

# Exhibit C

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**Before the Zoning Administrator in and for the  
County of Monterey, State of California**

In the matter of the application of:

**CARLUCCI KAREE ANNE (PLN200306)**

**RESOLUTION NO. 21-035**

Resolution by the Monterey County Zoning  
Administrator:

- 1) Finding that the project consists of construction of the first single family dwelling which qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Section 15303; and
- 2) Approving a Combined Development Permit consisting of:
  - a) an Administrative Permit and Design Approval to allow the construction of a 1,115 square foot two-story single family dwelling with a 334 square foot attached garage; and
  - b) a Use Permit to allow development on slopes greater than 25%.

[PLN200306, Karee Anne Carlucci, 3810 Genista Way, Greater Monterey Peninsula Area Plan (APN: 103-131-006-00)]

**The Combined Development Permit application (PLN200306) came on for public hearing before the Monterey County Zoning Administrator on September 9, 2021. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:**

**FINDINGS**

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.  
**EVIDENCE:**
  - a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
    - the 2010 Monterey County General Plan;
    - the Greater Monterey Peninsula Area Plan; and
    - Monterey County Zoning Ordinance (Title 21).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
  - b) The property is located at 3810 Genista Way, Carmel (Assessor’s Parcel Number 103-131-006-000), within the Greater Monterey Peninsula Area Plan. The parcel is zoned as a low density residential zoning district, “LDR” with building “B-6”, urban reserve “UR”, design control

“D”, and site plan review “S” zoning overlays. The LDR zoning district allows construction and use of the first single family dwelling on a lot with 1 acre/unit density. The size of the parcel is 1.01 acres with only one unit proposed. Therefore, the proposed project is in compliance with the allowed uses of the low density residential zoning district. The proposed project is also subject to the development standards of the building, site review, design approval, and urban reserve overlays. Please see subsequent evidence “c”, “d”, “e”, and “f” for further description of the proposed project’s compliance with the development standards of the zoning overlays on this parcel. The project is an allowed land use for this site.

- c) Development Standards. Title 21 Sections 21.14.060 – Site Development Standards for the LDR district and 21.42.030 Building Site Area and Setbacks for the Building Site district require the following setbacks: 30 feet from the front, 10% from the side, and 20 feet from the rear. The project, as proposed, includes a 30 foot 6 inch front setback, a 49 foot side setback, and a 66 foot and 6 inch rear setback. The average lot width is 210 feet, meaning that the 49 foot side setback meets this requirement. The proposed building site coverage of 1.7% is within the 25% lot coverage maximum established for the LDR district. The main residence reaches a maximum height from the average natural grade of approximately 29 feet, which does not exceed the 30 feet height limit for main residences in the LDR zoning district. Therefore, the project meets the development standards for the subject property.
- d) Urban Reserve. The application, project plans, and related support materials were submitted to the City of Carmel-by-the-Sea Director of Planning for review pursuant to the “UR”, or Urban Reserve, zoning overlay regulations contained in Title 21 Section 21.50.030.C. The Director of Planning reviewed the application and its contents and had no comments.
- e) Design/Neighborhood and Community Character. The subject property includes a Design Control or “D” overlay district. Pursuant to Title 21 Chapter 21.44, this district provides regulation for the location, size, configuration, materials, and colors of structures and fences where the design review of structures is appropriate to assure protection of the public viewshed. In accordance with Title 21 Section 21.44.030.A, the project requires a Design Approval application. The design of the proposed building exhibits a modern style house with Iron Gray and Night Gray wood siding panels and a black ribbed metal rood and black aluminum gutters & downspouts. The garage door will be a black painted steel and the entry door will consist of fiberglass. The cable railing along the edge of the balcony consists of a dark black painted aluminum connected by metal cables. Greater Monterey Peninsula Area Plan Policy GMP-3.3.e.1 states that the development should be rendered compatible with the visual character of the area using appropriate siting, design, materials and landscaping. The surrounding neighborhood is unique in that it does not conform to one design and has the contrasting design styles of rural and modern. Across and up the street are darker toned modern houses similar to that of the proposed project, and further

towards the end of Genista Way, lies a Spanish style white walled residence. Looking towards the cross-street Via Mar Monte from the parcel, there is a residence of similar style and color. While there is not a strong consistency in neighborhood design, the project as designed is consistent with several projects in the surrounding area.

- f) Site Plan. An “S”, or Site Plan Review, zoning overlay is located on the project parcel to provide district regulation for locations that have the potential to adversely affect or be adversely affected by natural resources or site constraints. The parcel has a site constraint of slope greater than 25% and the natural resource of oak trees. Slope greater than 25% was reviewed in accordance with all policies, procedures, plans, and goals of the Monterey County Code, the 2010 Monterey County General Plan, and the Greater Monterey Peninsula Area Plan (see subsequent Finding 4). Additionally, prior to application, 7 hazardous Monterey pine trees were removed with the approval of Tree Removal Permit TRM200232 (see subsequent evidence “j”). Other vegetation on the parcel will be maintained within a 100-foot radius as demonstrated in the fuel management plan and the landscape plan. Requirements of this overlay include plot plans or drawings showing proposed structure location, topography, existing vegetation, proposed landscaping, proposed parking layout, proposed grading, any identified environmentally sensitive habitats, any identified hazards, identified archaeological resources and historical sites, and north arrow. The submitted application, project plans, and related materials contain this information. An Administrative Permit is required for the construction of the single-family dwelling pursuant to Title 21, Section 21.45.040.B. Therefore, this project as proposed and submitted is consistent with the Site Plan Review zoning overlay.
- g) The project planner conducted a site inspection on August 4, 2021 to verify that the project on the subject parcel conforms to the plans listed above.
- h) Lot Legality. A copy of the grant deed declaring Karee Anne Carlucci, as the sole grantee of APN: 103-131-006 is listed, demonstrating that the owner and applicant have receipt of transfer and own the subject property referenced in this report. This deed applies to Lot 6, as shown in the certain Map entitled, “Tract No..444, Rancho Mar Monte No.2”, filed October 21, 1963 in Map Book 7, Maps of “Cities and Towns”, at Page 106, in the Office of the County Recorder of Monterey County, California. Therefore, the County recognizes the subject property as a legal lot of record.
- i) Monterey County 2010 General Plan Consistency. The project as proposed is consistent with the Monterey County 2010 General Plan and the associate Greater Monterey Peninsula Area Plan. The proposed project meets the development standards set by the Land Use Element and implemented by Title 21 (see preceding Evidence “c”). The proposed project is consistent with the slope policies of the Conservation and Open Space Element (see subsequent Finding 4). A geotechnical report (Finding 2, Evidence “b”) has been prepared that has found the project site to be suitable for development in compliance with Safety Element Policy S-1.6. A preliminary fuel management plan

has been proposed and approved by the Cypress Fire Protection Department in accordance with Safety Element Policy S-4.32. Additionally, this project is in no special treatment areas and is in compliance with the policies of the Greater Monterey Peninsula Area Plan. Therefore, the proposed project is consistent with the Monterey County 2010 General Plan.

- j) Tree Removal. The project as proposed does not include a request for tree removal. However, a prior tree removal permit (File No. TRM200232) was approved in September 2020 allowing the removal of 7 hazardous Monterey pine trees. The permit was conditioned to require replacement consisting of 11, 1 to 5-gallon container size Monterey pine seedlings, or sapling with alternative replacement plantings of 1 to 5-gallon Coast live oak, Monterey cypress, Pacific Madrone or Bigleaf Maple Seedlings/saplings and from local genetic stock within the same general location as the trees being removed. Originally, this condition was set to expire and lock the parcel after November 23, 2020. However, staff approved an extension on the expiration date of this condition from November 23, 2020, to November 1, 2021. This extension was granted to give the trees a better chance of survival once grading is complete and water issued to the parcel from a water meter. The location and type of trees have been implemented into the landscape plan and fuel management plan, see Attachment 2.
- k) LUAC. The project was referred to the Greater Monterey Peninsula Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application did warrant referral to the LUAC, because the application contains a design approval subject to review by the Zoning Administrator. The Greater Monterey Peninsula met on Wednesday, April 21, 2021, with 3 members present. There were no neighbors to comment, and the members stated that the project seems well designed for the lot with a septic planned and fire review complete. The project was unanimously recommended without any suggested changes with 3 ayes and 0 noes.
- l) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN200306

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD- Planning, Cypress Fire Protection District, HCD-Public Works, HCD-Environmental Services, and the Environmental Health Bureau. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
  - b) Staff identified potential impacts to Soil and Slope Stability. The following reports have been prepared:
    - “Soil Engineering Investigation and Percolation Testing for the Carlucci Residence” (LIB210034) prepared by LandSet Engineers, Salinas, CA, December 2020.

The above-mentioned technical report by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions.

- c) Staff conducted a site inspection on August 4, 2021, to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD - Planning for the proposed development found in Project File PLN200306

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use; or be detrimental or injurious to property and improvements in the neighborhood; or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD - Planning, Cypress Fire Protection District, HCD - Public Works, Environmental Health Bureau, HCD - Environmental Services, and Water Resources Agency. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) Necessary public facilities are available and will be provided. The project was issued a water use permit from the Monterey Peninsula Water Management District on February 19, 2020. The water use permit is evidence of the dedication of 0.33 Acre-Foot of water from the Malpas Water Company Water Entitlement to the Site as authorized on the Assignment Document issued by Malpas Water Company on July 1, 2016. Given that almost the entire site is covered in slope greater than 25% (see Finding 3.b.), an Alternative Onsite Wastewater Treatment System Design was prepared by LandSet Engineers and submitted to the Environmental Health Bureau. The Environmental Health Bureau reviewed this project and was able to mark this project as complete.
  - c) Staff conducted a site inspection on August 4, 2021, to verify that the site is suitable for this use.
  - d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD - Planning for the proposed development found in Project File PLN200306.

4. **FINDING:** **DEVELOPMENT ON SLOPES IN EXCESS OF 25%** – The project includes development on slopes exceeding 25% and there is no feasible alternative which would allow development to occur on slopes of less than 25% or the proposed development better achieves the goals, policies and objectives of the Monterey County General Plan, Greater Monterey Peninsula Area Plan, and the Monterey County Zoning Ordinance (Title 21) than other development alternatives.

- EVIDENCE:**
- a) The subject property is almost entirely encumbered by slopes in excess of 25%; approximately 2,000 square feet of the 1 acre property contains

slopes less than 25%. During review of the application, the applicant proposed an alternative that reduced development on slope from 2,226 square feet of disturbance to the proposed area of 1,750 square feet.

- b) The area on the parcel that can accommodate development on slopes less than 25% is primarily within the required 30 foot front setback and is not large enough to accommodate the entire residence and the driveway. However, the residence and driveway are utilized as best as possible to take advantage of development on slopes less than 25%.
- c) The project as proposed better meets the Monterey County 2010 General Plan objectives than alternative, as the redesign further minimizes development on slope greater than 25% pursuant to Conservation/Open Space Element Policy OS-3.5.1.b and moves the project a further distance from surface slope greater than 50%. Monterey County General Plan Conservation/Open Space Element Policy OS-3.5.1.d states that it is the general policy of the County to require dedication of a scenic easement on a slope exceeding (25%). A condition of approval requiring a scenic easement protecting that area of the parcel outside of the proposed development that contains slope greater than 25% has been implemented.
- d) The slope covering the parcel (mostly greater than 30%) and the size of the parcel (1 acre) cannot meet the zero building site slope density listed in Title 21, Section 21.64.180.C.1.c for the project as proposed. However, Title 21, Section 21.64.180.2 states that where an entire parcel would not be developable because of plan policies, an extremely low density of development should be allowed. The project as proposed minimizes coverage with a 2-story design and does not propose any other structures, thereby minimizing density.
- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN200306.

5.       **FINDING:**       **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.
- EVIDENCE:**
- a) Staff reviewed Monterey County HCD - Planning and Building Services Department records and is not aware of any violations existing on subject property.
  - b) Staff conducted a site inspection on August 4, 2021 and researched County records to assess if any violation exists on the subject property.
  - c) There are no known violations on the subject parcel.
  - d) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN200306.
6.       **FINDING:**       **CEQA (EXEMPT)** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.



- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303.a categorically exempts one single-family residence, or a second dwelling unit in a residential zone.
  - b) The project consists of the construction of a 1,115 square foot two-story single-family dwelling with a 334 square foot attached garage.
  - c) No adverse environmental effects were identified during staff review of the development application during a site visit on August 4, 2021.
  - d) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. This project as proposed does not lay within a particularly sensitive environment, as the project is in a moderate archaeologically sensitive area, does not impact any environmentally sensitive habitats or habitat areas, does not cut down any trees, and does not impact any historical structures. There is no foreseeable cumulative impact of this project or any other projects in the area. There is no foreseeable significant impact on the environment with the project as proposed and conditioned. Staff conducted a site visit on August 4, 2021 and could not see any of Highway 1 or any other scenic highway resource through the vegetation in between the project and Highway 1. Further, staff drove along Highway 1, stopping to try to find any visual impacts on the scenic highway and could find no visual impact. There are no hazardous waste items proposed for this project. No historical resources exist on the project site, and no historical resources will be significantly impacted by the project as proposed. Therefore, none of the exceptions under CEQA Guidelines Section 15300.2 apply to this project.
  - e) Staff conducted a site inspection on August 4, 2021, to verify that the site and proposed project meet the criteria for an exemption.
  - f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN200306.

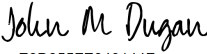
7. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Planning Commission.
- EVIDENCE:** Section 21.80.040 of the Monterey County Zoning Ordinance states that the proposed project is appealable to the Planning Commission.

### **DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find that the project consists of construction of the first single family dwelling which qualifies for a Class 3 Exemption pursuant to CEQA Guidelines Section 15303; and
2. Approve a Combined Development Permit consisting of: 1) an Administrative Permit and Design Approval to allow the construction of a 1,115 square foot two-story single family dwelling with a 334 square foot attached garage; and 2) a Use Permit to allow development on slope greater than 25%; and, in general conformance with the attached sketch (Attachment 2) and subject to the attached conditions (Attachment 1), all being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 9th day of September, 2021:

DocuSigned by:  
  
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John Dugan, FAICP, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON **9/9/21**

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE **9/20/21**

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 5-14-2014

# Monterey County RMA Planning

## Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN200306

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** This Combined Development permit (PLN200306) allows the construction of a 1,115 square foot two-story single family dwelling with a 334 square foot attached garage; and development on slope greater than 25%. The property is located at 3810 Genista Way, Carmel, CA 93923 (Assessor's Parcel Number 103-131-006-000), Greater Monterey Peninsula Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD- Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

### 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"A Combined Development Permit and Design Approval(Resolution Number 21-035) was approved by the Zoning Administrator for Assessor's Parcel Number 103-131-006-000 on September 9, 2021. The permit was granted subject to 8 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD- Planning.

### 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD- Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(HCD- Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

### 4. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

## 5. PW0044 - CONSTRUCTION MANAGEMENT PLAN

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** The applicant shall submit a Construction Management Plan (CMP) to RMA-Planning and RMA - Public Works for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project.

**Compliance or Monitoring Action to be Performed:** 1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the RMA-Planning Department and the Department of Public Works for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

## 6. PW0045 – COUNTYWIDE TRAFFIC FEE

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

## 7. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

## 8. PD023 - CONSERVATION AND SCENIC EASEMENT (SLOPE)

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** A conservation and scenic easement shall be conveyed to the County on the back half of the property to protect those portions of the property where the proposed undeveloped slope exceeds 25% percent. The easement shall be developed in consultation with certified professional. A conservation and scenic easement deed shall be submitted to, and approved by, the Director of HCD- Planning and accepted by the Board of Supervisors prior to recording the parcel/final map or prior to the issuance of grading or building permits. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, the Owner/Applicant/Certified Professional shall submit the conservation and scenic easement deed and corresponding map, showing the exact location of the easement on the property along with the metes and bound description developed in consultation with a certified professional, to HCD - Planning for review and approval.

Prior to or concurrent with recording the parcel/final map, final inspection, or commencement of use, the Owner/Applicant shall record the deed and map showing the approved conservation and scenic easement. Submit a copy of the recorded deed and map to HCD-Planning.

## General Notes

- EXAMINATION OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT THIS WORK SHALL BE MADE IMMEDIATELY BY THE CONTRACTOR, WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY THEMSELVES TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED, THEY SHALL AT SUCH TIME ASCERTAIN AND CHECK LOCATIONS OF THE EXISTING STRUCTURES AND EQUIPMENT WHICH MAY AFFECT THEIR WORK.
- CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS, INSPECTIONS, CERTIFICATES, AND FEES. (THIS SECTION SUBJECT TO OWNER'S REVIEW AND APPROVAL).
- CONTRACTOR SHALL PROTECT OWNERS AREA, NEW AND/OR EXISTING MATERIALS AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC. AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC., AS REQUIRED TO PROTECT THE PUBLIC AND OWNER DURING THE PERIOD OF CONSTRUCTION.
- ALL CONSTRUCTION WORK, ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, ETC., AS MAY BE REQUIRED SHALL CONFORM TO THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE AND THE LATEST EDITION OF ALL GOVERNING CODES AND REGULATIONS AS ADOPTED BY THE COUNTY OF MONTEREY. ALL WORK SHALL BE DONE IN A THOROUGH, WORKMAN-LIKE MANNER AND EQUAL TO THE BEST PRACTICES AND STANDARDS OF THE PRACTICE.
- ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE. ANY DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF BAKKER CONSTRUCTION. CONTRACTORS SHALL NOT SCALE DRAWINGS. QUESTIONS REGARDING DIMENSIONS SHALL BE BROUGHT TO THE DESIGNER PRIOR TO ANY START OF WORK.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR THE USE OF ALL TRADES AND SHALL PROVIDE ALL SUB CONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. THE CONTRACTOR, IN ASSUMING RESPONSIBILITY FOR THE WORK INDICATED, SHALL COMPLY WITH THE SPIRIT AS WELL AS THE LETTER IN WHICH THEY WERE DRAWN.
- SUB CONTRACTORS ARE RESPONSIBLE FOR THE REMOVAL OF ALL TRADE RELATED RUBBISH AND WASTE MATERIALS.
- THE CONTRACTOR SHALL EXERCISE STRICT CONTROL OVER THE JOB SITE CLEANING TO PRESENT DIRT, DEBRIS, OR DUST FROM AFFECTING IN ANY WAY FINISHED AREAS INSIDE OR OUTSIDE THE JOB SITE.
- THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL, AND WORKMANSHIP THROUGHOUT.
- ALL MECHANICAL, ELECTRICAL, PLUMBING WORK, AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, THE STATE MARSHALL, THE SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY, AND ANY APPLICABLE STATE OR LOCAL LAWS AND ORDINANCES. NOTHING ON THESE DRAWINGS ARE TO BE CONSTRUCTED TO PERMIT WORK NOT CONFIRMING TO THESE CODES.
- WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED IN ORDER TO PROVIDE A COMPLETELY OPERABLE INSTALLATION WITHIN THE LIMITS AND SCOPE OF WORK, BY WHICH MAY NOT BE SPECIFICALLY INCLUDED IN THE SCOPE SHALL BE INCLUDED BY THE CONTRACTOR AND INCLUDED IN HIS BID.
- THIS PROJECT SHALL COMPLY WITH TITLE 24 AND 2019 CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), AND CALIFORNIA ENERGY CODE (CEC).
- BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THIS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL NOT BE LESS THAN 4 INCHES IN HEIGHT WITH A STROKE WIDTH OF NO LESS THAN 0.5 INCHES. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATION TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS BY MEANS OF PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED.
- IN ACCORDANCE WITH SECTION 4.504, THE FOLLOWING POLLUTANT CONTROL MEASURES SHALL BE IMPLEMENTED:
  - PAINT, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
  - AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS. DOCUMENTATION SHALL BE PROVIDED TO VERIFY COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.
  - CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.
  - 50% OF THE FLOOR AREA RECEIVING RESILIENT FLOORINGS SHALL COMPLY WITH THE VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPSO) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR INSTITUTE (RFI) FLOORCORE PROGRAM.
  - PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD, (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.
- ALL HEATING AND COOLING SYSTEMS NOT CONTROLLED BY A CENTRAL ENERGY MANAGEMENT CONTROL SYSTEM (EMCS) SHALL HAVE A SEBACK THERMOSTAT, AS SPECIFIED IN SECTION 110.2(c), (2019 CEC, SECTION 150.01).
  - HABITABLE ROOMS SHALL BE PROVIDED WITH HEATING FACILITIES CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF NOT LESS THAN 68 DEGREES F, AT A POINT 3' ABOVE THE FLOOR AND 2' FROM EXTERIOR WALLS. THE INSTALLATION OF ONE OR MORE PORTABLE SPACE HEATERS SHALL NOT BE USED TO ACHIEVE COMPLIANCE WITH THIS.
  - GUARDRAILS SHALL NOT BE LESS THAN 42" IN HEIGHT.
    - REQUIRED GUARDS SHALL NOT HAVE OPENING FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOWS PASSAGE OF A SPHERE 4" IN DIAMETER.
    - GUARDRAILS SHALL BE DESIGNED TO RESIST A LINEAR LOAD OF 50 POUNDS PER LINEAR FOOT AND A CONCENTRATED LOAD OF 200 POUNDS. THE LOAD SPECIFIED MUST BE PLACED AT THE TOP OF THE GUARDRAIL.
- ALL GLASS WALLS ENCLOSING TUBS/SHOWERS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE SHALL BE PROVIDED WITH SAFETY GLAZING.
- CONTROL VALVES AND SHOWER HEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS, ARRANGED SO THAT THE SHOWER HEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT SO THAT THE BATHER CAN ADJUST VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY.

## Mechanical Notes

- ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS PER CGBS SECTION 4.504.2.1
- BATHROOM EXHAUST FANS WITH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH CGBS 4.506 AND SHALL INCLUDE THE FOLLOWING: BE ENERGY STAR COMPLIANT, UNLESS FUNCTION AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY OF 50% TO 80%.
- PROVED KITCHEN RANGE AND OVEN EXHAUSTS VENTED TO OUTSIDE AIR.
  - THE KITCHEN EXHAUST SYSTEM SHALL BE DUCTED WITH A SMOOTH METAL INTERIOR DUCT, VENTED TO OUTDOORS, HAVE A MINIMUM EXHAUST RATE OF 100 CFM AND BE PROVIDED WITH A BACK DRAFT DAMPER.
  - ALL EXHAUST OUTLETS SHALL MAINTAIN A 3' CLEARANCE FROM ANY OPERABLE OPENING.

## Plumbing Notes

- CONTRACTOR TO VERIFY THAT THE COMPLETED PROJECT WILL COMPLY WITH THE WATER PERMIT ISSUED BY THE GOVERNING JURISDICTION.
- ACCESSIBLE UNDER FLOOR AREAS SHALL BE PROVIDED WITH AN 18" X 24" MIN. ACCESS WITH 20" OF ALL PLUMBING CLEANOUTS (CBC 1209.1 & CPC 707.10).
- SHOWER HEADS SHALL NOT EXCEED 1.75 GALLONS PER MINUTE @ 60 P.S.I. LAVATORY FAUCETS WILL HAVE A MAXIMUM FLOW RATE OF 1.2 GALLONS PER MINUTE AND KITCHEN FAUCETS WILL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE.
- TOILETS SHALL HAVE A MAXIMUM 1.28 GALLONS PER FLUSH U.O.N. ON THE WATER PERMIT OR PLANS FOR LESS THAN 1.28 GALLONS PER FLUSH.
- WATER PRESSURE IN THE BUILDING SHALL BE LIMITED TO 80 P.S.I. OR LESS.
- PROVIDE PRESSURE ABSORBING DEVICES, WHETHER AN AIR CHAMBER OR APPROVED MECHANICAL DEVICES THAT WILL ABSORB HIGH PRESSURE RESULTING FROM THE CLOSING OF QUICK-ACTING VALVES. (CPC609.10).
- ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM INTERIOR FLOOR AREA OF 1.024 SQ. IN. AND ALSO CAPABLE OF ENCOMPASSING 30" DIAMETER CIRCLE (CPC 411.7).
- PROVIDE 30" WIDTH CLEARANCE IN THE TOILET COMPARTMENT AND 24" CLEARANCE IN FRONT OF THE BOWL TO THE WALL (CPC 407.5).
- MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM BATHTUBS & SHOWERS SHALL BE LIMITED TO 120 DEGREES FAHRENHEIT.
- SHOWER AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MISSING VALVE CONTROLS TYPE AND INSTALLED IN A 2X6 STUD WALL (CPC 418.0)

## Building Department Notes

- NO PERSON AY TAP INTO FIRE HYDRANT OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT.
- ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A NOZZLE SHUT-OFF. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FROM THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.
- NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED OR OTHER SUB-POTABLE WATER APPROVED BY THE MONTEREY COUNTY HEALTH DEPARTMENT AND APPROPRIATE FOR SUCH USE.
- THE USE OF SOLDER CONTAINING MORE THE 2/10 OF 1% LEAD IN MAKING JOINTS ON PRIVATE OR PUBLIC WATER SUPPLY SYSTEMS IS PROHIBITED (SB 164).
- PROVIDE NON-REMOVABLE BACKFLOW DEVICES AT ALL HOSE BIBS.

## Fire Protection Notes

- PROVIDE FIREBLOCKING AT 10' INTERVALS IN THE WALL BOTH HORIZONTALLY AND VERTICALLY PER (CRC R302.11)
- THE OPENING AROUND GAS VENTS, DUCTS, PIPES, CHIMNEYS, AND FIREPLACES AT THE CEILING AND FLOOR LEVELS SHALL BE FIREBLOCKED WITH NONCOMBUSTIBLE MATERIALS. (CRC r302.11.2).
- FIREBLOCKING IS REQUIRED AT THE OPENING BETWEEN THE SPACE AND THE CHIMNEY CHASE FOR THE FACTORY-BUILT CHIMNEYS. (CRC R1003.19).
- SMOKE DETECTORS SHALL BE INSTALLED PER CRC R314.2: EACH NEW OR EXISTING BEDROOM SHALL BE SERVED BY A SMOKE DETECTOR. IN NEW CONSTRUCTION, EACH SMOKE DETECTOR SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTION WITH HOUSE WIRING AS THE PRIMARY POWER SOURCE WITH BATTERY BACK-UP. IN REMODELS, EACH SMOKE DETECTOR MAY BE POWERED BY BATTERY ONLY. SMOKE DETECTORS SHALL SOUND AN AUDIBLE ALARM IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED.
- IF A FIRE ALARM SYSTEM IS INTEGRATED INTO A SECURITY SYSTEM, THE FIRE ALARM SYSTEM DRAWING MUST BE SUBMITTED TO THE LOCAL FIRE JURISDICTION FOR APPROVAL PRIOR TO INSTALLATION.

## Electrical Notes

- ALL INSTALLED LUMINARIES SHALL BE HIGH EFFICACY IN ACCORDANCE WITH TABLE 150.0-A, EITHER LISTED BY SOURCE TYPE OR BY BEING JAB-2016 CERTIFIED LABELED.
- LUMINARIES RECESSED INTO CEILINGS MUST HAVE IC LABELING; SEALED WITH A GASKET OR CAULKED BETWEEN HOUSING AND CEILING, AND SHALL BE CERTIFIED TO COMPLY WITH SECTION 110.9.
- DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINARIES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JAB (INCLUDING CEILING RECESSED DOWNLIGHT LUMINARIES AND GU-24 SOCKETS CONTAINING LED LIGHT SOURCES)
- RESIDENTIAL OUTDOOR LIGHTING PERMANENTLY MOUNTED TO THE DWELLING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND CONTROLLED BY A PHOTOCELL AND MOTION SENSOR OR BY PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL OR BY ASTRONOMICAL TIME CLOCK CONTROL THAT AUTOMATICALLY TURNS THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS OR BY ENERGY MANAGEMENT CONTROL SYSTEM.
- LUMINARIES INSTALLED IN WET OR DAMP LOCATIONS MUST BE MARKED "SUITABLE FOR WET/DAMP LOCATIONS."
- AFCI PROTECTION IS REQUIRED FOR ALL RECEPTACLES EXCEPT FOR THOSE LOCATED OUTSIDE, IN BATHROOMS, GARAGES, ATTICS AND BASEMENTS.
- TAMPER RESISTANT RECEPTACLES ARE REQUIRED IN ALL LOCATIONS EXCEPT AT OUTLETS LOCATED MORE THAN 5 1/2 FEET ABOVE THE FLOOR. OUTLETS THAT ARE A PART OF A LUMINARIES, OUTLETS DEDICATED TO APPLIANCES THAT CANNOT BE EASILY MOVED AND AT OUTLETS LOCATED IN ATTICS.
- GFCI PROTECTION REQUIRED FOR RECEPTACLES LOCATED OUTDOORS, IN BATHROOMS, LAUNDRY ROOM, UNFINISHED BASEMENTS, CRAWL SPACES, KITCHEN AND WET BAR COUNTER TOP SURFACES, GARAGES, ACCESSORY BUILDINGS NOT INTENDED AS HABITABLE ROOMS.
- WHERE ONE OR MORE LIGHTING OUTLETS ARE INSTALLED FOR INTERIOR STAIRWAYS, PROVIDE A WALL SWITCH AT EACH FLOOR LEVEL TO CONTROL THE LIGHTING OUTLETS WHERE THE STAIRWAY BETWEEN FLOOR LEVELS HAS SIX RISERS OR MORE.
- AT LEAST ONE LUMINARY IN BATHROOMS, GARAGES, LAUNDRY AND UTILITY ROOMS SHALL BE CONTROLLED BY A VACANCY SENSOR CERTIFIED TO COMPLY WITH SECTION 119(D).
- PROVIDE AT LEAST ONE 20-AMP CIRCUIT AT BATHROOM. CIRCUIT SHALL HAVE NO OTHER OUTLETS.
- TWO SMALL APPLIANCE OUTLET CIRCUITS, 20-AMP EACH, ARE REQUIRED IN KITCHEN; CIRCUITS SHALL BE BALANCED AND HAVE NO OTHER OUTLETS.
- KITCHEN RECEPTACLE OUTLETS SERVING COUNTERTOPS, INCLUDING ISLAND AND PENINSULA COUNTERTOPS, SHALL:
  - HAVE GFCI AND AFCI PROTECTION.
  - SHALL BE INSTALLED NOT MORE THAN 20" ABOVE THE COUNTERTOP.
  - AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH ISLAND AND EACH PENINSULA COUNTER SPACE WITH A LONG DIMENSION OF 24" MINIMUM AND A SHORT DIMENSION OF 12" OR GREATER; PENINSULA COUNTERTOPS ARE MEASURED FROM THE CONNECTING EDGE. THIS RECEPTACLE MUST BE PLACED AT THE OPEN END OF A PENINSULA COUNTER IF THE END IS >6" FROM THE WALL.
  - RECEPTACLE OUTLETS LOCATED IN DAMP OR WET LOCATIONS SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF AND SHALL BE LISTED WEATHER RESISTANT TYPE.

# Carlucci Residence

## Carmel, CA



## Existing Site Photos



## Project Information

Property Owner 1  
 Karee Carlucci  
 856 Parcel Street #3  
 Monterey, CA 93940

**Project Scope**  
 To complete a residential new build of a 1,115 sqft, 2-story home to include a 334 sqft, single car, attached garage.

**Project Address**  
 3810 Genista Way  
 Carmel, CA 93923

**APN** 103-131-006-000  
**Subdivision** Mar Monte Rancho #2  
**Occupancy** Residential  
**Type of Construction** V-B  
**Stories** 2 Proposed  
**Fire Sprinklers** Plan to Install  
**Solar Panels** Plan to Install  
**Water System** Will connect to Cal Am  
**Sewer System** New Septic Proposed  
**Zoning** LDR/B-6-UR-D-S  
**Grading** Yes- See Grading Plan  
**Tree Removal** No and None Proposed 1  
**Proposed Set Backs** Front: 30'6", Back: 66'6", Side: 49', Side: 88'6"

**Area Calcs** Average Lot Width: 210'  
**Lot Size** 47,023 sqft  
**Proposed Lot Coverage** 1.7%  
**Proposed Footprint** 800 sqft  
**Proposed Livable Space** 1,115 sqft  
**Proposed Attached Garage** 334 sqft  
**Approx. Usable Open Space** 46,223 sqft

## Project Directory

Property Owner Karee Carlucci  
 144 Pacific Ave  
 Auburn, CA 95603

General Contractor Bakker Construction Inc.  
 CONTACT: Channele Simpson  
 40 Clark Street, Suite J  
 Salinas, CA 93901  
 TEL: 831.998.7113  
 channele@bakkerconstruction.com  
 LIC# B919763

Civil Engineers LandSet Engineering  
 520 Cray Horse Canyon Rd, Ste B  
 Salinas, CA 93907  
 TEL: 831.443.6970

Structural Engineer Structures Inc.  
 CONTACT: Will Coker  
 1676 Fremont Blvd, Ste G  
 Seaside, CA 93955  
 TEL: 831.393.4460 Ext. 103

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REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION
	1	5/7/2021	C.S.	PLAN ADJUSTMENTS

Cover Page & Existing Photos

Karee Carlucci  
 3810 Genista Way  
 Carmel, CA 93923

DRAWINGS PROVIDED BY:  
**BAKKER CONSTRUCTION**  
 QUALITY. INTEGRITY. VISION

DATE:

7/14/2021

SCALE:

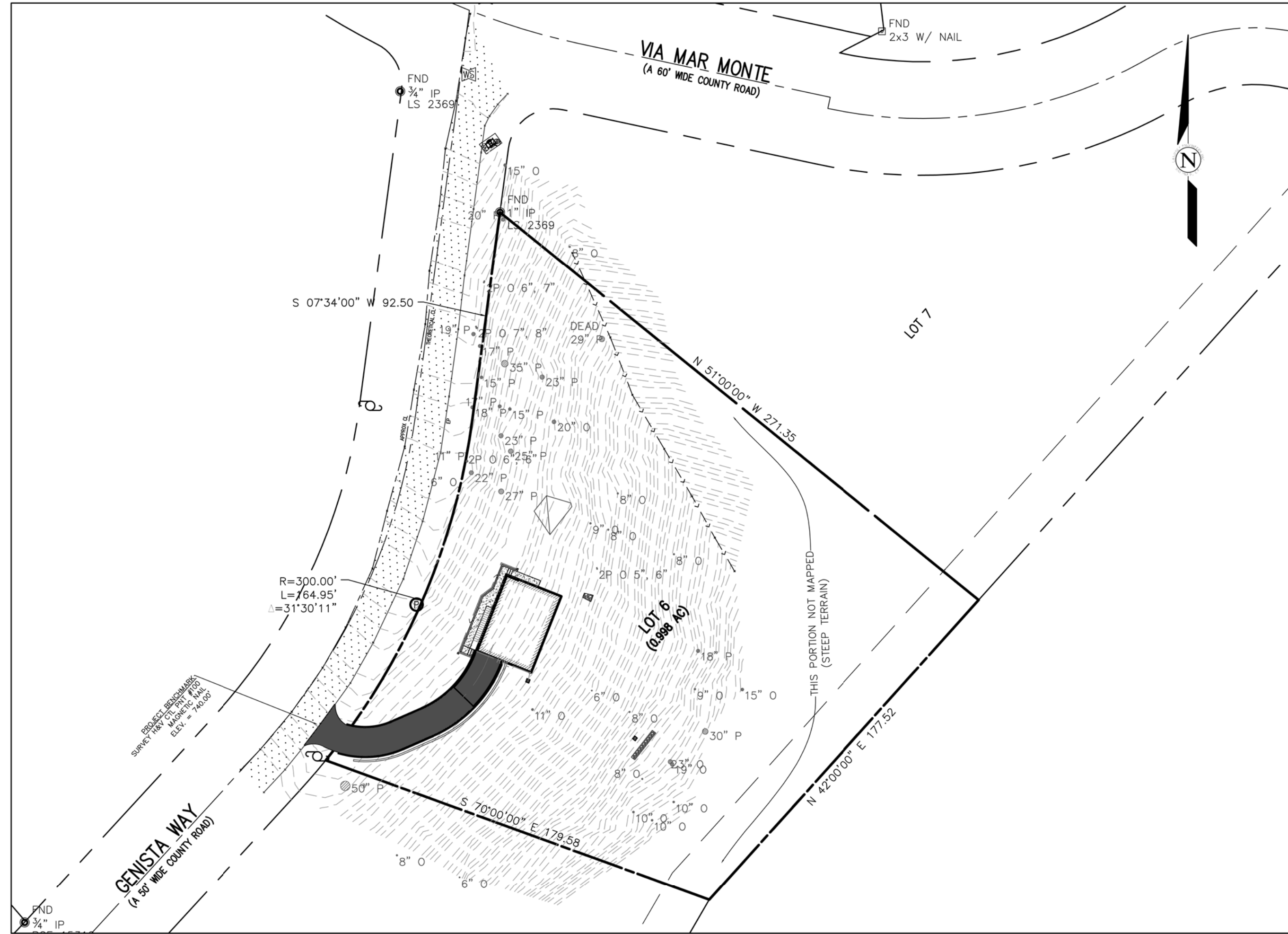
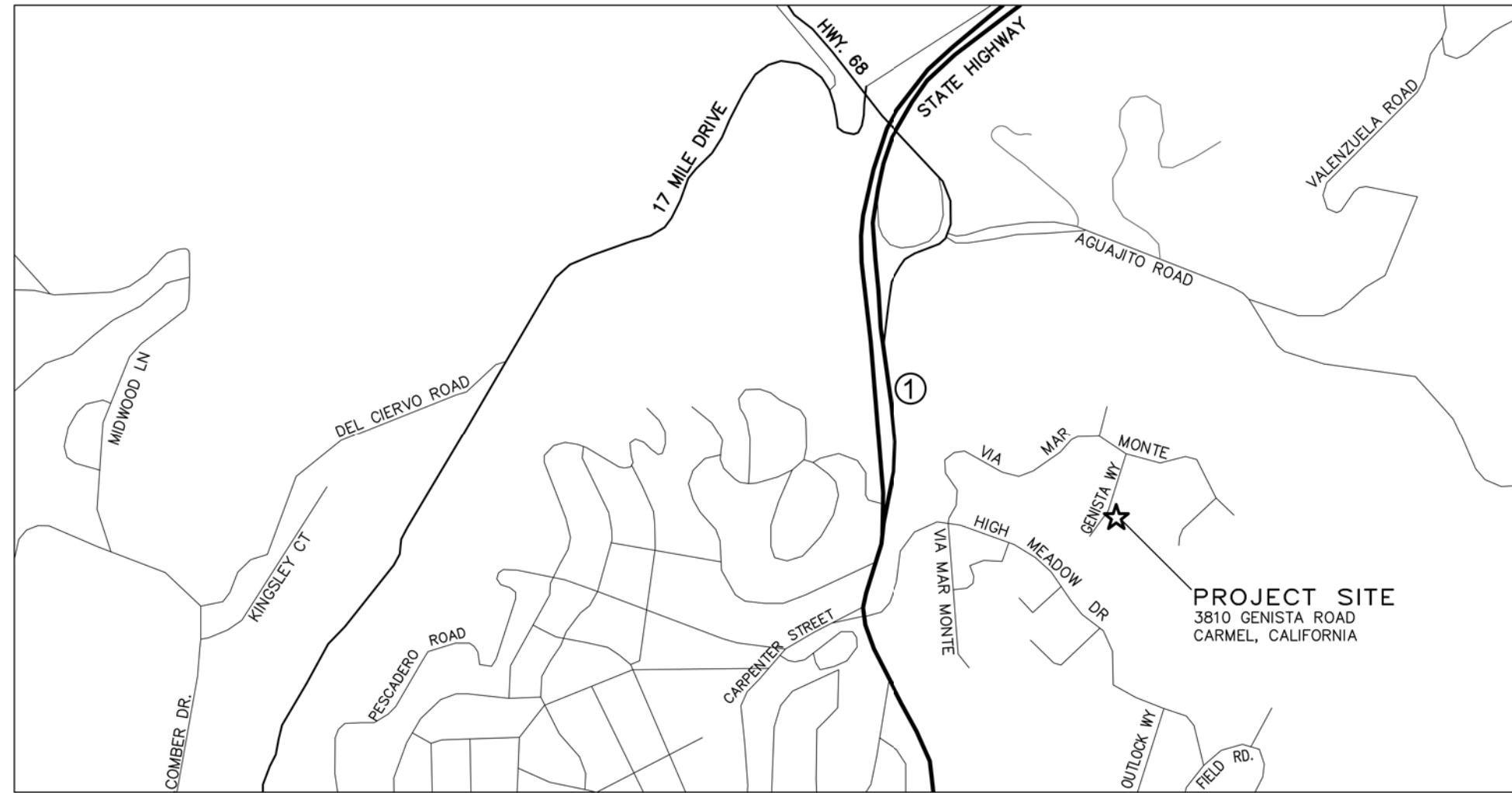
No Scale

SHEET:

A.1

# GRADING, DRAINAGE & EROSION CONTROL PLAN

OF  
**CARLUCCI RESIDENCE**  
APN: 103-131-006  
CARMEL, MONTEREY COUNTY, CALIFORNIA



**LEGEND:**

**NEW:**

- MAJOR CONTOUR LINE (5' INTERVAL)
- - - MINOR CONTOUR LINE (1' INTERVAL)
- >->- DRAINAGE SWALE FLOW LINE
- STORM DRAIN PIPE
- RAIN WATER LEADER
- SPOT ELEVATION
- ROOF DOWNSPOUT
- ASPHALT CONCRETE SURFACE
- PORTLAND CEMENT CONCRETE SURFACE
- ROCK/GRAVEL SURFACE
- EXISTING MAIN FLOOR HOUSE FOOTPRINT

**GENERAL NOTES:**

- PROJECT DESIGN BASED ON INFORMATION PROVIDED AND SHOWN ON THE SITE PLAN FOR THE CARLUCCI RESIDENCE PREPARED BY BAKKER CONSTRUCTION, AND THE BASE TOPOGRAPHIC INFORMATION PREPARED BY LANDSET ENGINEERS, INC. ON APRIL 15, 2020.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA, PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (03/19/2020) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

**GRADING & DRAINAGE NOTES:**

- ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE AND EROSION CONTROL ORDINANCE, THE RECOMMENDATIONS FOUND IN THE PROJECT SOIL'S ENGINEERING INVESTIGATION PREPARED BY LANDSET ENGINEERS, INC., PROJECT NO. 2084-02, DATED JAN. XX, 2020, THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS, THE GOVERNING PUBLIC AGENCIES, THE 2016 CALIFORNIA BUILDING CODE (CBC) AND THESE PLANS.
- SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL MATERIAL ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- THERE ARE APPROXIMATELY 100 C.Y. OF CUT AND 25 C.Y. OF FILL WITH AN EXPORT OF 75 C.Y. EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION, LANDSCAPE PURPOSES AND/OR HAULED OFF-SITE. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. IS NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOIL'S REPORT AND BE APPROVED BY THE SOILS ENGINEER PRIOR TO PLACEMENT.
- EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MIN. REL. COMPACTION. ALL BASEROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MIN. REL. COMPACTION.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL'S ENGINEER.
- PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10', PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO CONTROL DUST DURING AND FOR GRADING OPERATIONS.
- A COPY OF ALL COMPACTION TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY OF MONTEREY PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10 FEET. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FOOT OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 1% WHERE LOCATED WITHIN 5 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- ROOF DRAINAGE SHALL BE CONTROLLED BY GUTTER AND DOWN SPOUTS AND CONNECTED INTO RAIN WATER LEADERS WHICH OUTLET INTO CATCH BASIN AND DISCHARGED TO AN EROSION CONTROL/DISPERSION TRENCH. RAIN WATER LEADERS SHALL BE 4" PVC-SDR 35 PIPE, HAVE A MINIMUM SLOPE OF 1% AND A MINIMUM COVER OF 12". THE RAIN WATER LEADER TRENCHES SHOULD HAVE THEIR BEARING SURFACES FOUNDED BELOW AN IMAGINARY 1:1 (HORIZONTAL TO VERTICAL) LANE PROJECTED UPWARD FROM THE BOTTOM EDGE OF THE BUILDING FOOTINGS.
- STORM WATER (SURFACE RUNOFF) SHALL BE COLLECTED BY A COMBINATION OF AREA DRAIN, TRENCH DRAIN AND DRAINAGE SWALES OUTLETTING ONTO DISSIPATORS AS SHOWN ON THE SITE DRAINAGE PLAN.
- SUBSURFACE DRAINAGE FOR RETAINING WALLS IF REQUIRED WILL BE COLLECTED AND PIPED TO DAYLIGHT IN A NON-EROSIVE MANNER.

- THE STORM DRAIN FACILITIES SHALL BE AS SHOWN ON THE PLANS. TRENCH DRAIN SHALL BE NDS PRODUCTS. AREA DRAINS, CATCH BASIN & JUNCTION BOX SHALL BE CHRISTY PRODUCTS V5 & V12 WITH CAST IRON GRATE/LID OR APPROVED EQUAL. THE STORM DRAIN PIPE SHALL BE P.V.C. MIN. SDR 35.
- ALL NEW UTILITY AND DISTRIBUTION LINES SHALL BE PLACED UNDERGROUND.
- UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN, IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 95% MIN. RELATIVE COMPACTION. THE TOP 8" OF TRENCH SHALL BE CAPPED WITH NATIVE SOIL. IN NON-PAVED AREAS NATIVE BACKFILL SHALL BE USED AND COMPACTED TO 90% MIN. RELATIVE COMPACTION.
- ALL WORK IS SUBJECT TO APPROVAL BY THE PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.
- NO LAND DISTURBING OR GRADING SHALL OCCUR ON THE SUBJECT PARCEL BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF RMA - BUILDING SERVICES.
- SPECIAL INSPECTIONS, BY A SPECIAL INSPECTOR, ARE REQUIRED DURING FILL PLACEMENT AND THAT PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- THE LOCATION, HEIGHT AND THE PLATE HEIGHTS OF THE NEW STRUCTURE MUST BE CERTIFIED BY A SURVEYOR TO BE IN CONFORMANCE WITH THE APPROVED PLANS.
- IF DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.

TOTAL IMPERVIOUS AREA = 2,254 SQ.FT.  
TOTAL AREA OF DISTURBANCE = 3,175 SQ.FT.

**STORM WATER CONTROL NOTES:**

- THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER No. 2013-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- THIS PROJECT WILL CREATE AND/OR REPLACE COLLECTIVELY OVER THE ENTIRE PROJECT 2,254 SF OF IMPERVIOUS SURFACES AND WILL DISTURB A LAND AREA OF 3,073 SQ.FT.
- THIS PROJECT SHALL IMPLEMENT THE FOLLOWING STRATEGIES: MINIMIZE COMPACTION OF HIGHLY PERMEABLE SOILS, LIMIT CLEARING AND GRADING OF NATIVE VEGETATION, MINIMIZE IMPERVIOUS SURFACES AND LIVING THE REMAINING LAND IN A NATURAL UNDISTURBED STATE, MINIMIZE STORM WATER RUNOFF BY DIRECTING RUNOFF FROM SIDEWALKS ONTO VEGETATED AREAS, AND DIRECTING ROOF RUNOFF INTO A DISPERSION TRENCH/ENERGY DISSIPATOR SAFELY AWAY FROM BUILDING FOUNDATIONS AND FOOTINGS, CONSISTENT WITH CALIFORNIA BUILDING CODE.

NOTE: PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION.

**GEOTECHNICAL INSPECTION SCHEDULE**

Inspection item:	Who will conduct the inspection:	When the inspection is to be completed:	Inspection completed by:	Date completed:
Site stripping and clearing	LandSet Engineers, inc.	Beginning of Project		
Subexcavation, fill placement, and compaction	LandSet Engineers, inc.	Throughout grading operations		
Foundation Excavations	LandSet Engineers, inc.	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage improvements	LandSet Engineers, inc.	Prior to trench backfill		
Utility trench compaction	LandSet Engineers, inc.	During backfill operations		
Retaining wall backfill compaction	LandSet Engineers, inc.	During backfill operations		
Baserock subgrade compaction	LandSet Engineers, inc.	Prior to pavement installation		

**INDEX TO SHEETS**

SHEET C1	COVER SHEET
SHEET C2	TOPOGRAPHIC MAP/EXISTING CONDITIONS
SHEET C3	GRADING, DRAINAGE & UTILITY PLAN
SHEET C4	GRADING SECTIONS
SHEET C5	STANDARD PLANS & CONSTRUCTION DETAILS
SHEET C6	EROSION & SEDIMENT CONTROL PLAN

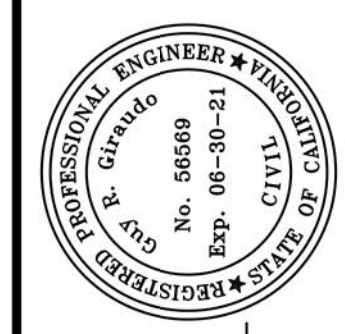
**CONTACT INFORMATION:**

**PRIMARY: OWNER**  
KAREE CARLUCCI  
856 PARCEL STREET #3  
MONTEREY, CA 93940

**SECONDARY: ARCHITECT**  
BAKKER CONSTRUCTION  
ATTN: CHANELLE SIMPSON  
40 CLARK STREET, SUITE J  
SALINAS, CA 93901  
PH (831)998-7113

**SITE LOCATION:**  
3810 GENISTA WAY  
CARMEL, CA 93923

No.	DATE	BY	REVISION
05/07/21	AMS	NEW BLDG. LOCATION	
04/20/21	AMS	MO.CO. PLANNING DEPARTMENT	
11/11/20	AMS	RELEASED TO CLIENT	
11/05/20	AMS	CONCEPTUAL PLANS APPROVED BY CLIENT	



APPROVED BY:  
**GUY R. GIRARDO**



**GRADING, DRAINAGE & EROSION CONTROL PLAN**  
OF  
**CARLUCCI RESIDENCE**  
A.P.N.: 103-131-006  
FOR  
CARMEL, MONTEREY COUNTY, CALIFORNIA  
BAKKER CONSTRUCTION

SCALE: AS SHOWN  
DATE: OCTOBER 2020  
JOB NO. 2084-03

SHEET **C1**  
OF 6 SHEETS





**LEGEND:**

	PROPERTY BOUNDARY		CONDUIT		GAS LINE		GAS METER		FOUND MONUMENT - TYPE NOTED
	ADJACENT PROPERTY BOUNDARY		PIPE		TELEPHONE SERVICE		WATER METER		SURVEY H&V CONTROL POINT
	ORIGINAL PROPERTY BOUNDARY		CLEANOUT		UNKNOWN UTILITY		PGE BOX		SPOT ELEVATION
	EASEMENT (TYPE AS SHOWN)		DOWNSPOUT		FUSE BOX		UTILITY HUB		RIDGELINE
	ROADWAY CENTERLINE		HOSEBIB		ELECTRICAL OUTLET		TELEPHONE BOX		FINISHED FLOOR
	MAJOR CONTOUR LINE (5' INTERVAL)		WATER SERVICE		UTILITY POLE		ELECTRICAL HUB		TREE (TYPE AND SIZE AS MARKED)
	MINOR CONTOUR LINE (1' INTERVAL)		IRRIGATION BOX		GUY WIRE		ELECTRICAL PANEL		TWO-PRONGED TREE (2P)
	FENCE (TYPE AS MARKED)		IRRIGATION CONTROL VALVE		MAILBOX		ELECTRICAL METER		THREE-PRONGED TREE (3P)
	ASPHALT CONCRETE		DRAIN LINE		SANITARY SEWER MANHOLE		STORM DRAIN MANHOLE		MULTIPRONGED TREE (MP)
	NATURAL GROUND SURFACE/LANDSCAPED AREA		STREET LIGHT		CYPRESS		PALM		COTTON WOOD
	SLOPE DENSITY ANALYSIS INDICATES AREAS ≥ 25%		REDWOOD		HOLLY		TREE		WILLOW

**GENERAL NOTES:**

- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY H&V CONTROL POINT #100, A MAGNETIC NAIL LOCATED APPROXIMATELY 16' NORTHWESTLY OF THE MOST WESTERLY CORNER OF LOT 6, ELEVATION = 740.00' AS SHOWN.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3' ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (03/19/20) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- BUILDING CORNERS SHOWN WERE LOCATED AT THE OUTERMOST FACE OF TRIM. DIMENSIONS SHOWN REPRESENT THE BUILDING AT GROUND LEVEL. SQUARE FOOTAGE WAS CALCULATED USING THE OUTERMOST BUILDING FOOTPRINT AS MEASURED. BUILDING OVERHANG(S) ARE NOT SHOWN.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.

" TOPOGRAPHIC MAP/EXISTING CONDITIONS "

**GRADING, DRAINAGE & EROSION CONTROL PLAN**

CARLUCCI RESIDENCE  
 A.P.N.: 103-131-006  
 CARMEL, MONTEREY COUNTY, CALIFORNIA  
 FOR  
 BAKKER CONSTRUCTION

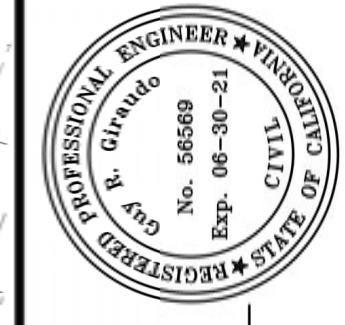
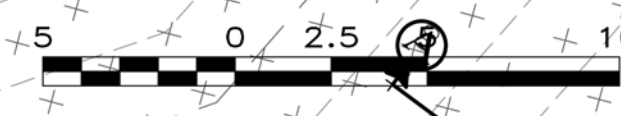
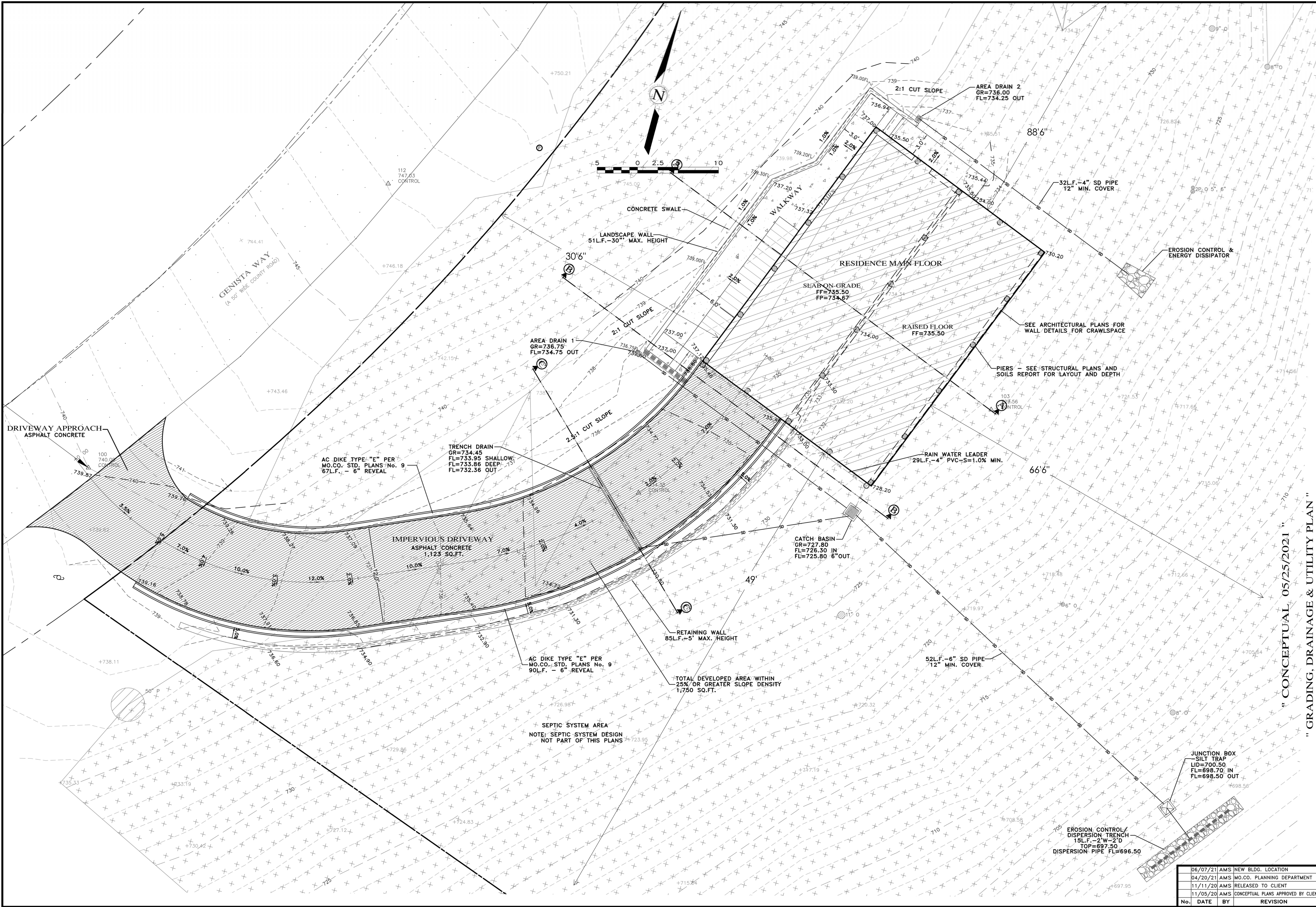
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 DATE: OCTOBER 2020  
 JOB NO. 2084-03

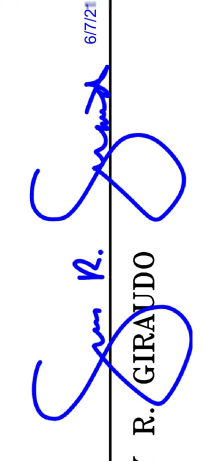
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04/20/21	AMS		MO.CO. PLANNING DEPARTMENT
11/11/20	AMS		RELEASED TO CLIENT
11/05/20	AMS		CONCEPTUAL PLANS APPROVED BY CLIENT

SHEET **C2**  
 OF 6 SHEETS

APPROVED BY:

**LANDSET ENGINEERS, INC.**  
 520-B Clay Horse Canyon Road  
 Salinas, California 93907  
 Office (831) 444-8791 Fax (831) 443-3801  
 www.landseteng.com



APPROVED BY:  
  
 GUY R. GIRARDO



**GRADING, DRAINAGE & EROSION CONTROL PLAN**  
 OF  
**CARLUCCI RESIDENCE**  
 A.P.N.: 103-131-006  
 CARMEL, MONTEREY COUNTY, CALIFORNIA  
 FOR  
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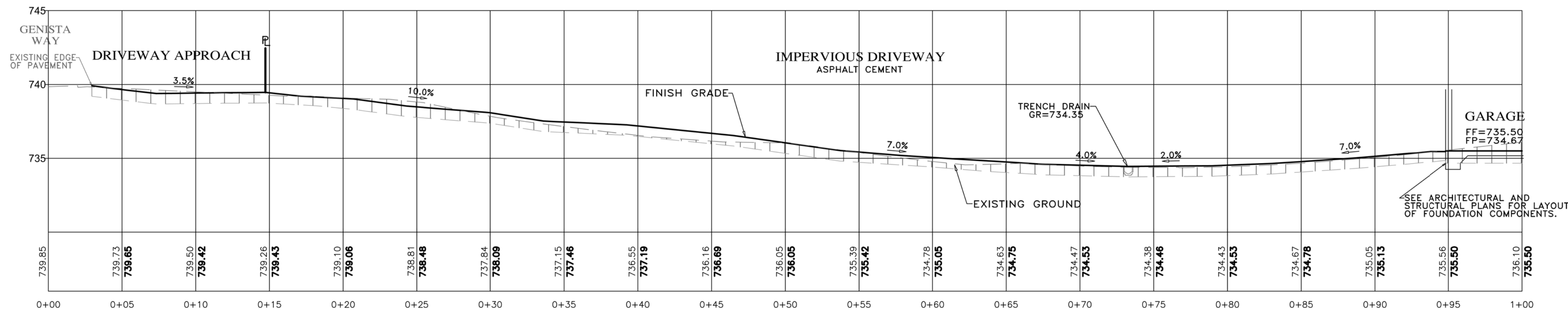
CONCEPTUAL 05/25/2021 " GRADING, DRAINAGE & UTILITY PLAN "

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 DATE: OCTOBER 2020  
 JOB NO. 2084-03

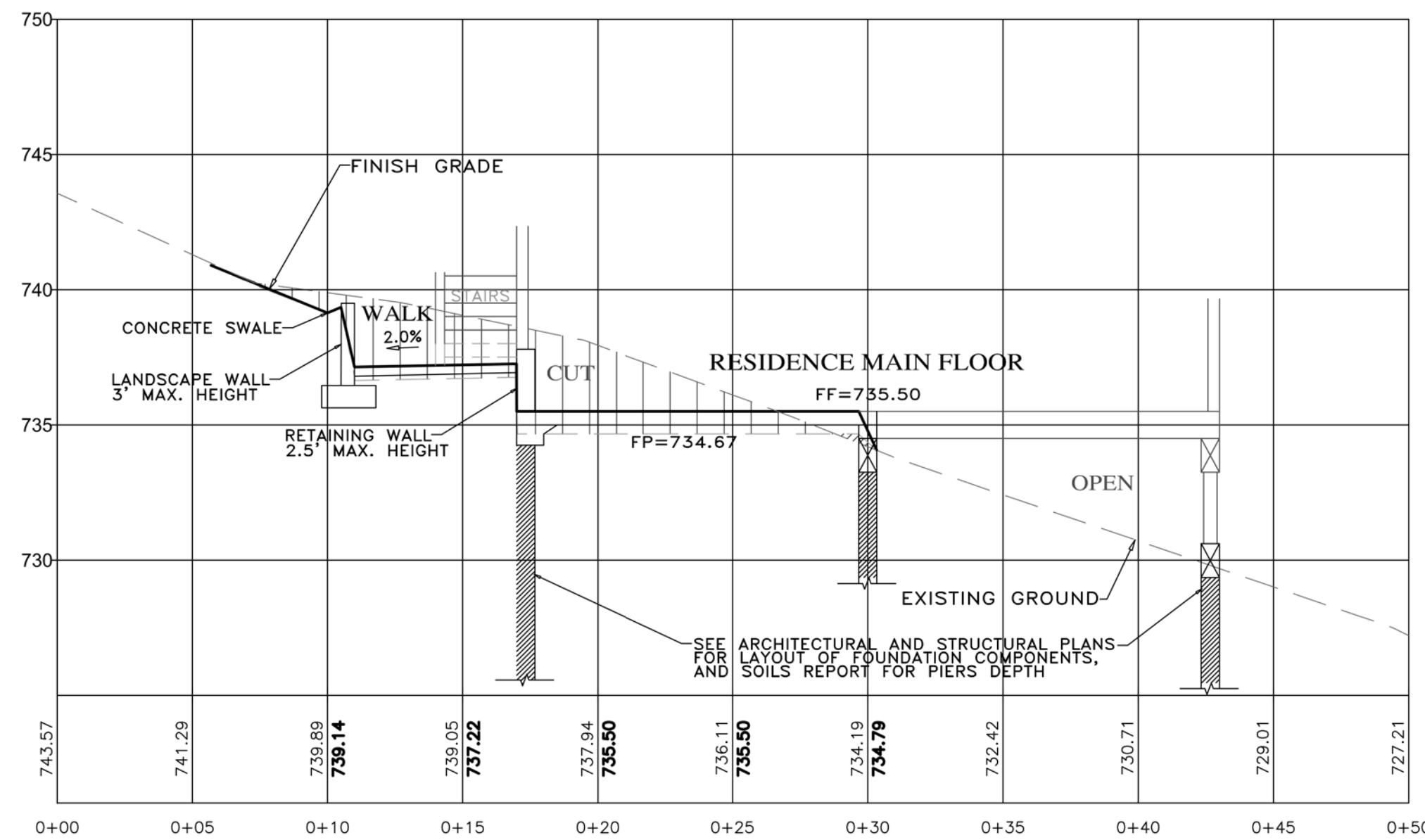
No.	DATE	BY	REVISION
06/07/21	AMS	NEW BLDG. LOCATION	
04/20/21	AMS	MO.CO. PLANNING DEPARTMENT	
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SHEET **C3**  
 OF 6 SHEETS

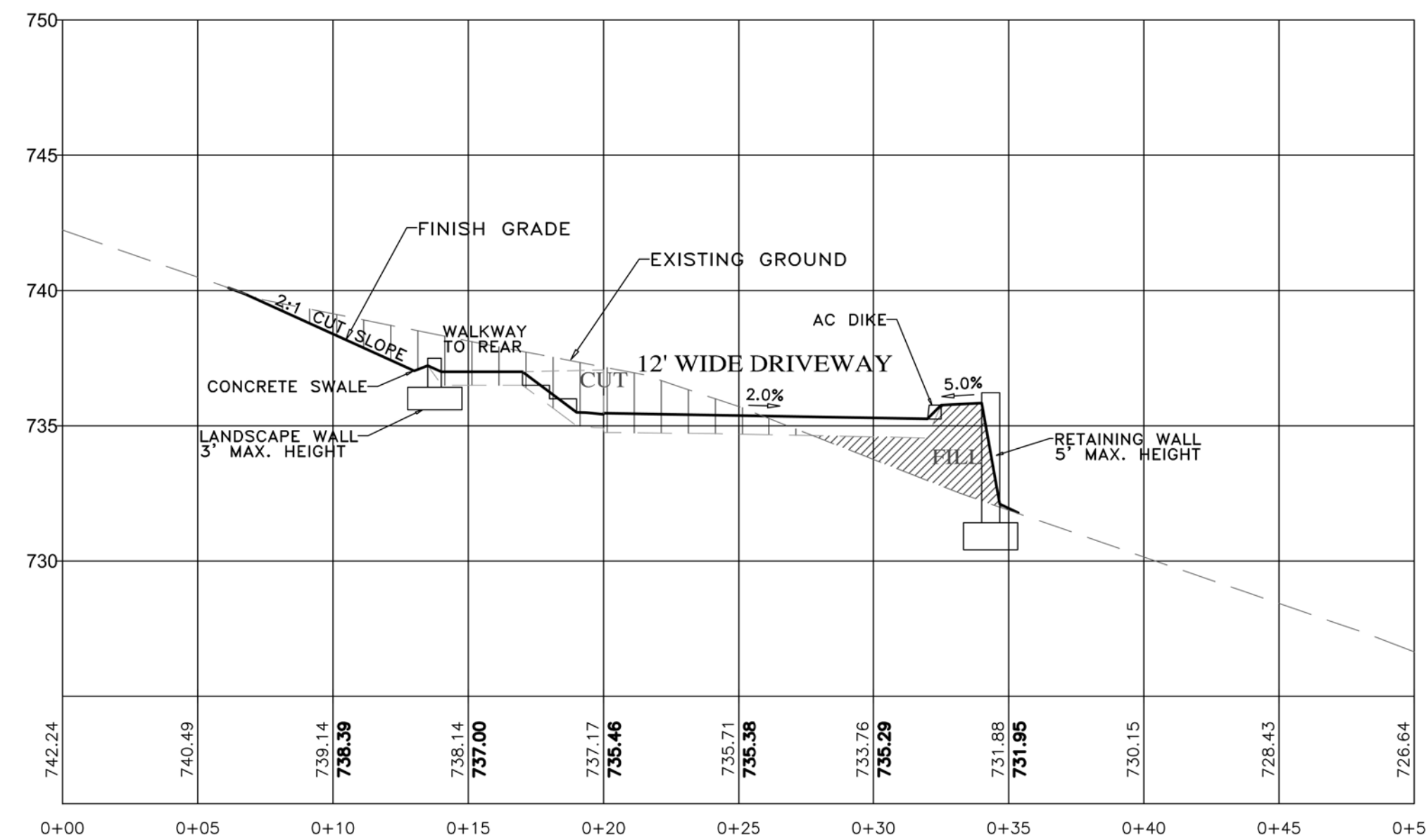
CSD\2084-CARLUCCI.DWG\2084-03.DWG\24236C3



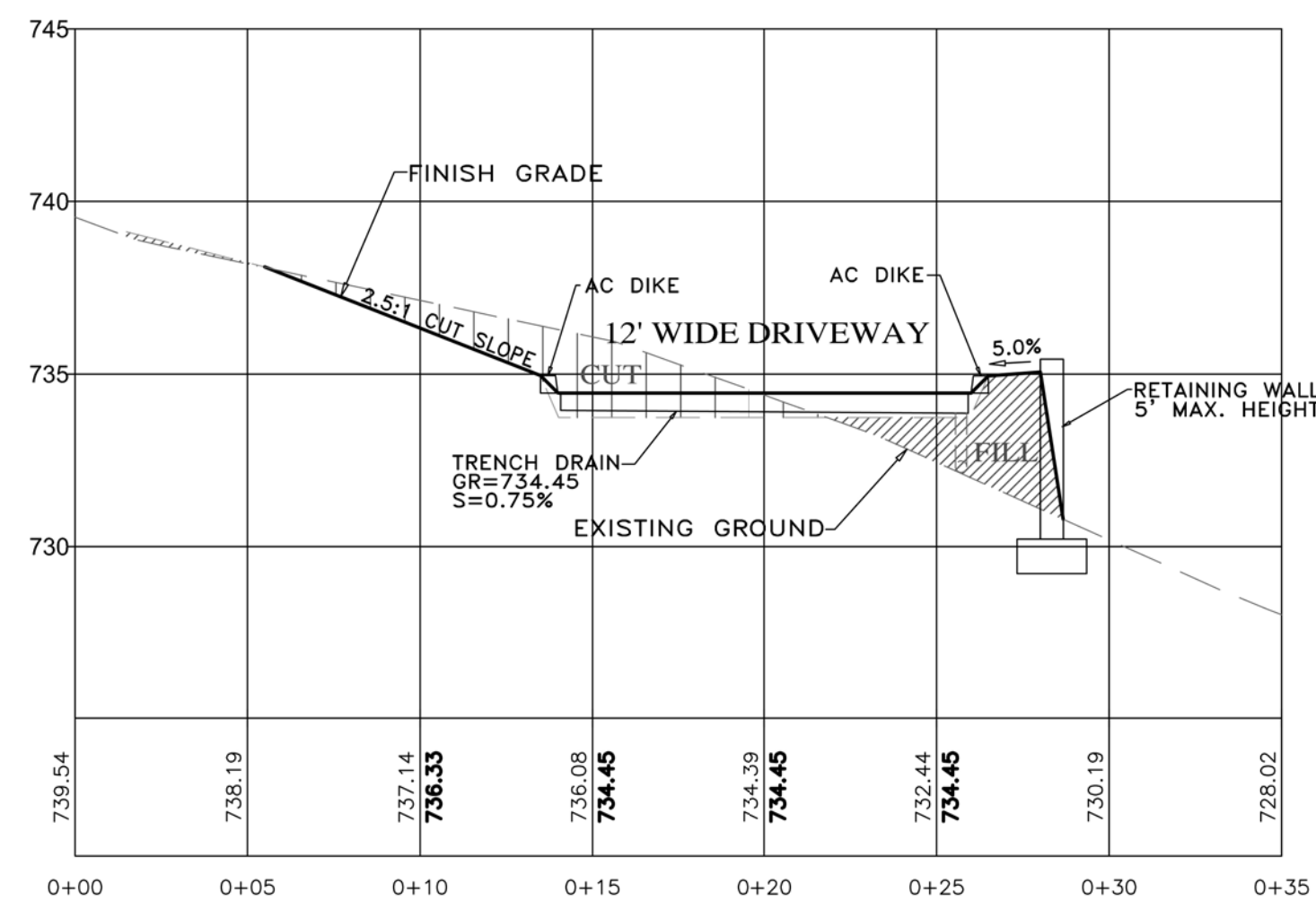
**DRIVEWAY PROFILE**  
 SCALES: 1"=5' H&V



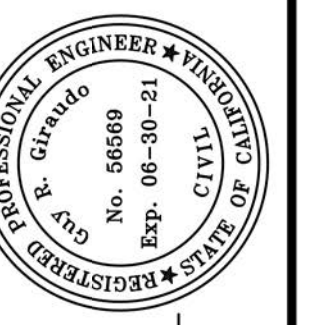
**SECTION A-A**  
 SCALES: 1"=5' H&V



**SECTION B-B**  
 SCALES: 1"=5' H&V



**SECTION C-C**  
 SCALES: 1"=5' H&V



APPROVED BY:  
 GUY R. GIRARDO



**GRADING, DRAINAGE & EROSION CONTROL PLAN**  
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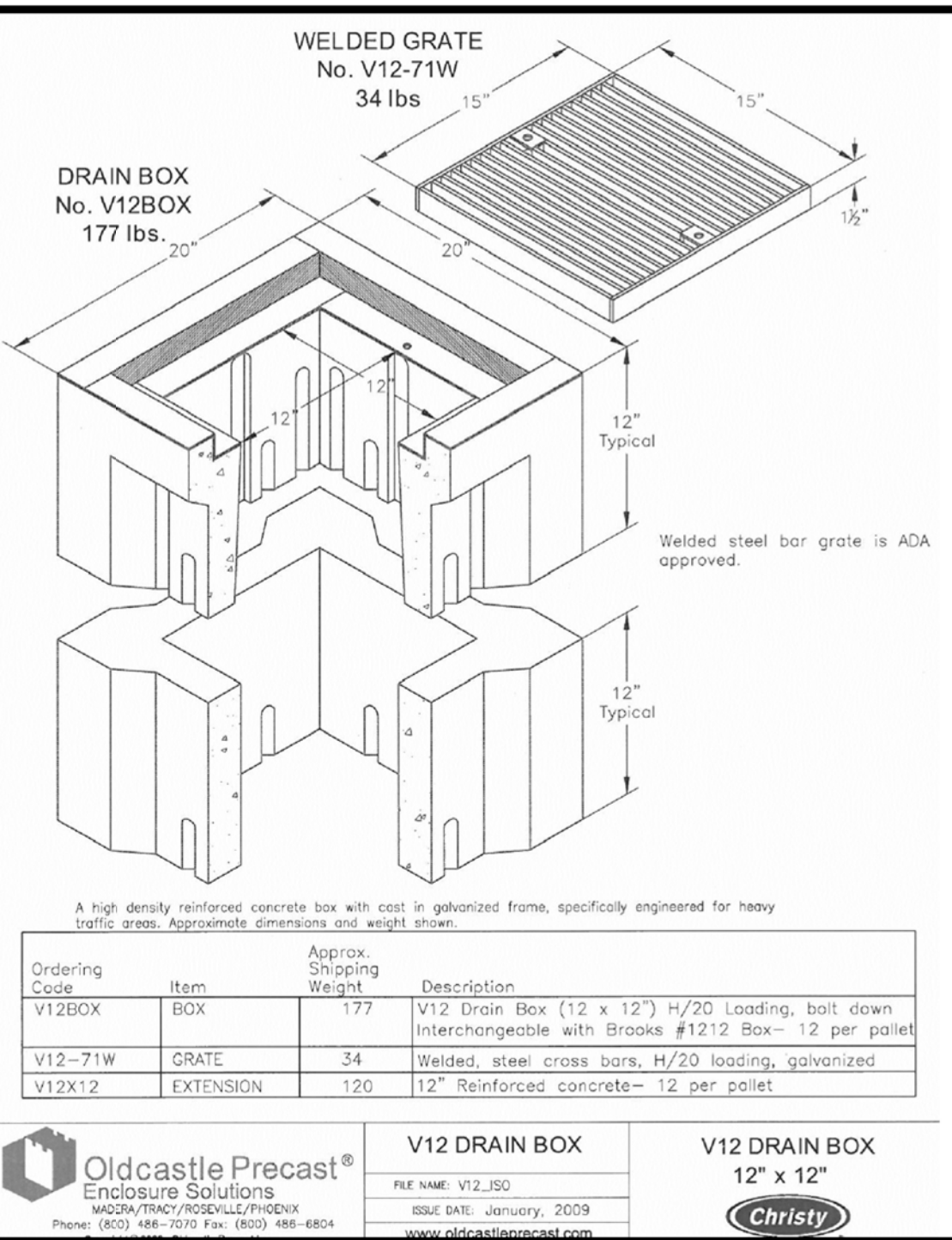
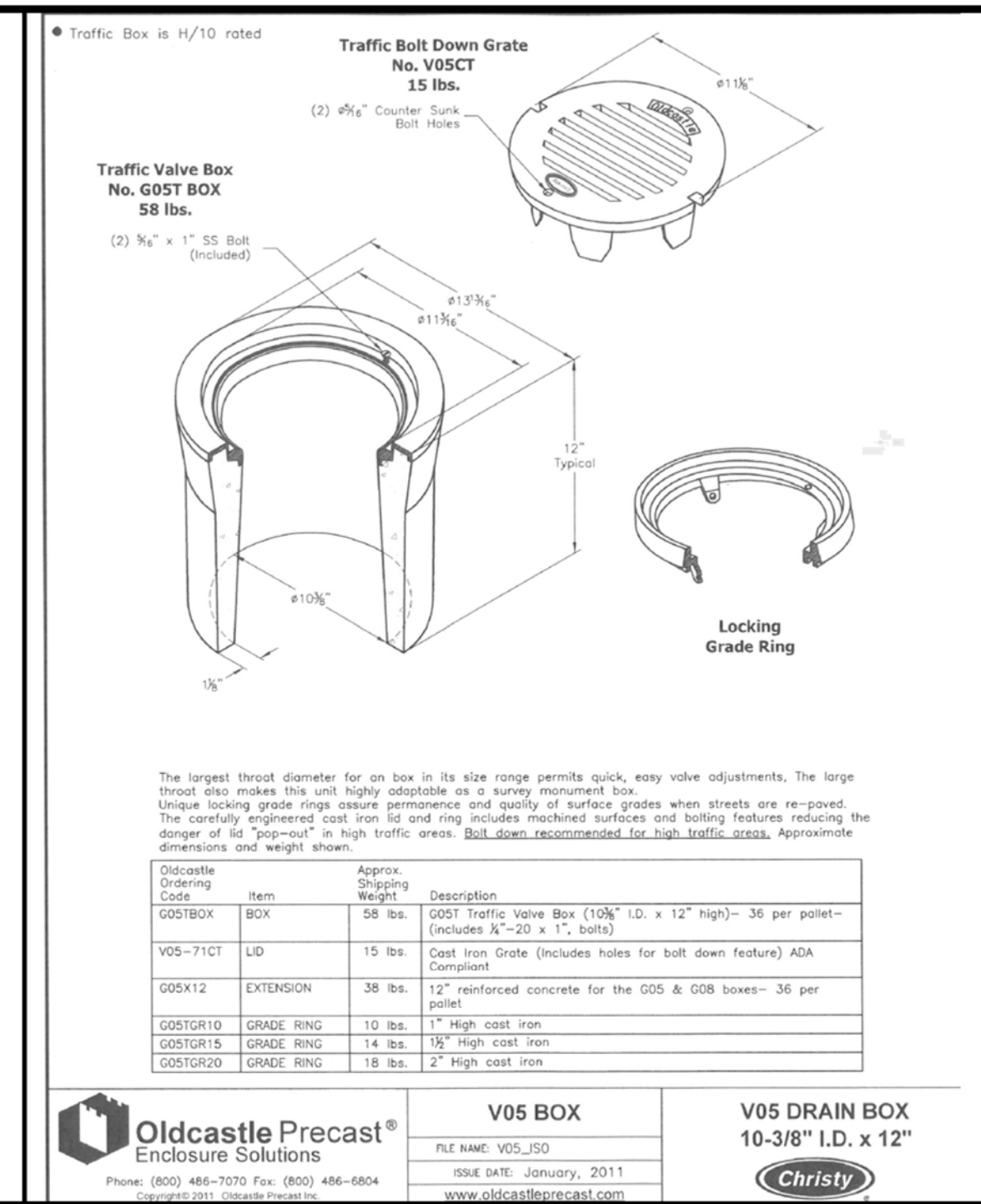
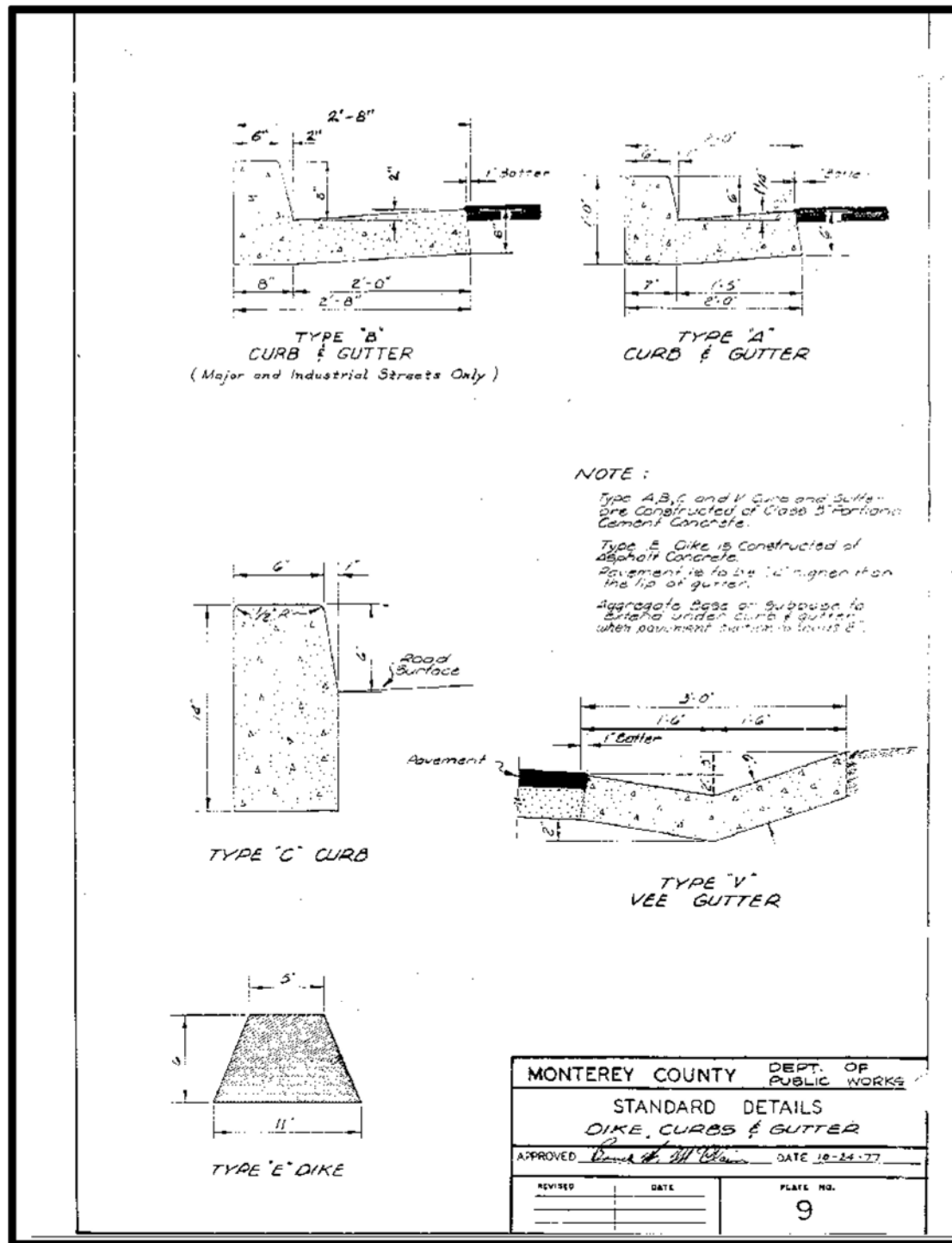
" CONCEPTUAL GRADING SECTIONS "

" CONCEPTUAL GRADING SECTIONS "

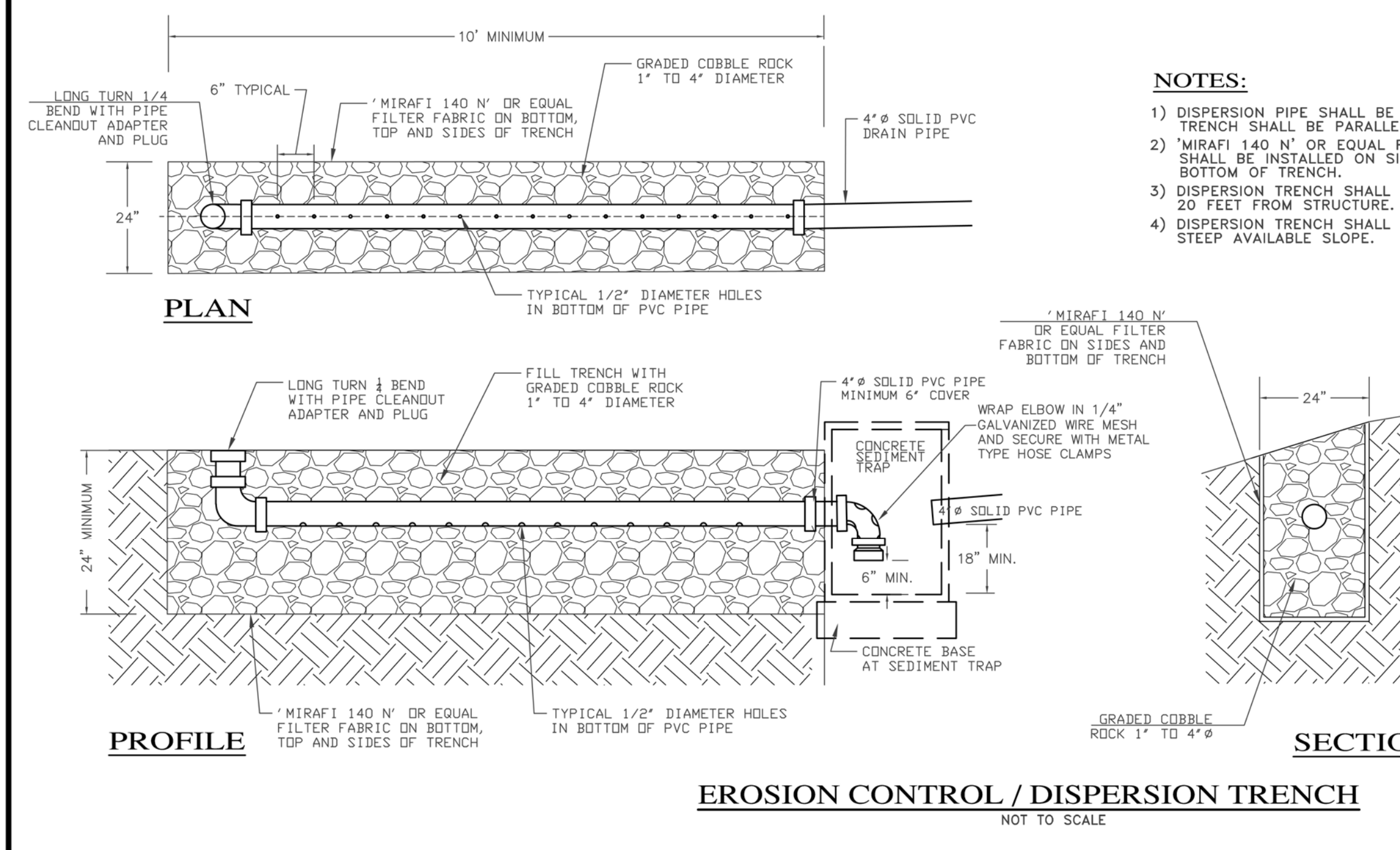
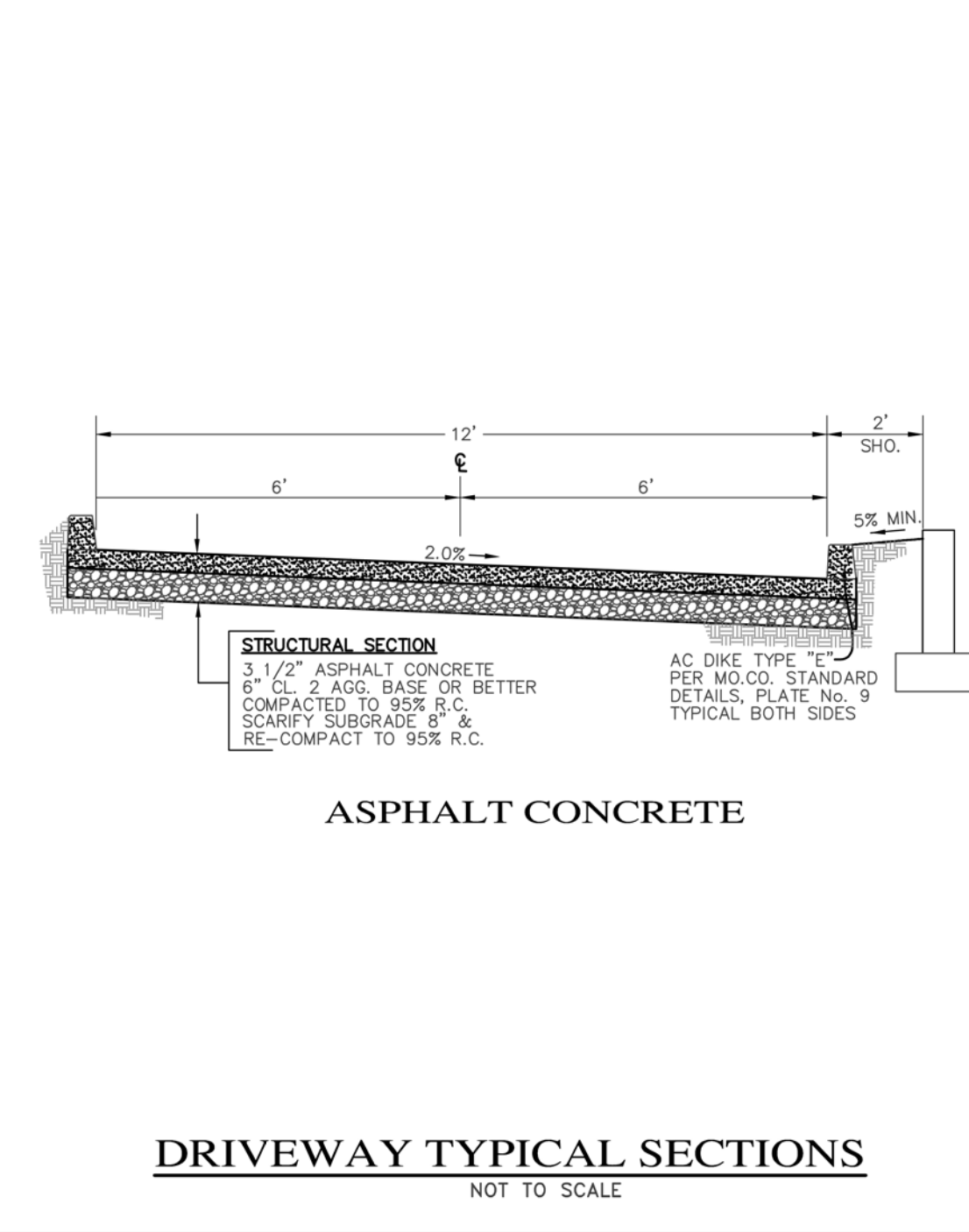
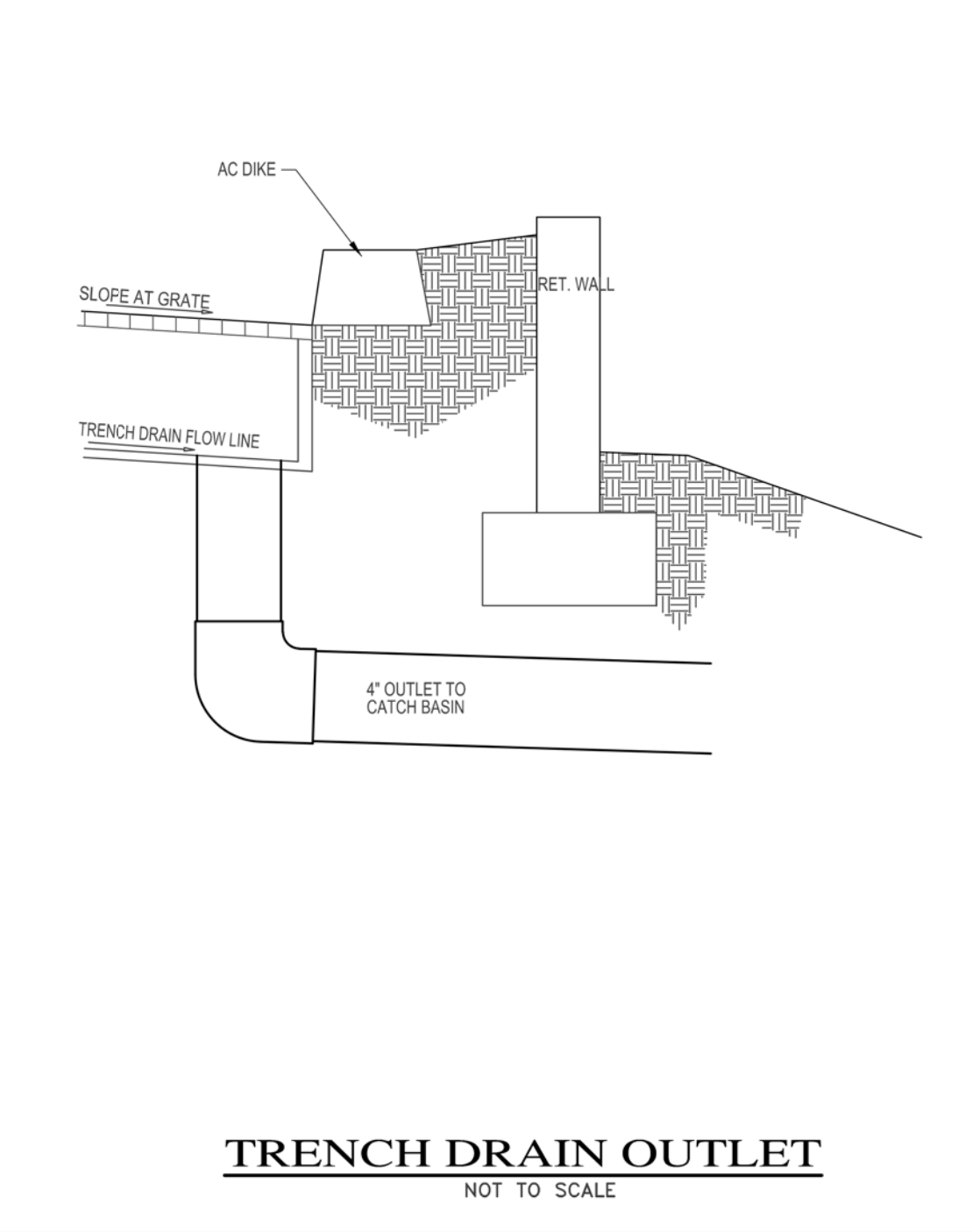
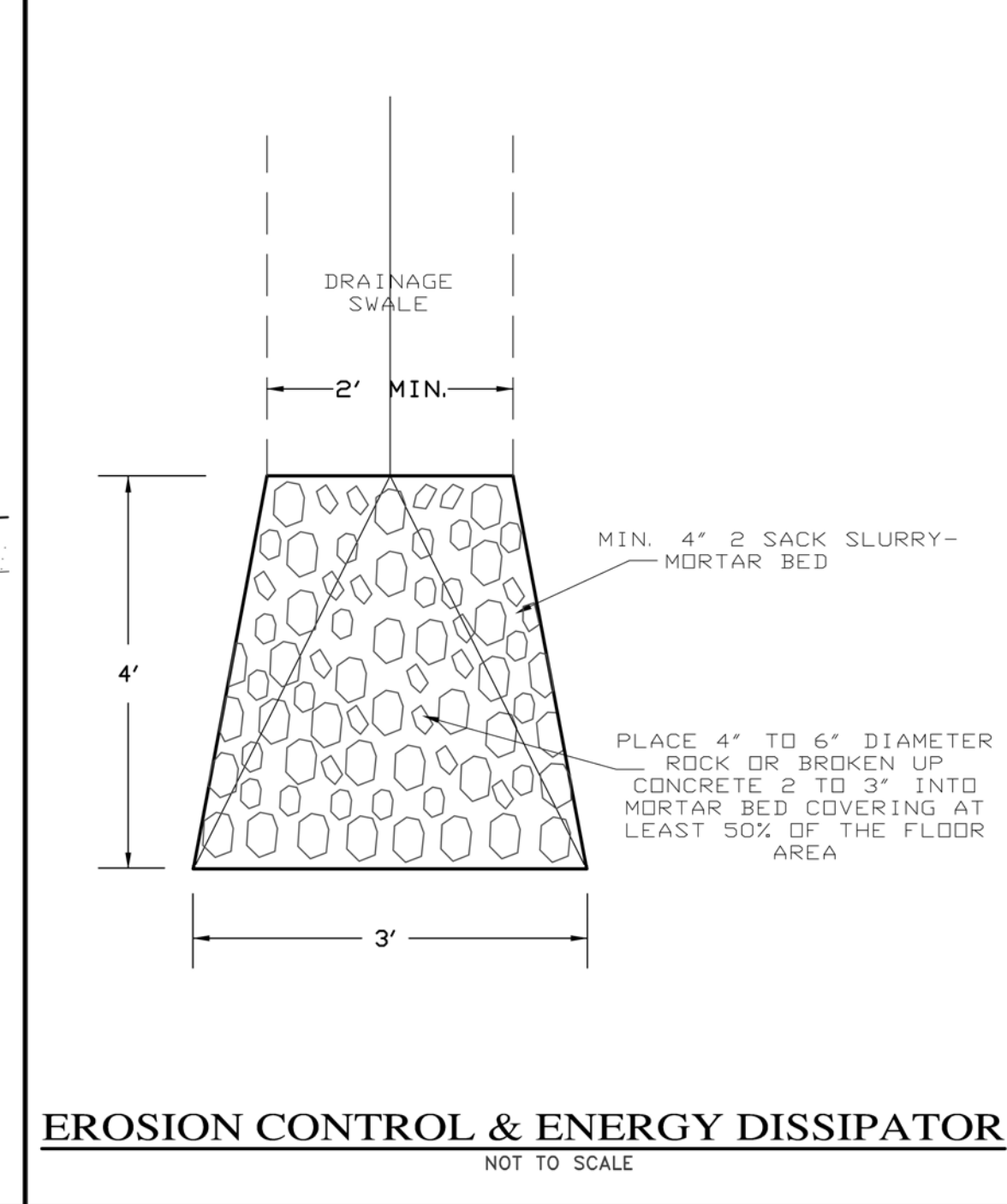
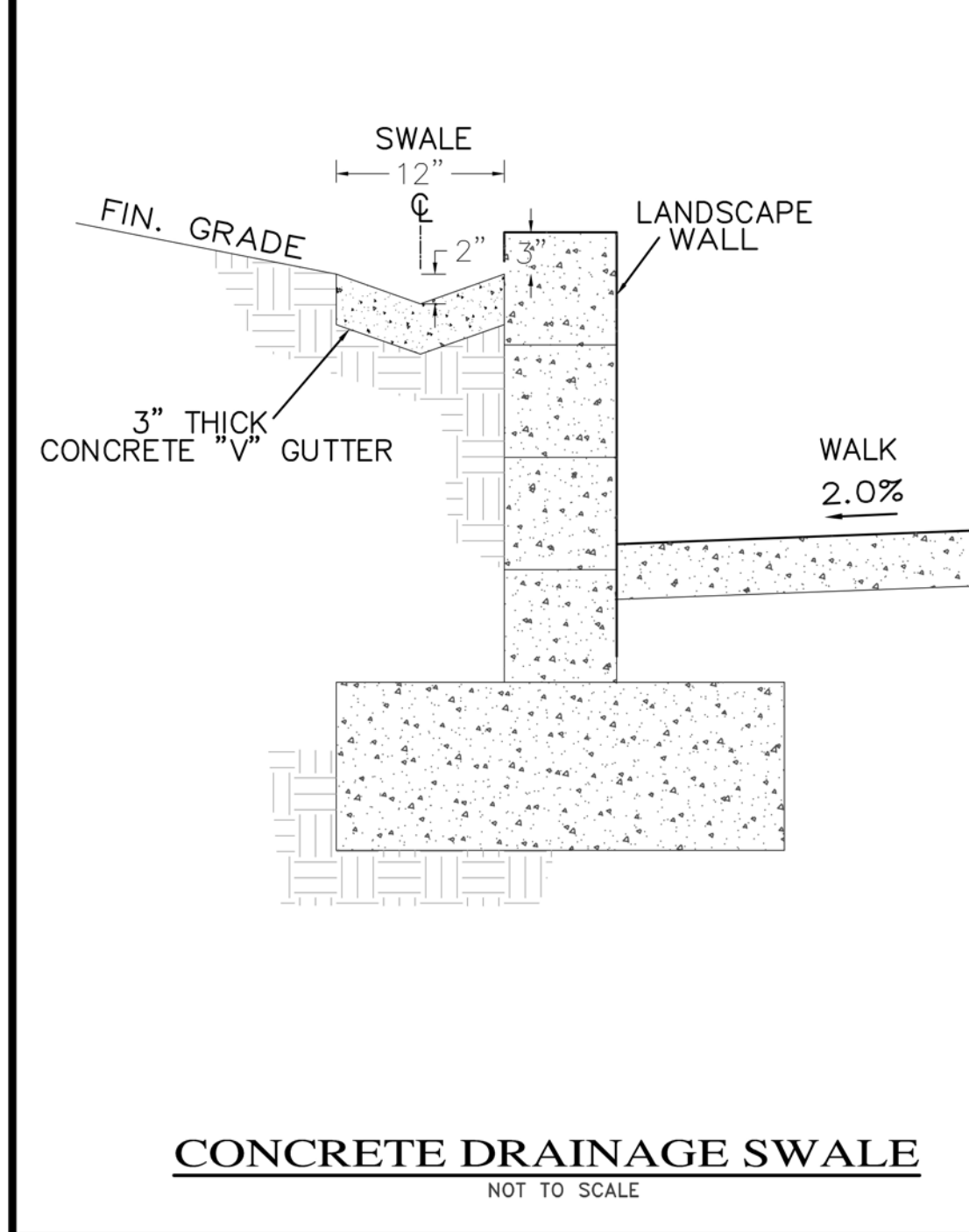
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SHEET **C4**  
 OF 6 SHEETS



Rating	Traffic	Concrete Thickness Each side	Depth below
Class A	Pedestrian traffic	4"	4"
Class B	Light traffic	4"	4"
Class C	Heavy duty traffic	6"	6"
Class D	Heavy duty traffic	6"	6"



**NOTES:**

- DISPERSION PIPE SHALL BE LEVEL AND TRENCH SHALL BE PARALLEL TO CONTOURS.
- MIRAFI 140 N" OR EQUAL FILTER FABRIC SHALL BE INSTALLED ON SIDES, ENDS, AND BOTTOM OF TRENCH.
- DISPERSION TRENCH SHALL BE AT LEAST 20 FEET FROM STRUCTURE.
- DISPERSION TRENCH SHALL BE ON THE LEAST STEEP AVAILABLE SLOPE.

**SIZING:**  
SQUARE FOOTAGE OF NEW IMPROVEMENTS:  
TOTAL AREA = 1,111 SF  
COEFFICIENT 'C'  
C=1.0  
INTENSITY  
85TH PERCENTILE = 0.8 IN = 0.067 FT  
VOLUME REQ'D  
Q=CIA  
Q=(1.0)(0.067FT)(1,111 SF) = 74.4 CF  
TRENCH VOLUME PROVIDED  
VOID RATIO = 0.40  
2' WIDE x 2' DEEP x 15LF.  
V=((2')(2')(15'))(0.40) = 24.0 CF  
INFILTRATION RATE: 1 IN/HR  
AREA TO INFILTRATE: 30 SQ.FT.  
V=30(0.08/HR)=2.4 C.F./HR  
VOL. INFILTRATED ON 24 HRS.=57.6 C.F.  
TOTAL VOLUME PROVIDED = 81.6 C.F.

**CALCULATIONS**

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APPROVED BY:

GUY R. GIRAUDO

" STANDARD PLANS & CONSTRUCTION DETAILS "

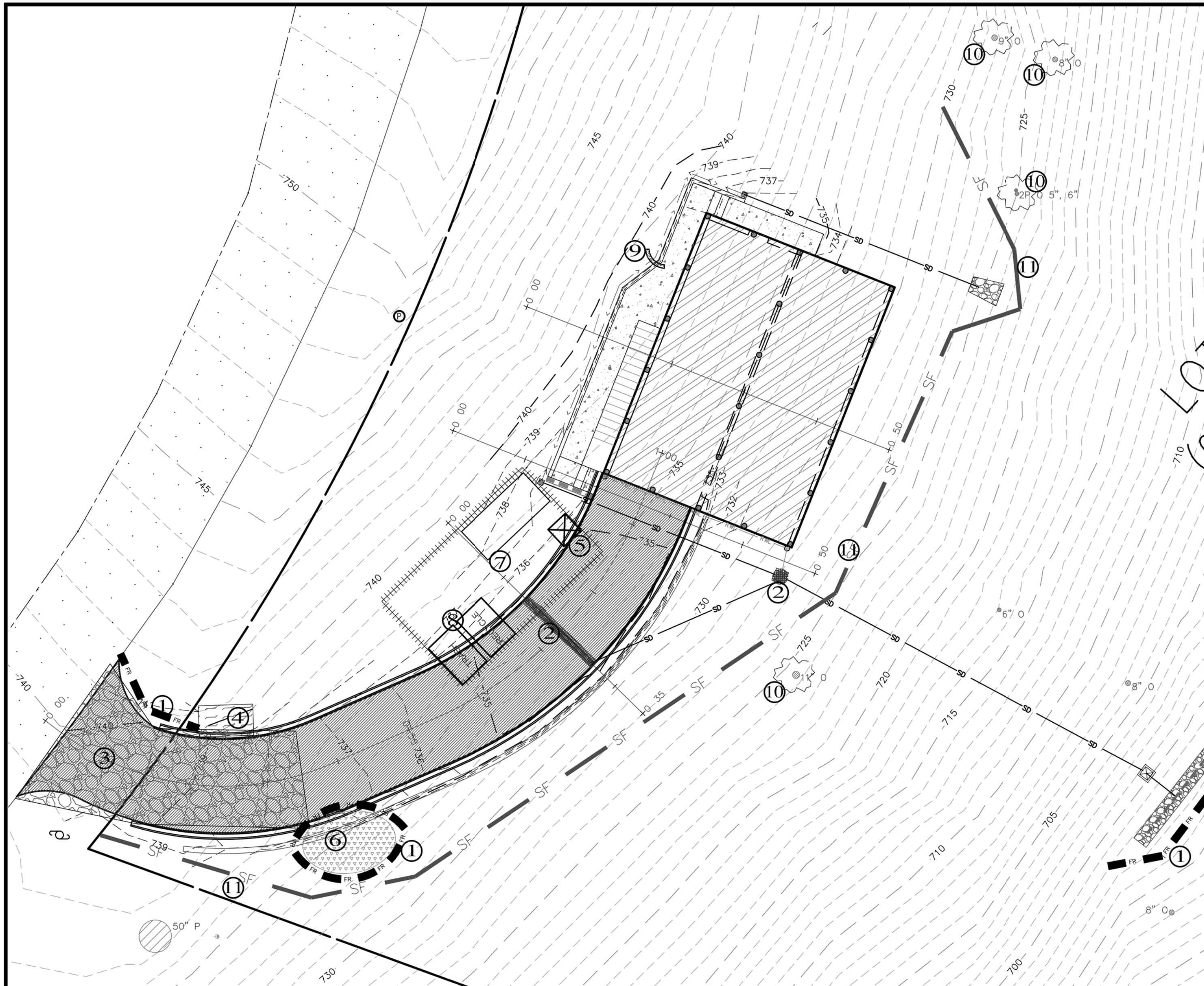
**GRADING, DRAINAGE & EROSION CONTROL PLAN**

OF  
**CARLUCCI RESIDENCE**  
A.P.N.: 103-131-006  
FOR  
CARMEL, MONTEREY COUNTY, CALIFORNIA  
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SHEET **C5**  
OF 6 SHEETS



PLAN  
SCALE: 1"=10'

**LEGEND:**

- ① FR
- ②
- ③
- ④
- ⑤
- ⑥
- ⑦
- ⑧ TRASH  
RECYCLE
- ⑨
- ⑩
- ⑪ SF

**FIBER ROLLS:** THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ONSITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL, AND STAKED (STAKES SPACED MAX. 4' ON CENTER). SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.

**DRAIN INLET PROTECTION:** PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.

**STABILIZED CONSTRUCTION ACCESS:** INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.

**CONCRETE WASHOUT:** WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.

**SANITARY/SEPTIC WASTE MANAGEMENT:** PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ONSITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.

**STOCKPILE MANAGEMENT:** SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.

**CONTRACTOR'S STAGING AREA:** THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.

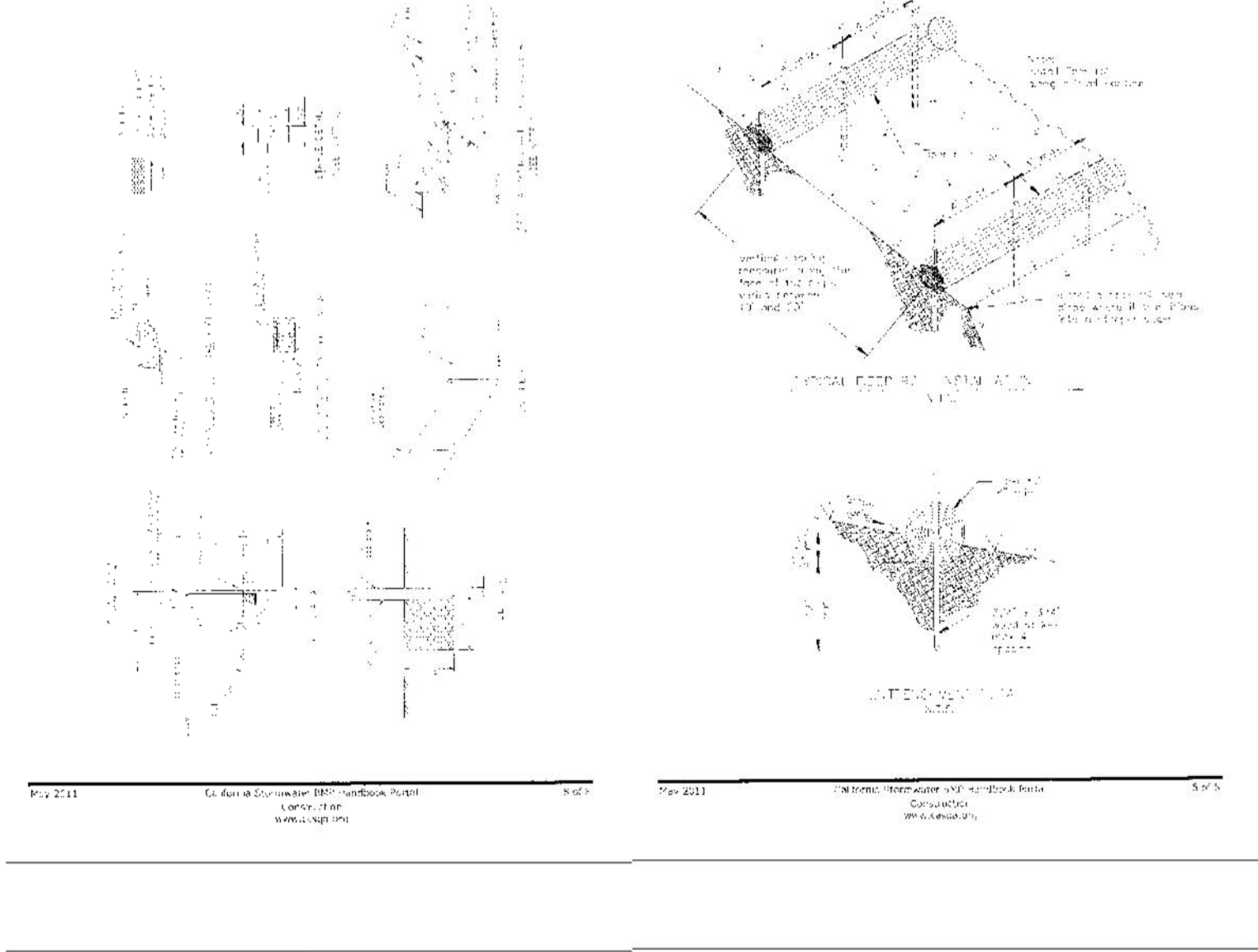
**WASTE MANAGEMENT:** SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATER-TIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ONSITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.

**GRAVEL BAG CHECK DAM:** GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 1/2" - 1" CRUSHED ROCK. TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.

**TREE PROTECTION:** TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BY A LICENSED AND CERTIFIED ARBORIST.

**SILT FENCE:** SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEYED INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

Silt Fence SE-1 Fiber Rolls SE-5



Stabilized Construction Entrance/Exit TC-1 Storm Drain Inlet Protection SE-10



**EROSION & SEDIMENT CONTROL NOTES:**

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- 2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- 3) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 4) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 5) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- 6) EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- 7) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- 8) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 9) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- 10) RE-VEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDED WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 11) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- 12) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDED WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRA'MOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 13) THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- 14) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO COUNTY RMA-ENVIRONMENTAL SERVICES PRIOR TO BEG. WORK.

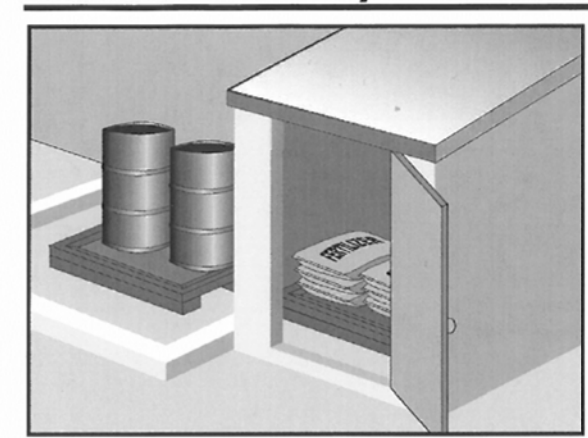
TABLE 1706.6 REQUIRED VERIFICATION AND INSPECTION OF SOILS

VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
1. Verify material below shallow foundations are adequate to achieve the design bearing capacity	--	X
2. Verify excavations are extended to proper depth and have reached proper material	--	X
3. Perform classification and testing of compacted fill materials	--	X
4. Verify use of proper materials, densities and IHH thicknesses during placement and compaction of compacted fill.	X	--
5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly.	--	X

**CONSTRUCTION INSPECTION REQUIREMENTS**

- A- PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- B- DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD - ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- C- PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

**Material Delivery and Storage WM-1**

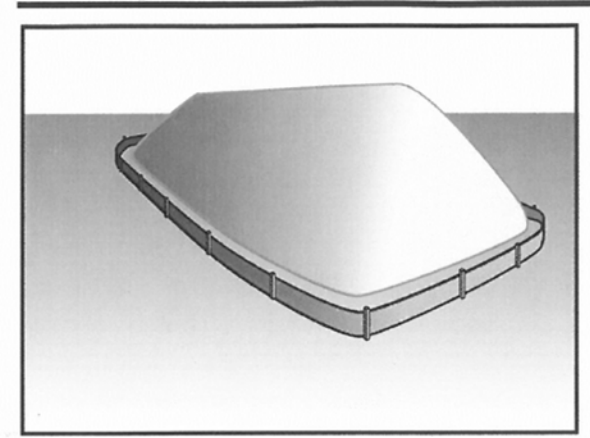


**Description and Purpose**  
Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or watercourses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

This best management practice covers only material delivery and storage. For other information on materials, see WM-2, Material Use, or WM-4, Spill Prevention and Control. For information on wastes, see the waste management BMPs in this section.

- Categories**
- EC Erosion Control
  - SE Sediment Control
  - TC Tracking Control
  - WE Wind Erosion Control
  - NS Non-Stormwater Management Control
  - WM Waste Management and Materials Pollution Control
- Legend:**
- ☑ Primary Category
  - ☒ Secondary Category
- Targeted Constituents**
- Sediment ☑
  - Nutrients ☑
  - Trash ☑
  - Metals ☑
  - Bacteria ☑
  - Oil and Grease ☑
  - Organics ☑
- Potential Alternatives**
- None

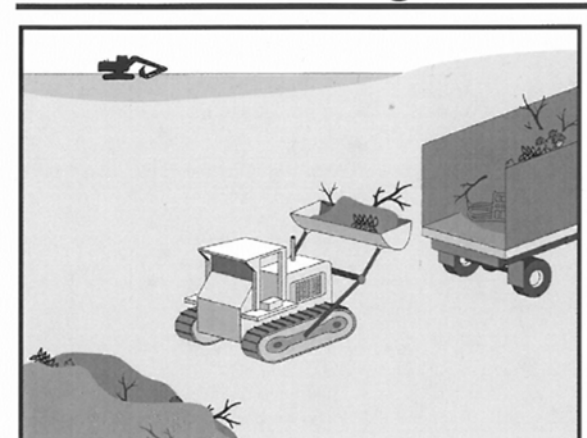
**Stockpile Management WM-3**



**Description and Purpose**  
Stockpile management procedures and practices are designed to reduce or eliminate air and stormwater pollution from stockpiles of soil, soil amendments, sand, paving materials such as portland cement concrete (PCC) rubble, asphalt concrete (AC), asphalt concrete rubble, aggregate base, aggregate sub base or pre-mixed aggregate, asphalt binder (so called "cold mix" asphalt), and pressure treated wood.

- Categories**
- EC Erosion Control
  - SE Sediment Control
  - TC Tracking Control
  - WE Wind Erosion Control
  - NS Non-Stormwater Management Control
  - WM Waste Management and Materials Pollution Control
- Legend:**
- ☑ Primary Category
  - ☒ Secondary Category
- Targeted Constituents**
- Sediment ☑
  - Nutrients ☑
  - Trash ☑
  - Metals ☑
  - Bacteria ☑
  - Oil and Grease ☑
  - Organics ☑
- Potential Alternatives**
- None

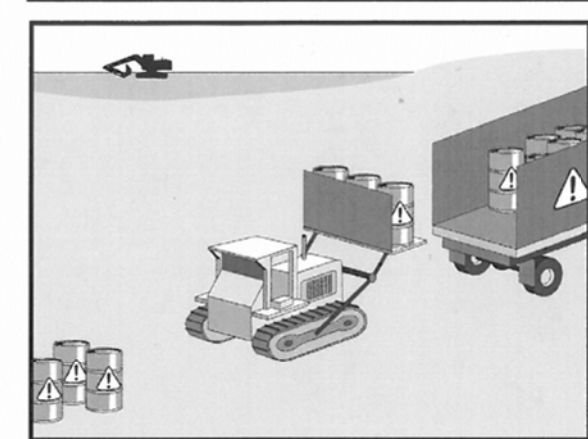
**Solid Waste Management WM-5**



**Description and Purpose**  
Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

- Categories**
- EC Erosion Control
  - SE Sediment Control
  - TC Tracking Control
  - WE Wind Erosion Control
  - NS Non-Stormwater Management Control
  - WM Waste Management and Materials Pollution Control
- Legend:**
- ☑ Primary Objective
  - ☒ Secondary Objective
- Targeted Constituents**
- Sediment ☑
  - Nutrients ☑
  - Trash ☑
  - Metals ☑
  - Bacteria ☑
  - Oil and Grease ☑
  - Organics ☑
- Potential Alternatives**
- None

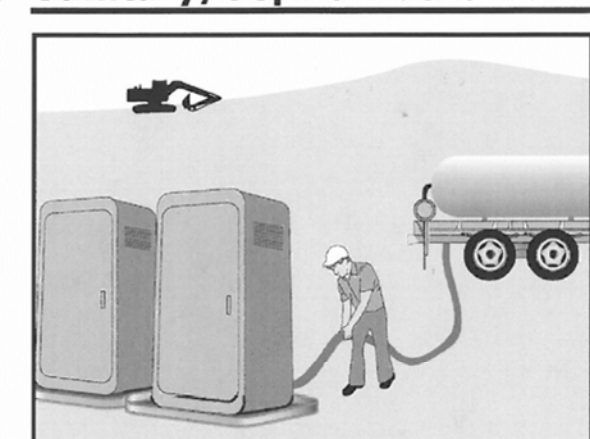
**Hazardous Waste Management WM-6**



**Description and Purpose**  
Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

- Categories**
- EC Erosion Control
  - SE Sediment Control
  - TC Tracking Control
  - WE Wind Erosion Control
  - NS Non-Stormwater Management Control
  - WM Waste Management and Materials Pollution Control
- Legend:**
- ☑ Primary Objective
  - ☒ Secondary Objective
- Targeted Constituents**
- Sediment ☑
  - Nutrients ☑
  - Trash ☑
  - Metals ☑
  - Bacteria ☑
  - Oil and Grease ☑
  - Organics ☑
- Potential Alternatives**
- None

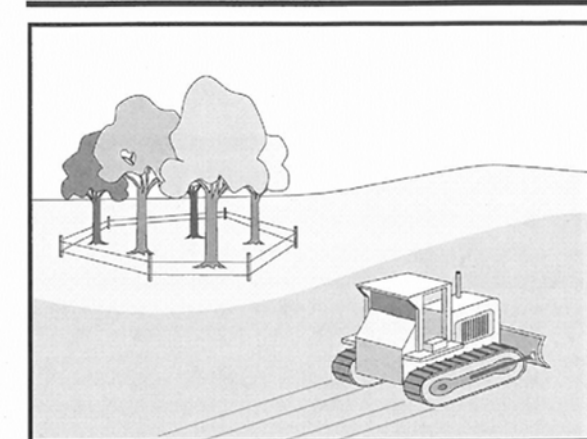
**Sanitary/Septic Waste Management WM-9**



**Description and Purpose**  
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

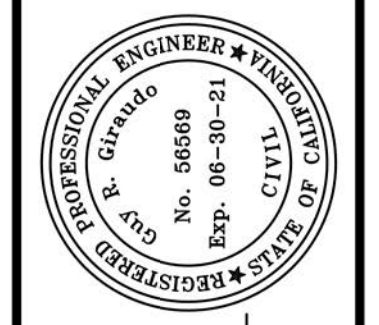
- Categories**
- EC Erosion Control
  - SE Sediment Control
  - TC Tracking Control
  - WE Wind Erosion Control
  - NS Non-Stormwater Management Control
  - WM Waste Management and Materials Pollution Control
- Legend:**
- ☑ Primary Category
  - ☒ Secondary Category
- Targeted Constituents**
- Sediment ☑
  - Nutrients ☑
  - Trash ☑
  - Metals ☑
  - Bacteria ☑
  - Oil and Grease ☑
  - Organics ☑
- Potential Alternatives**
- None

**Preservation Of Existing Vegetation EC-2**



**Description and Purpose**  
Carefully planned preservation of existing vegetation minimizes the potential of removing or injuring existing trees, vines, shrubs, and grasses that protect soil from erosion.

- Categories**
- EC Erosion Control
  - SE Sediment Control
  - TC Tracking Control
  - WE Wind Erosion Control
  - NS Non-Stormwater Management Control
  - WM Waste Management and Materials Pollution Control
- Legend:**
- ☑ Primary Objective
  - ☒ Secondary Objective
- Targeted Constituents**
- Sediment ☑
  - Nutrients ☑
  - Trash ☑
  - Metals ☑
  - Bacteria ☑
  - Oil and Grease ☑
  - Organics ☑
- Potential Alternatives**
- None



APPROVED BY:  
GUY R. GIRARDO



" EROSION & SEDIMENT CONTROL PLAN "

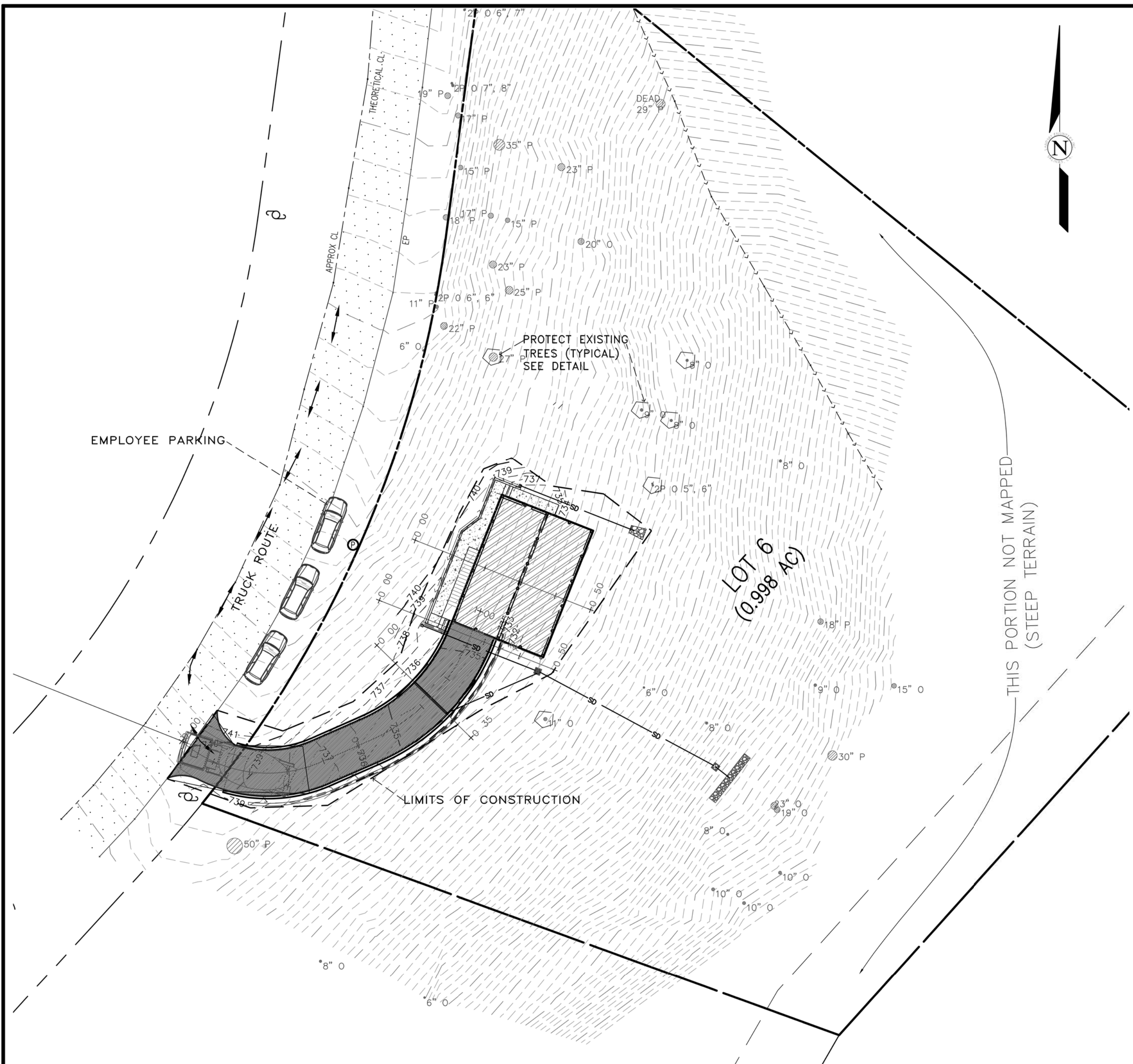
GRADING, DRAINAGE & EROSION CONTROL PLAN

CARLUCCI RESIDENCE  
A.P.N.: 103-131-006  
CARMEL, MONTEREY COUNTY, CALIFORNIA  
FOR BAKKER CONSTRUCTION

SCALE: AS SHOWN  
DATE: OCTOBER 2020  
JOB NO. 2084-03

No.	DATE	BY	REVISION
05/07/21	AMS		NEW BLDG. LOCATION
04/20/21	AMS		MO.CO. PLANNING DEPARTMENT
11/11/20	AMS		RELEASED TO CLIENT
11/05/20	AMS		CONCEPTUAL PLANS APPROVED BY CLIENT

SHEET **C6** OF 6 SHEETS



**PLAN**  
SCALE: 1"=20'

EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.:  
100 CY CUT  
25 CY FILL

**CONSTRUCTION STAGING:**  
MOBILIZE, CLEAR AND OFFHAUL DEBRIS; PROPOSED DRIVEWAY TO BE USED FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREA.

PERFORM MINOR GRADING, CONSTRUCT NEW STRUCTURE, AND INSTALL UNDERGROUND UTILITIES:  
PROPOSED DRIVEWAY AREA TO BE USED FOR MATERIAL AND EQUIPMENT STAGING.

INSTALL NEW DRIVEWAY AND LANDSCAPING.

SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION AND SEDIMENT CONTROL NOTES.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON GENISTA WAY AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

**HAUL ROUTES:**  
THE HAUL ROUTE TO THE SITE IS FROM HIGHWAY 1 TO CARPENTER STREET TO VIA MAR MONTE TO GENISTA WAY. (HAUL TRUCKS EXIT IN THE SAME FASHION.) VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE (IF NECESSARY) ON GENISTA WAY. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

**MATERIAL DELIVERIES:**  
IN THE EVENT THAT MATERIAL DELIVERIES CAUSE ANY STREETS ALONG THE HAUL ROUTE TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY/CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE HAUL ROUTE AND SURROUNDING STREETS.

**EMPLOYEE PARKING:**  
LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING LOTS AND CARPOOL TO JOBSITE IF POSSIBLE. ON-SITE PARKING SHALL BE IN LEGAL SPACES ALONG GENISTA WAY, OBEYING ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

**LIMITS OF CONSTRUCTION:** ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

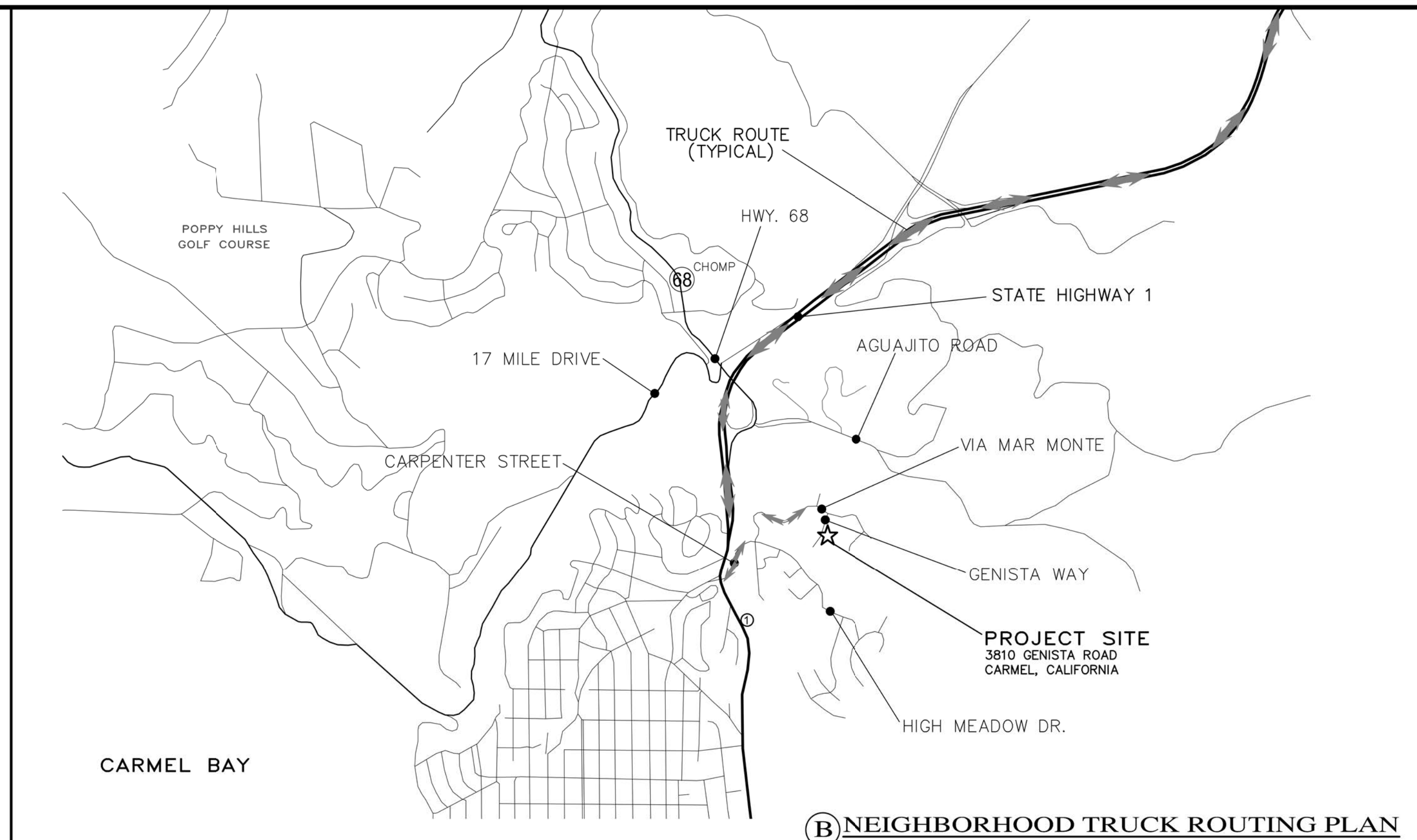
**A CONSTRUCTION STAGING PLAN**  
SCALE: 1"=30'

**TRUCK TRIP GENERATION CHART:**

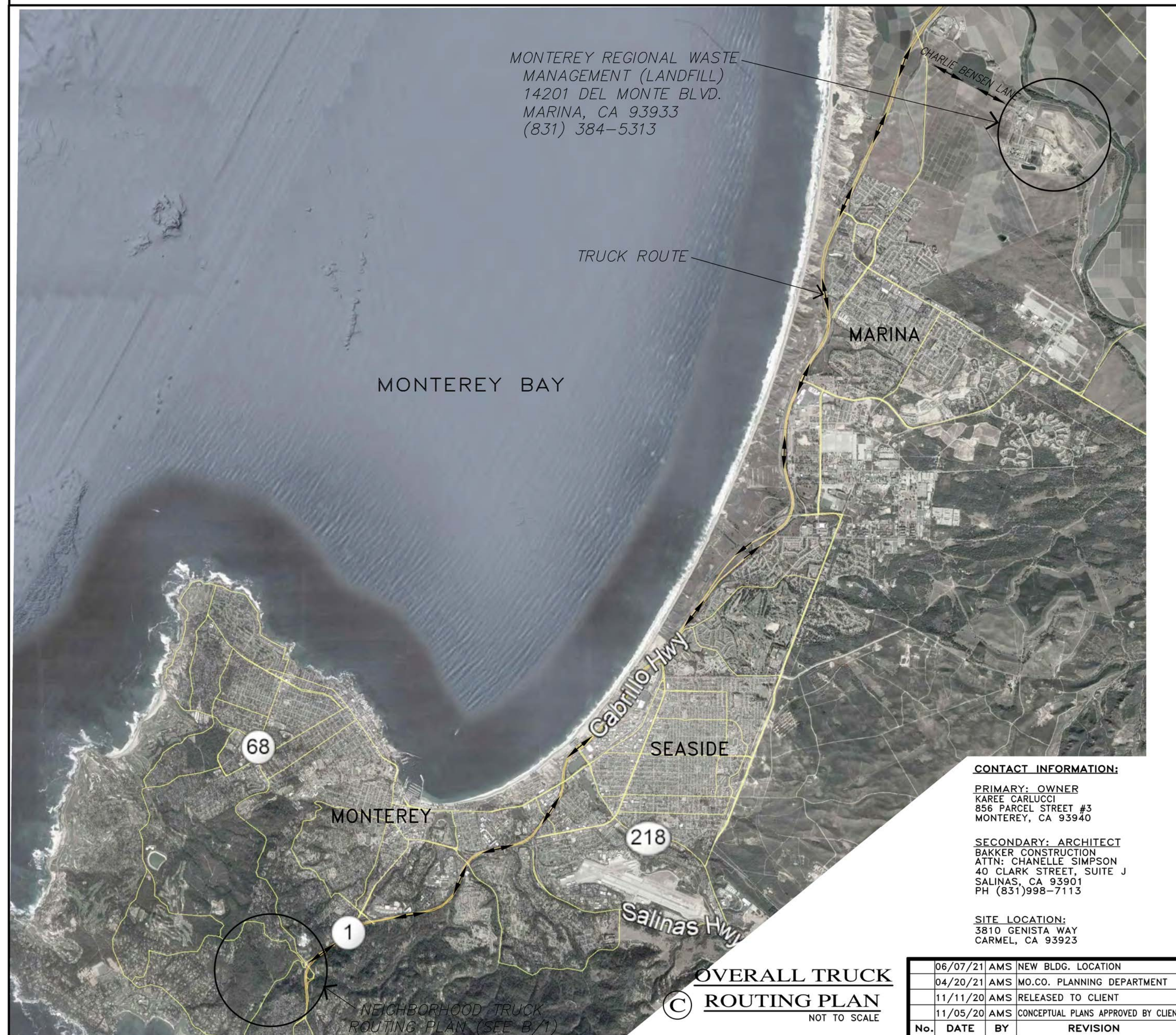
CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION	0	0
GRADING & SOIL REMOVAL (EXPORT)	10	2
ENGINEERING MATERIALS (IMPORT)	4	4
TOTALS	14	6

**TRUCK TRIP GENERATION NOTES:**

- TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 8 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 5 TRUCK LOADS PER DAY.
  - THERE ARE 75 C.Y. OF SURPLUS SOIL MATERIAL THAT WILL BE EXPORTED OFF THE SITE.
  - GRADING OPERATIONS SHALL TAKE APPROXIMATELY 3 WORKING DAYS TO COMPLETE.
  - THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 30 & 50 CUBIC YARDS.
- NUMBER OF EMPLOYEES/DAY: 3-8  
HOURS OF OPERATION/DAY: 8  
PROJECT SCHEDULING: PROJECTED START DATE 21 JUNE 2021, 3 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.



**B NEIGHBORHOOD TRUCK ROUTING PLAN**



**CONTACT INFORMATION:**  
PRIMARY: OWNER  
KAREE CARLUCCI  
856 PARCEL STREET #3  
MONTEREY, CA 93940  
SECONDARY: ARCHITECT  
BAKKER CONSTRUCTION  
ATTN: CHANELLE SIMPSON  
40 CLARK STREET, SUITE J  
SALINAS, CA 93901  
PH (831)998-7113  
SITE LOCATION:  
3810 GENISTA WAY  
CARMEL, CA 93923

**C OVERALL TRUCK ROUTING PLAN**  
NOT TO SCALE

No.	DATE	BY	REVISION
05/07/21	AMS	NEW BLDG. LOCATION	
04/20/21	AMS	MO.CO. PLANNING DEPARTMENT	
11/11/20	AMS	RELEASED TO CLIENT	
11/05/20	AMS	CONCEPTUAL PLANS APPROVED BY CLIENT	

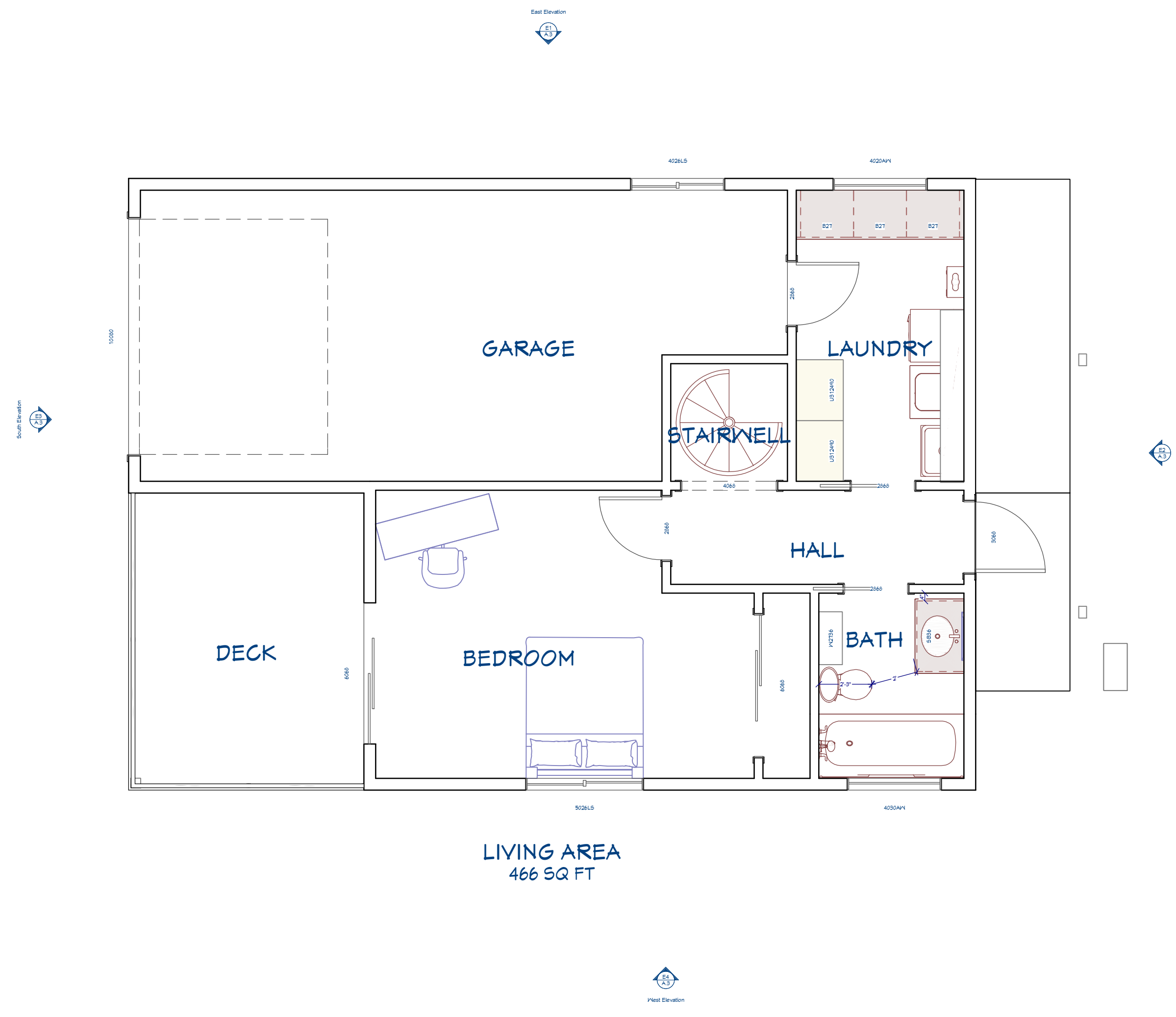
**CONSTRUCTION MANAGEMENT PLAN**

OF  
**CARLUCCI RESIDENCE**  
A.P.N.: 103-131-006  
FOR  
CARMEL, MONTEREY COUNTY, CALIFORNIA  
MR. & MRS. TOM AND KAREE CARLUCCI

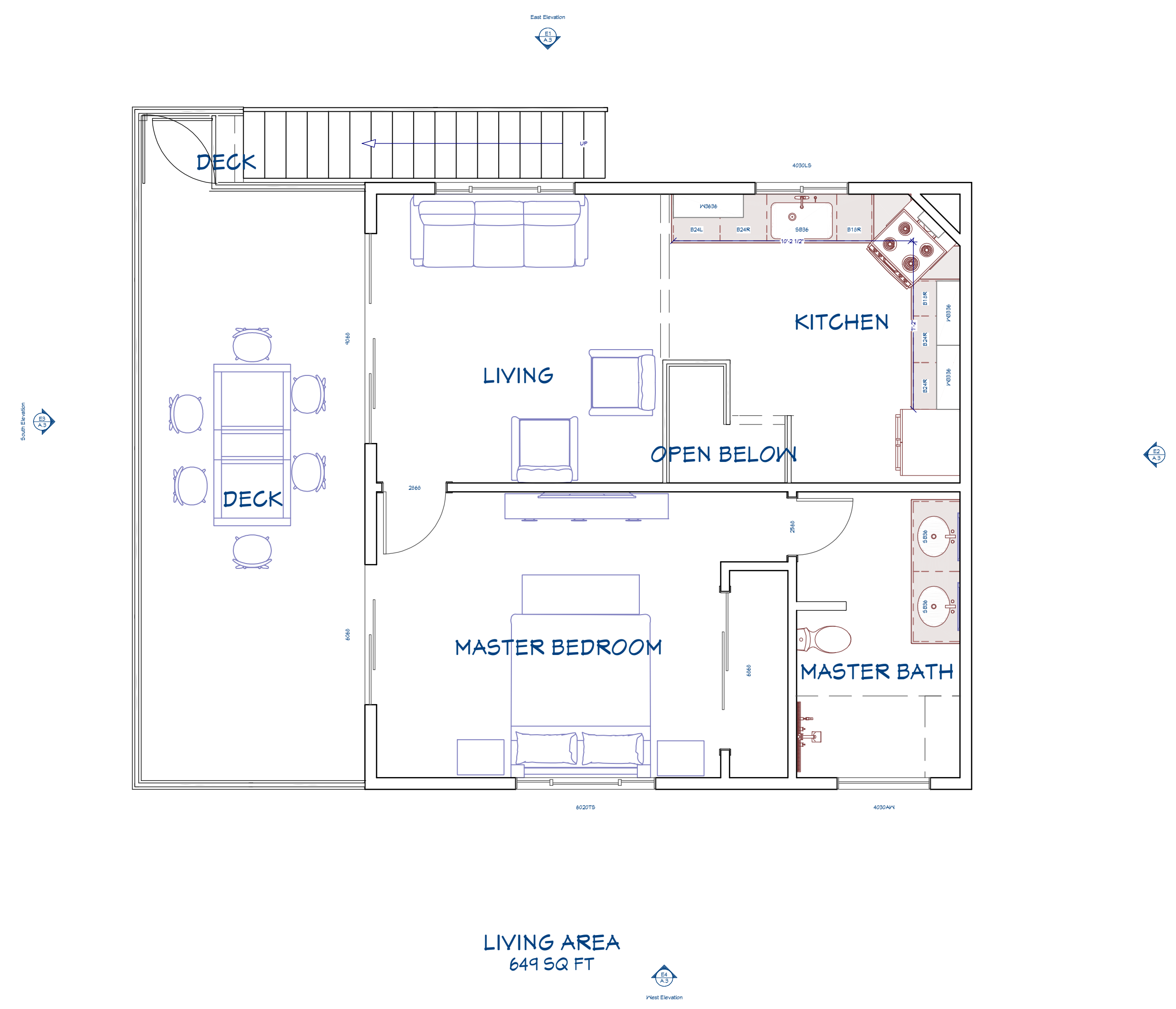
SCALE: AS SHOWN  
DATE: OCTOBER 2020  
JOB NO. 2084-03

SHEET **CMP1**  
OF 1 SHEETS

APPROVED BY:  
  
GUY R. GIRARDO  
PROFESSIONAL ENGINEER - CIVIL  
No. 56690  
Exp. 06-30-21  
LANDSET ENGINEERS, INC.  
520-B Crazy Horse Canyon Road  
Salinas, California 93907  
Office (831) 443-6970 Fax (831) 443-3601  
www.landseteng.com



First Floor Plan



Second Floor Plan

NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION

Proposed Floor Plan

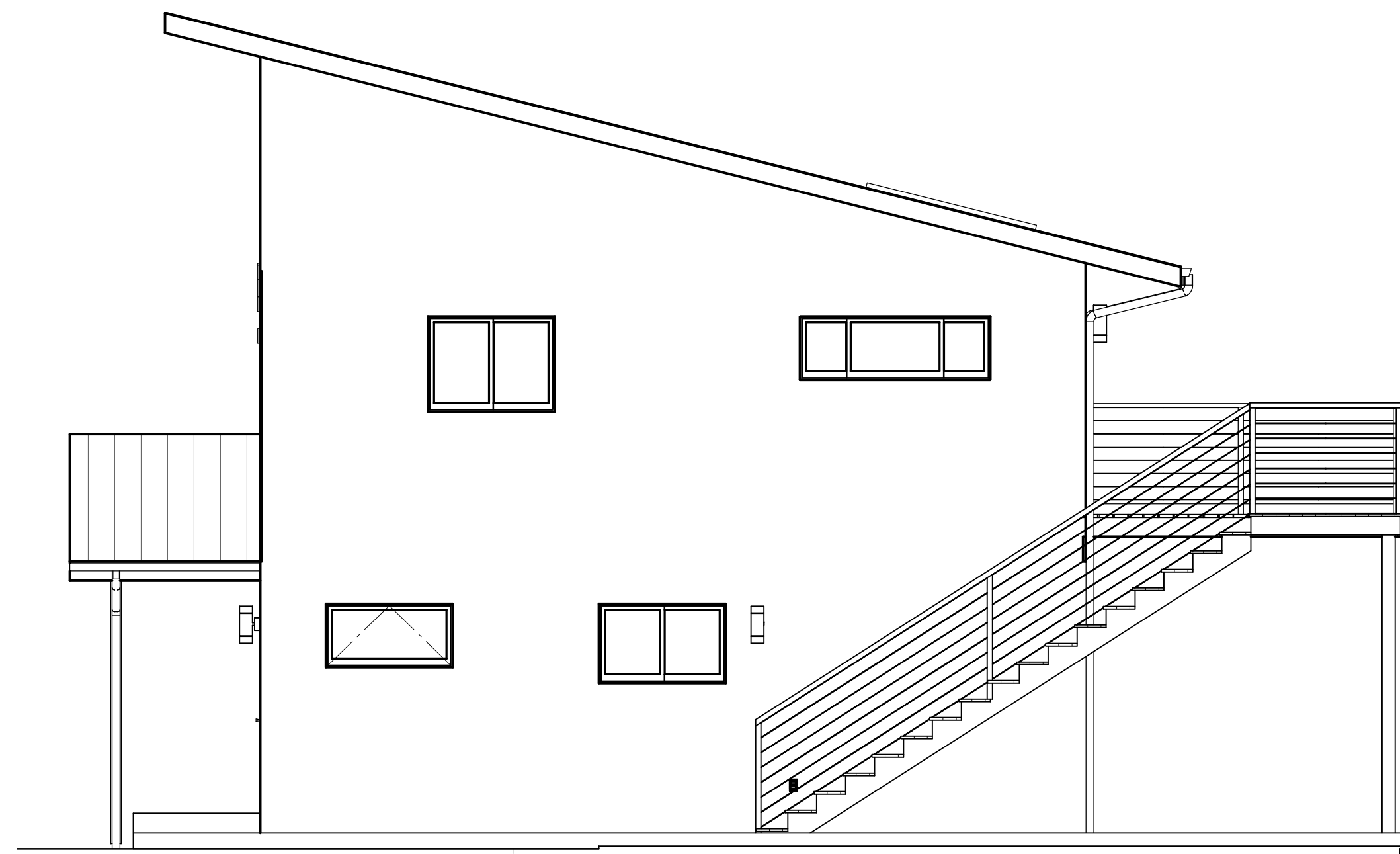
Karee Carlucci  
3810 Genista Way  
Carmel, CA 93923

DRAWINGS PROVIDED BY:  
**BAKKER**  
CONSTRUCTION  
QUALITY . INTEGRITY . VISION

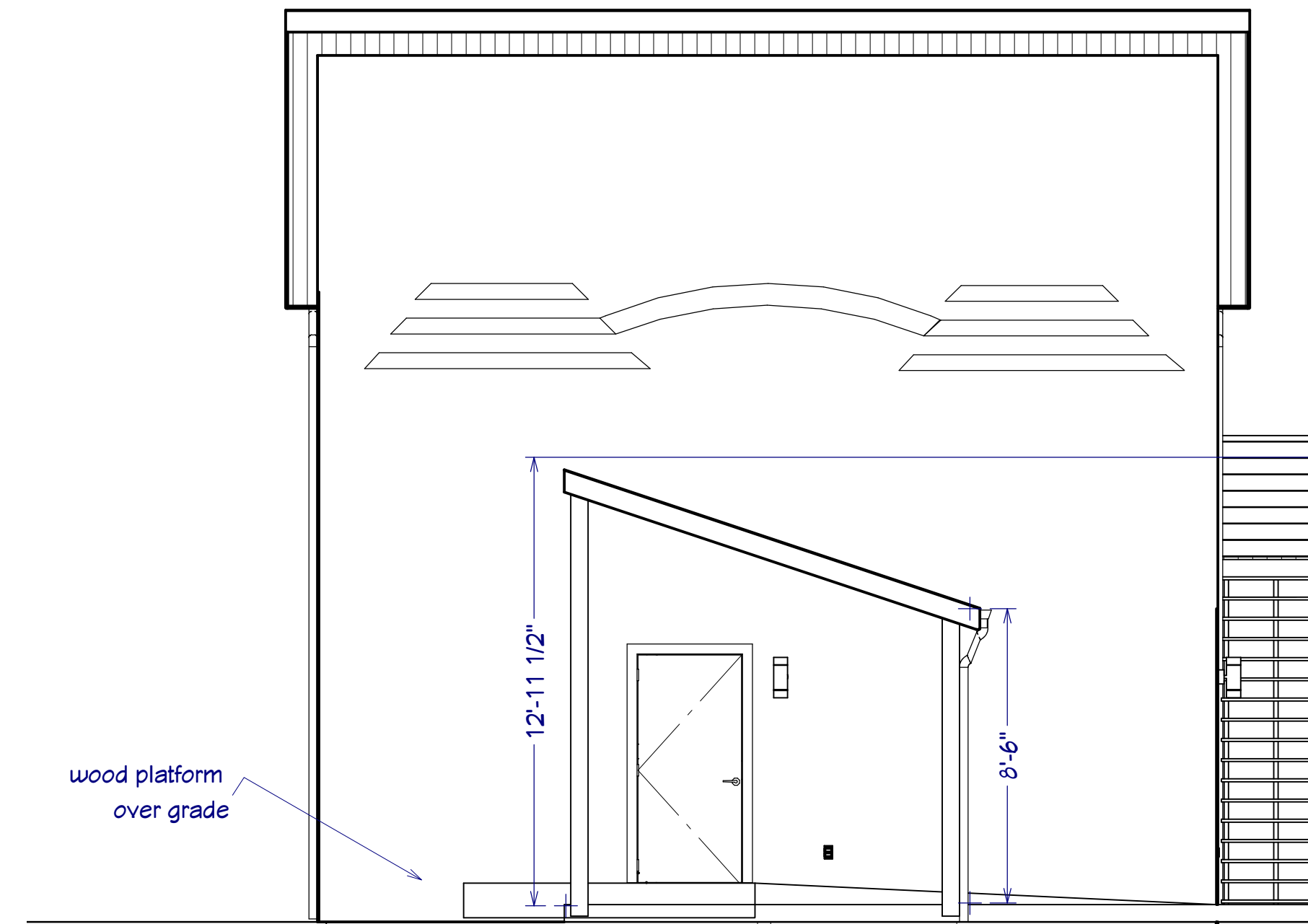
DATE:  
7/14/2021

SCALE:  
1/4" = 1'

SHEET:  
A.2

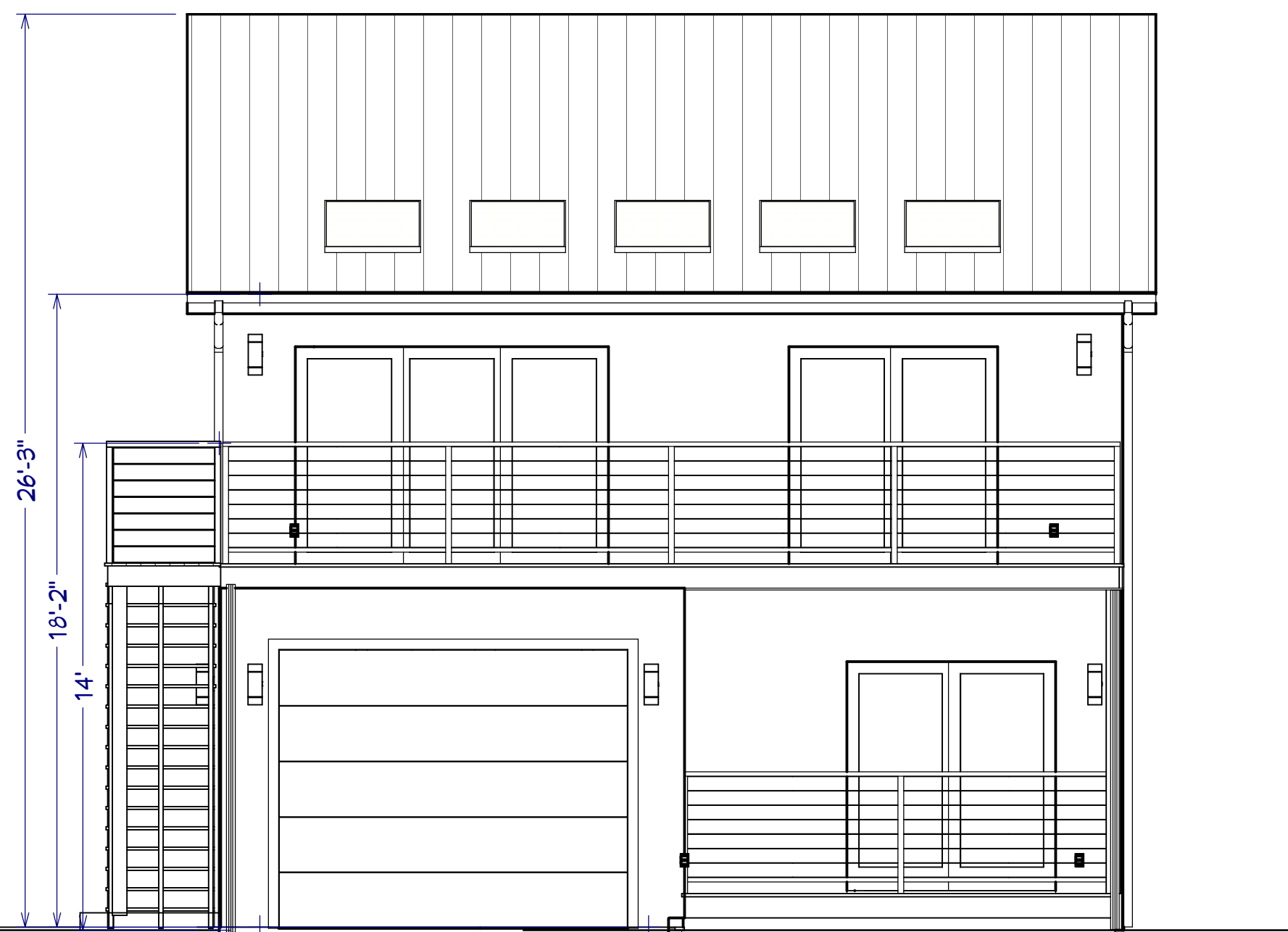


West Elevation

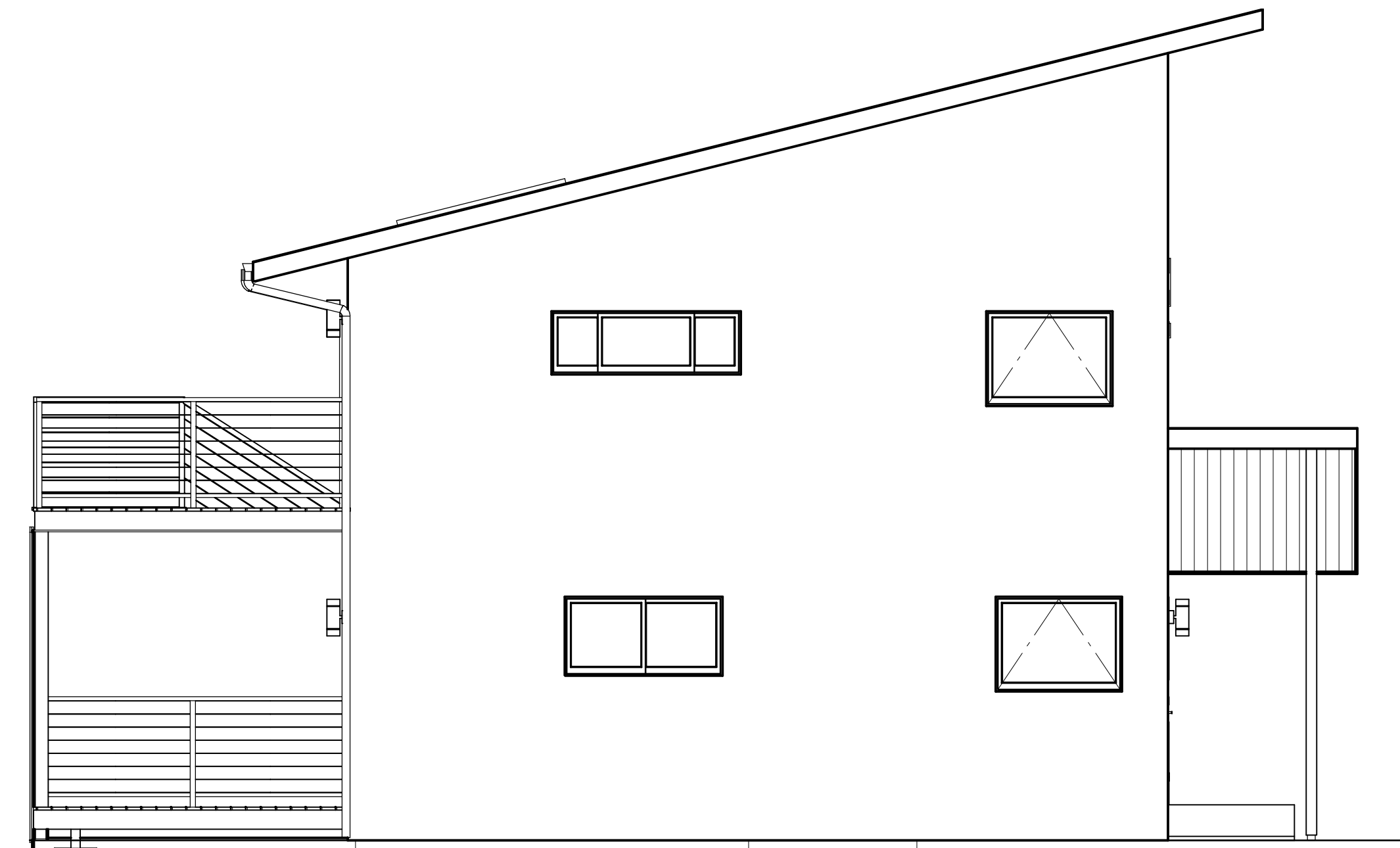


North Elevation

Top of Building: 761.75 feet    Height from Average Natural Grade: 28.62 feet



South Elevation



East Elevation

NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION

Proposed Elevations

Karee Carlucci  
3810 Genista Way  
Carmel, CA 93923

DRAWINGS PROVIDED BY:  
**BAKKER**  
CONSTRUCTION  
QUALITY . INTEGRITY . VISION

DATE:

7/14/2021

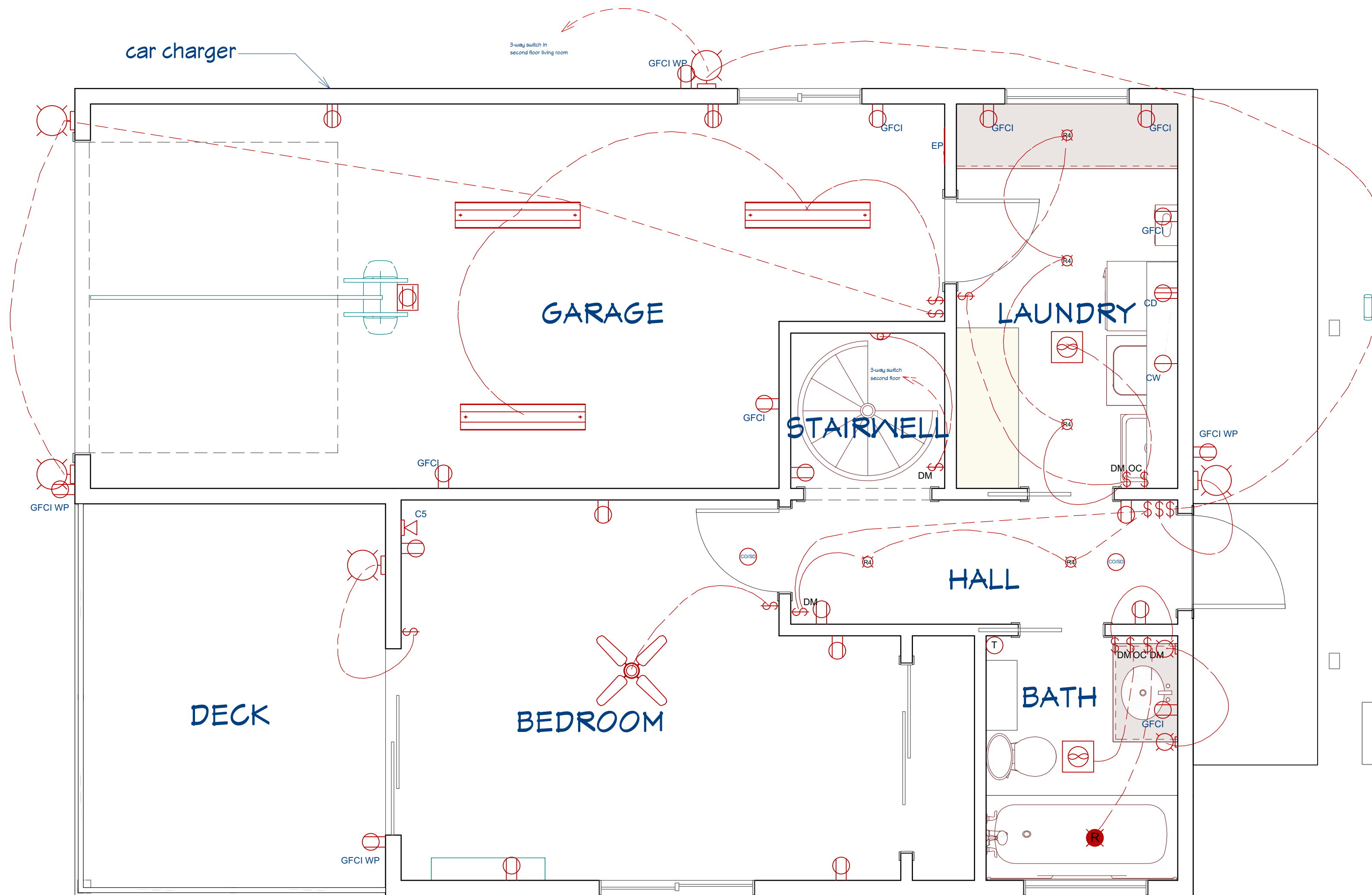
SCALE:

1/4" = 1'

SHEET:

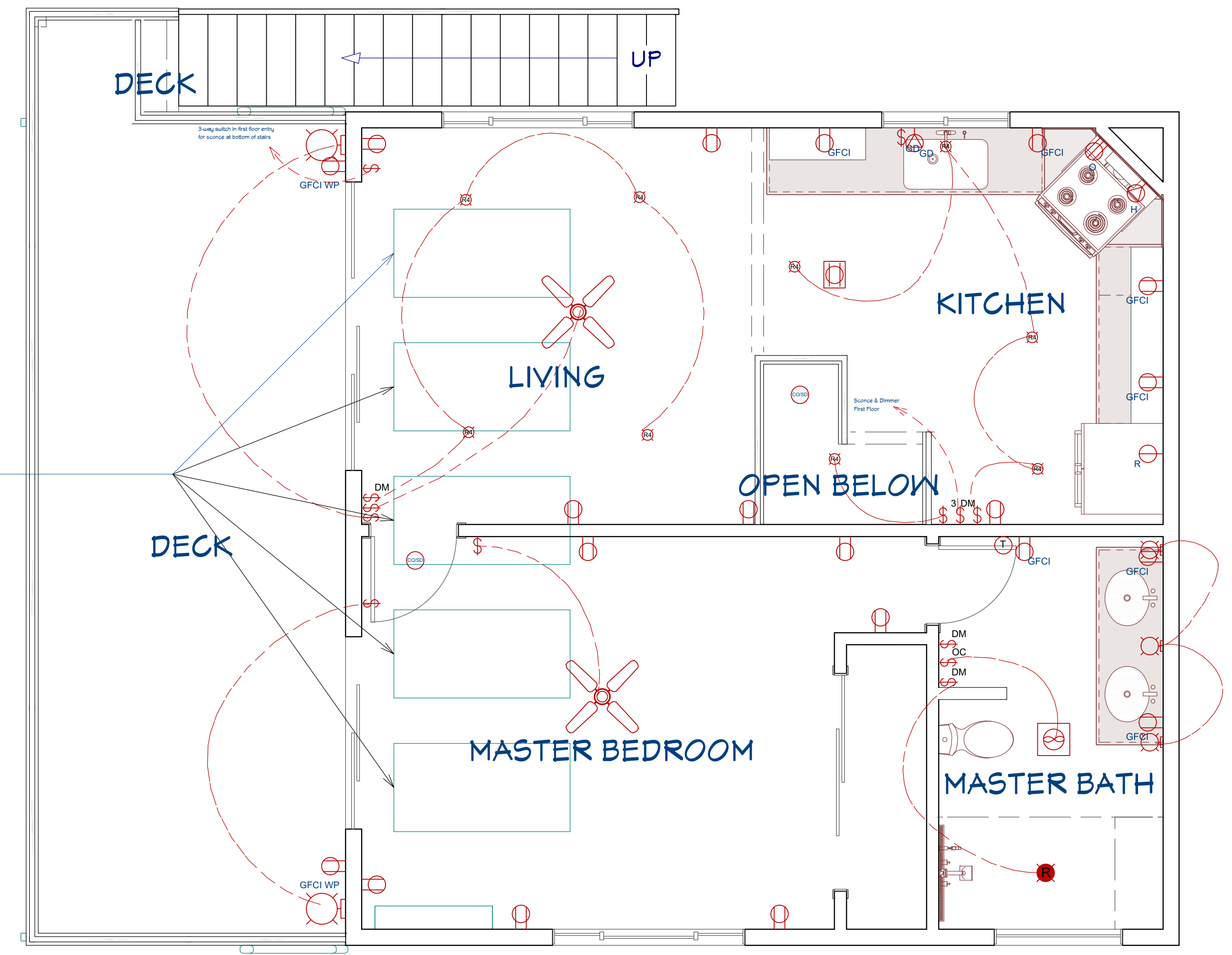
A.3





LIVING AREA  
466 SQ FT

First Floor Electrical Plan



LIVING AREA  
618 SQ FT

Second Floor Electrical Plan

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

REVISION TABLE	
NUMBER	DATE

Proposed  
Electrical Plan

Karee Carlucci  
3810 Genista Way  
Carmel, CA 93923

DRAWINGS PROVIDED BY:  
**BAKKER**  
CONSTRUCTION  
QUALITY. INTEGRITY. VISION

DATE:

7/14/2021

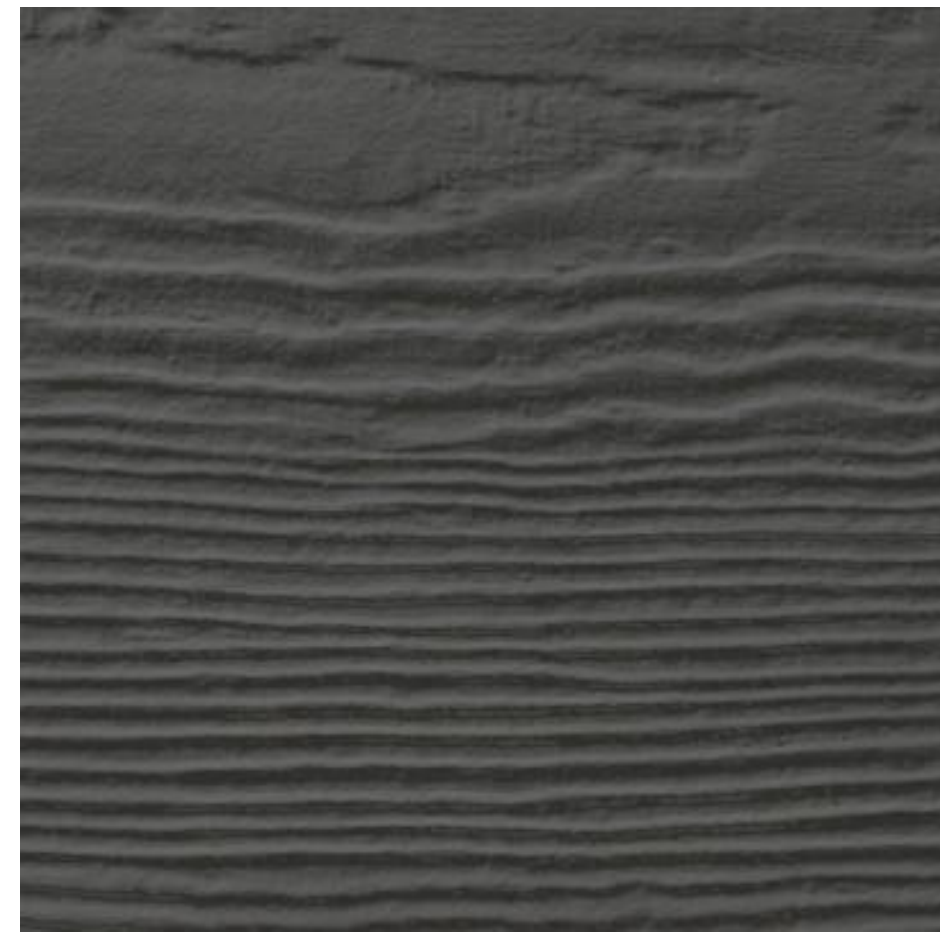
SCALE:

3/8" = 1'

SHEET:

E.1

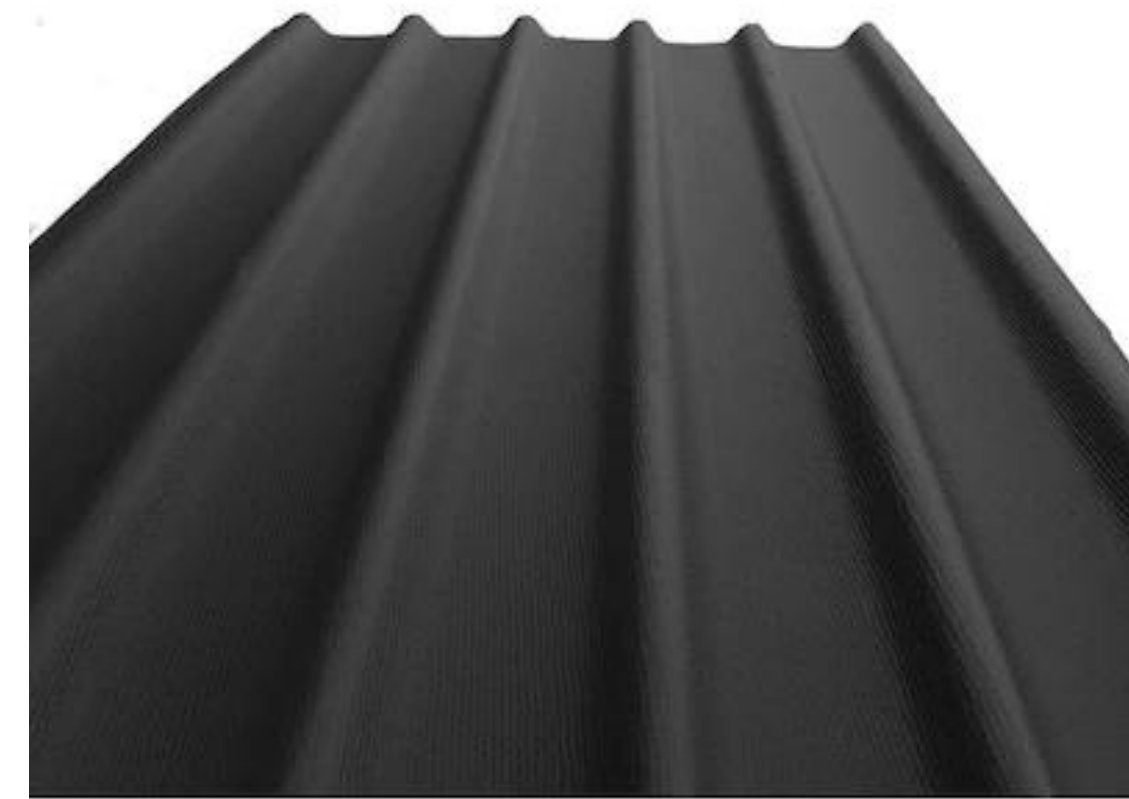
Siding Material:  
James Hardie Siding Panels  
in Iron Gray and Night Gray



Gravel Driveway



Roofing Materials:  
Black ribbed metal roof  
Black aluminum gutters & downspouts



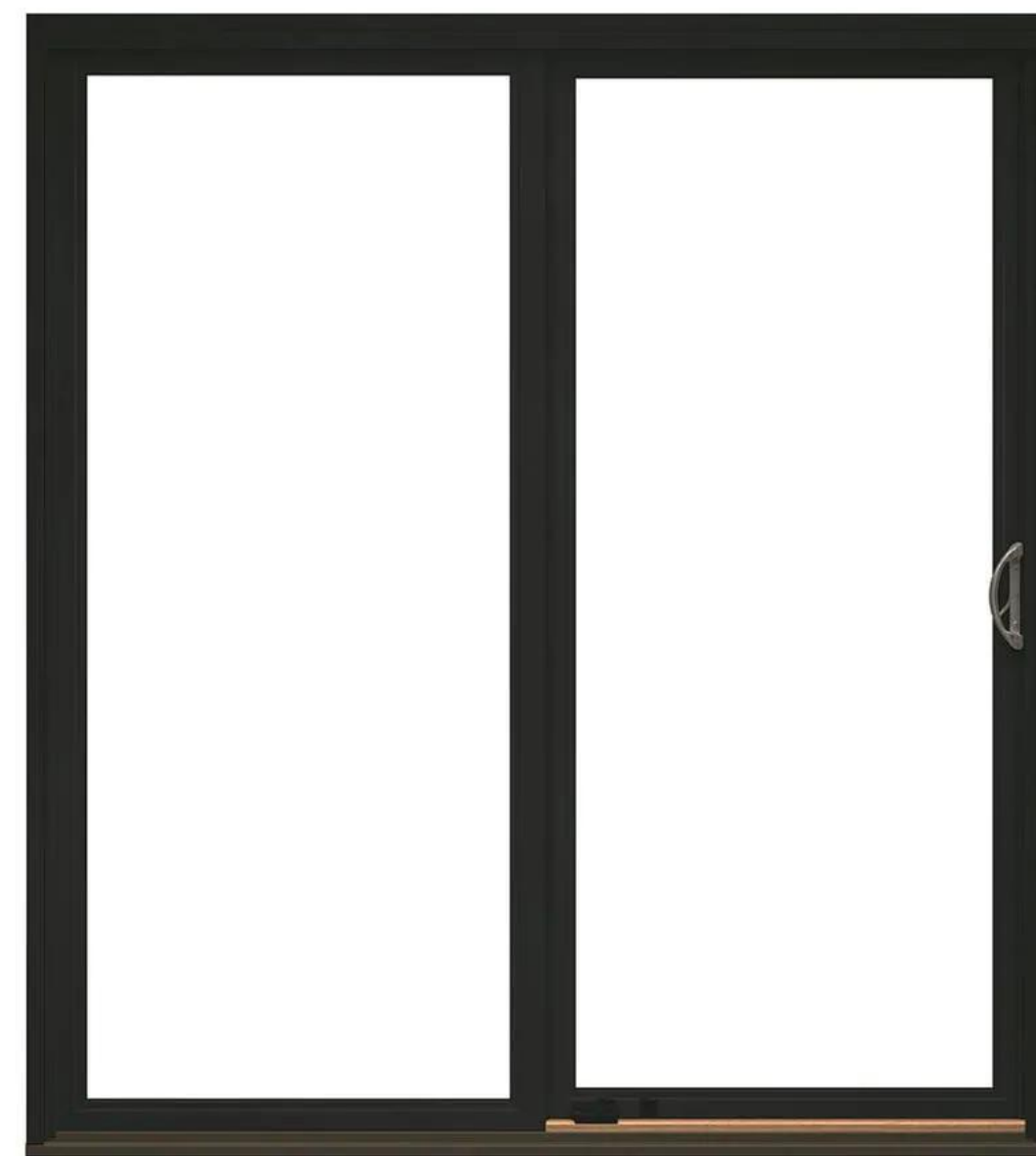
Black Garage Door and Entry Door



Exterior Sconces



Pella windows and sliding doors



Cable Railing



Decking Material



DRAWINGS PROVIDED BY:  
**BAKKER**  
CONSTRUCTION  
QUALITY . INTEGRITY . VISION

DATE:

7/14/2021

SCALE:

No Scale

SHEET:

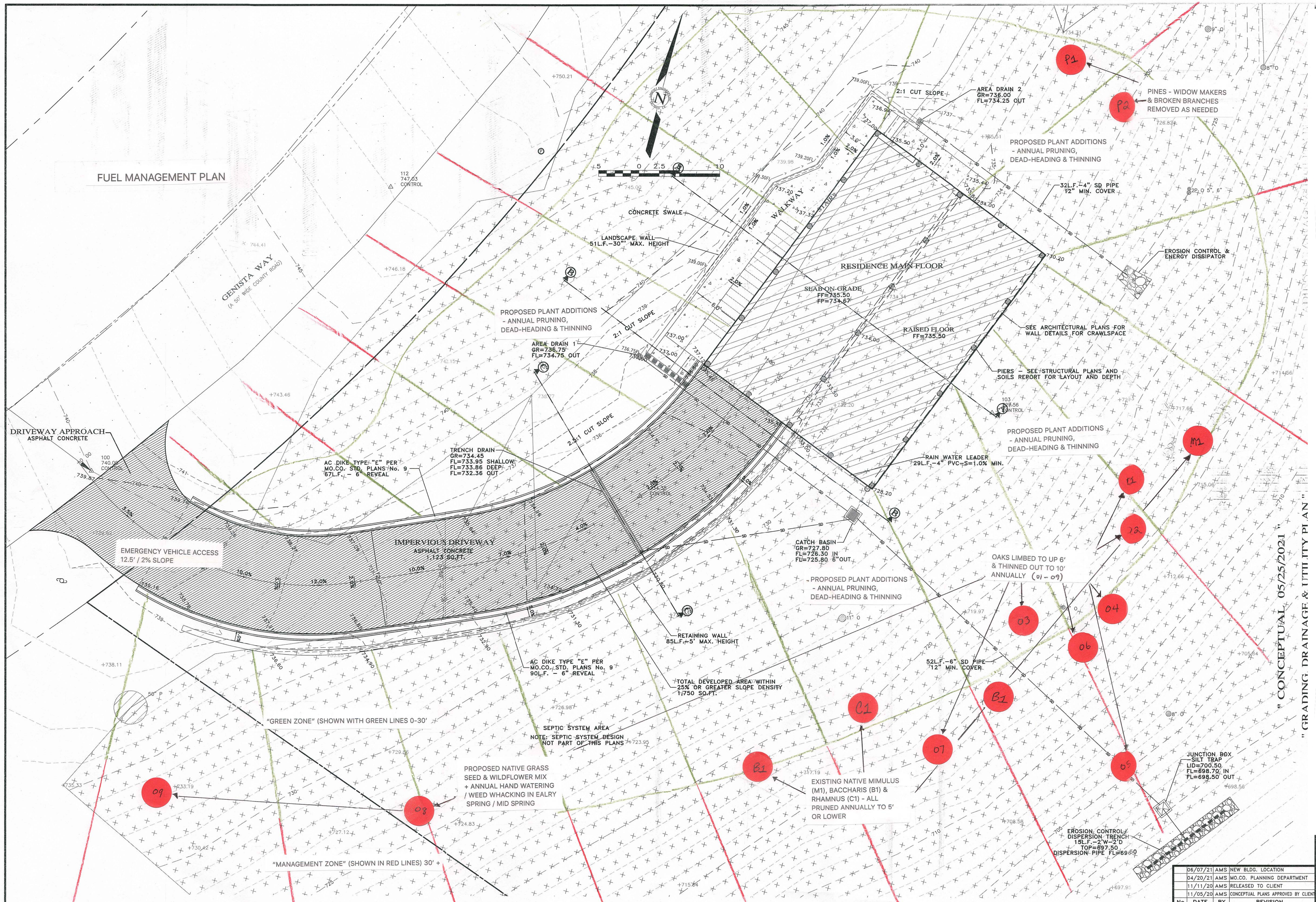
A.4

Proposed  
Exterior Materials

Karee Carlucci  
3810 Genista Way  
Carmel, CA 93923

NUMBER	DATE	REVISION TABLE REVISED BY	DESCRIPTION

FUEL MANAGEMENT PLAN



CONCEPTUAL 05/25/2021  
GRADING, DRAINAGE & UTILITY PLAN

GRADING, DRAINAGE & EROSION CONTROL  
OF  
CARLUCCI RESIDENCE  
A.P.N.: 103-131-006  
FOR  
CARMEL, MONTEREY COUNTY, CALIFORNIA  
BARKER CONSTRUCTION

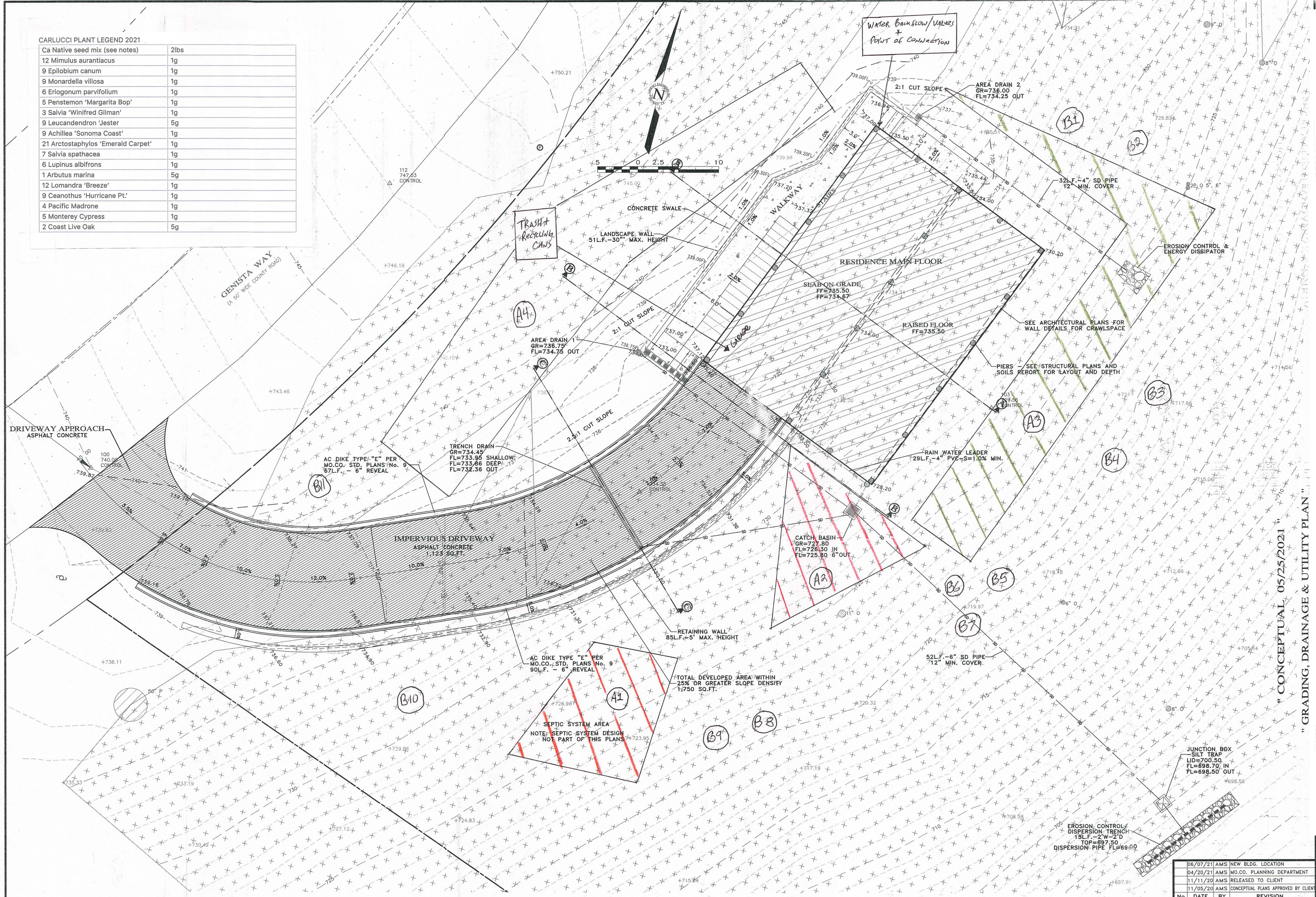
SCALE: 1"=5'  
DATE: OCTOBER 2020  
JOB NO. 2084-03

No.	DATE	BY	REVISION
06/07/21	AMS		NEW BLDG. LOCATION
04/20/21	AMS		MO.CO. PLANNING DEPARTMENT
11/11/20	AMS		RELEASED TO CLIENT
11/05/20	AMS		CONCEPTUAL PLANS APPROVED BY CLIENT

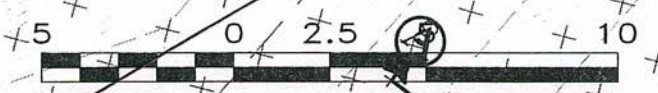
C.7

CARLUCCI PLANT LEGEND 2021

Ca Native seed mix (see notes)	2lbs
12 Mimulus aurantiacus	1g
9 Epilobium canum	1g
9 Monardella villosa	1g
6 Eriogonum parvifolium	1g
5 Penstemon 'Margarita Bop'	1g
3 Salvia 'Winifred Gilman'	1g
9 Leucandendron 'Jester'	5g
9 Achillea 'Sonoma Coast'	1g
21 Arctostaphylos 'Emerald Carpet'	1g
7 Salvia spathacea	1g
6 Lupinus albus	1g
1 Arbutus marina	5g
12 Lomandra 'Breeze'	1g
9 Ceanothus 'Hurricane Pt.'	1g
4 Pacific Madrone	1g
5 Monterey Cypress	1g
2 Coast Live Oak	5g



GENISTA WAY  
(A 50 WIDE COUNTY ROAD)



TRASH RECYCLING CANS

WATER BACKFLOW VALVES + POINT OF CONNECTION

A4

B1

B2

B3

A3

B4

A2

B6

B5

B7

B10

A1

B9

B8

JUNCTION BOX  
SILT TRAP  
LID=700.50  
FL=698.70, IN  
FL=698.50 OUT

EROSION CONTROL  
DISPERSION TRENCH  
15L.F. - 2' W - 2' D  
TOP=697.50  
DISPERSION PIPE FL=698.50

CONCEPTUAL 05/25/2021

GRADING, DRAINAGE & UTILITY PLAN

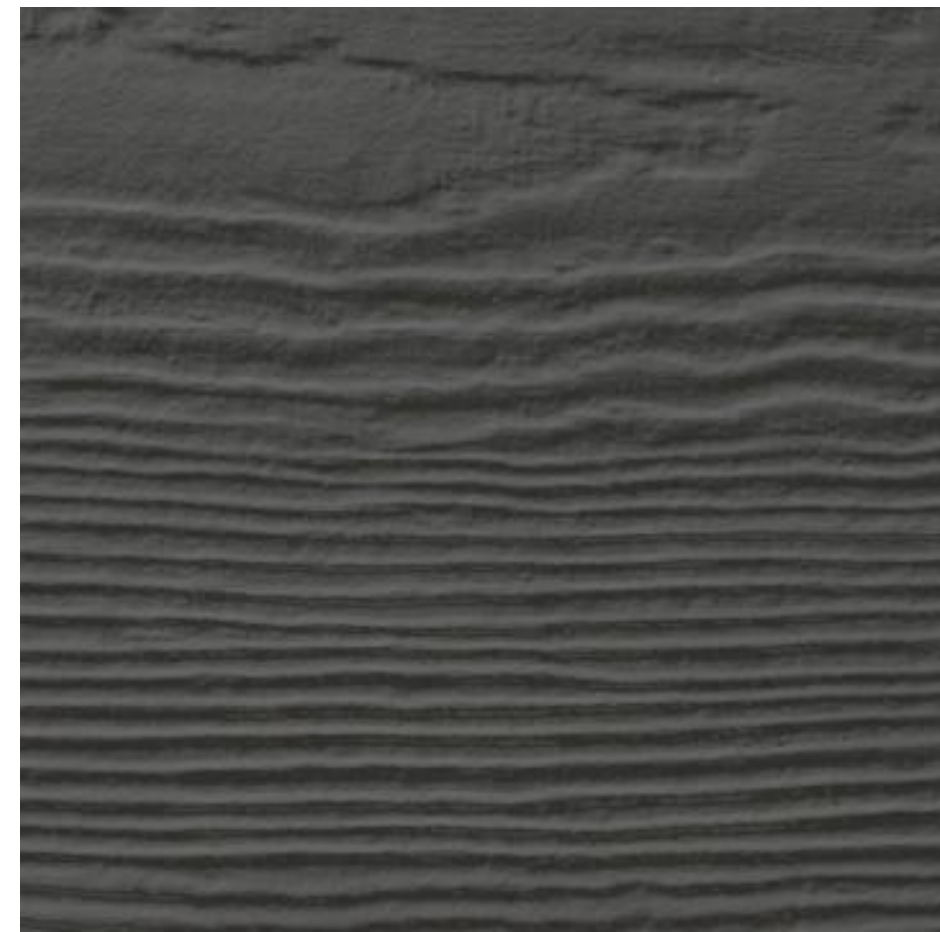
UNIVERSITY OF CALIFORNIA  
OF  
CARLUCCI RESIDENCE  
A.P.N.: 103-131-006  
CARMEL, MONTEREY COUNTY, CALIFORNIA  
FOR  
BAKER CONSTRUCTION

SCALE: 1"=5'  
DATE: OCTOBER 2020  
JOB NO. 2084-03

C.8

No.	DATE	BY	REVISION
06/07/21	AMS		NEW BLDG. LOCATION
04/20/21	AMS		MO.CO. PLANNING DEPARTMENT
11/11/20	AMS		RELEASED TO CLIENT
11/05/20	AMS		CONCEPTUAL PLANS APPROVED BY CLIENT

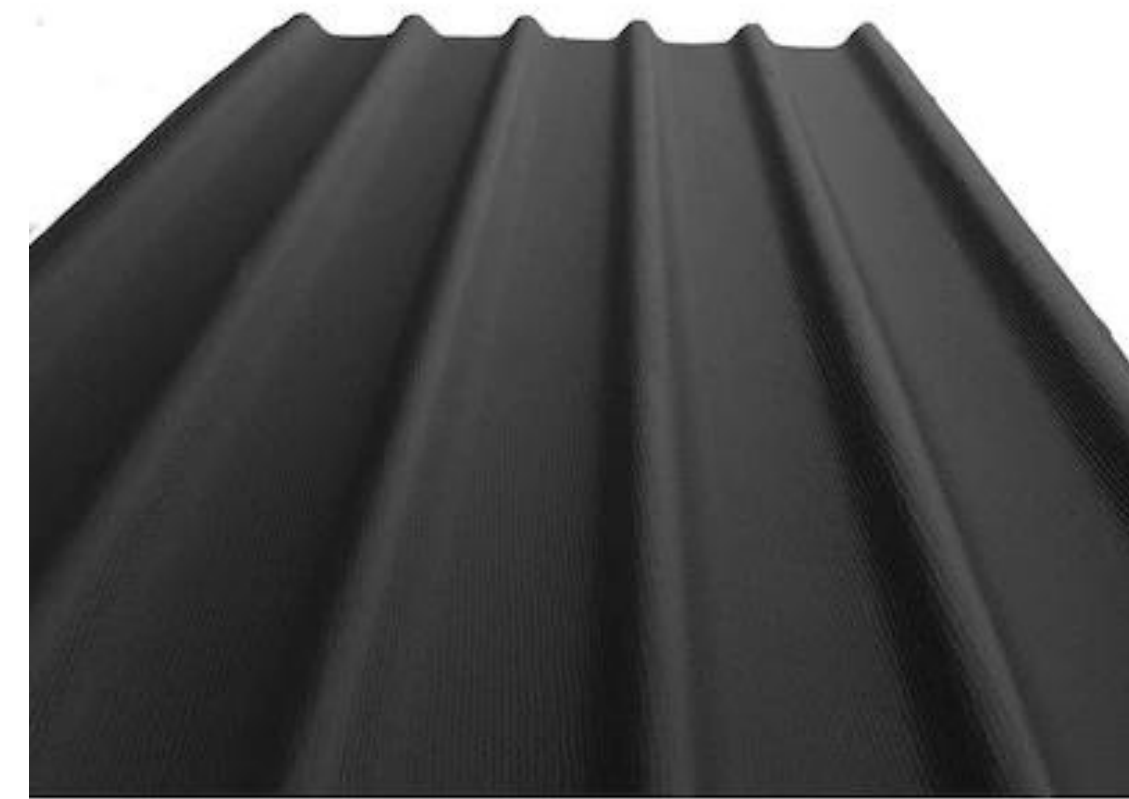
Siding Material:  
James Hardie Siding Panels  
in Iron Gray and Night Gray



Gravel Driveway



Roofing Materials:  
Black ribbed metal roof  
Black aluminum gutters & downspouts



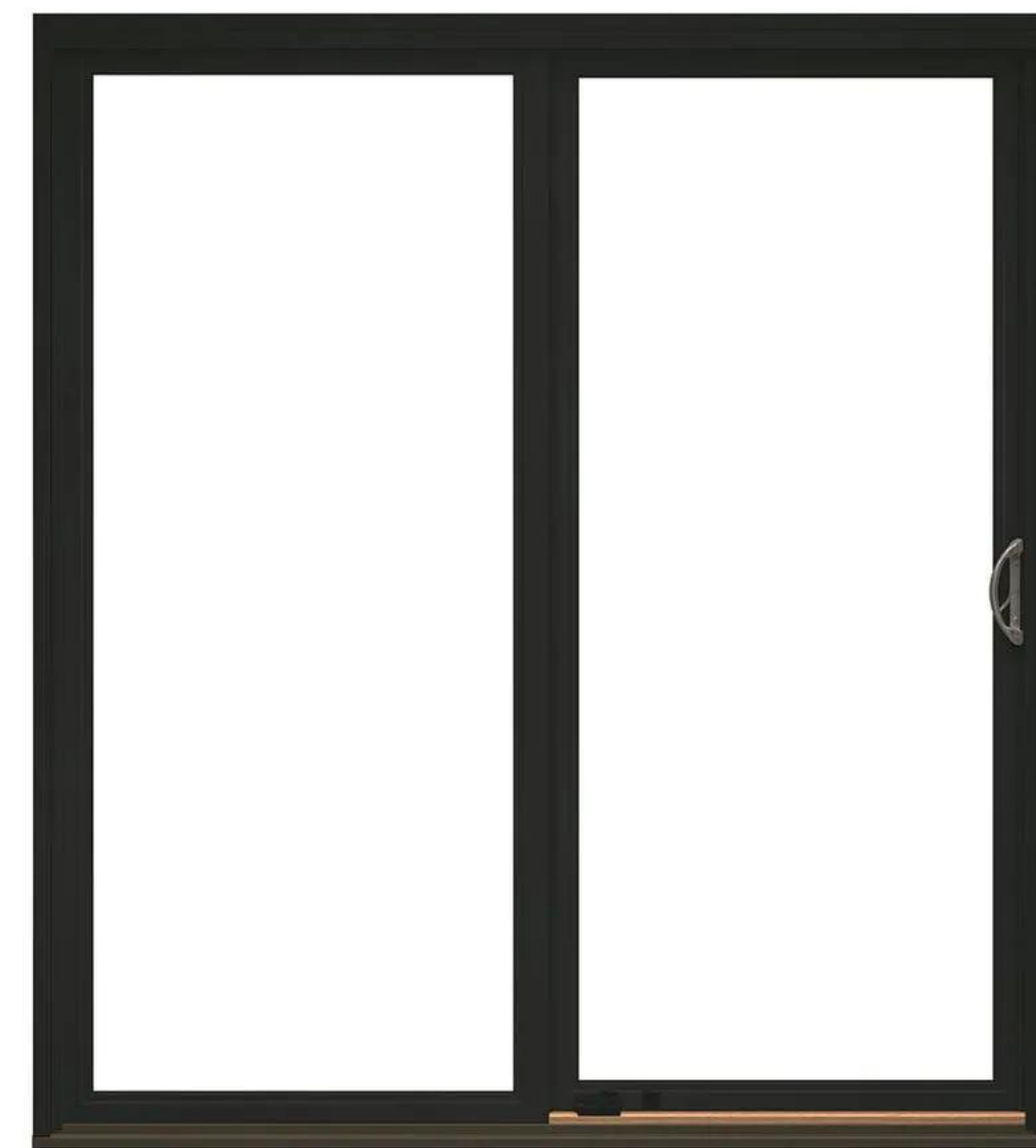
Black Garage Door and Entry Door



Exterior Sconces



Pella windows and sliding doors



Cable Railing



Decking Material



DRAWINGS PROVIDED BY:

**BAKKER**  
CONSTRUCTION  
QUALITY . INTEGRITY . VISION

DATE:

7/14/2021

SCALE:

No Scale

SHEET:

A.4

REVISION TABLE

NUMBER	DATE	REVISION BY	DESCRIPTION

Proposed  
Exterior Materials

Karee Carlucci  
3810 Genista Way  
Carmel, CA 93923

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# NATIVE COAST LANDSCAPES, LLC

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NATIVE COAST  
LANDSCAPES

6/18/2021

## CARLUCCI CONCEPT LANDSCAPE PLAN

### Plant additions (A) / Replacement Trees (B)

- \* A1 - Consists of 150 sq' of low growing California Native Plants. (wildflowers and perennials). Native seed blend blend - 1/2lb Festuca molate blue, .2lbs Eschscholzia californica, .25lbs Lupinus nanus, 2oz Achillea millefolium & 4oz Layia platyglossa. Perennials include 12-1g Mimulus aurantiacus, 9-1g Epilobium canum, 9-1g Monardella villosa, 6-1g Eriogonum parvifolium.
- \* A2 - Consists of 5-1g Penstemon 'Margarita Bob', 3-1g Salvia 'Winifred Gilman & 3-5g Leucadendron 'Jester'.
- \* A3 - Consists of 9-1g Achillea 'Sonoma Coast', 6-5g Leucadendron 'Jester', 12-1g Actostaphylos 'Emerald Carpet', 7-1g Salvia spathacea, 6-1g Lupinus albrifrons & 1-5g Arbutus marina.

- \* **A4 - Consists of 9-1g Actostaphylos 'Emerald Carpet', 12-1g Lomandra Breeze, 9-1g Ceanothus 'Hurricane Point'**
- \* **B1 / B2 - 1g Pacific Madrone**
- \* **B3 / B4 / B5 - 1g Monterey Cypress**
- \* **B6 / B7 - 1g Pacific Madrone**
- \* **B8 / B9 - 5g Coast Live Oak**
- \* **B10 / B11 - 1g Monterey Cypress**

#### **Irrigation Plan**

- \* **Main line running from water meter to point of connection on NW corner of house. Main line connected to Wilkins 975 XL Backflow Preventer. Backflow connected to 2 Weathermatic valves providing water to A2 / A3 & B1-B9. Mainline also extending to NE corner of property for addition of 1 hose bib.**
- \* **1/2" Poly drip lines with 2G/hr emitters to be added to new plants in A2 / A3 and B1-9. Drip to run 2x/week for 12 minutes.**
- \* **Sections A1 / A4 and trees B10 / B11 to be hand watered for establishment. A1 to use temporary overhead Rainbird sprinklers connected to hose bib.**
- \* **Estimated annual landscape water usage - 12,000 gallons.**
- \* **Trash / Recycling containers to be placed in garage.**