-151-016

Date	7/11/25
Scale	1" = 10'
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Of	Sheets

**SITE PLAN**  
1" = 10'  
SEE SHEETS C1, C2 & C3 FOR GRADING INFO  
HD = HOSE RIB

4" SS LINE IN 12" MAX X 24" MIN  
TRENCH LINE. TRENCH LINE  
THRU OAK WOODLAND BELOW TO BE  
TRENCHED EITHER BY HAND TRENCHER  
DITCH WITH WALK BEHIND OR BACKHOES &  
STATION STAKES AND OR GRAVING ACCESSIBILITY

TEMPORARY REGIENCE -  
BY TRAILOR LOCATION DURING  
CONSTRUCTION OF HOUSE  
UNTIL OCCUPANCY PERMIT FOR  
HSE IS OBTAINED. PROVIDE WATER  
SERVICE LINE & HOOD UP BY  
TO SEPTIC TANK

30' FUEL MANAGEMENT  
ZONE 1 SHOWN DASHED  
SEE FUEL MANAGEMENT  
PLAN SHEET A-1

20' CONC. TURFSTONE  
PATIO 14 FT. BARRUP

TRENCH FOR 2" N.S.  
LINE 2" 4" PIPE  
HYDRANT WITH 30" D MIN

LEAD PATH LIGHTS

PLANTED BED W/  
NATIVE PLANTS  
RET. WALL - SOLDIER PILES  
W/ TIMBER LAGGING  
- GRANTER BED

WALL SCONCES - DOWN  
LIGHTING - 10 TIL

RETAINING WALL  
SOLDIER PILES W/  
TIMBER LAGGING  
VARIES 1-3' HIGH W/  
3/8" GALV. PILING

PORCH 24" LED  
PAILPOST DOWN LIGHTS  
7 TOTAL SEE SHEET C1  
ARCH FOR MED HT - 30" MAX

WALL SCONCES AT  
COVERED PORCH  
4 TOTAL

30' FUEL MANAGEMENT  
ZONE 1 SHOWN DASHED  
SEE FUEL MANAGEMENT  
NOTES ON SHEET A-1

1500 GAL SEPTIC  
TANK

1500 GAL SEPTIC TANK

12" X 24" MIN  
PAILPOST FOR WATER  
SERVICE

NEW S.F. RESIDENCE  
SF 166.5

WALL SCONCES AT DECK  
2 TOTAL

LINE OF DECK

COVERED DECK

PATIO

1500 GAL SEPTIC  
TANK

1500 GAL SEPTIC  
TANK

1500 GAL SEPTIC  
TANK

1500 GAL SEPTIC  
TANK

1500 GAL SEPTIC  
TANK

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1500 GAL SEPTIC  
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1500 GAL SEPTIC  
TANK

REVISIONS	BY



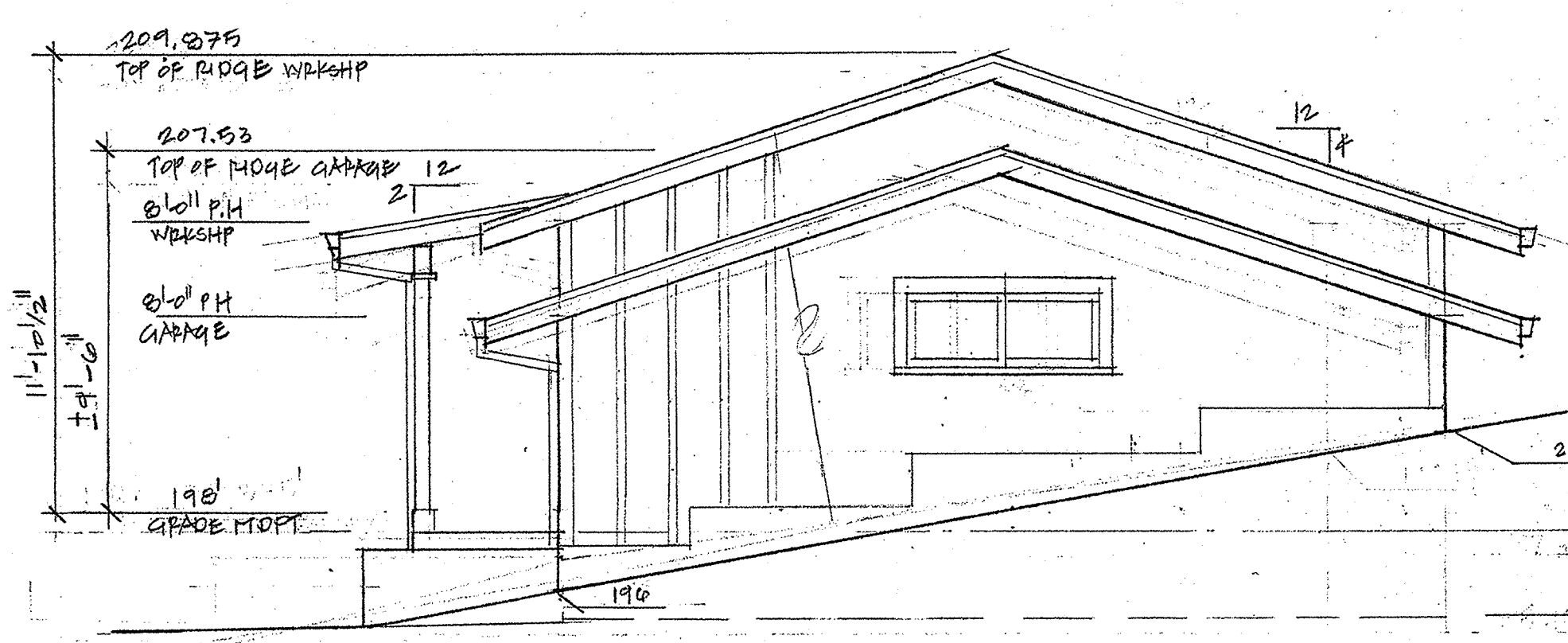
Carol Riewe  
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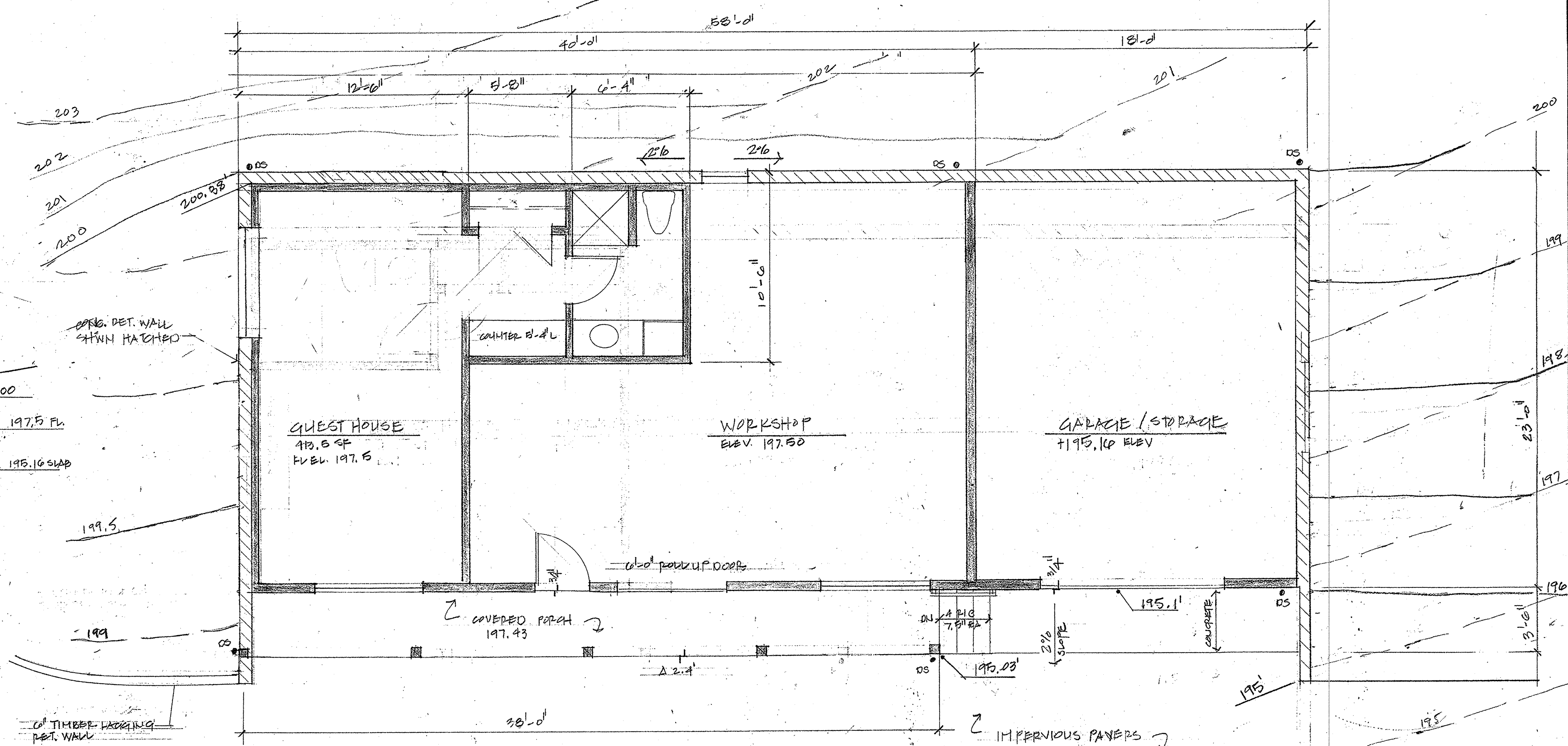
WORKSHOP and EQUIPMENT STORAGE  
FLOOR PLAN & ELEVATIONS  
EXISTING - APPROVED UNDER PLN 200229 &  
# 246900067

**BOCCONE & IGEL**  
NEW RESIDENCE AND ADU  
827 ELKHORN ROAD ROYAL OAKS CA  
APN 181-151-021 & 181-151-016

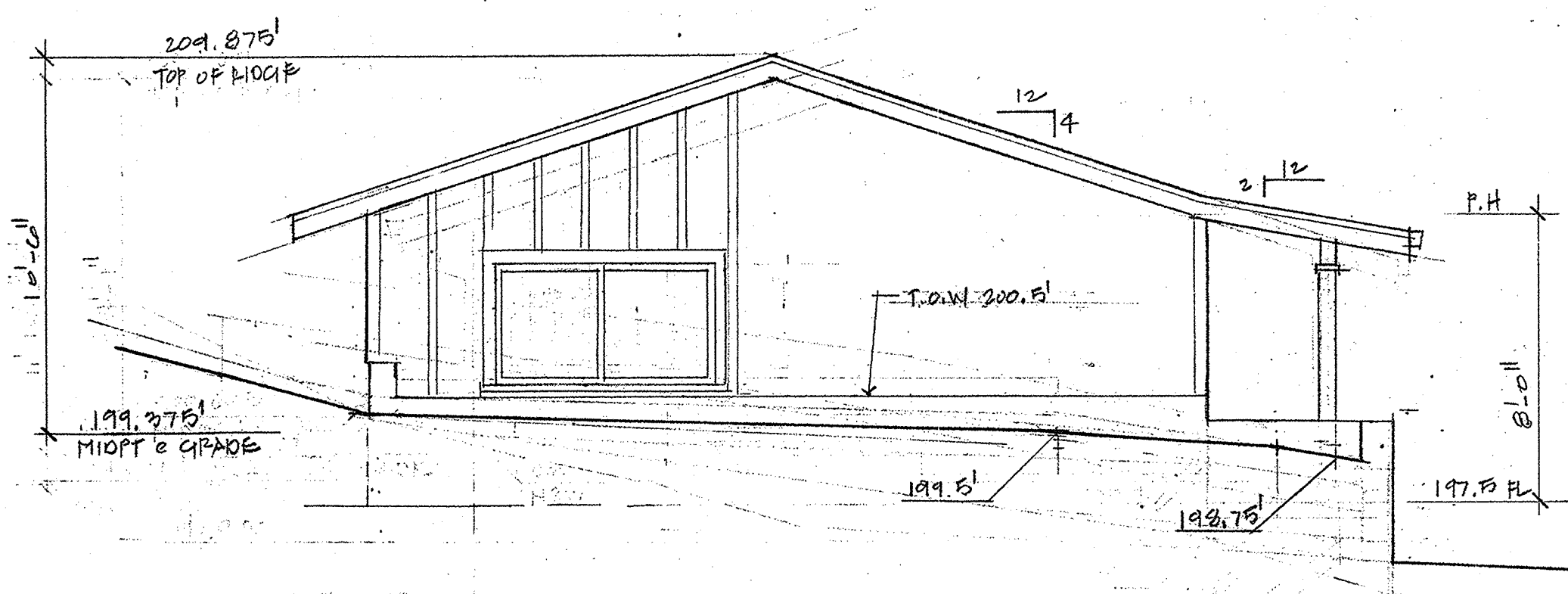
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Job  
Sheet **A7**  
Of Sheets



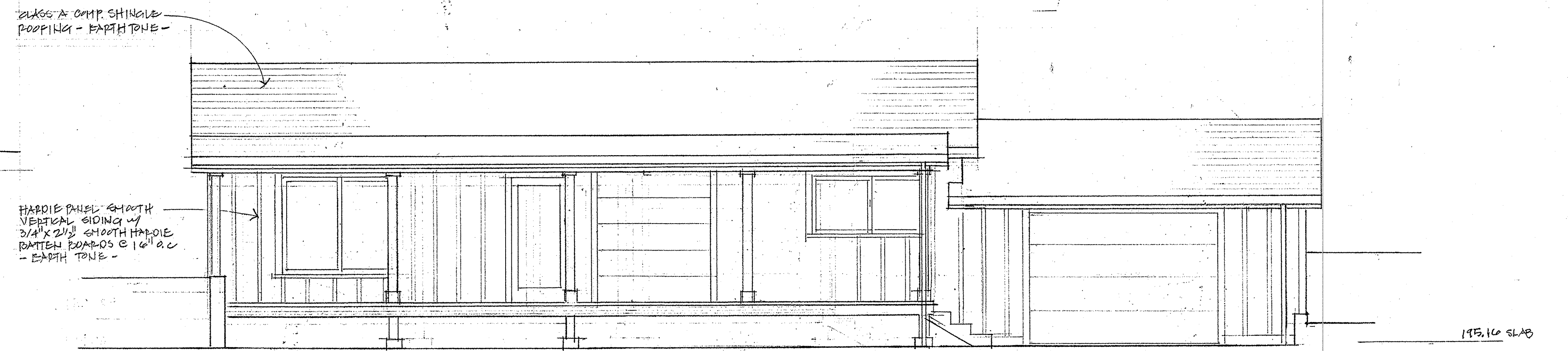
(E) EAST ELEVATION PLINT



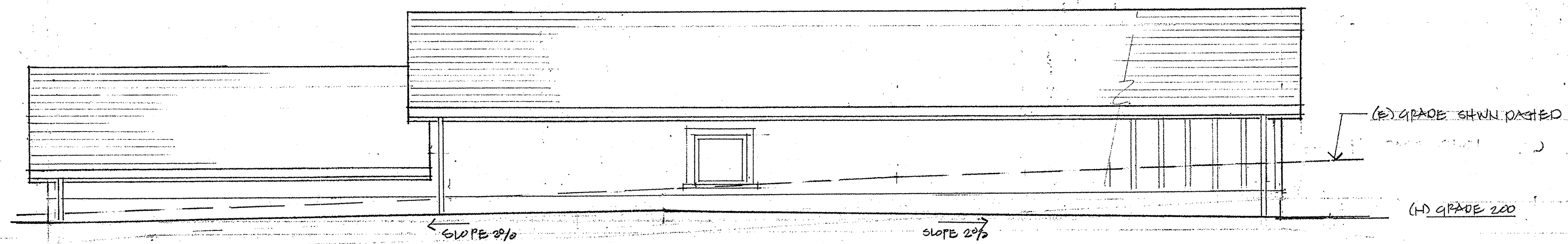
WORKSHOP FLOOR PLAN - EXISTING TO BE CONVERTED  
PREVIOUSLY APPROVED UNDER PLN 200229



(E) WEST ELEVATION LEFT



(E) SOUTH ELEVATION FRONT



(E) NORTH ELEVATION REAR

REVISIONS	BY
8/11/25	GR
9/1/25	GR
11/20/26	GR
01/28/26	GR
4/27/26	GR



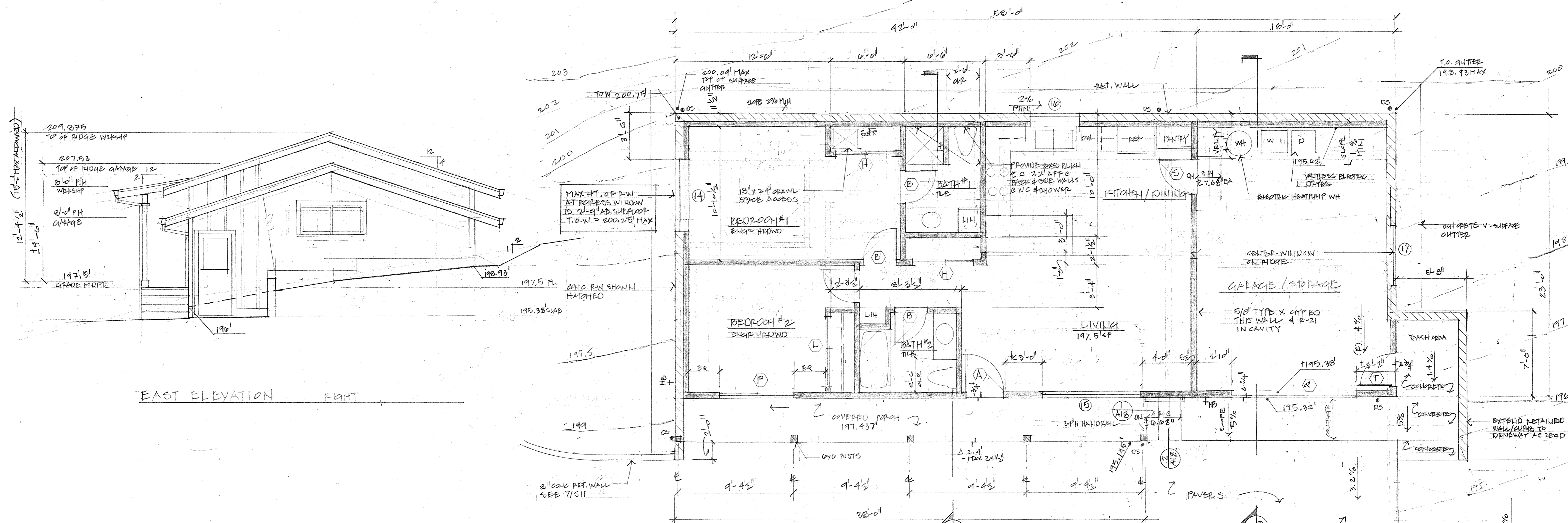
Carol Riewe  
Architect AIA

voice/facsimile  
831.426.0658  
1416 laurent street  
santa cruz, ca. 95060

ADU AND GARAGE  
FLOOR PLAN & ELEVATIONS

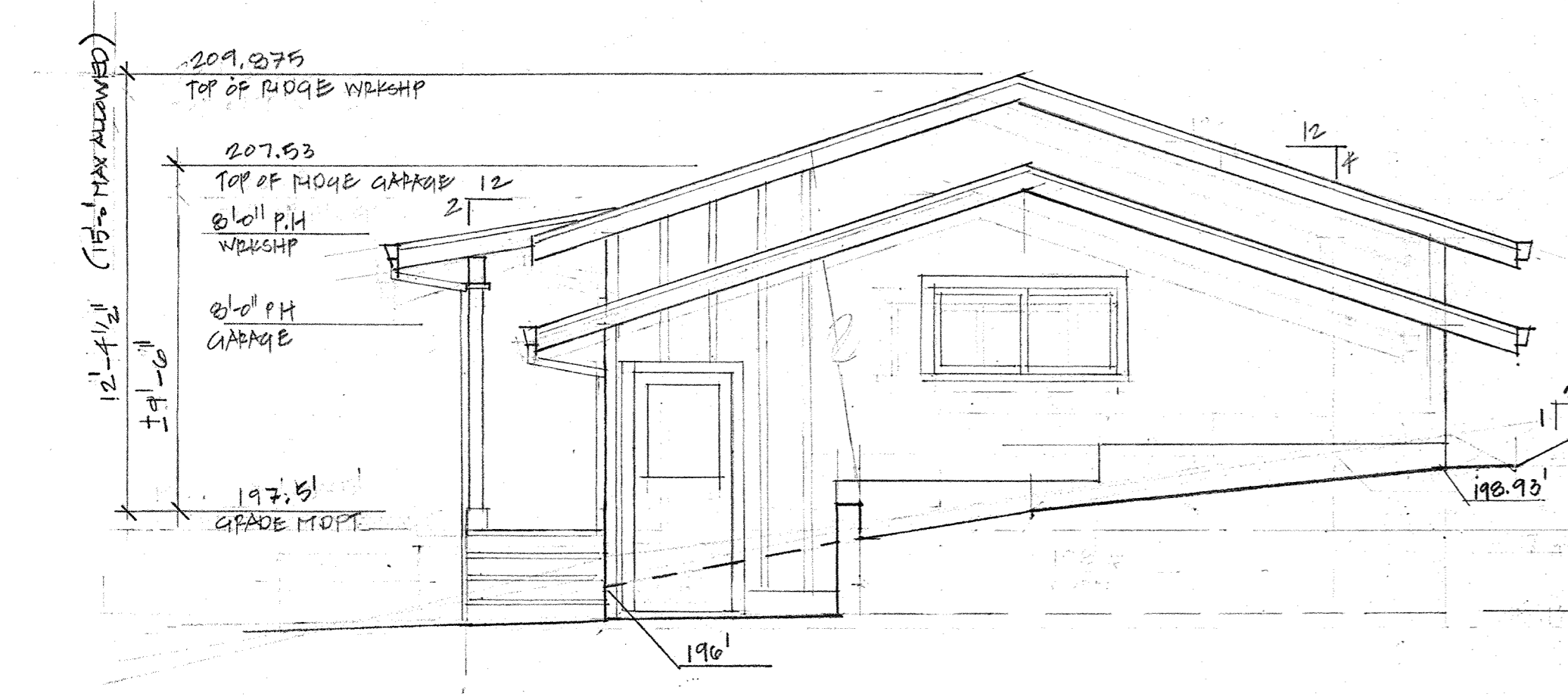
**BOCCONE & IGEL**  
NEW RESIDENCE AND ADU  
827 ELKHORN ROAD ROYAL OAKS CA  
APN 181-151-021 & 181-151-016

Date 7/1/25  
Scale 1/4" = 1'-0"  
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Job  
Sheet **A8**  
Of 8 Sheets

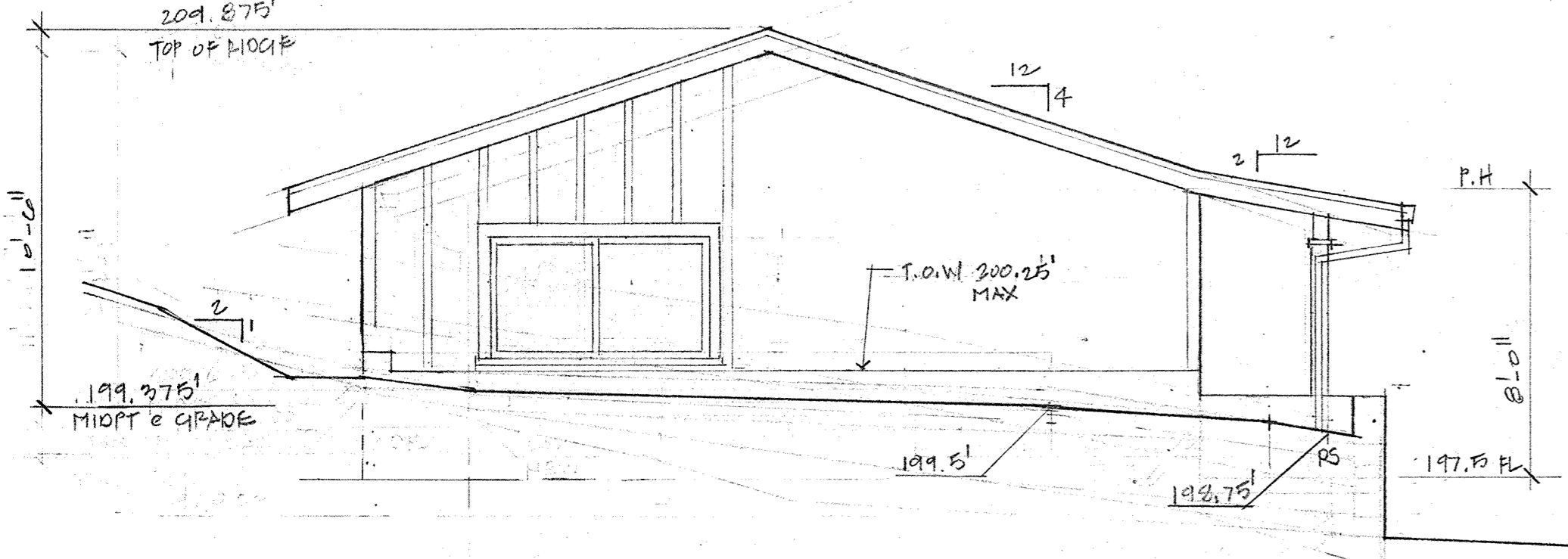


**ACCESSORY DWELLING UNIT FLOOR PLAN**

Toilets with a maximum tank size or flush capacity of 1.28 gallons  
Shower heads with a maximum flow capacity of 1.8 GPM at 80 PSI  
Bathroom faucets with a maximum flow capacity of 1.2 GPM at 60 PSI  
All cloth washers and dish washers shall be Energy Star certified.  
Kitchen faucets with a maximum flow capacity of 1.8 GPM at 60 PSI



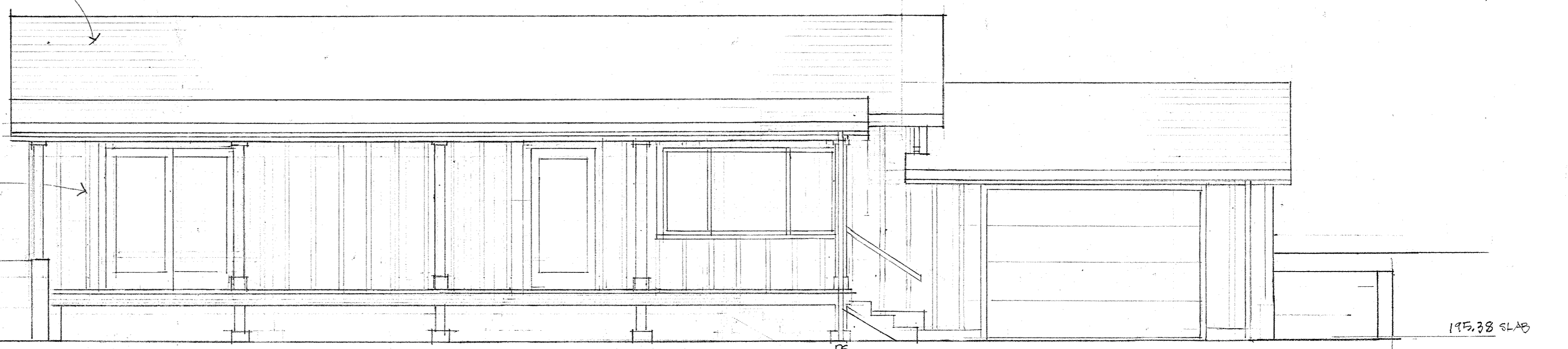
**EAST ELEVATION RIGHT**



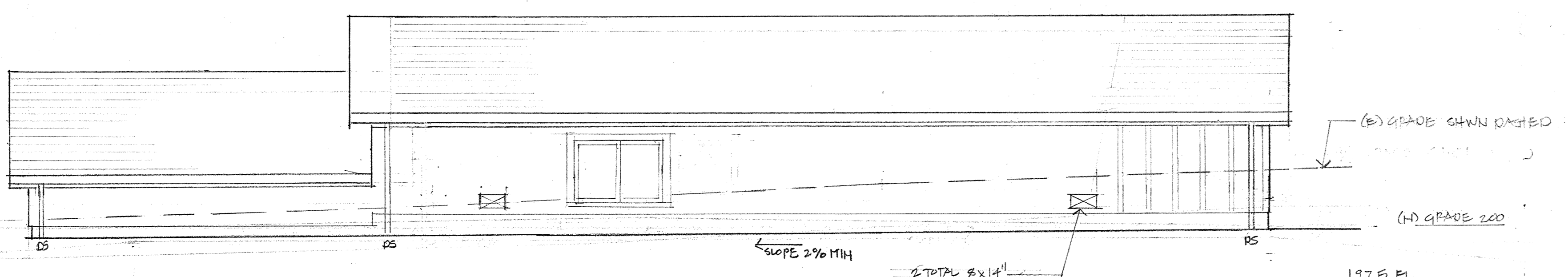
**WEST ELEVATION LEFT**

2X6S A COMP. SHINGLE  
POPPING - EXPOSED -

HARDIE PANEL SMOOTH  
VERTICAL SIDING w/  
3/4" X 2 1/2" SMOOTH HARDIE  
BATTEN BOARDS @ 16" O.C.  
- EXPOSED TAPE -



**SOUTH ELEVATION FRONT**



**NORTH ELEVATION REAR**

**ADU CRAWL SPACE VENTING**  
Total area of unvented crawl space = 966 s.f.  
Cover exposed earth in crawl space with a continuous Class I vapor retarder for reduction calculation of required venting area.  
966/1500 = .644 x 144 = 92.7 Sq. In. NFVA required

Vulcan vent VFS814 6x14 with 41 Sq. In. NFVA each. Provide 4 vents total at front foundation wall. 41 x 4 = 164 Sq. In. NFVA provided.

Vulcan vent VFS814 8x14 with 62 SQ. In. NFVA each  
At rear wall above retaining wall, provide 2 vents with sheet metal ducts fit tightly to back of vent and run through wall and floor. Sheet metal duct min width is 3.5 x 13.75 for 48 Sq. In. x 2 vents = 96 Sq. In. NFVA at rear. See detail 3/A18

2 TOTAL 8x14"  
VULCAN VENTS @ REAR  
w/ SHEET METAL DUCTS TO  
THROUGH WALL CAVITY &  
THRU FLOOR