

Exhibit A

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DRAFT RESOLUTION

Before the Planning Commission in and for the County of Monterey, State of California

In the matter of the application of:

PELIOVA CAROLYN & BRADFORD MATTHEW (PLN230131)

RESOLUTION NO. 25-

Resolution by the County of Monterey Planning
Commission:

- 1) Finding the project qualifies as a Class 3
Categorical Exemption pursuant to CEQA
Guidelines section 15303, and there are no
exceptions pursuant to section 15300.2; and
- 2) Approving a Combined Development Permit
consisting of:
 - a. A Design Approval to allow the
construction of a two-story 3,477 square
foot single-family dwelling with an
attached 606 square foot garage, an
attached 369 square foot deck, and
associated site improvements including a
320 square foot driveway; and
 - b. A Use Permit to allow the removal of 10
protected Oak trees; and
 - c. A Use Permit to allow development on
slopes in excess of 25%

[PLN230131, Peliova Carolyn and Bradford
Matthew, 103 A San Benancio Rd, Salinas, Toro
Area Plan (APN: (416-231-018-000)]

The PELIOVA CAROLYN AND BRADFORD MATTHEW application (PLN230131) came on for public hearing before the County of Monterey Planning Commission on February 12, 2025, April 9, 2025, and August 13, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;
 - Toro Area Plan;
 - Monterey County Zoning Ordinance (Title 21);

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Allowed Use. The property is located at 103A San Benancio, Salinas (Assessor's Parcel Number 416-231-018-000), Toro Area Plan. The parcel is zoned Low Density Residential with Building Site 6 and Design Control overlays or "LDR/B-6-D". LDR zoning allows for the establishment of the first single-family dwelling as a principally allowed use. The Design Control overlay requires the granting of a Design Approval for all structures. The proposed project involves the construction of a two-story 3,477 square foot single-family dwelling with an attached 606 square foot garage, an attached 369 square foot deck, 540 square feet of patios, and a 320 square foot driveway. The project also involves the removal of 10 protected Oak trees and development on slopes in excess of 25%, which are allowed uses subject to the granting of a Use Permit in each case. Therefore, the project is an allowed land use for this site.
- c) HCD-Planning staff conducted a site inspection on October 28th, 2024, to verify that the project on the subject parcel conforms to the plans listed above.
- d) Review of Development Standards. The project meets all required development standards for Low Density Residential zoning district and B overlay district are identified in Title 21 section 21.14.060 and 21.42.030. Pursuant to Title 21 section 21.14.060.C, development within this district shall meet the required setbacks unless combined with a "B" district. Pursuant to Title 21 section 21.42.030.F, the required setbacks in the B-6 zoning overlay are 30 feet (front), 10 percent (side), and 20 feet (rear). The proposed single-family dwelling will have setbacks of 55 feet (front), 158 feet (side), and over 200 feet (rear). The LDR zoning district allows a maximum height of 30 feet for main structures, and the proposed single-family dwelling will have a height of 27 feet. The LDR zoning district allows a maximum building site coverage of 25% on lots of 20,000 square feet or more. In this case, the subject property contains 286,843 square feet. The proposed project will have a building site coverage of 3,140 square feet or 1.09%. Therefore, the project meets all required development standards.
- e) Design and Visual Resources. Pursuant to Title 21 Chapter 21.44, the project parcels and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. Pursuant to the Toro Area Plan Policy T-3.1, within areas designated as visually sensitive, the County shall encourage architectural design that is consistent with the rural nature of the area. As shown on the Toro Scenic Highway Corridors and Visual Sensitivity Map (Figure 16), the subject property is identified as visually sensitive. Staking and flagging was installed, and staff conducted a site visit on October 28th, 2024, and confirmed that the subject property and staking and flagging were not visible from San Benancio Road or Highway 68 due to topography,

distance, and existing mature vegetation. The southern portion of the property is visible for limited instances along San Benancio Road, but this portion of the property is subject to the restrictions of a Scenic Easement. Along San Benancio Canyon Road (a private road), the proposed development will be sited substantially higher than the road due to the property's steep incline but will be partially screened by existing vegetation. The proposed single-family dwelling will have colors and materials consisting of a matte black metal roof and muted blue-gray wooden siding with white trim. The proposed single-family dwelling will be architecturally consistent with the rural and traditional architecture of the surrounding neighborhood and the proposed colors and materials are consistent with the surrounding neighborhood and are in-keeping with the recommendations of the LUAC. Therefore, the proposed project's colors will not detract from the immediately surrounding neighborhood character due to siting, architectural style, and vegetative screening. Condition No. 8 has been applied to require the installation of down-lit unobtrusive exterior lighting. Therefore, as proposed and conditioned, the project is not in conflict with the surrounding environment or with the surrounding residential neighborhood character and assures protection of the public viewshed and visual integrity.

- f) Tree Removal. The proposed project involves the removal of 10 protected Oak trees. However, as detailed in Finding No. 6 and supporting evidence, the proposed tree removal is the minimum required under the circumstances and the removal will not involve a risk of adverse environmental impacts. Therefore, the criteria necessary to grant a Use Permit have been met in this case.
- g) Development on Slopes. The proposed project involves consideration of a Use Permit to allow development on slopes in excess of 25%. As demonstrated in Finding No. 7 and supporting evidence, the proposed project complies with General Plan Policy OS-3.5, which prohibits development on slopes in excess of 25%, unless the Appropriate Authority finds that such development is unavoidable and/or better meets the resource protection goals and policies of the 2010 General Plan and Toro Area Plan.
- h) Cultural Resources. According to the Monterey County Geographic Informational System (GIS), the subject property has a high archaeological sensitivity. Based on auger testing results and information available in the record, there are no indicators of archaeological artifacts or historical significance on site. The potential for inadvertent impacts to cultural resources is limited and will be controlled by use of the County's standard condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction.
- i) Lot Legality. The subject property is shown in its current configuration (6.2 acres) on a Parcel Map (Minor Subdivision File No. 77-58) as Parcel 3, recorded on August 4th, 1977 (Volume 11, Parcel Maps, Page 175). Therefore, the County recognizes the subject properties as legal lots of record.

- j) Land Use Advisory Committee. The project was referred to the Toro Land Use Advisory Committee (LUAC) for review, on October 28th, 2024. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application did warrant referral to the LUAC because the project involves a Design Approval subject to review by the Planning Commission. The LUAC voted 4-0 to support the project as proposed, however, LUAC members brought up concerns relating to the proposed colors, tree removal, and development on slopes in excess of 25%.
- k) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN230131.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD- Planning, County of Monterey Regional Fire Protection District, HCD-Engineering Services, HCD-Environmental Services, and Environmental Health Bureau. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to Geological Resources (soils and slopes), and Forest Resources. The following reports have been prepared:
 - “Geological Hazards Evaluation” (County of Monterey Library No. LIB240057), prepared by Craig S. Harwood, Ben Lomond, CA, December 13th, 2023
 - “Geotechnical Investigation” (County of Monterey Library No. LIB240054), prepared by Butano Geotechnical Engineering, INC., Freedom, CA, December 22nd, 2022
 - “Arborist Report” (County of Monterey Library No. LIB240056), prepared by Monterey Bay Treeworks, Carmel, CA, January 5th, 2024

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions.

- c) Staff conducted a site inspection on October 28th, 2024 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD - Planning for the proposed development found in Project File PLN230131.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the use or structure applied for, will not, under the

circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use; or be detrimental or injurious to property and improvements in the neighborhood; or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD- Planning, County of Monterey Regional Fire Protection District, HCD-Engineering Services, HCD-Environmental Services, and Environmental Health Bureau. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) All necessary public facilities will be provided to the proposed single-family dwelling. Potable water will be provided to the parcel by the California American Water Company (Cal Am), and the project proposes a new onsite wastewater treatment system (OWTS). The Environmental Health Bureau reviewed the conceptual OWTS and expressed no concerns.
 - c) The prepared Tree Assessment includes a property specific fuel management plan. This fuel management plan recommends compliance with California Public Resources Code section 4291 (Defensible Space), which establishes fuel reduction and vegetation management guidelines for areas within 100 feet from structures. Within 5 feet of the proposed structure (with an attached deck), an ember-resistant zone (no combustible materials) is recommended. Accordingly, trees within 5 feet of the residence and attached deck are proposed for removal and as conditioned, only non-combustible plant materials would be planted within this area. Within 5-30 feet of the proposed structure, multiple planting types would be supported, with an emphasis placed on utilizing fire-appropriate plant materials with adequate spacing and irrigation. Given the steepness of the property, grassland and Oak understory within 5-100 feet of the proposed structure would be mowed and lower branches (8-10 feet above the ground) would be pruned. Condition No. 12 requires that the recommendations of the arborist report and fuel management plan be incorporated into the final landscape plans. On-going compliance with this condition will ensure that the property owner is adequately maintaining defensible space, as required by California Public Resources Code section 4291. The Monterey County Regional Fire Protection District reviewed the proposed project and made no comments.
 - d) Staff conducted a site inspection on October 28th, 2024 to verify that the site is suitable for this use.
 - e) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD - Planning for the proposed development found in Project File PLN230131.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any

- other applicable provisions of the County's zoning ordinance. No violations exist on the property.
- EVIDENCE:**
- a) Staff reviewed County of Monterey HCD - Planning and Building Services Department records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on October 28th, 2024 and researched County records to assess if any violation exists on the subject property.
 - c) The application, plans and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN230131.
5. **FINDING:** **CEQA (Exempt)** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts the construction and location of limited numbers of new, small facilities or structures including one single-family residence in a residential zone.
 - b) The proposed project involves the construction of a 3,477 square foot single-family dwelling with an attached 606 square foot garage, an attached 369 square foot deck, and associated site improvements including a 320 square foot driveway. Therefore, the project is consistent with the categorical exemption requirements of CEQA Guidelines section 15303.
 - c) No adverse environmental effects were identified during staff review of the development application during a site visit on October 28th, 2024.
 - d) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no significant effect on the environment due to unusual circumstances. Project location is not within a sensitive environment. There is no cumulative impact without any prior successive projects of the same type in the same place, over time and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered on a hazardous waste site. Removal of 10 protected trees will not result in an adverse environmental impact or significant long-term impacts (see Finding No. 6). The proposed project will also not be visible from any scenic vista or corridor (see Finding No. 1, Evidence "e"). No known historical resources are found in the geotechnical report which may cause a substantial adverse change in the significance of a historical resource.
 - e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN230131.
6. **FINDING:** **TREE REMOVAL** - The siting, location, size, and design has been established to minimize tree removal and has been limited to that required for the overall health and long-term maintenance of the property.
- EVIDENCE:**
- a) The project includes application for the removal of 10 protected Oak trees. In accordance with the applicable policies of the Toro Area Plan

and the Monterey County Zoning Ordinance (Title 21), a Use Permit is required and the criteria to grant said permit have been met.

- b) Pursuant to Title 21 section 21.64.260.D.3.a, a Use Permit is required for the removal of landmark Oaks, or more than three protected trees. Title 21 section 21.64.260.C.1 identifies Oak and Madrone trees over six inches in diameter as being protected within the Toro Area Plan. Additionally, Title 21 section 21.64.260.C.5 protects landmark Oak trees, which are twenty-four inches or more in diameter when measured two feet above the ground, or trees that are visually significant, historically significant, or exemplary of their species. As proposed, the project involves the removal of 10 Oak trees (two landmarks) that were assessed in the Arborist report (LIB240056) as being in fair to poor conditions with several showing present signs of decay, suppression, or structural failure.
- c) The proposed tree removal is the minimum required under the circumstances of this case. The subject property is highly constrained by slopes in excess of 25% and Coast live oaks, as well as a Scenic Easement which covers the majority of the southern portion of the property. These constraints restrict development to the northern portion of the property, which is where much of the existing tree canopy is located. As sited and designed, the proposed development occurs in the least forested location within the developable area and utilizes a two-story design to avoid having an expansive development footprint that would impact more protected trees. Five of the trees proposed for removal (identified in the Arborist report as tree numbers 70, 73, 74, 75, and 76) are directly within the proposed development footprint. Three trees proposed for removal (identified in the Arborist report as tree numbers 69, 79, and 80) will be impacted by construction of the proposed driveway and the associated cut and fill into the hillside resulting in damage to structural roots.
- d) Title 21 section 21.64.260.C.5 prohibits the removal of landmark Oaks, unless the required findings of section 21.64.260.D.5 can be made. Required findings include that the removal is the minimum necessary and removal will not involve an adverse environmental impact, or that the tree is diseased, injured, or in danger of falling on or too close to proposed or existing development. The two landmark Oaks proposed for removal (identified in the Arborist report as tree numbers 77 and 78) are within or immediately adjacent to the footprint of the proposed attached deck and are both identified in the Arborist report as being in poor conditions with present decay and structural defects. Tree 77 is within the footprint of the deck and will be removed as a result. Tree 78 is adjacent to the deck. The arborist proposes the removal of this tree as construction will likely worsen its structure defects and pose a threat to the residence. Therefore, with the removal of ten protected Oak trees, the proposed tree removal is limited to that which is necessary for the proposed development and to reduce potential hazards.
- e) Relocating the residence would require the removal of additional trees. As sited and designed, twelve other protected trees on the subject property will be retained, including several dual and multi-stem oak

trees. Title 21 section 21.64.260.C.4 requires replacement or relocation of each removed protected tree at a minimum of a one-to-one ratio. In this case, 10 trees are required to be replanted, and the applicant proposes to replant 11 trees (Condition No. 11).

- f) Measures for tree protection during construction have been incorporated as a condition of approval, and include tree protection zones, trunk protection, hand excavation and bridging roots.
- g) No significant long-term effects on the forest ecosystem are anticipated. The project as proposed will not significantly reduce the availability of wildlife habitat over the long term.
- h) Staff conducted a site inspection on October 28, 2024 to verify that the tree removal is the minimum necessary for the project and to identify any potential adverse environmental impacts related to the proposed tree removal.
- i) The application, plans and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN230131.

7. **FINDING:** **SLOPES IN EXCESS OF 25 PERCENT** – There is no feasible alternative that would allow development to occur on slopes of less than 25 percent and the proposed development better achieves the goals, policies, and objectives of the Monterey County General Plan and Toro Area Plan and the Monterey County Zoning Ordinance (Title 21) than other development alternatives.

- EVIDENCE:**
- a) Pursuant to Title 21 section 21.64.230 and General Plan Policy OS-3.5, development on slopes exceeding 25 percent is allowed subject to the granting of a Use Permit if there are no feasible alternatives that would allow development to occur on slopes less than 25 percent and/or if the project better achieves the goals, policies, and objectives of the County of Monterey General Plan and applicable area plan. In this case, the proposed project involves development on slopes and the criteria to grant the Use Permit have been met.
 - b) The majority of subject property constraints slopes in excess of 25%, as shown on County GIS records and the attached slope map. There are limited areas within the subject property that do not contain slopes in excess of 25%. The majority of the areas not containing slopes in excess of 25% are located on the southern and ridgeline portions of the property. However, the southern half of the property is placed in a Scenic Easement that prohibits structural development. The only developable (non-easement) area of the property is directly adjacent to San Benancio Canyon Road. Within this area, there are limited portions that contain less steep slopes (approximately 2,000 square feet). Though the single-family dwelling is situated on these less steep areas, a majority of the proposed project still requires development on slopes due topography of the site. Given the steepness of the entire property, there is no alternative that would allow the proposed development to be sited on less steep slopes. Therefore, in this case, there is no feasible alternative that would allow development on slopes less than 25%.

- c) The original project scope had a site coverage of 4,186 square feet and site disturbance of 12,900 square feet. The proposed project scope represents an overall reduced design that has a site coverage of 3,140 square feet (25% reduction) and site disturbance of 11,900 square feet (8% reduction). The revised design's reduction in total ground disturbance also reduced the amount of development on slopes in excess of 25%. Of the total ground disturbance, 1,700 square feet would be on slopes less than 25%, and 10,200 square feet would be on slopes greater than 25%. The reducing in site disturbance is the result of reducing the size of the attached deck from 606 square feet to 369 square feet, the size of the main residence from 3,633 square feet to 3,477 square feet, and the size of the garage from 742 square feet to 606 square feet. Additionally, as recommended by the Planning Commission on February 12, 2025, the proposed design sites the garage to under the home rather than adjacent to it and removes an exterior staircase. These design choices reduce the required development on slopes to the minimum required to allow for construction of a reasonably sized single-family dwelling and driveway. The proposed reduction in hillside alteration and associated reduction of development on slopes in excess of 25% aligns with the purpose of General Plan Policy OS-5.5, which encourages hillsides and existing terrain in visually sensitive areas be preserved.
- d) General Plan Policy OS 1.3 prohibits ridgeline development that will create a substantially adverse visual impact when viewed from a common public viewing area. Consistent with this policy, the proposed location of the residence avoids ridgeline development by siting the structure on the lower elevations of the property, adjacent to San Benancio Canyon Road. Toro Area Plan Policy T-3.7 encourages the preservation of Oak trees. As described in Finding No. 6 and supporting evidence, the proposed project, as sited, minimizes tree removal. Although ten trees are proposed for removal, alternative development locations would increase the amount of development on slopes and the number of trees impacted by development. The property currently contains a dirt access road that is slopes in excess of 25%. This access road will not be used as the project proposes a new driveway configuration to better match the contours of the land and provide less steep access to the proposed residence, as required by fire standards. Thus, consistent with General Plan Policy O-5.5, although the entirety of the subject property's hillside is infeasible, the project's two-story design and driveway that better matches the contours of the land help to minimize significant cuts into the hillside that would be visible from common public viewing areas. Therefore, the project as sited and designed better achieves the goals, policies, and objectives of the County of Monterey General Plan and Toro Area Plan.
- e) In accordance with General Plan Policy OS-3.5(1)(d), as a standard condition of approval, a conservation and scenic easement shall be recorded over portions of the property with greater than 25% outside of the development footprint, ensuring the long-term protection of the resource (Condition No. 9).

- f) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD-Planning for the proposed development found in Project File PLN230131.

8. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors.

EVIDENCE: a) Board of Supervisors. Section 21.80.040.D of the Monterey County Zoning Ordinance (Title 21) allows an appeal to be made to the Board of Supervisors by any public agency or person aggrieved by a decision of the Planning Commission.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby:

1. Find that the project qualifies as a Class 3 Categorical Exemption pursuant to CEQA Guidelines section 15303, and there are no exceptions pursuant to section 15300.2; and
2. Approve a Combined development Permit consisting of: 1) a Design Approval to allow the construction of a two-story 3,477 square foot single-family dwelling with an attached 606 square foot garage, an attached 369 square foot deck, and associated site improvements including a 320 square foot driveway; 2) a Use Permit to allow removal of 10 protected Oak trees; and 3) a Use Permit to allow development on slopes in excess of 25%.

All of which are in general conformance with the attached sketch and subject to the attached 11 conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 13th day of August, 2025 upon motion of _____, seconded by _____, by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Melanie Beretti, AICP
Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from County of Monterey HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 5-14-2014

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County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230131

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

**Condition/Mitigation
Monitoring Measure:**

This Combined Development Permit consisting of: 1) Design Approval to allow the construction of a two-level 3,477 square foot single-family dwelling with an attached 606 square foot garage, an attached 369 square foot deck, and associated site improvements; 2) Use Permit for the removal of ten Coast Live Oak trees; and 3) Use Permit to allow development on slopes in excess of 25%. The property is located at 103 Unit A San Benancio Road, Salinas (Assessor's Parcel Number 416-231-018-000), Toro Area Plan. The property is located at 103 A San Benancio Road, Salinas (Assessor's Parcel Number 416-231-018-000), Toro Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or
Monitoring
Action to be
Performed:**

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "A Combined Development Permit (Resolution Number _____) was approved by County of Monterey Planning Commission for Assessor's Parcel Number 416-231-018-000 on August 13, 2025. The permit was granted subject to 12 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

5. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

6. PD011(A) - TREE REMOVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

7. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

8. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

9. PD022(A) - EASEMENT-CONSERVATION & SCENIC

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: A conservation and scenic easement shall be conveyed to the County over those portions of the property where slopes in excess of 25% occur and that are not already encumbered by existing conservation and scenic easements. The easement shall be developed in consultation with certified professionals and shall incorporate a 15 foot buffer around the approved development footprint. An easement deed shall be submitted to, reviewed and approved by, the Director of HCD - Planning and accepted by the Board of Supervisors prior to recording the parcel/final map or prior to the issuance of grading and building permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to recordation of the parcel/final map or prior to the issuance of grading and building permits, the Owner/Applicant/Certified Professional shall submit the conservation and scenic easement deed and corresponding map, showing the exact location of the easement on the property along with the metes and bound description developed in consultation with a certified professional, to HCD - Planning for review and approval.

Prior to or concurrent with recording the parcel/final map, prior to the issuance of grading and building permits, or prior to the commencement of use, the Owner/Applicant shall record the deed and map showing the approved conservation and scenic easement. Submit a copy of the recorded deed and map to HCD - Planning.

10. CC01 INDEMNIFICATION

Responsible Department: County Counsel-Risk Management

Condition/Mitigation Monitoring Measure: Owner/Applicant agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code section 66474.9, defend, indemnify, and hold harmless the County of Monterey and/or its agents, officers, and/or employees from any claim, action, or proceeding against the County and/or its agents, officers, and/or or employees to attack, set aside, void, or annul this approval and/or related subsequent approvals, including, but not limited to, design approvals, which action is brought within the time provided for under law. Owner/Applicant shall reimburse the County for any court costs and attorney's fees that the County may be required by a court to pay as a result of such action.

The County shall notify Owner/Applicant of any such claim, action, and/or proceeding as expeditiously as possible. The County may, at its sole discretion, participate in the defense of such action. However, such participation shall not relieve Owner/Applicant of his/her/its obligations under this condition. Regardless, the County shall cooperate fully in defense of the claim, action, and/or proceeding.

(County Counsel-Risk Management)

Compliance or Monitoring Action to be Performed: This Indemnification Obligation binds Owner/Applicant from the date of approval of this discretionary development permit forward. Regardless, on written demand of the County Counsel's Office, Owner/Applicant shall also execute and cause to be notarized an agreement to this effect. The County Counsel's Office shall send Owner/Applicant an indemnification agreement. Owner/Applicant shall submit such signed and notarized Indemnification Agreement to the Office of the County Counsel for County's review and signature. Owner/Applicant shall then record such indemnification agreement with the County of Monterey Recorder's Office. Owner/Applicant shall be responsible for all costs required to comply with this paragraph including, but not limited to, notary costs and Recorder fees.

11. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to final inspection, the applicant shall replace and or relocate each tree approved for removal as follows:

- Replacement ratio: at least 1:1 (minimum 10 Oaks)

Replacement tree(s) shall be located within the same general location as the tree being removed. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted. Replacement trees shall be adequately spaced and greater than 5 feet from the proposed residence.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

12. PD012(F) - LANDSCAPE PLAN & MAINTENANCE (SFD ONLY)

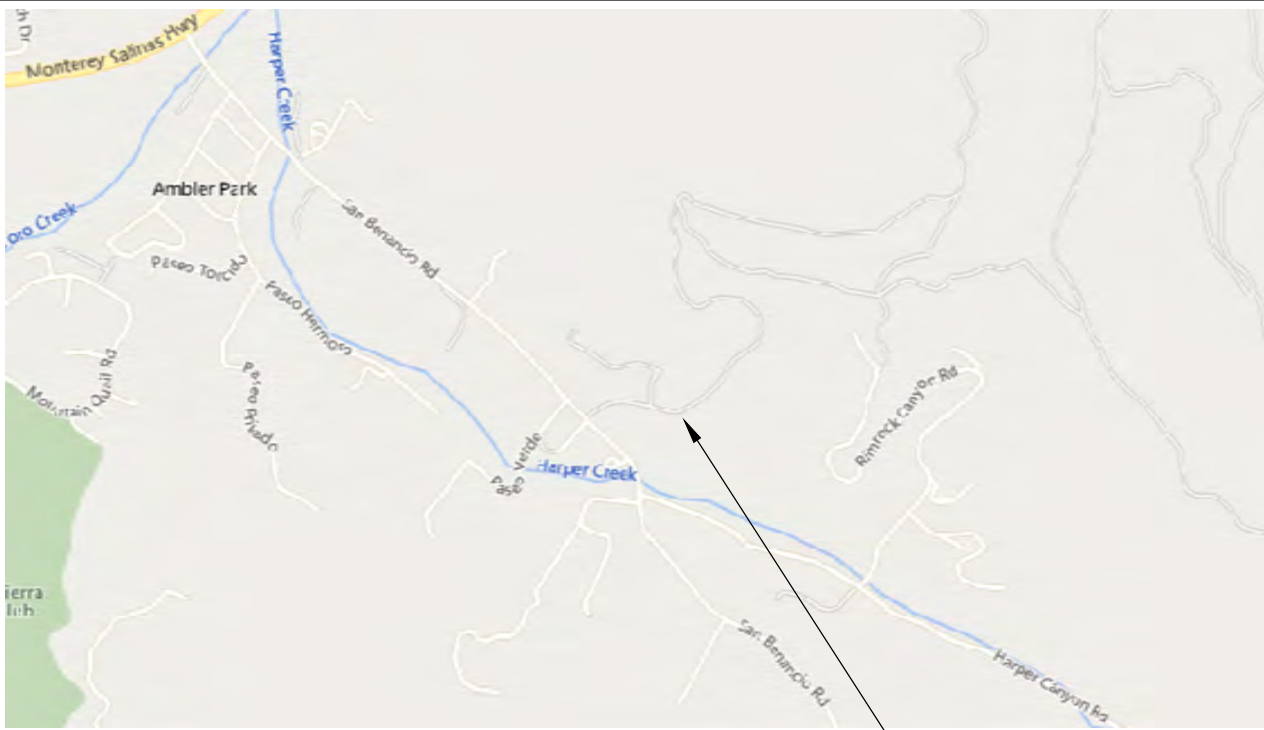
Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to the HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan (including Fuel Management Plan). All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.



NOT TO SCALE

1. THE CONTRACTOR SHALL OBTAIN A PERMIT PRIOR TO COMMENCEMENT OF ANY WORK WITHIN THE LIMITS OF THE RIGHT-OF-WAY
2. THE CONTRACTOR SHALL INFORM THEIR SELF OF THE EXACT LOCATION OF ALL EXISTING UTILITIES ENCOUNTERED DURING EXCAVATION. ANY DAMAGE TO EXISTING UTILITIES CAUSED BY THE OPERATION OF THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT THEIR OWN EXPENSE
3. THE CONTRACTOR SHALL MAINTAIN A DUST CONTROL AND SAFETY PROGRAM IN COMPLIANCE WITH STATE AND FEDERAL LAWS DURING CONSTRUCTION
4. REFER TO CALTRANS STANDARD SPECIFICATIONS FOR SPECIFICATIONS EXCEPT AS MODIFIED BY THESE PLANS AND SPECIAL PROVISIONS
5. CONSTRUCTION SIGNS AND BARRICADES SHALL CONFORM TO THE REQUIREMENTS OF THE M.U.T.C.D. MANUAL, LATEST EDITION, AND THE CALIFORNIA SUPPLEMENT THERETO
6. THE CONTRACTOR SHALL CALL UNDERGROUND SERVICE ALERT "CALL BEFORE YOU DIG" (1-800-227-2600) FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION
7. LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE UTILITY COMPANY FOR THE EXACT DEPTH AND LOCATION OF THE UTILITY
8. THE APPROVED PLAN, PERMIT AND INSPECTION RECORD MUST BE ON THE JOB SITE AT ALL TIMES.
9. ALL CLEARING, GRADING OR FILLING OF LAND IS SUBJECT TO SECTION 1803 OF THE CALIFORNIA BUILDING CODE
10. SOIL PREPARATION SHALL BE PERFORMED UNDER THE SUPERVISION OF THE GEOTECHNICAL ENGINEER (BUTANO GEOTECHNICAL ENGINEERING, INC.)
11. A FIRE SPRINKLER SYSTEM IS REQUIRED TO BE INSTALLED IN THE NEW RESIDENCE. SEPARATE FIRE SPRINKLER PLANS ARE TO BE SUBMITTED AND PERMIT OBTAINED FROM THE SAN BENANCIO FIRE PREVENTION DISTRICT

SOIL COMPACTION
REBAR PLACEMENT
POST-INSTALLED SCREW ANCHORS
EPOXY DOWEL ANCHORS
SOILS
WELDING

PROJECT BENCHMARK IS A SURVEY H&V
CONTROL POINT #103, A SPIKE LOCATED
APPROXIMATELY 51.0' NORTH AND 16.6'
WEST OF THE MOST WESTERLY CORNER
OF PARCEL 3, AS SHOWN.
ELEVATION = 509.74 FEET

BOUNDARY LOCATIONS SHOWN HEREON
WERE COMPILED FROM RECORD
INFORMATION AND FROM FIELD TIES TO
EXISTING BOUNDARY MONUMENTATION.
THE LOCATION OF THESE LINES IS
SUBJECT TO CHANGE, PENDING THE
RESULTS OF A COMPLETE BOUNDARY
SURVEY. THIS IS NOT A BOUNDARY
SURVEY



WEST ELEVATION

SCALE: $1/4" = 1'-0"$

CENTRAL COAST CIVIL &
STRUCTURAL ENGINEERING, INC.
JACK C CAMP, PE
536 ABREGO ST
MONTEREY, CA 93940
831-760-9944

MONTEREY ENERGY GROUP
DAVID KNIGHT
26465 CARMEL RANCHO BLVD. #8
CARMEL, CA 93923
831-372-8328

BUTANO GEOTECHNICAL ENGINEERING, INC.
GREG BLOOM, PE, GE
404 WESTRIDGE DR
WATSONVILLE, CA 95076
831-724-2612

LANDSET ENGINEERS, INC.
GUY R GIRAUDO, PE, PLS
520-B CRAZY HORSE CANYON RD
SALINAS, CA 93907
831-443-6970

AC	ASPHALT CONCRETE	EX	EXISTING	LP	LOW POINT	S	SOUTH
AB	AGGREGATE BASE	BFC	BACK FACE OF CURB	LT	LEFT	SD	SORM DRAIN
B/W	BOTTOM OF WALL	FF	FINISH FLOOR	MAX	MAXIMUM	SS	SANITARY SEWER
C/L	CORNER CONCRETE	FFC	FINISH FACE OF CURB	MAN	MANHOLE	SSMH	SANITARY SEWER MANHOLE
C/L	CENTERLINE	FG	FINISH GRADE	MIN	MINIMUM	ST	STATION
COMP	COMPACTION	FH	FIRE HYDRANT	N	NORTH	SW	SIDEWALK
CONC	CONCRETE	FL	FLOWLINE	P/L	PROPERTY LINE	TC	TOP OF CURB
E	EAST	FW	FACE OF WALL	R	RADIUS	TP	TOP OF PAVERS
ELEV	ELEVATION	GB	GRADE BREAK	RT	RIGHT	TW	TOP OF WALL
EP	EDGE OF PAVEMENT	HP	HIGH POINT	R/W	RIGHT-OF-WAY	TYP	TYPICAL
FFE	FINISHED FLOOR	IE	INVERT ELEVATION			W	WEST
ELEV	ELEVATION	LF	LINEAL FEET				

1. THESE PLANS ARE IN COMPLIANCE WITH THE CALIFORNIA BUILDING AND FIRE CODES (2022 EDITION) AND SAN BENANCIO FIRE PROTECTION DISTRICT AMENDMENTS.
2. ALL BUILDING NUMBERS, APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAYS GIVING ACCESS TO THE PROPERTY. BUILDING NUMBERS SHALL BE SHOWN IN CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF 4" (102MM) HIGH WITH MINIMUM STROKE WIDTH OF 1/2" (12.7MM) AND SHALL BE ILLUMINATED IN AN APPROVED MANNER FROM THE INTERIORS AND/OR EXTERIORS. NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS NEEDED FOR LEGIBILITY BASE ON VISIBILITY DISTANCE. WHERE NUMBERS ARE NOT VISIBLE FROM THE STREET, ADDITIONAL NUMBERS SHALL BE INSTALLED ON A DIRECTIONAL SIGN AT THE PROPERTY DRIVEWAY AND THE STREET.
3. ALL OVERHEAD FIRE SPRINKLER SYSTEMS SHALL BE INSTALLED TO APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM COMPLYING WITH THE CURRENTLY ADOPTED EDITION OF NFPA 13-D, AND ADOPTED STANDARD OF THE BOULDER CREEK FIRE PROTECTION DISTRICT.
4. THE DESIGNER/INSTALLER SHALL SUBMIT (2) SETS OF CALCULATIONS FOR THE OVERHEAD FIRE SPRINKLER SYSTEMS AND APPROVAL PRIOR TO CONSTRUCTION.
5. ALL UNDERGROUND PIPING SYSTEMS SHALL COMPLY WITH THE COUNTY STANDARD PFO-006 AND SHALL REQUIRE PLAN SUBMITTAL THAT THAT APPROVAL PRIOR TO CONSTRUCTION. THE STANDARD IS AVAILABLE AT THE BOULDER CREEK FIRE PROTECTION DISTRICT UPON REQUEST.
6. THE DESIGNER/INSTALLER SHALL SUBMIT (2) COMPLETE SETS OF UNDERGROUND PRIVATE FIRE FIGHTING AND SERVICE WATER MAIN PIPING PLANS WITH SPECIFICATIONS CONFORMING TO NFPA 24 FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

SUBMITTAL SHALL INCLUDE UNDERGROUND PIPING PLAN,
 UNDERGROUND TRENCH CROSS SECTION DETAIL SHOWING DEPTH
 AND LOCATION OF ALL UNDERGROUND PIPING, AND CALCULATED
 DRAWINGS OF THE PIV AND FDC, MANUFACTURER'S SPECIFICATIONS
 OF PIPING, VALVES, JOINTS, AND FITTING, AND CALCULATED SIZE
 AND LOCATIONS OF THRUST BLOCKS
 (1) DESIGN OF PRESSURE PUMP SHALL SUBMIT
 (2) SETS OF PLANS AND CALCULATIONS, AND SPECIFICATIONS
 CONFORMING WITH PRESSURE AND FLOW DEMANDS FOR FIRE
 SPRINKLER SYSTEM FOR APPROVAL PRIOR TO CONSTRUCTION
 (3) HIGHWAY AHEAD OF CONSTRUCTION SHALL BE STOPPED
 IF FRAMING CONSTRUCTION, OR CONSTRUCTION WILL BE STOPPED
 A 100' CLEARANCE SHALL BE MAINTAINED AROUND AND ADJACENT
 TO THE BUILDING OR STRUCTURE TO PROVIDE ADDITIONAL FIRE
 PROTECTION TO BREAK OR REMOVE ALL BRUSH,
 FLAMMABLE VEGETATION, OR COMBUSTIBLE MATERIALS EXCEPT:
 SINGLE SPECIMENS OF TREES, ORNAMENTAL SHRUBBERY OR
 SIMILAR PLANTS USED AS GROUND COVERS, PROVIDED THEY DO
 NOT TRANSMIT FIRE RADIATION RARELY TRANSMITTING FIRE FROM NATIVE
 GROWTH TO ANY STRUCTURE
 SMOKE ALARM/DETECTORS: SMOKE ALARM/DETECTORS SHALL BE
 WIRE TO THE BUILDING ELECTRICAL SYSTEM, BE EQUIPPED WITH
 BATTERIES BACKUP, AND BE INTERCONNECTED TO ALL OTHER
 LOW SMOKE ALARMS SHALL BE INTERCONNECTED, SO THAT THE
 ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OTHER ALARMS
 A MINIMUM OF (48) HOURS NOTICE TO THE FIRE DEPARTMENT IS
 REQUIRED FROM THE PROJECT MANAGER
 THE JOB COPIES OF THE BUILDING AND FIRE SYSTEMS PLANS AND
 PERMITS MUST BE ON-SITE DURING INSPECTIONS
 SPARK ARRESTOR SHALL BE INSTALLED ON THE CHIMNEY. SPARK
 ARRESTOR OPERATOR SHALL BE TRAINED IN THE MESSAGE
 SPHERES HAVING A DIAMETER GREATER THAN 1/2"

THE SCOPE OF WORK FOR THIS PROJECT INCLUDES:

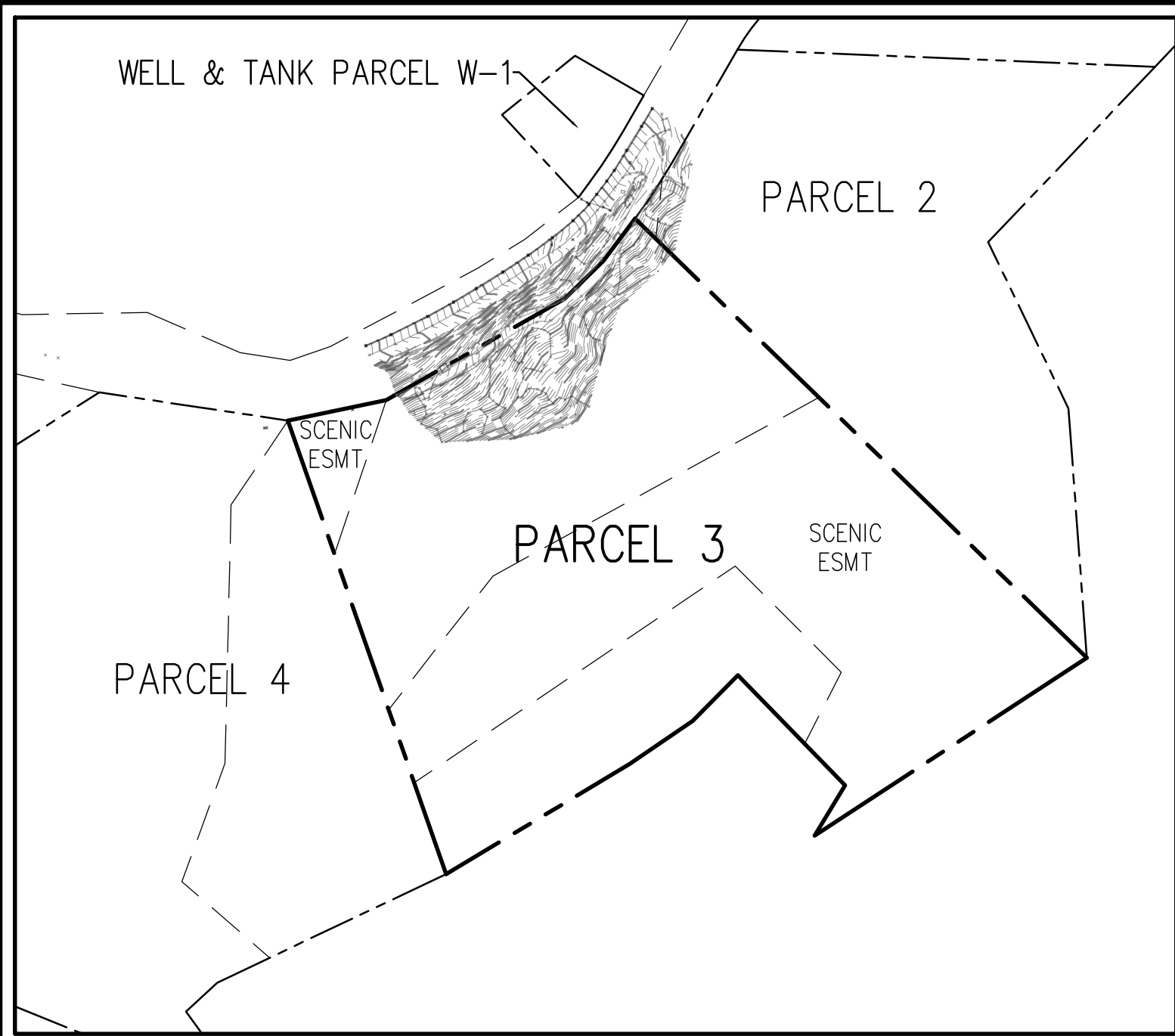
- REMOVE (10) TREES - LIVE: (10) OAK
- REMOVE (2) STUMPS - DEAD: (2) OAK
- REPLANT (11) TREES - (11) OAK
- 11,900 FT² OF LAND DISTURBANCE, 327 CY OF EXPORT
 - 1,800 FT² < 25% SLOPE
 - 10,200 FT² > 25% SLOPE
- ~320' DRIVEWAY: CONCRETE RETAINING WALLS (PORTIONS OF WALL >6' WALL FACE) ALONG UPHILL & DOWNHILL EDGES OF DRIVEWAY
- CONSTRUCT ONSITE SEPTIC SYSTEM: SEPTIC TANK & SURFACE DRIP DISPERSION LEACH FIELD
- CONSTRUCT (2) STORY SINGLE FAMILY RESIDENCE: 3,477 FT²
- CONSTRUCT ATTACHED (2) CAR GARAGE: 606 FT²
- CONSTRUCT WOOD DECK >24" ABOVE ADJACENT GRADE: 369 FT²
- CONSTRUCT ROOF MOUNTED PHOTOVOLTAIC ARRAY
- CONSTRUCT AUXILIARY NATURAL GAS BACK-UP GENERATOR

COUNTY OF MONTEREY HOUSING & COMMUNITY DEVELOPMENT

APPROVAL BY THE COUNTY CHIEF
BUILDING OFFICIAL SHALL IN NO WAY
RELIEVE THE DEVELOPER OR THEIR
ENGINEERS FROM RESPONSIBILITY FOR
THE DESIGN OF THE IMPROVEMENTS
AND FOR ANY DEFICIENCIES
RESULTING FROM DESIGN THEREOF
OR FROM ANY REQUIRED CONDITIONS
OF APPROVAL FOR THE PROJECT

APPLICATION NO.
PLN230131

JOB #		220701
DESIGN BY:	JCC	
DRAWN BY:	JCC	
CHECKED BY:	JCC	
DATE:	05/19/2025	
SHEET:	T1	
PELOIA & BRADFORD		
TITLE SHEET		
103A SAN BENANCIO CANYON RD SALINAS, CA 93908 APN 416-231-018		
CENTRAL COAST CIVIL & STRUCTURAL ENGINEERING, INC.		
536 Abrego St, Monterey, CA 93940 Phone: 831.760.3944 e-mail: jack@cccseng.com www.cccseng.com		
This drawing has not been published, but rather has been prepared solely in respect of the named in the title block, and shall not be used for any other purpose without the written consent of the named in the title block.		
Rev. No.		Date
1		
2		
3		
4		
5		
6		

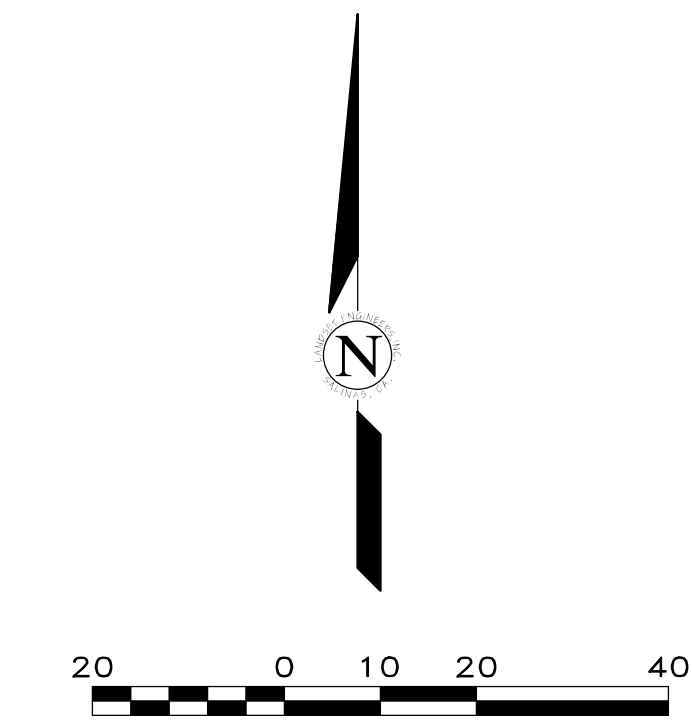
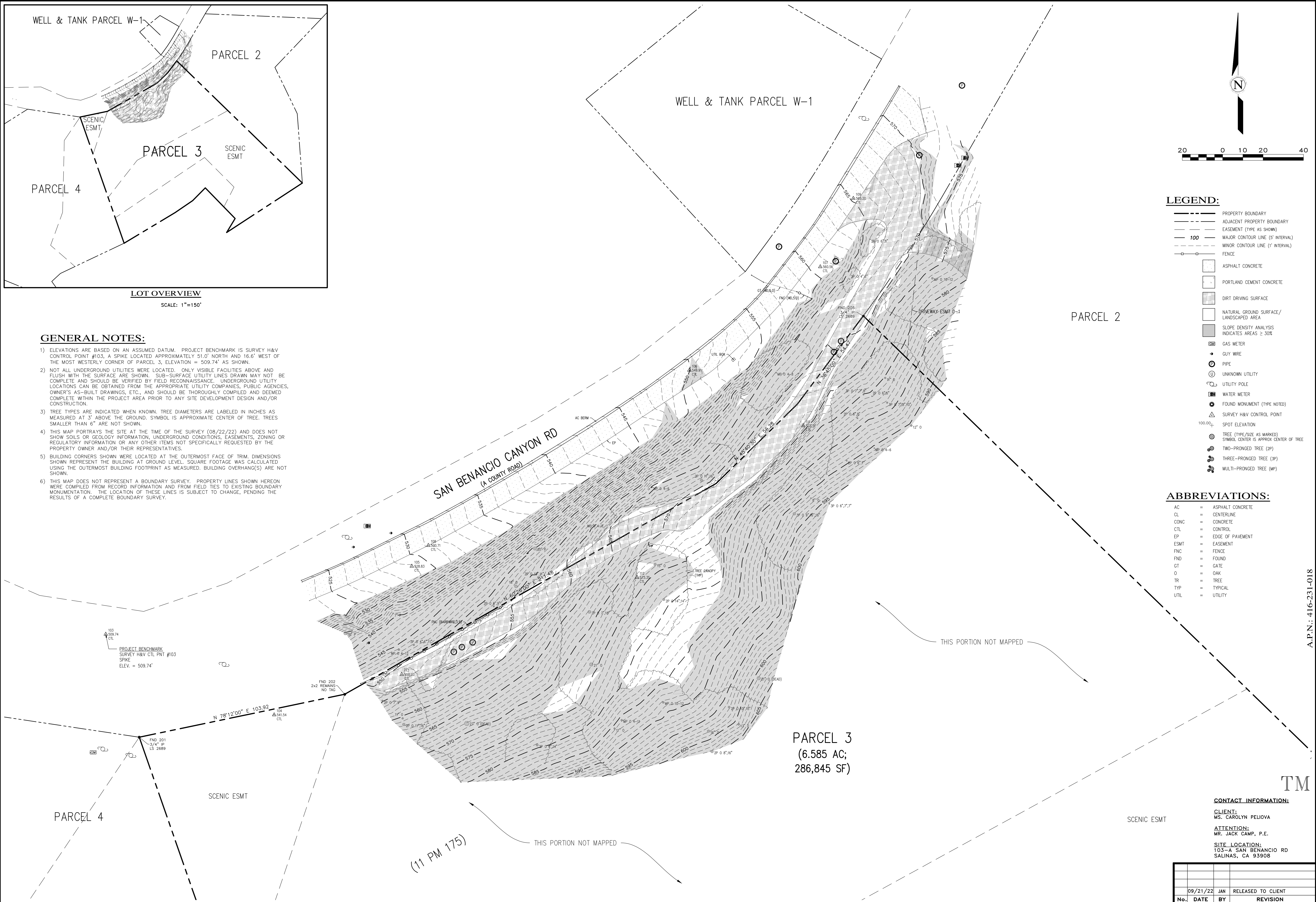


LOT OVERVIEW

SCALE: 1"=150'

GENERAL NOTES:

- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY H&V CONTROL POINT #103, A SPIKE LOCATED APPROXIMATELY 51.0' NORTH AND 16.6' WEST OF THE MOST WESTERLY CORNER OF PARCEL 3, ELEVATION = 509.74' AS SHOWN.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3' ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (08/22/22) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- BUILDING CORNERS SHOWN WERE LOCATED AT THE OUTERMOST FACE OF TRIM. DIMENSIONS SHOWN REPRESENT THE BUILDING AT GROUND LEVEL. SQUARE FOOTAGE WAS CALCULATED USING THE OUTERMOST BUILDING FOOTPRINT AS MEASURED. BUILDING OVERHANG(S) ARE NOT SHOWN.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.



LEGEND:

- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- EASEMENT (TYPE AS SHOWN)
- MAJOR CONTOUR LINE (5' INTERVAL)
- MINOR CONTOUR LINE (1' INTERVAL)
- FENCE
- ASPHALT CONCRETE
- PORTLAND CEMENT CONCRETE
- DIRT DRIVING SURFACE
- NATURAL GROUND SURFACE/ LANDSCAPED AREA
- SLOPE DENSITY ANALYSIS INDICATES AREAS $\geq 30\%$
- GAS METER
- GUY WIRE
- PIPE
- UNKNOWN UTILITY
- UTILITY POLE
- WATER METER
- FOUND MONUMENT (TYPE NOTED)
- SURVEY H&V CONTROL POINT
- SPOT ELEVATION
- TREE (TYPE/SIZE AS MARKED)
- SYMBOL CENTER IS APPROX CENTER OF TREE
- TWO-PRONGED TREE (2P)
- THREE-PRONGED TREE (3P)
- MULTI-PRONGED TREE (MP)

ABBREVIATIONS:

- AC = ASPHALT CONCRETE
- CL = CENTERLINE
- CONC = CONCRETE
- CTL = CONTROL
- EP = EDGE OF PAVEMENT
- ESMT = EASEMENT
- FNC = FENCE
- FND = FOUND
- GT = GATE
- O = OAK
- TR = TREE
- TYP = TYPICAL
- UTIL = UTILITY

CONTACT INFORMATION:

CLIENT:
MS. CAROLYN PELIOVA

ATTENTION:
MR. JACK CAMP, P.E.

SITE LOCATION:
103-A SAN BENANCIO RD
SALINAS, CA 95308

No.	DATE	BY	REVISION
	09/21/22	JAN	RELEASED TO CLIENT

TOPOGRAPHIC MAP

OF
PARCEL 3
VOLUME 11 OF PARCEL MAPS AT PAGE 175
SALINAS, CALIFORNIA

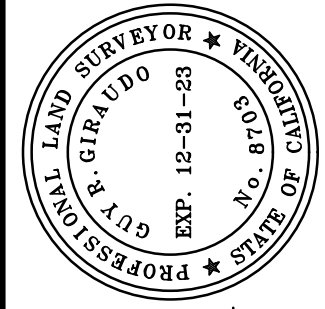
FOR
MS. CAROLYN PELIOVA

AP.N.: 416-231-018



APPROVED BY:

GUY R. GIRAUDO
P.L.S. No. 8703



SCALE: 1" = 20'

DATE: SEP 2022

JOB NO. 2535-01

SHEET 1

OF 1 SHEETS

GRADING NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2022 CALIFORNIA BUILDING CODE, MONTEREY COUNTY GRADING ORDINANCE #2535, EROSION CONTROL ORDINANCE #2806, OSHA REQUIREMENTS FOR EXCAVATION, AND SPECIAL REQUIREMENTS OF THE PERMIT. VIOLATIONS SHALL RESULT IN THE STOPPAGE OF ALL WORK UNTIL THE VIOLATION IS CORRECTED
- NO WORK SHALL BE STARTED WITHOUT FIRST NOTIFYING THE PERMITTING JURISDICTION INSPECTOR AT LEAST (24) HOURS, (1) WORKING DAY, BEFORE WORK IS COMMENCED
- THE SOILS ENGINEER SHALL BE NOTIFIED AT LEAST (48) HOURS, (2) WORKING DAYS, IN ADVANCE OF COMMENCING WORK, INCLUDING SITE STRIPPING AND GRADING OPERATIONS. THIS WORK SHALL BE OBSERVED AND TESTED BY THE SOILS ENGINEER
- THE CONTRACTOR IS RESPONSIBLE TO EMPLOY A MATERIALS TESTING FIRM APPROVED BY THE PERMITTING AGENCY FOR TESTING OF FILL MATERIAL, COMPACTION RATES AND DENSITY TESTS DURING CONSTRUCTION
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS AND CONCLUSIONS OF SOILS REPORT NO. 22-237-M BUTANO GEOTECHNICAL ENGINEERING, INC. DATED 12/22/2022
- OWNER: CAROLYN PELIOVA & MATT BRADFORD PHONE: _____
- GENERAL CONTRACTOR: DAN CURRIER PHONE: (831) 676-6626
- GRADING CONTRACTOR: _____ PHONE: _____
- APPROXIMATE DATE OF START OF GRADING: 8/15/25
- APPROXIMATE DATE OF COMPLETION: 10/15/25
- CUT: 360 CY EXPORT: 327 CY DESTINATION: N/A
- FILL: 33 CY IMPORT: 0 CY SOURCE: N/A
- AREA OF DISTURBANCE: 11,900 FT²
- ALL GRADING AND COMPACTION SHALL BE DONE IN THE PRESENCE OF, AND TESTED BY, THE SOILS ENGINEER AND/OR SOILS TESTING CONSULTANT WHO WILL PROVIDE THE ENGINEER WITH COPIES OF ALL TEST RESULTS. THE CONTRACTOR SHALL SUBMIT TESTS AND REPORTS FROM THE SOILS ENGINEER TO THE MONTEREY COUNTY PLANNING AND BUILDING INSPECTION DEPARTMENT PRIOR TO SCHEDULING ANY INSPECTIONS
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PREPARE THE GROUND SURFACE TO RECEIVE THE FILLS TO THE SATISFACTION OF THE SOILS ENGINEER AND TO PLACE, SPREAD, MIX, WATER, AND COMPACT THE FILL IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS ENGINEER. THE CONTRACTOR SHALL ALSO REMOVE ALL MATERIAL CONSIDERED UNSATISFACTORY BY THE SOILS ENGINEER. GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, NON-COMPLYING FILL, TOPSOIL AND OTHER UNSUITABLE MATERIALS SCAFFOLDING TO PROVIDE A BOND WITH THE NEW FILL, AND WHERE SLOPES ARE STEEPER THAN 5 TO 1, AND THE HEIGHT IS GREATER THAN 5', BY BENCHING INTO SOUND BEDROCK OR OTHER COMPETENT MATERIAL AS DETERMINED BY THE GEOTECHNICAL ENGINEER
- WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVEREXCAVATED AND REPLACED BY SELECT BACKFILL MATERIAL AS DIRECTED IN THE FIELD BY THE SOILS ENGINEER. OVEREXCAVATION SHOULD BE CONDUCTED BELOW THE FOUNDATIONS AND FLOOR SLABS IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER UNLESS OTHERWISE DIRECTED IN WRITING BY THE ENGINEER OR SOILS ENGINEER AND APPROVED BY THE MONTEREY COUNTY PLANNING AND BUILDING INSPECTION DEPARTMENT
- ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PLANTED WITH SUITABLE GROUND COVER AND LANDSCAPE MAINTENANCE WILL BE REQUIRED UNTIL GROUND COVER IS ESTABLISHED
- FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 2% FOR THE FIRST 4' AT PAVED AREAS AND A MINIMUM OF 5% FOR THE FIRST 10' AT PLANTED AREAS
- ALL FILLS SHALL BE COMPACTED TO 90 PERCENT OF MAXIMUM DRY DENSITY
- ALL AGGREGATE SUB-BASE SHALL BE COMPACTED TO 90 PERCENT OF MAXIMUM DRY DENSITY AND SHALL HAVE A MINIMUM CBR VALUE OF 25
- ALL AGGREGATE SHALL BE COMPACTED TO 95 PERCENT OF MAXIMUM DRY DENSITY
- ALL FILL MATERIAL SPECIFICATIONS, PLACEMENT (LIFTS), AND COMPACTION RATES SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT
- A COPY OF ALL FIELD REPORTS/COMPACTION TESTS, AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY AT SCHEDULED INSPECTIONS
- PRIOR TO FINAL INSPECTION, THE GEOTECHNICAL CONSULTANT SHALL PROVIDE CERTIFICATION THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE GEOLOGICAL REPORT
- ELEVATION BENCHMARK: SEE SHEET TM
- CONTRACTOR SHALL USE CAUTION WHEN GRADING AROUND AND/OR OVER EXISTING UNDERGROUND UTILITIES
- WATER SHALL BE AVAILABLE ON THE SITE AT ALL TIMES DURING GRADING OPERATIONS TO PROPERLY MAINTAIN DUST CONTROL
- CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE WIND BLOWN DIRT, DUST AND RELATED DAMAGE TO NEIGHBORING PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES. CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL. IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE MONTEREY COUNTY PLANNING AND BUILDING DEPARTMENT AND/OR IN ACCORDANCE WITH THE AIR QUALITY PERMIT FROM THE CALIFORNIA DIVISION OF ENVIRONMENTAL PROTECTION WHEN REQUIRED, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN
- STRIPINGS TO BE USED AS TOPSOIL SHALL BE STOCKPILED IN APPROVED AREAS FOR FUTURE USE IN LANDSCAPED AREAS. NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH, NO ROCK OVER 6" IN ITS MAXIMUM DIMENSION MAY BE USED IN A FILL

GENERAL GRADING NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2022 CALIFORNIA BUILDING CODE, OSHA REQUIREMENTS FOR EXCAVATION, AND SPECIAL REQUIREMENTS OF THE PERMIT. VIOLATIONS SHALL RESULT IN THE STOPPAGE OF ALL WORK UNTIL THE VIOLATION IS CORRECTED
- NO WORK SHALL BE STARTED WITHOUT FIRST NOTIFYING THE PERMITTING JURISDICTION INSPECTOR AT LEAST (1) WORKING DAY BEFORE WORK IS COMMENCED
- ALL FILLS SHALL BE COMPACTED TO 90 PERCENT OF MAXIMUM DRY DENSITY
- ALL AGGREGATE SHALL BE COMPACTED TO 90 PERCENT OF MAXIMUM DRY DENSITY AND SHALL HAVE A MINIMUM CBR VALUE OF 25
- ALL AGGREGATE SHALL BE COMPACTED TO 95 PERCENT OF MAXIMUM DRY DENSITY
- THE CONTRACTOR IS RESPONSIBLE TO EMPLOY A MATERIALS TESTING FIRM APPROVED BY THE PERMITTING AGENCY FOR TESTING OF FILL MATERIAL, COMPACTION RATES AND DENSITY TESTS DURING CONSTRUCTION
- DUST SHALL BE CONTROLLED BY THE CONTRACTOR TO THE SATISFACTION OF THE PERMITTING AGENCY AND IN ACCORDANCE WITH THE AIR QUALITY PERMIT FROM THE CALIFORNIA DIVISION OF ENVIRONMENTAL PROTECTION WHEN REQUIRED
- IN THE EVENT OF CHANGES ARISING DURING CONSTRUCTION, THE DEVELOPER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR REVIEW AND APPROVAL BY THE PERMITTING JURISDICTION. NO CHANGES IN THE DESIGN SHALL BE PERMITTED UNLESS WRITTEN APPROVAL IS GIVEN BY THE PERMITTING JURISDICTION
- APPROXIMATELY 360 CY CUT/33 CY FILL EXISTING WORK
- APPROXIMATELY 11,900 FT² DISTURBED AREA

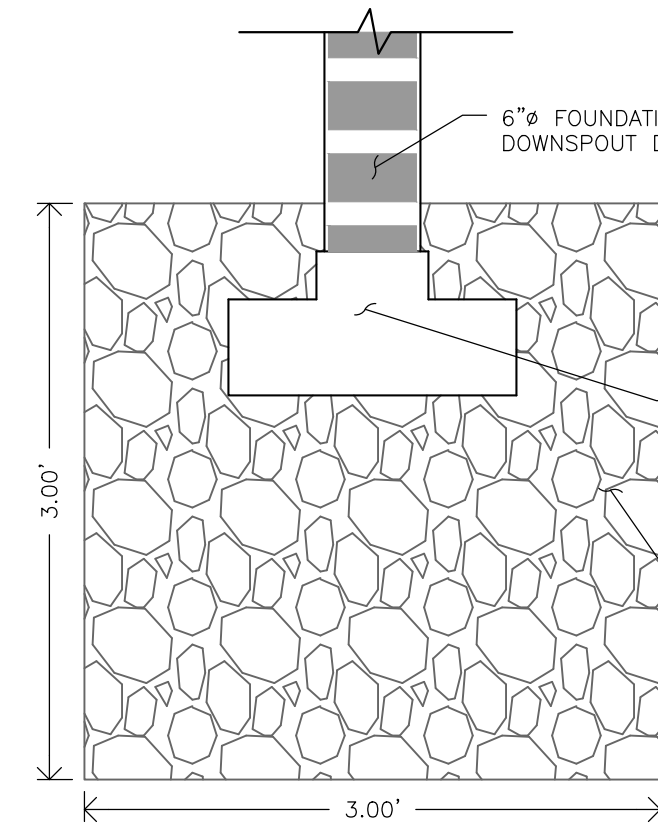
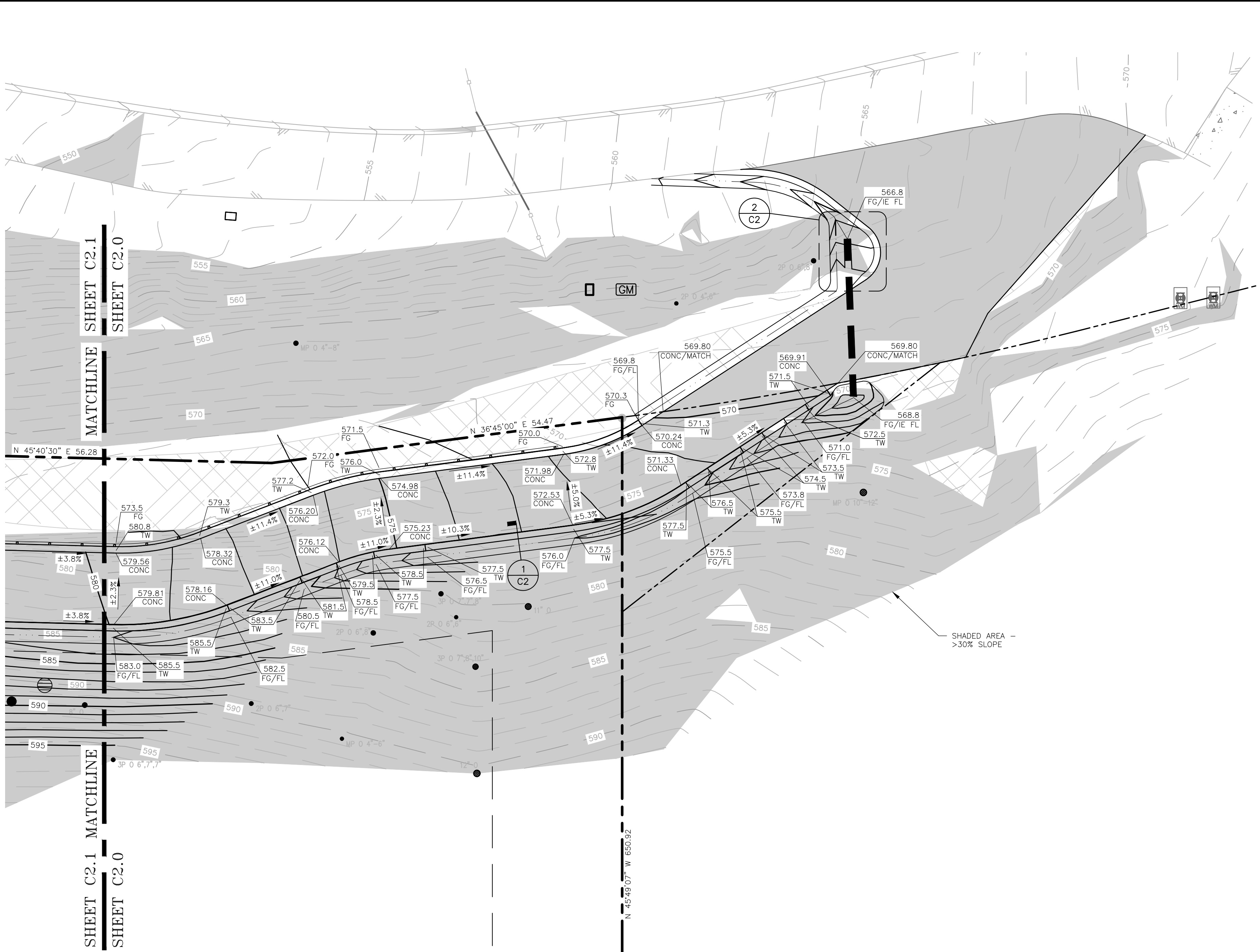
STORM WATER POLLUTION PREVENTION NOTES:

- THE PROJECT SHALL COMPLY WITH THE POST CONSTRUCTION REQUIREMENTS OF THE MONTEREY COUNTY STORM WATER TECHNICAL GUIDE FOR TIER 1 LOW IMPACT DEVELOPMENT MEASURES
- THE PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION CONTROL PLAN OR STORM WATER POLLUTION PREVENTION PLAN. PLAN SHALL BE ON-SITE AT ALL TIMES
- GRADING SHALL BE UNDERTAKEN IN ACCORDANCE WITH CONDITIONS AND REQUIREMENTS OF THE MONTEREY COUNTYWIDE STORM WATER TECHNICAL GUIDE, NATIONAL POLLUTANT DISCHARGE ELIMINATION ACT (NPDES) PERMIT NO. CAS004002, AND ANY OTHER NPDES PERMIT ISSUED BY THE STATE OF CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD. INCORPORATE BEST MANAGEMENT PRACTICES (BMPs) DESIGNED IN ACCORDANCE WITH THE MONTEREY COUNTY TECHNICAL GUIDANCE MANUAL FOR STORM WATER CONTROL MEASURES
- NO DIRECT STORM WATER DISCHARGES FROM DEVELOPMENT WILL BE ALLOWED ONTO COUNTY STREETS OR THE PUBLIC STORM DRAIN SYSTEM WITHOUT TREATMENT BY AN APPROVED STORM WATER POLLUTION DEVICE LOCATED ON PRIVATE PROPERTY. MAINTENANCE OF THE PRIVATE STORM WATER POLLUTION PREVENTION DEVICES SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. DISCHARGES OR CONNECTION WITHOUT TREATMENT BY AN APPROVED STORM WATER POLLUTION PREVENTION DEVICE SHALL BE CONSIDERED IN VIOLATION OF THE ABOVE REFERENCE PERMIT AND THE COUNTY'S STORM WATER ORDINANCE

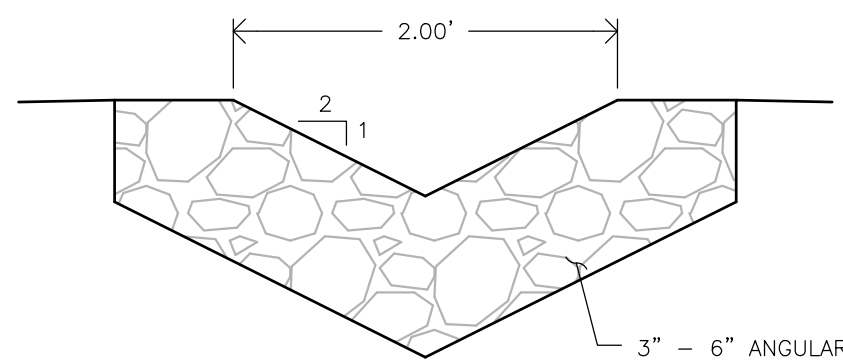
STORM WATER RUNOFF NOTE:

- NO DIRECT STORM WATER DISCHARGES FROM DEVELOPMENT WILL BE ALLOWED ONTO COUNTY STREETS OR THE PUBLIC STORM DRAIN SYSTEM WITHOUT TREATMENT BY AN APPROVED STORM WATER POLLUTION DEVICE LOCATED ON PRIVATE PROPERTY. MAINTENANCE OF THE PRIVATE STORM WATER POLLUTION PREVENTION DEVICES SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. DISCHARGES OR CONNECTION WITHOUT TREATMENT BY AN APPROVED STORM WATER POLLUTION PREVENTION DEVICE SHALL BE CONSIDERED IN VIOLATION OF THE ABOVE REFERENCE PERMIT AND THE COUNTY'S STORM WATER ORDINANCE

CONTACT DAN CURRIER IN CASE OF EMERGENCY: (831) 676-6626



2 PIPE OUTLET RIP RAP OUTFALL
SCALE: 1" = 1'

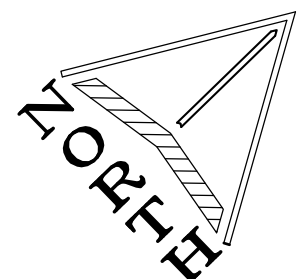


1 RIP RAP SWALE
SCALE: 1" = 1'

LEGEND:

- TC = TOP OF CURB
- TW = TOP OF WALL
- EG = EXISTING GRADE
- FG = FINISHED GRADE
- FL = FLOW LINE
- AC = ASPHALT CONCRETE
- GB = GRADE BREAK
- CONC = CONCRETE
- RIP RAP LINED SWALE
- DRAINAGE FLOWLINE
- SURFACE FLOW DIRECTION

- EX. MAJOR CONTOUR
- EX. MINOR CONTOUR
- MAJOR CONTOUR
- MINOR CONTOUR
- TOP/TOE EX. SLOPE
- TOP/TOE SLOPE



10 0 10 20
SCALE: 1" = 10'

GRADING & DRAINAGE PLAN

SCALE: 1" = 10'

Date	
Rev. No.	
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CENTRAL COAST CIVIL & STRUCTURAL ENGINEERING, INC.

536 Alhago St. Monterey, CA 93940

Phone: 831.760.9944

e-mail: jao@ccsceng.com

www.ccsceng.com

PELOVA & BRADFORD

GRADING & DRAINAGE

PLAN & DETAILS

103A SAN BENANCIO CANYON RD

SALINAS, CA 93908 APN 416-251-018

JOB #

220701

DESIGN BY:

JCC

DRAWN BY:

JCC

CHECKED BY:

JCC

DATE:

05/19/2025

SHEET:

C2.0

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2022 CALIFORNIA BUILDING CODE, MONTEREY COUNTY GRADING ORDINANCE #2535, EROSION CONTROL ORDINANCE #2806, OSHA REQUIREMENTS FOR EXCAVATION, AND SPECIAL REQUIREMENTS OF THE PERMIT. VIOLATIONS SHALL RESULT IN THE CANCELLATION OF THE PERMIT.

2. NO WORK SHALL BE STARTED WITHOUT FIRST NOTIFYING THE PERMITTING JURISDICTION INSPECTOR AT LEAST (24) HOURS, (1) WORKING DAY, BEFORE WORK IS COMMENCED

3. THE SOILS ENGINEER SHALL BE NOTIFIED LAST (48) HOURS, (2) WORKING DAYS, PRIOR TO ANY COMMENCING TASK, INCLUDING SITE STRIPPING AND GRADING OPERATIONS; THIS WORK SHALL BE OBSERVED AND TESTED BY THE SOILS ENGINEER

4. THE CONTRACTOR IS RESPONSIBLE TO EMPLOY A MATERIALS TESTING FIRM APPROVED BY THE PERMITTING AGENCY FOR TESTING CONSTRUCTION COMPACTION RATES AFTER EACH TESTING DURING CONSTRUCTION

5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS AND CONCLUSIONS OF SOILS REPORT NO. 22-237-M BUTANO GEOTECHNICAL ENGINEERING, INC. DATED 12/22/2022

6. OWNER: CAROLYN HARRIS 1000 S. GARDEN ROAD, P.O. BOX 9000, MONTEREY, CA 93940 PHONE: (831) 676-6626

7. GENERAL CONTRACTOR: DAN CURRIER PHONE: (831) 676-6626

8. GRADING CONTRACTOR: _____ PHONE: _____

9. APPROXIMATE DATE OF START OF GRADING: 8/15/25_____

APPROXIMATE DATE OF COMPLETION: 10/15/25_____

10. CUT: 360 CY EXPORT: 327 CY DESTINATION: N/A_____
FILL: 33 CY IMPORT: 33 CY SOURCE: N/A_____

11. AREA OF DISTURBANCE: 11,900 FT²

12. ALL GRADING AND COMPACTION SHALL BE DONE IN THE PRESENCE OF, AND TESTED BY, THE SOILS ENGINEER AND/OR SOILS TESTING CONSULTANT WHO WILL PROVIDE THE ENGINEER WITH COPIES OF ALL TEST RESULTS. THE QUALITY OF ALL SOILS ENGINEERING/EXCAVATION SHALL BE VERIFIED BY THE SOILS ENGINEER TO THE MONTEREY COUNTY PLANNING AND BUILDING INSPECTION DEPARTMENT PRIOR TO SCHEDULING ANY INSPECTIONS

13. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PREPARE THE GROUND SURFACE TO RECEIVE THE FILLS TO THE SATISFACTION OF THE SOILS ENGINEER. THE CONTRACTOR SHALL REMOVE ALL WEEDS, STUMPED TREES, AND OTHER UNSUITABLE MATERIALS SCATTERING TO PROVIDE A BOND WITH THE NEW FILL, AND WHERE SLOPES ARE STEEPER THAN 5 TO 1, AND THE HEIGHT IS GREATER THAN 5', BY BENCHING INTO SOUND BEDROCK OR OTHER COMPETENT MATERIAL AS DETERMINED BY THE GEOTECHNICAL CONSULTANT

14. WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVEREXCAVATED AND REPLACED BY SELECT BACKFILL MATERIAL AS SPECIFIED IN THE FILLS. ALL SOILS ENGINEERING/EXCAVATION SHOULD BE CONDUCTED BELOW FOUNDATIONS AND FLOOR SLABS IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT

15. ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER UNLESS OTHERWISE DIRECTED IN WRITING BY THE ENGINEER OR SOILS ENGINEER AND APPROVED BY THE MONTEREY COUNTY PLANNING AND BUILDING INSPECTION DEPARTMENT

16. ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PROTECTED WITH SUITABLE EROSION CONTROL. MAINTENANCE WILL BE REQUIRED UNTIL GROUND COVER IS ESTABLISHED

17. FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 2% FOR THE FIRST 4' AT PAVED AREAS AND A MINIMUM OF 5% FOR THE FIRST 10' AT PLANTED AREAS

18. FILLS SHALL BE COMPACTED TO 90 PERCENT OF MAXIMUM DRY DENSITY

19. ALL AGGREGATE SUB-BASE SHALL BE COMPACTED TO 90 PERCENT OF MAXIMUM DRY DENSITY AND SHALL HAVE A MINIMUM CBR VALUE OF 25

20. ALL AGGREGATE SHALL BE COMPACTED TO 95 PERCENT OF MAXIMUM DRY DENSITY

21. ALL FILL MATERIAL SPECIFICATIONS, PLACEMENT (LIFTS), AND COMPACTION RATES SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT

22. A COPY OF ALL FIELD REPORTS/COMPACTION TESTS, AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY AT SCHEDULED INSPECTIONS

23. PRIOR TO FINAL INSPECTION, THE GEOTECHNICAL CONSULTANT SHALL PROVIDE CERTIFICATION THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING REPORT

ELEVATION BENCHMARK: USE SHEET TM

24. CONTRACTOR SHALL USE CAUTION WHEN GRADING AROUND AND/OR OVER EXISTING UNDERGROUND UTILITIES

25. WATER SHALL BE AVAILABLE ON THE SITE AT ALL TIMES DURING GRADING OPERATIONS TO PREVENT DUST CONTROL

26. CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE WIND BLOWN DIRT, DUST AND RELATED DAMAGE TO NEIGHBORING PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES. THE CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE MONTEREY COUNTY PLANNING AND BUILDING DEPARTMENT AND/OR IN ACCORDANCE WITH THE AIR QUALITY PERMIT FROM THE CALIFORNIA DIVISION OF ENVIRONMENTAL PROTECTION WHICH MAY REQUIRE THE GRADING WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN

27. STRIPINGS TO BE USED AS TOPSOIL SHALL BE STOCKPILED IN APPROVED AREAS FOR FUTURE USE IN LANDSCAPED AREAS. NO ORGANIC MATERIAL SHALL BE PERMITTED FOR FUTURE USE AS TOPSOIL. THE ONLY ACCEPTABLE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 1 INCH, NO ROCK OVER 6" IN ITS MAXIMUM DIMENSION MAY BE USED IN A FILL

29. IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED DURING CONSTRUCTION WORK SHALL BE STOPPED IMMEDIATELY WITHIN 165' OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGICAL EVALUATION IS COMPLETED BY THE COUNTY RMA-PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY DEVELOP AN ACTION PLAN TO PREVENT DISTURBANCE OF RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR THE DISCOVERY, GRADING, CONSTRUCTION OR LANDSCAPING SHALL NOT BE RESUMED UNTIL THE FIND IS EVALUATED AND IT IS DETERMINED WHETHER THE MATERIAL IS ARCHAEOLOGICALLY SIGNIFICANT AND ADDITIONAL MITIGATION MEASURES ARE REQUIRED

30. ALL HAUL ROADS SHALL BE RETURNED TO ORIGINAL CONDITION AND RE-SEEDED WHEN GRADING IS COMPLETE. NO HAUL ROADS SHALL BE ALLOWED IN AREAS WHERE THEY ARE NOT SHOWN TO BE GRADED WITHOUT PERMIT APPROVAL. OWNERS OF FACILITIES OR TO INTERFERE WITH HAUL ROADS WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR

31. EARTHWORK QUANTITIES ARE SHOWN ON THIS SHEET

32. TREE REMOVAL SHALL INCLUDE REMOVAL OF TRUNKS, STUMPS, AND ROOTS. THE REMOVAL OF TRUNKS, STUMPS, AND ROOTS SHALL BE LARGER THAN 1 1/2" TO A DEPTH OF NOT LESS THAN 18" AND BACKFILLED WITH SUITABLE MATERIAL THEN COMPACTED TO CONFORM WITH THE EXISTING GROUND

33. DURING WINTER OPERATION (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES SHALL BE TAKEN:

A. DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION

B. ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT RUNOFF OF WATER ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES

C. DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS (MONTEREY COUNTY GRADING/EROSION ORDINANCE 2806-16.12.09)

33. PAD ELEVATIONS SHALL BE CERTIFIED TO 0.1 FEET, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS

34. ANY UTILITIES AND FACILITIES LOCATED IN THE GROUND ARE LOCATED FROM THE BEST AVAILABLE RECORD INFORMATION. THE CONTRACTOR SHALL TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR FACILITIES SHOWN ON THE PLANS FROM HARM. ATTENTION IS DIRECTED TO POSSIBLE EXISTENCE OF UNDERGROUND UTILITIES OR FACILITIES NOT KNOWN TO THE CONTRACTOR OR INDICATED DIFFERENT FROM THAT WHICH IS SHOWN ON THE PLANS. THE CONTRACTOR SHALL TAKE STEPS TO ASCERTAIN THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO DOING WORK IN ORDER TO AVOID DAMAGE OF SUCH UTILITIES OR FACILITIES OR TO INTERFERE WITH THEIR SERVICE. CALL DIG ALERT, TOLL FREE AT 811, (2) FULL WORKING DAYS IN ADVANCE. CALIFORNIA GOVERNMENT CODE SECTION 4216

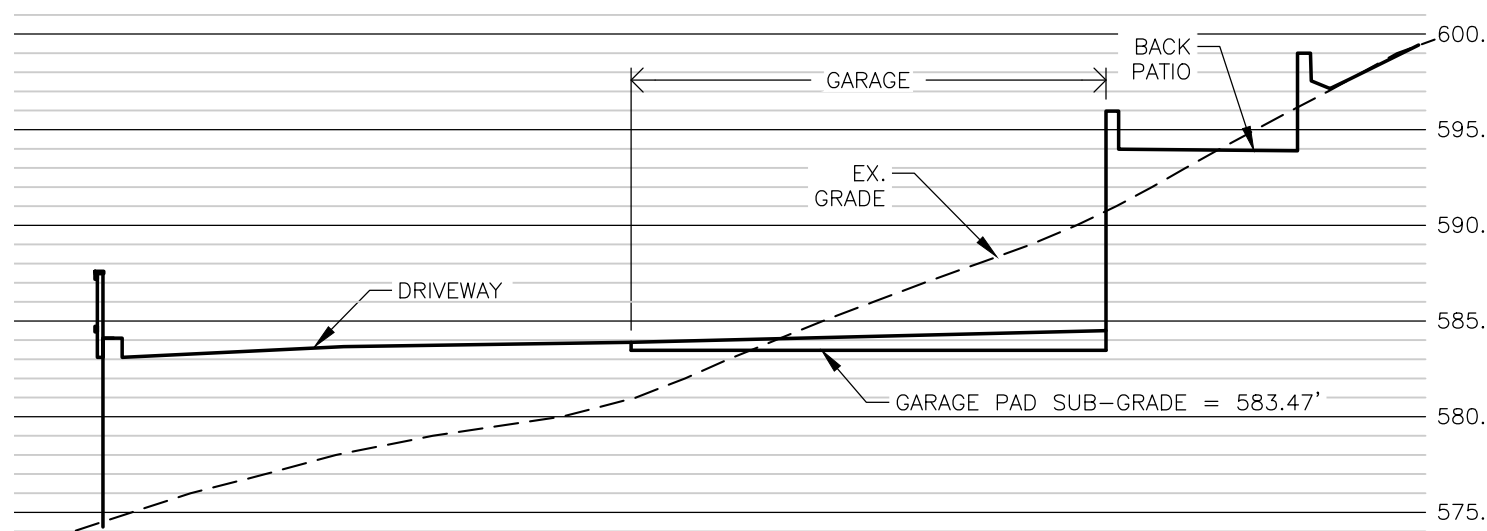
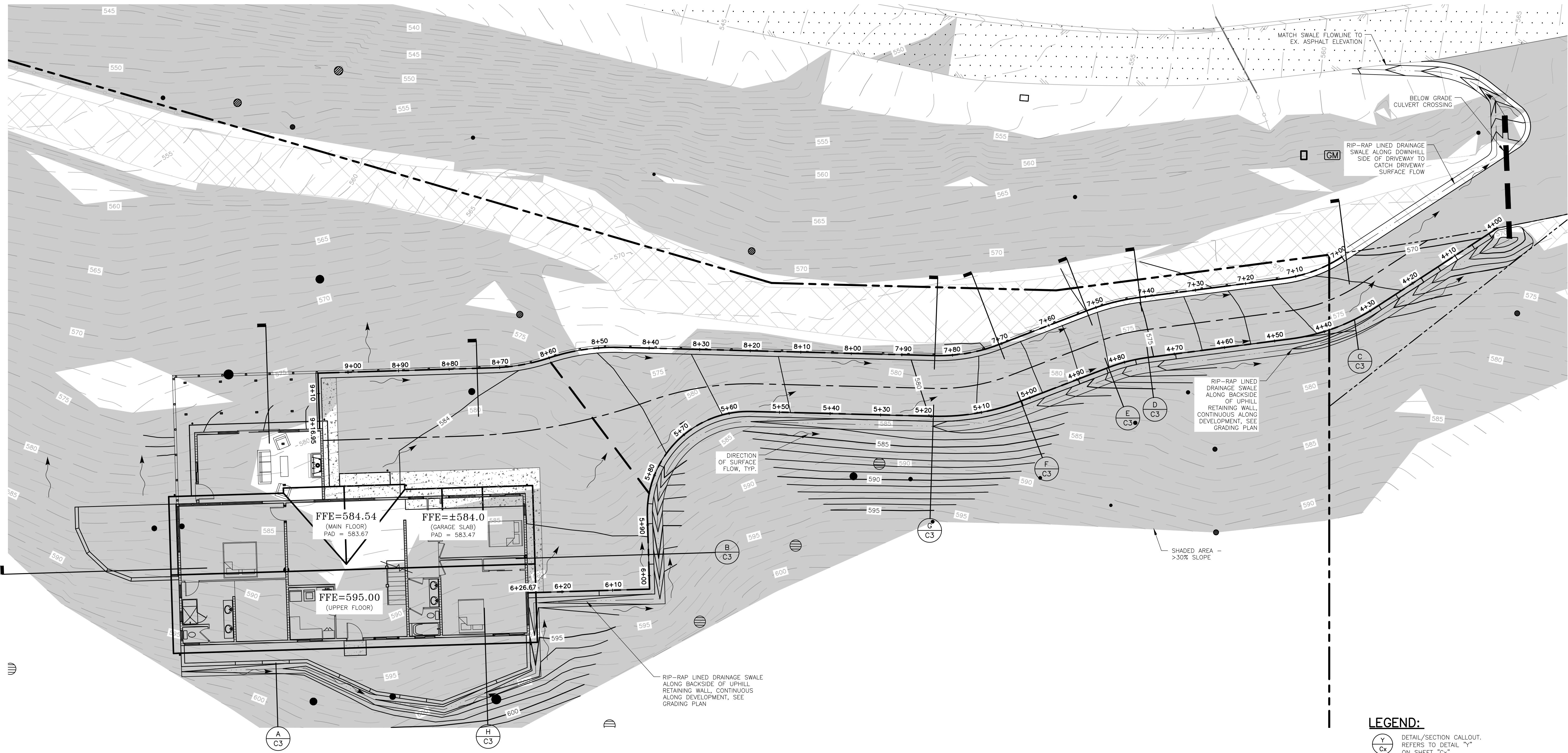
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2. NO WORK SHALL BE STARTED WITHOUT FIRST NOTIFYING THE PERMITTING JURISDICTION INSPECTOR AT LEAST (1) WORKING DAY BEFORE WORK IS COMMENCED
3. ALL FILLS SHALL BE COMPACTED TO 90 PERCENT OF MAXIMUM DRY DENSITY
4. ALL AGGREGATE SHALL BE COMPACTED TO 90 PERCENT OF MAXIMUM DRY DENSITY AND SHALL HAVE A MINIMUM CBR VALUE OF 25
5. ALL AGGREGATE SHALL BE COMPACTED TO 90 PERCENT OF MAXIMUM DRY DENSITY
6. THE CONTRACTOR IS RESPONSIBLE TO EMPLOY A MATERIALS TESTING FIRM APPROVED BY THE PERMITTING AGENCY FOR TESTING OF FILL MATERIAL, COMPACTION RATES AND DENSITY TESTS DURING CONSTRUCTION
7. DUST SHALL BE CONTROLLED BY THE CONTRACTOR TO THE SATISFACTION OF THE PERMITTING AGENCY IN ACCORDANCE WITH THE AIR QUALITY PERMIT FROM THE CALIFORNIA DIVISION OF ENVIRONMENTAL PROTECTION WHEN REQUIRED
8. IN THE EVENT OF CHANGES ARISING DURING CONSTRUCTION, THE DEVELOPER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR REVIEW AND APPROVAL BY THE PERMITTING JURISDICTION. NO CHANGES IN DESIGN SHALL BE PERMITTED UNLESS WRITTEN APPROVAL IS GIVEN BY THE PERMITTING JURISDICTION
9. APPROXIMATELY 360 CU YD / 33 CU YD FILL EARTHWORK
10. APPROXIMATELY 11,900 TFF² DISTURBED AREA

1. THE PROJECT SHALL COMPLY WITH THE POST CONSTRUCTION REQUIREMENTS OF THE MONTEREY COUNTY STORM WATER TECHNICAL GUIDE FOR TIER 1 LOW IMPACT DEVELOPMENT MEASURES
2. THE PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION CONTROL PLAN OR STORM WATER POLLUTION PREVENTION PLAN. THE PLAN SHALL BE ON-SITE AT ALL TIMES
3. GRADING SHALL BE UNDERTAKEN IN ACCORDANCE WITH CONDITIONS AND REQUIREMENTS OF THE MONTEREY COUNTYWIDE STORM WATER TECHNICAL GUIDE, NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT NO. CAS040402, AND ANY OTHER NPDES PERMIT ISSUED BY THE STATE OF CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, INCORPORATE BEST MANAGEMENT PRACTICES (BMPs) ASSIGNED IN CONFORMANCE WITH THE MONTEREY COUNTY TECHNICAL GUIDANCE MANUAL FOR STORM WATER CONTROL MEASURES
4. NO DIRECT STORM WATER DISCHARGES FROM DEVELOPMENT WILL BE ALLOWED ONTO COUNTY STREETS OR THE PUBLIC STORM DRAIN SYSTEM WITHOUT TREATMENT BY AN APPROVED STORM WATER POLLUTION DEVICE LOCATED ON PRIVATE PROPERTY. MAINTENANCE OF THE PRIVATE STORM WATER POLLUTION PREVENTION DEVICES SHALL BE THE RESPONSIBILITY OF THE OWNER. DISCHARGES OF CONCENTRATED FLOWS WITHOUT TREATMENT BY AN APPROVED STORM WATER POLLUTION PREVENTION DEVICE SHALL BE CONSIDERED IN VIOLATION OF THE ABOVE REFERENCE PERMIT AND THE COUNTY'S STORM WATER ORDINANCE

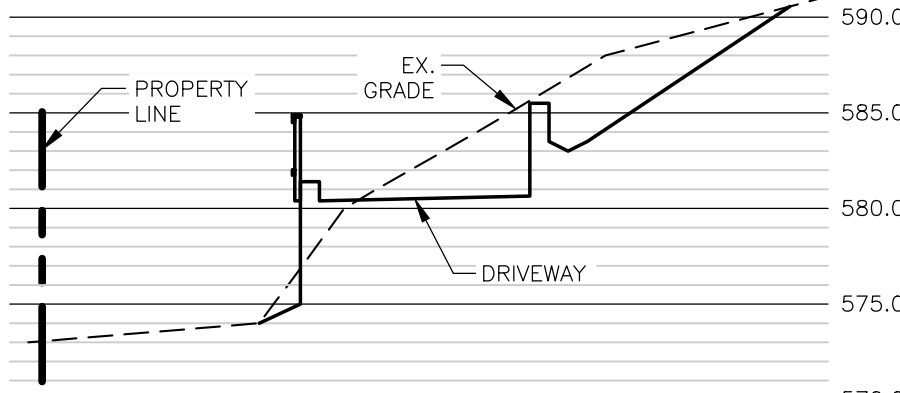
1. NO DIRECT STORMWATER DISCHARGES FROM DEVELOPMENT WILL BE ALLOWED ONTO COUNTY STREETS OR THE PUBLIC STORM DRAIN SYSTEM WITHOUT TREATMENT BY AN APPROVED STORM WATER POLLUTION DEVICE LOCATED ON PRIVATE PROPERTY. MAINTENANCE OF SUCH DEVICES SHALL BE THE RESPONSIBILITY OF THE OWNER. DISCHARGES OR CONNECTION WITHOUT TREATMENT BY AN APPROVED STORM WATER POLLUTION PREVENTION DEVICE SHALL BE CONSIDERED IN VIOLATION OF THE ABOVE REFERENCE PERMIT AND THE COUNTY'S STORM WATER ORDINANCE. DISCHARGING ANY MATERIAL, OTHER THAN UNCONTAMINATED STORMWATER RUNOFF TO COUNTY STREETS OR TO THE MUNICIPAL STORM DRAIN SYSTEM IS PROHIBITED



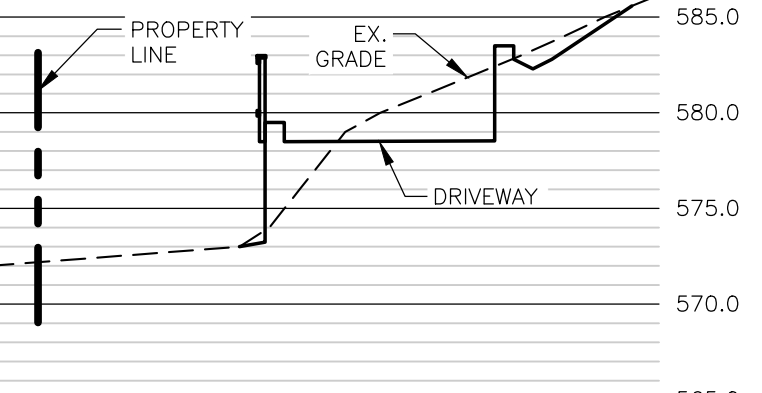
PELIOVA & BRADFORD GRADING & DRAINAGE PLAN & DETAILS 103A SAN BEVANCIO CANYON RD SALINAS, CA 93908 APN 416-231-018		CENTRAL COAST CIVIL & STRUCTURAL ENGINEERING, INC. 536 Abrego St. Monterey, CA 93940 Phone: 831.760.9944 e-mail: jack@cccseeng.com www.cccseng.com		This drawing has not been prepared in accordance with the standards and specifications prepared by Central Coast Civil & Structural Engineering, Inc. and is not to be used solely in respect of the named in the title block, and the engineer assumes no responsibility for the maintenance of the facility named in the title block. Central Coast Civil & Structural Engineering, Inc. shall not be liable for damage resulting from the use of this drawing on another project for any other purpose.			
JOB #	DESIGN BY:	DRAWN BY:	CHECKED BY:	DATE:	SHEET:	Rev. No.	Date
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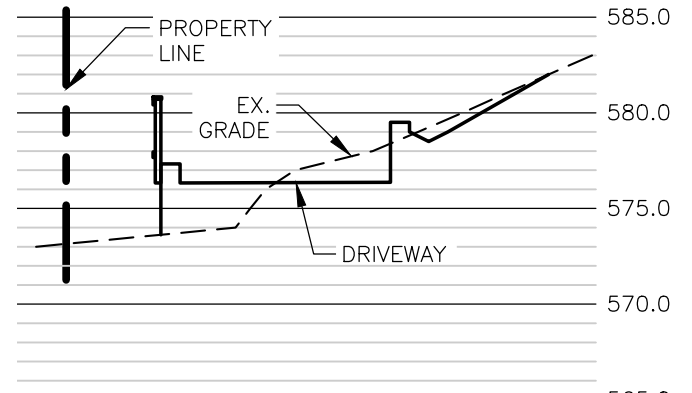
H SITE SECTION
SCALE: 1" = 10'



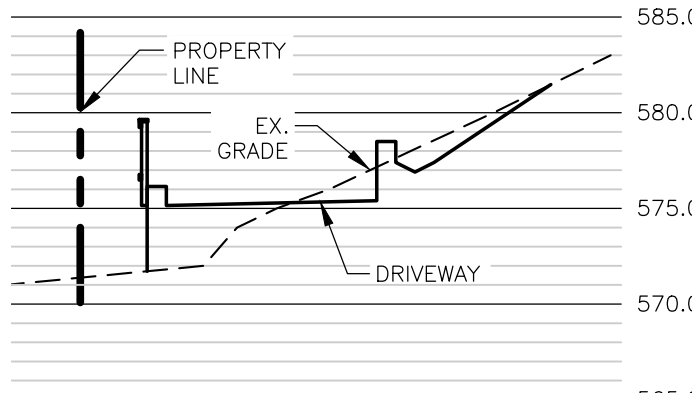
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SCALE: 1" = 10'



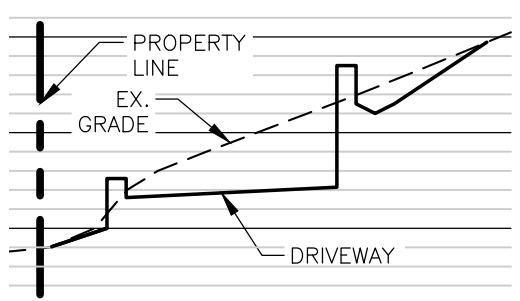
F SITE SECTION
SCALE: 1" = 10'



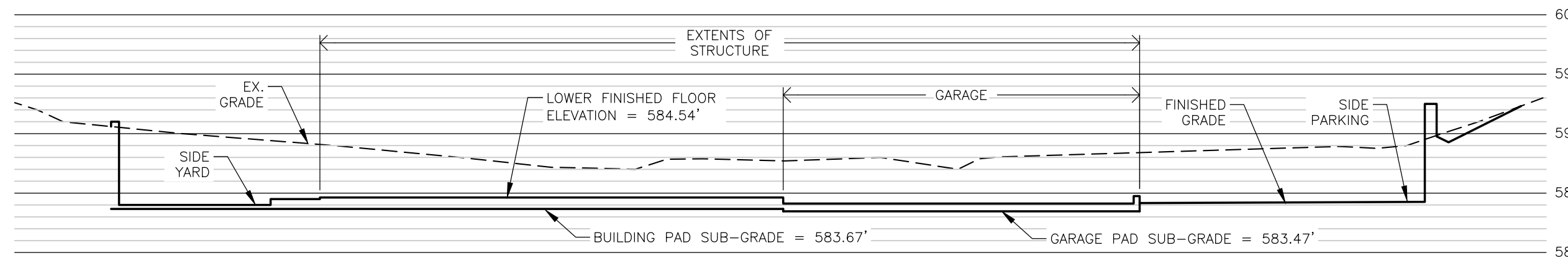
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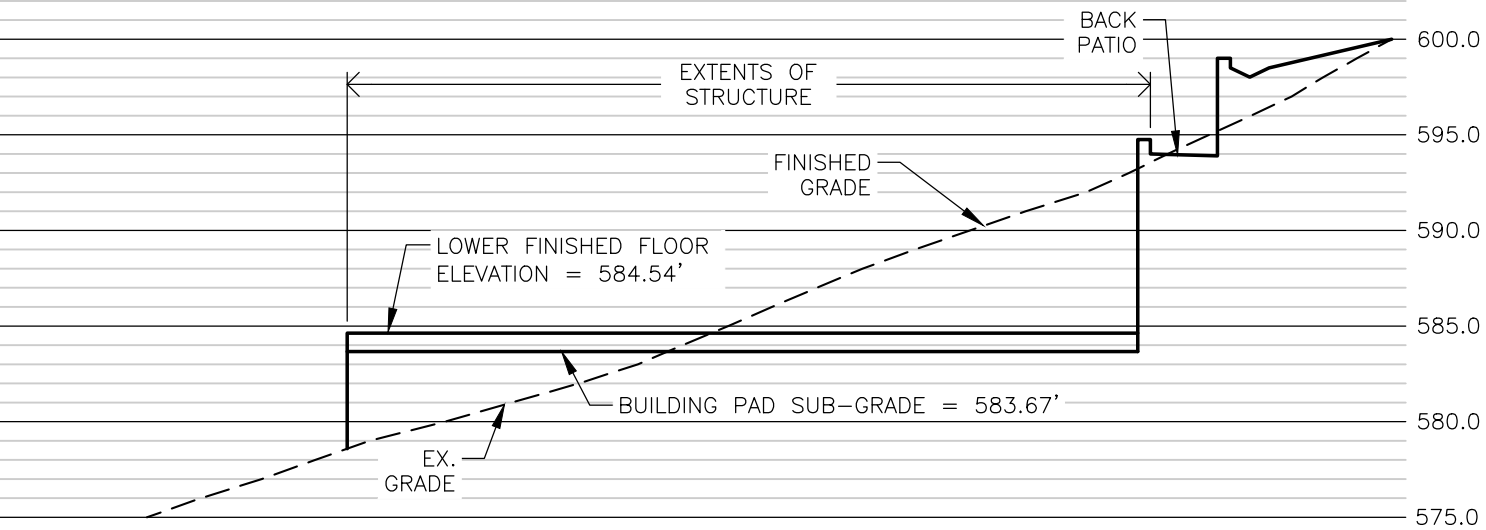
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SCALE: 1" = 10'



C SITE SECTION
SCALE: 1" = 10'



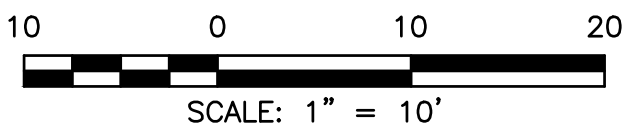
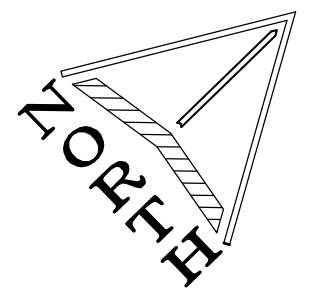
B SITE SECTION
SCALE: 1" = 10'



A SITE SECTION
SCALE: 1" = 10'

LEGEND:

- DETAIL/SECTION CALLOUT. REFERS TO DETAIL "Y" ON SHEET "Cx"
- LANDSET ENGINEERS, INC. PROJECT BENCHMARK IS SURVEY H&V CTL PNT #103, A SPIKE LOCATED IN THE AC PAVEMENT OF A COUNTY ROAD
- RIP RAP LINED SWALE
- DRAINAGE FLOWLINE
- EX. MAJOR CONTOUR
- EX. MINOR CONTOUR
- MAJOR CONTOUR
- MINOR CONTOUR
- SURFACE FLOW DIRECTION



DRAINAGE PLAN

SCALE: 1" = 10'

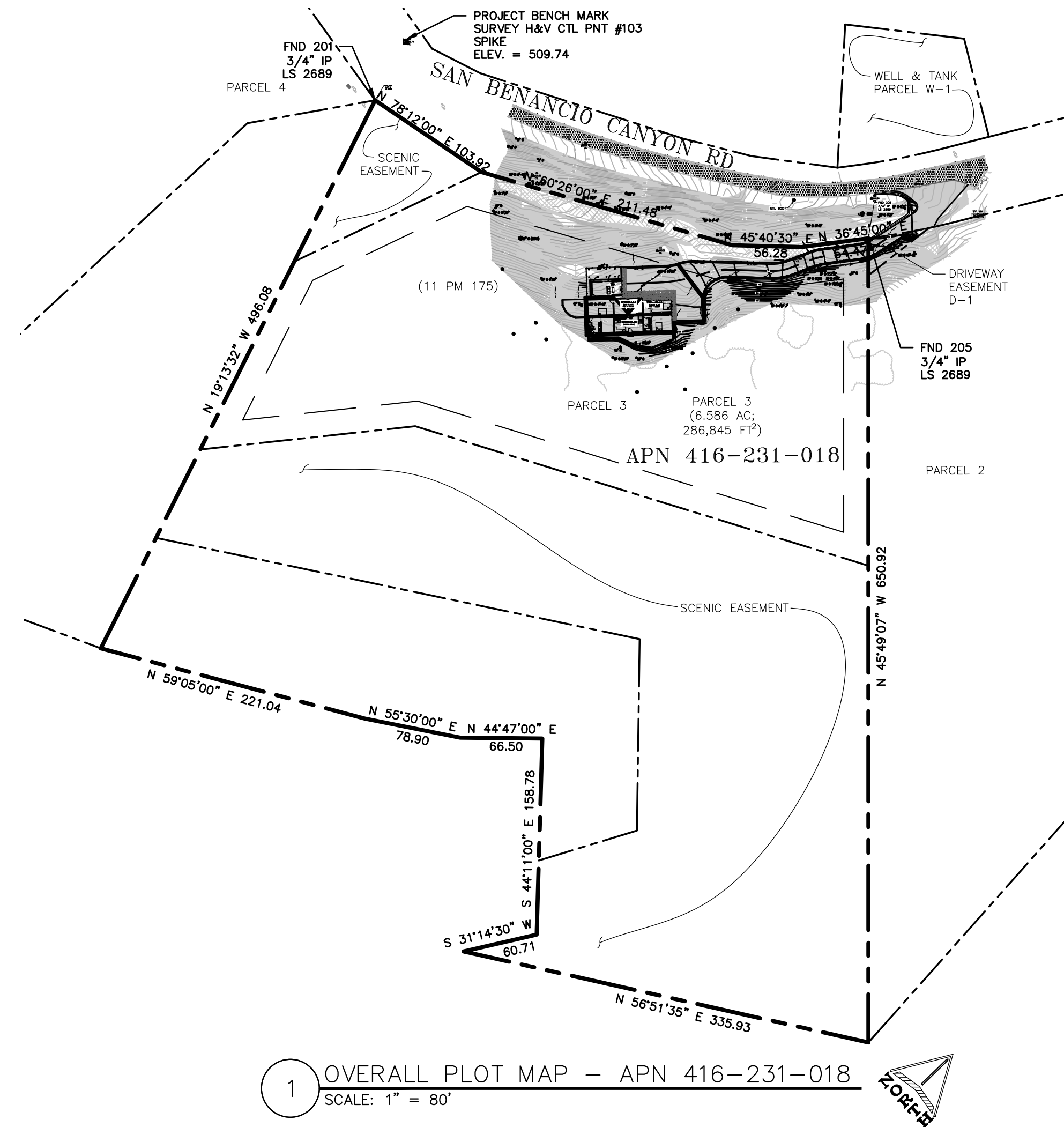
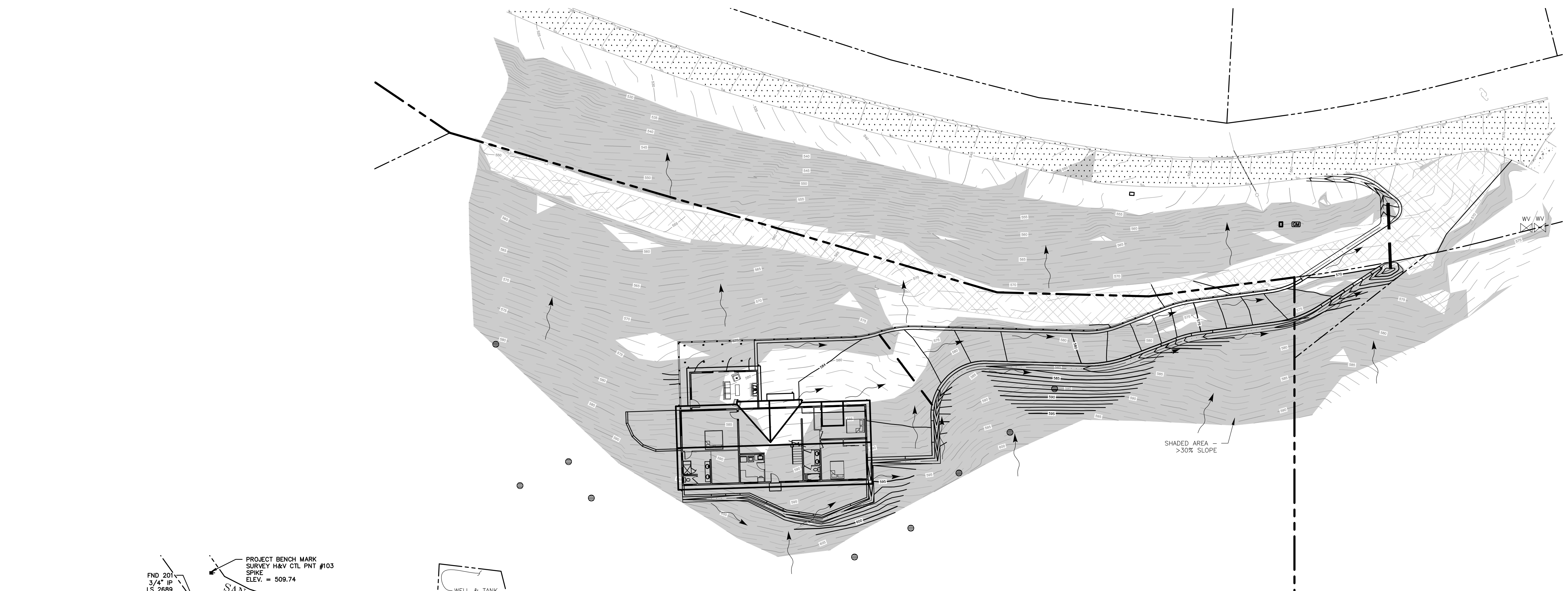
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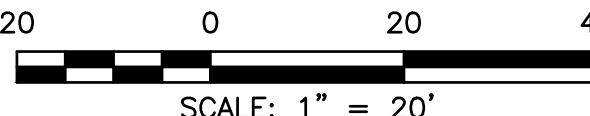
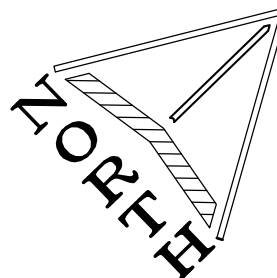
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PELOVA & BRADFORD
DRAINAGE PLAN & SITE SECTIONS
103A SAN BENANCIO CANYON RD
SALINAS, CA 93908 APN 416-251-018

JOB #	220701
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LEGEND:



SLOPE MAP

SCALE: 1" = 20'

PELIOVA & BRADFORD

SLOPE MAP

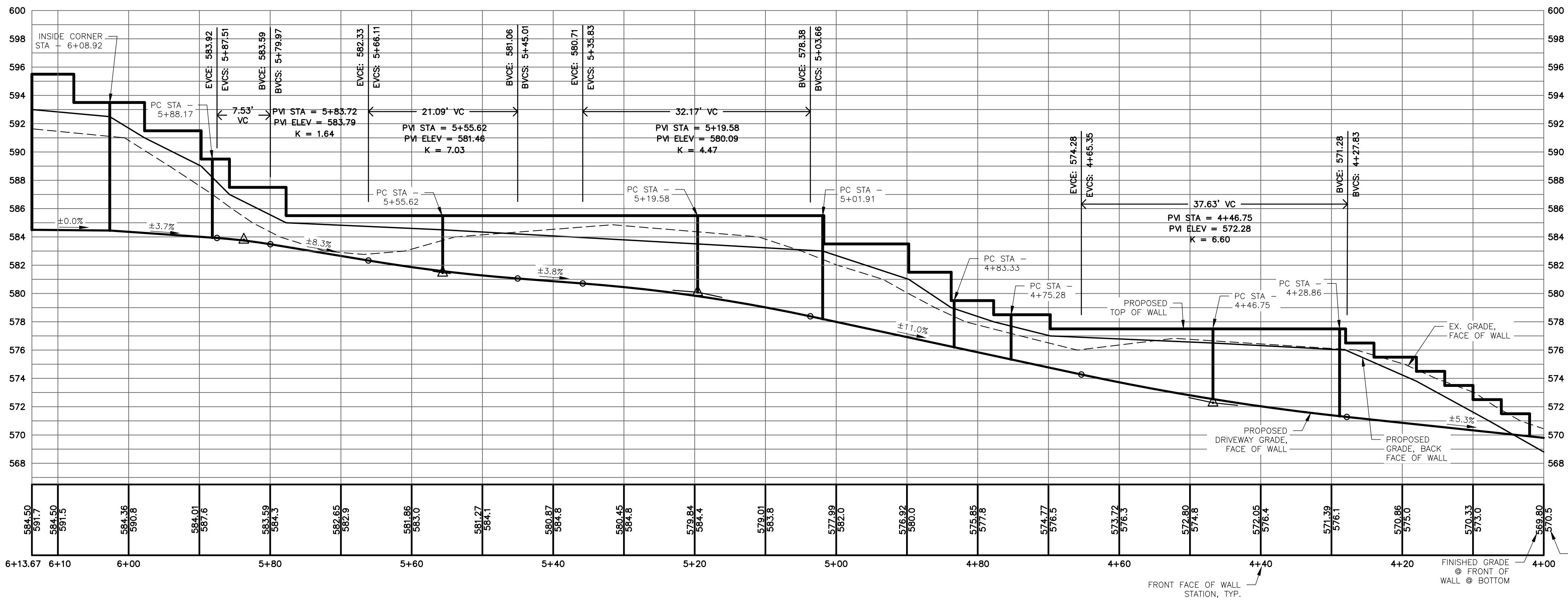
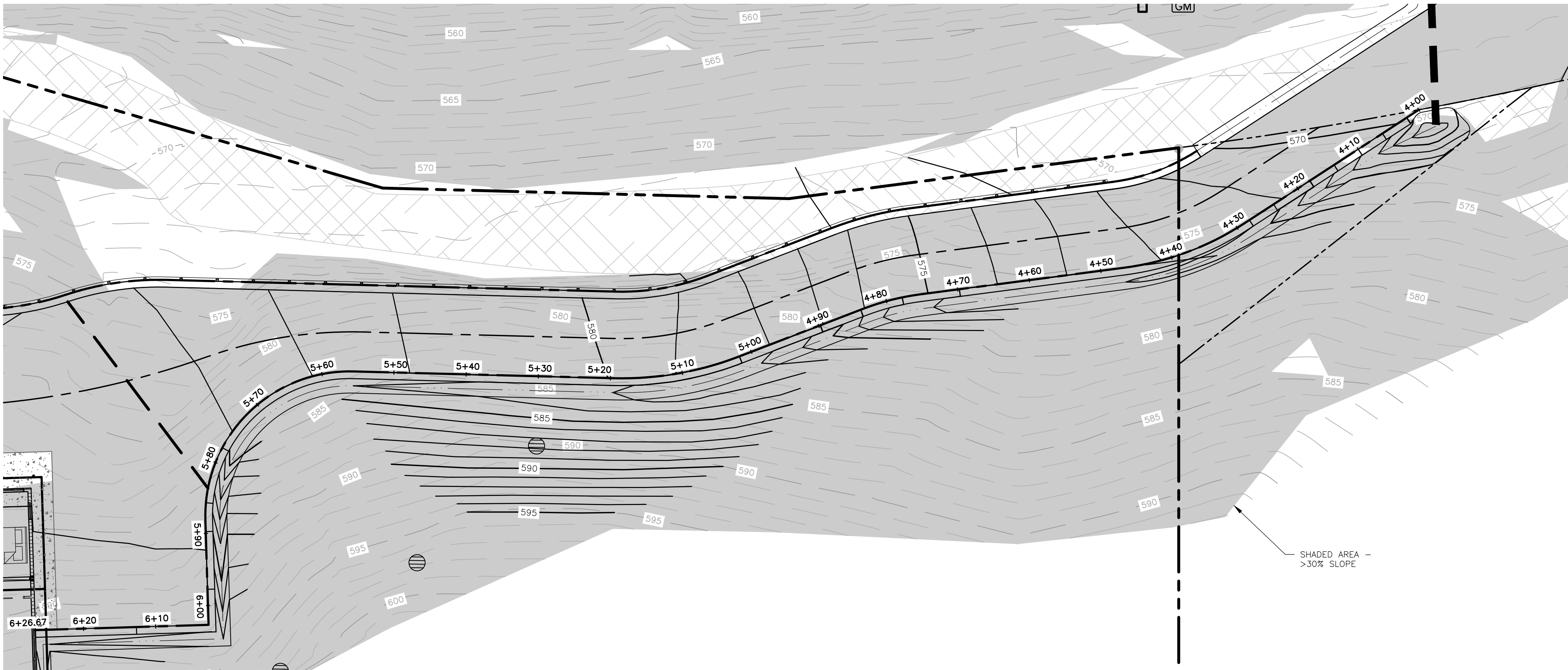
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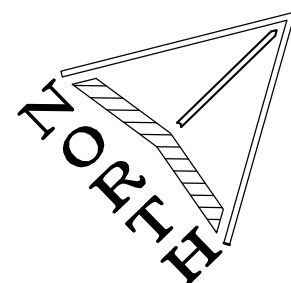
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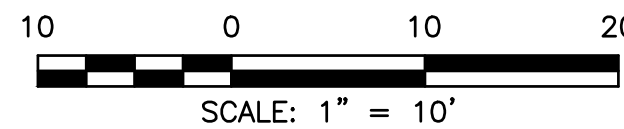


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- DRAINAGE FLOWLINE
- EX. MAJOR CONTOUR
- EX. MINOR CONTOUR
- MAJOR CONTOUR
- MINOR CONTOUR
- SURFACE FLOW DIRECTION



WALL PLAN & PROFILE



SCALES - HORIZONTAL: 1" = 10'
VERTICAL: 1" = 4'

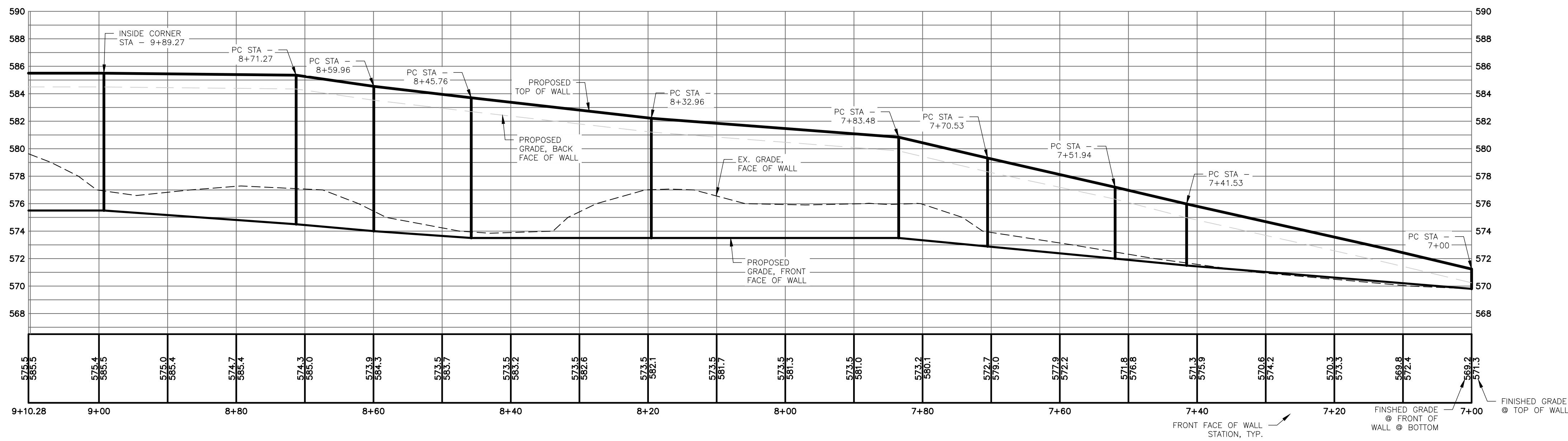
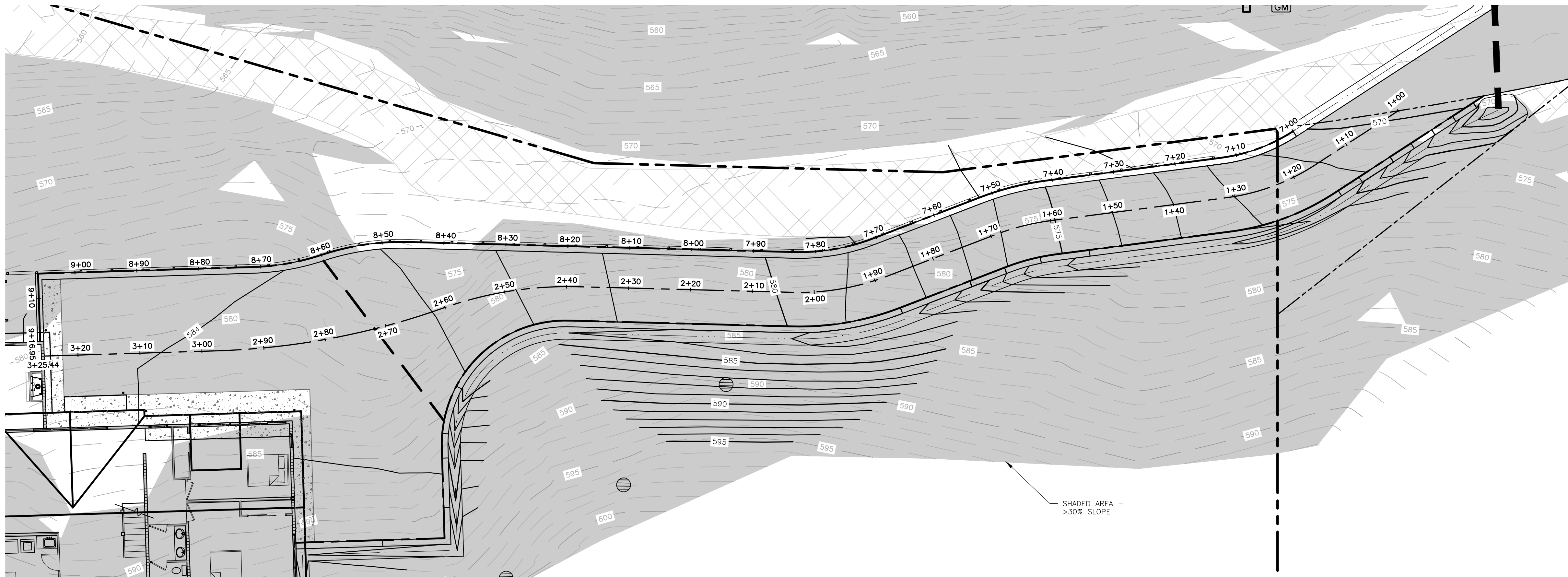
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PELOVA & BRADFORD
WALL PLAN & PROFILE
103A SAN BENANCIO CANYON RD
SALINAS, CA 93908 APN 416-251-018

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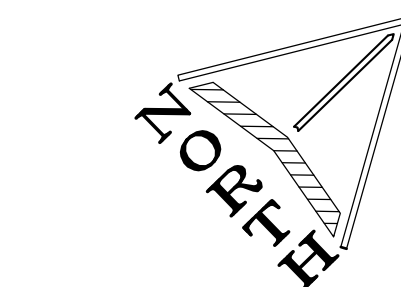


LEGEND:

DETAIL/SECTION CALLOUT.
REFERS TO DETAIL "Y"
ON SHEET "Cx"

LANDSET ENGINEERS, INC. PROJECT BENCHMARK IS
SURVEY H&V CTL PNT #103, A SPIKE LOCATED IN
THE AC PAVEMENT OF A COUNTY ROAD

— RIP RAP LINED SWALE
— DRAINAGE FLOWLINE
— EX. MAJOR CONTOUR
— EX. MINOR CONTOUR
— MAJOR CONTOUR
— MINOR CONTOUR
— SURFACE FLOW DIRECTION



WALL PLAN & PROFILE

SCALES — HORIZONTAL: 1" = 10'
VERTICAL: 1" = 4'

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GENERAL NOTES:

KEY NOTES

- THIS EROSION CONTROL PLAN, NOTES AND DETAILS ARE DEVELOPED TO REMAIN EFFECTIVE UNTIL COMPLETION OF ALL CONSTRUCTION WITHIN THE LIMIT SHOWN OR UNTIL PERMANENT GROUND COVER IS ESTABLISHED. ESC MEASURES SHALL BE ADDED OR ADJUSTED THROUGH CONSTRUCTION PHASES AS NECESSARY TO PREVENT SEDIMENT RUNOFF FROM THE SITE.
- ALL DETAILS SHOWN ON SHEET MAY NOT BE REQUIRED. REFER TO PLAN FOR MINIMUM REQUIREMENTS. REFER TO EROSION SEDIMENTATION CONTROL NOTE NO. 3 FOR ADDITIONAL REQUIREMENTS.
- ANY VEHICLE ENTRANCE/EXIT DESIGNATED ON THE EROSION CONTROL PLAN THAT IS NOT TO BE USED FOR THIS PURPOSE, SHALL BE BLOCKED TO TRAFFIC. INSTALL VEHICLE BARRIERS AT ALL DRIVEWAY APPROACHES NOT TO BE USED AS STABILIZED CONSTRUCTION ENTRANCE.
- THE FOLLOWING WERE REVIEWED AND DO NOT PERTAIN TO THIS PROJECT:
 - THERE ARE NO NATURAL RESOURCE SITES, DESIGNATED BUFFER OR OTHER PROTECTED AREAS.
 - THERE ARE NO BORROW SITES.
 - THERE ARE NO CONSERVATION ZONES.
- THE SOIL TYPE IS MEDIUM DENSE TO VERY DENSE SILTY SAND.
- EX. VEGETATION CONSISTS SPARSE WEEDS, NATIVE GRASSES, COAST LIVE OAK TREES, & MONTEREY PINE TREES.
- SITE IS NOT LOCATED WITHIN A FEMA FLOOD ZONE.

EROSION SEDIMENTATION CONTROL NOTES

- THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD THESE ESC FACILITIES SHALL BE UPGRADED, AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT LEAVE THE SITE.
- THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED, AS NECESSARY, TO ENSURE THEIR CONTINUED FUNCTIONING.
- AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWN STREAM SYSTEM.
- ALL UTILITY CONNECTIONS MADE OUTSIDE OF THE PROPERTY LINES SHALL MEET ESC REQUIREMENTS. CONTRACTOR SHALL INSTALL SEDIMENT BARRIERS DOWN GRADE OF DISTURBED AREAS AND PROTECT DOWN STREAM STORM WATER INLETS.
- ALL SEDIMENT BARRIERS WILL REMAIN IN PLACE UNTIL DRAINAGE FACILITIES ARE CONSTRUCTED AND PERMANENT GROUND COVER HAS BEEN REESTABLISHED.

STORM DRAIN INLET PROTECTION

- STORM DRAIN INLETS WHICH ARE OPERATIONAL PRIOR TO PERMANENT STABILIZATION OF THE DISTURBED AREA SHALL BE PROTECTED TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM.
- ALTERNATIVE INLET PROTECTION METHODS ARE ENCOURAGED. THIS ALLOWS THE OPPORTUNITY TO USE NEW AND INNOVATIVE EROSION PRODUCTS AND TECHNIQUES. TWO OF THE LATEST TECHNIQUES ARE THE USE OF A "FRAMED SEDIMENT SACK" PLACED INSIDE OF THE CATCH BASIN AND THE USE OF A "SEDIMENT DAM" PLACED INSIDE OF THE CURB INLET TO CATCH SEDIMENT AND RUNOFF LEAVING THE SITE. WHEN INSTALLED AND MAINTAINED CORRECTLY, THESE TECHNIQUES HAVE BEEN EFFECTIVE IN ACHIEVING THE DESIRED RESULTS.

STOCK PILES

- INSTALL BIO BERM OR SEDIMENT FENCING/BARRIERS AT TOE OF SLOPE.
- STOCK PILES ON SITE DURING COLD WET WEATHER SEASON (NOVEMBER 15 THROUGH APRIL 30) SHALL BE COVERED WITH POLYETHYLENE PLASTIC SHEETING 6 MIL MINIMUM THICKNESS.
- COVERING SHALL BE INSTALLED AND MAINTAINED TIGHTLY IN PLACE BY USING SANDBAGS ON ROPE WITH A MAXIMUM 10' GRID SPACING IN ALL DIRECTIONS. ALL SEAMS SHALL BE TAPED OR WEIGHTED DOWN FULL LENGTH AND THERE SHALL BE AT LEAST A 12" OVERLAP OF ALL SEAMS. FOR SEAMS PARALLEL TO THE SLOPE CONTOUR, THE UPHILL SHEET SHALL OVERLAP THE DOWNHILL SHEET. NO RUNOFF SHALL BE ALLOWED TO RUN UNDER THE PLASTIC COVERING.
- CONSTRUCTION MATERIALS CONTAINING TOXIC CONTAMINANTS SHALL NOT BE STORED WITHIN 25 FEET OF ANY STORM DRAIN INLET STRUCTURE OR DESIGNATED PROTECTED AREA.
- DEBRIS, WASTE AND GARBAGE PILES SHALL NOT BE PLACED WITHIN 25 FEET OF ANY STORM DRAIN INLET STRUCTURE OR DESIGNATED PROTECTED AREA.
- LOCATION OF CONSTRUCTION MATERIAL STORAGE AREAS AND DEBRIS, WASTE AND GARBAGE PILE AREAS SHALL BE PROVIDED BY THE CONTRACTOR TO JURISDICTION AT THE TIME OF THE INITIAL ESC CONTROL INSPECTION.

CONCRETE TRUCK WASH AREA

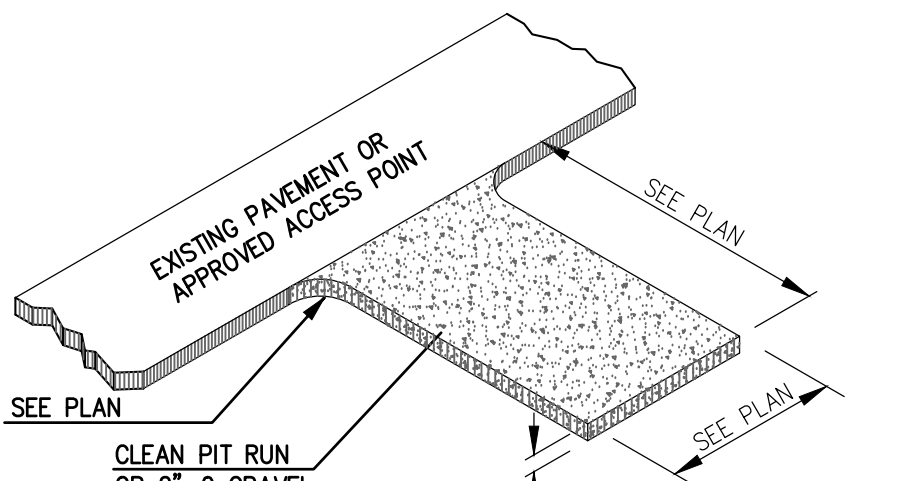
- PROVIDE CONCRETE TRUCK WASH AREA ADJACENT TO CONSTRUCTION ENTRANCES. COMPLY WITH PERMIT PERMIT OUTCOME REQUIREMENTS.
- CONCRETE WASH AREAS SHALL BE CONSTRUCTED OF ONE OF THE FOLLOWING:
 - STRAW BALE BARRIER WITH PLASTIC LINER.
 - STACKED SAND BAGS OR BIO-BAGS AS A BARRIER WITH PLASTIC LINER.
 - PORTABLE CONTAINMENT POND.
- LOCATION OF CONCRETE TRUCK WASH AREAS ARE SHOWN ON THIS SHEET.

STABILIZED CONSTRUCTION ENTRANCE

- ESTABLISHED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHT OF WAY.
- ADDITIONAL GRAVEL SHALL BE ADDED PERIODICALLY, IF NECESSARY, TO MAINTAIN PROPER FUNCTION OF THE PAD.
- IF THE GRAVEL PAD DOES NOT ADEQUATELY REMOVE DIRT AND MUD FROM VEHICLE WHEELS SUCH THAT MUD AND DIRT TRACKING IS EVIDENT OFF SITE, ADDITIONAL MEASURES MUST BE TAKEN. SUCH MEASURES MAY INCLUDE HOSEING OFF WHEELS BEFORE VEHICLES LEAVE THE SITE OR OTHER CONSTRUCTION TECHNIQUES/WORK OPERATION MODIFICATIONS. WHEEL WASHING SHOULD BE DONE ON THE GRAVEL PAD AND WASH WATER SHOULD DRAIN THROUGH A SILT-TRAPPING STRUCTURE PRIOR TO LEAVING THE CONSTRUCTION SITE.

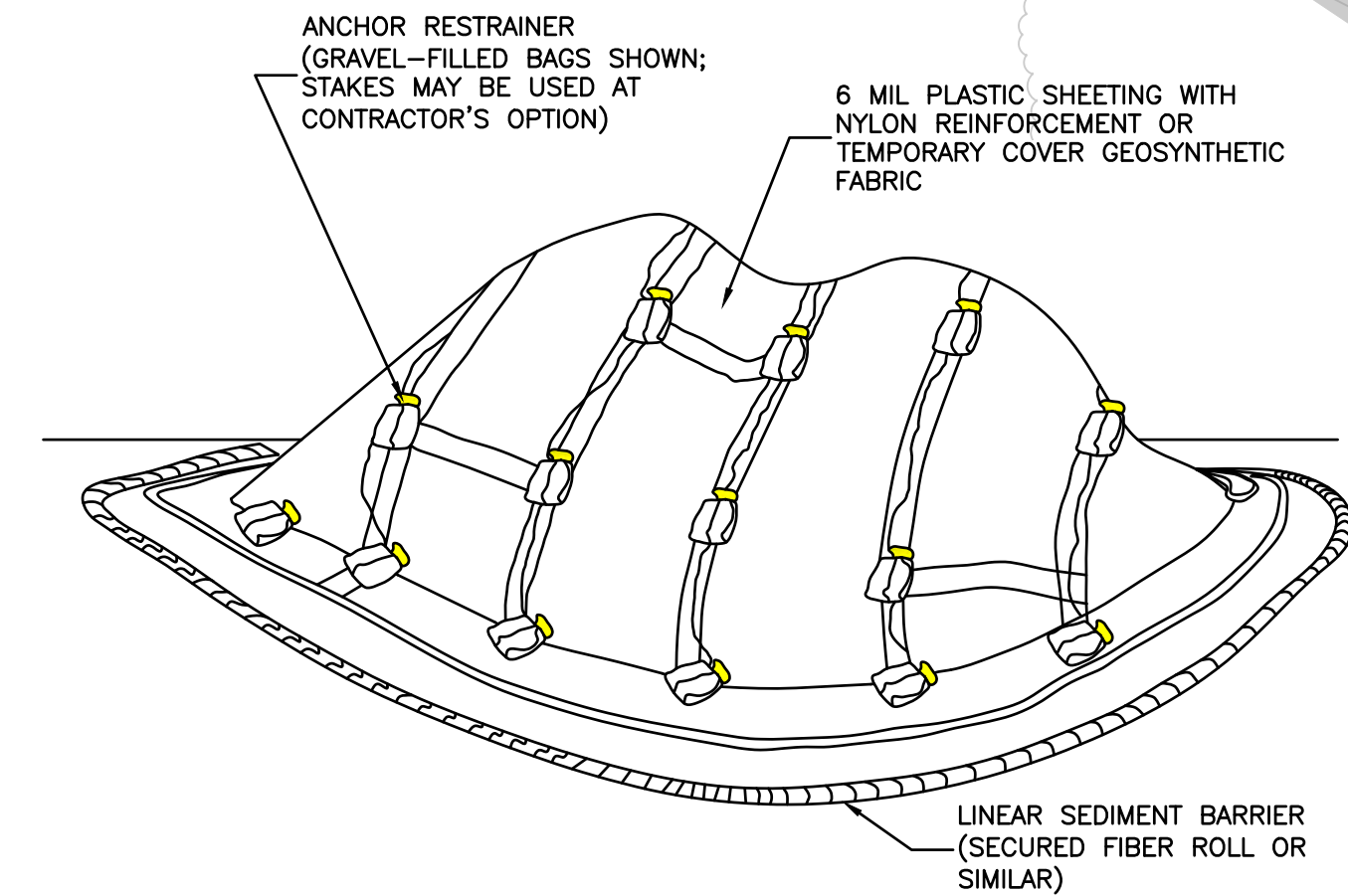
SCHEDULE FOR CONSTRUCTION AND IMPLEMENTATION OF ESC CONTROLS

- SEDIMENT FENCE/BARRIER WILL BE PLACED PRIOR TO ANY SITE GRADING OR SURFACE DISTURBANCE.
- CONSTRUCT ANY REQUIRED GRAVEL CONSTRUCTION ENTRANCES, TRUCK WHEEL WASH, AND CONCRETE TRUCK WASH AREAS.
- ALL EROSION CONTROLS WILL BE COMPLETED IN ONE PHASE.
- CONSTRUCTION WILL BE COMPLETED IN ONE PHASE.
- EXPECTED TIME PERIOD OF LAND DISTURBING ACTIVITIES IS 6 MONTHS.
- FOR CONSTRUCTION BETWEEN NOVEMBER 15-APRIL 30 ADDITIONAL COLD WET WEATHER MEASURES ARE REQUIRED (ESTABLISHED GRASS, 2" MINIMUM STRAW MULCH COVER, OR 3" MINIMUM COMPOST/ORGANIC SOIL MULCH COVERTION OVER DISTURBED AREAS 2 PERCENT OR GREATER).
- SWEEP STREETS ADJACENT TO CONSTRUCTION ENTRANCES A MINIMUM OF ONCE PER WEEK.
- REESTABLISH GROUND COVER OR LANDSCAPE PRIOR TO REMOVING ESC MEASURES (POST-CONSTRUCTION).
- REMOVE ESC MEASURES.



4 CONSTRUCTION ENTRANCE

NO SCALE

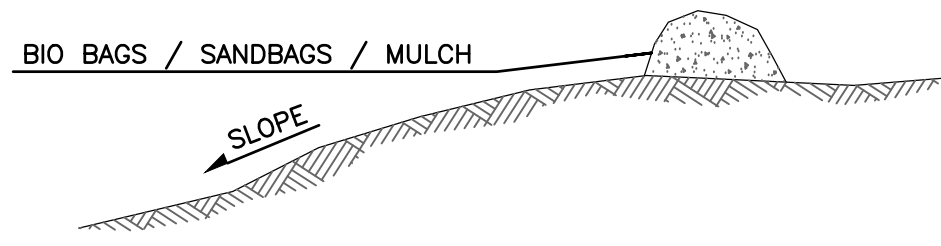


NOTES:

- ALL STOCKPILES SHALL BE CONTAINED AND COVERED WHEN NOT ACTIVE, AND SECURED AT THE END OF EACH DAY.
- STOCKPILES SHALL BE SECURELY COVERED OVERNIGHT, AND PRIOR TO, DURING, AND AFTER RAIN EVENTS.
- NO MATERIAL SHALL LEAVE THE SITE OR MOVE INTO STREET.
- PLASTIC SHEETING HAS LIMITATIONS DUE TO SUNLIGHT BREAKDOWN, HARD TO MANAGE IN WINDY CONDITIONS, AND CAN INCREASE RUNOFF ISSUE FOR PERIMETER CONTROLS. INSPECT FREQUENTLY OR USE GEOSYNTHETIC FABRIC AS APPLICABLE.
- DO NOT LOCATE WITHIN 50 FEET OF A STORM DRAIN.

6 TEMPORARY COVER ON STOCKPILE

NO SCALE

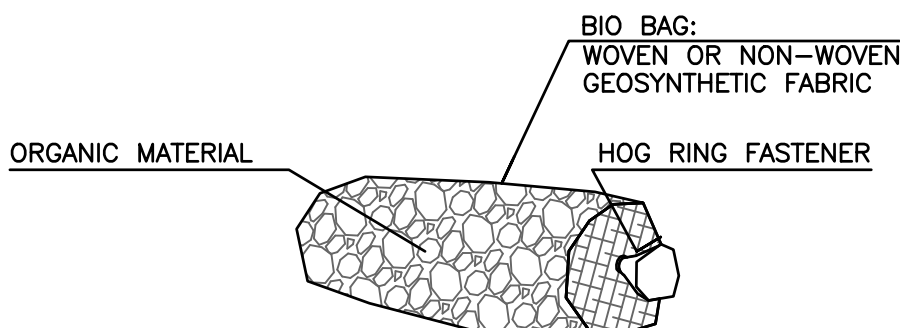


NOTES:

- FOR SLOPES 2-5% USE 24" - 36" WIDE BY 12" - 18" HIGH BERM
- FOR SLOPES GREATER THAN 5% USE 36" - 48" WIDE BY 18" - 24" HIGH BERM

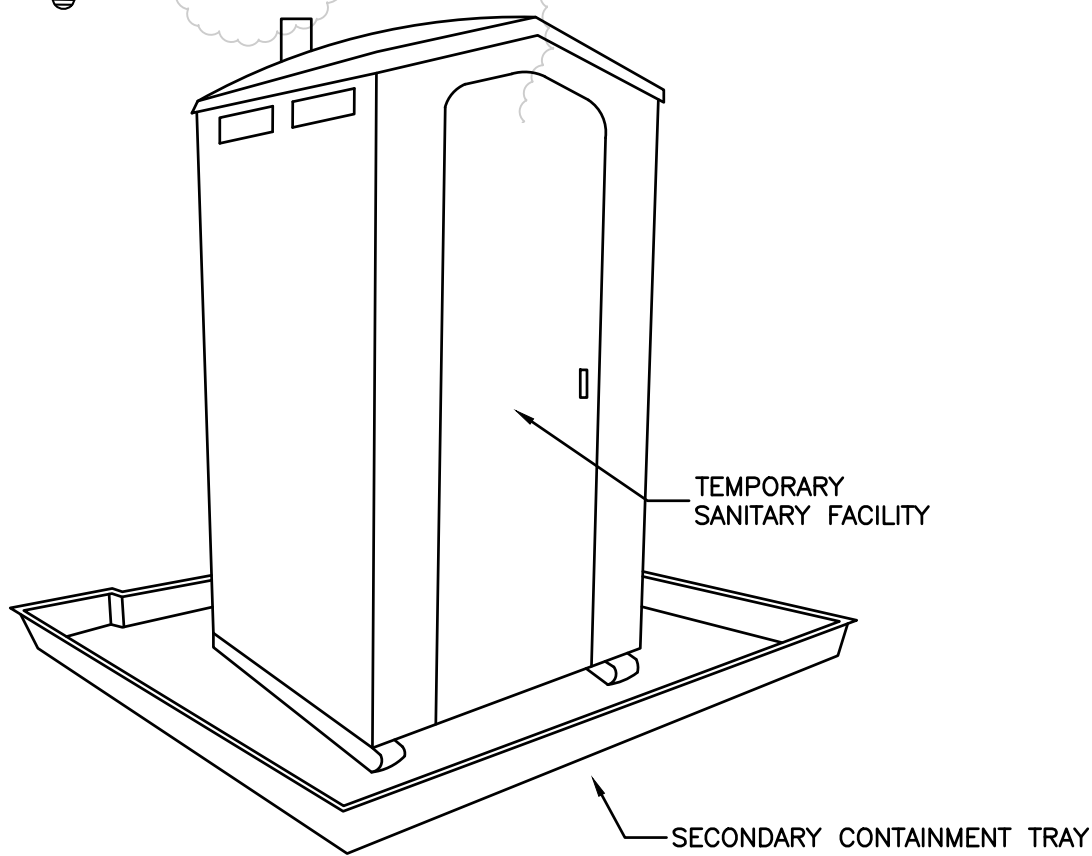
3 CONTINUOUS BIO BERM

NO SCALE



2 BIO BAG DETAIL

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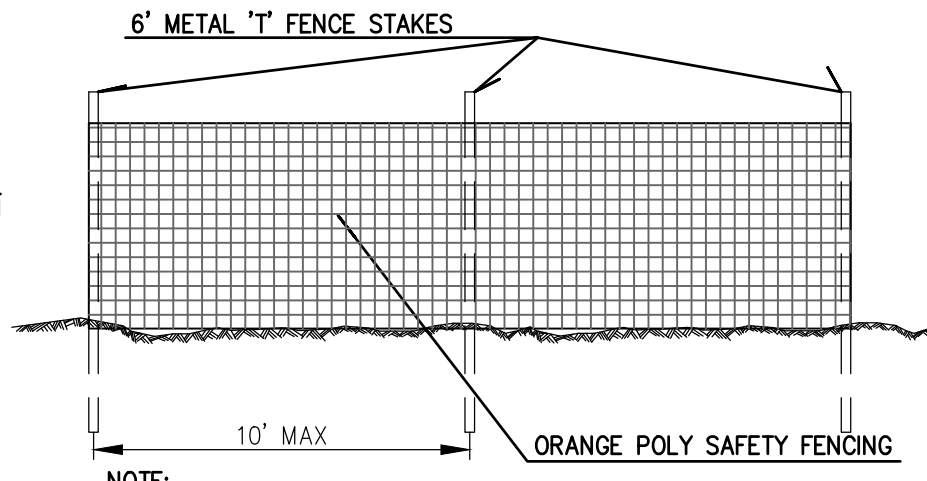


STORAGE AND DISPOSAL PROCEDURES

- TEMPORARY SANITARY FACILITIES SHOULD BE LOCATED AWAY FROM DRAINAGE FACILITIES, WATERCOURSES, AND FROM TRAFFIC CIRCULATION. IF SITE CONDITIONS ALLOW, PLACE PORTABLE FACILITIES A MINIMUM OF 50 FEET FROM DRAINAGE CONVEYANCES AND TRAFFIC AREAS.
- WHEN SUBJECTED TO HIGH WINDS OR RISK OF HIGH WINDS, TEMPORARY SANITARY FACILITIES SHOULD BE SECURED TO PREVENT OVERTURNING.
- TEMPORARY SANITARY FACILITIES MUST BE EQUIPPED WITH SECONDARY CONTAINMENT TRAYS TO PREVENT DISCHARGE OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OF THE RECEIVING WATER.
- ARRANGE FOR REGULAR WASTE COLLECTION, DO NOT ALLOW SANITARY FACILITY TO BECOME OVERFULL.

5 SANITARY WASTE MANAGEMENT

NO SCALE



NOTE:

- 1:1 MAX SLOPE PERPENDICULAR TO FENCE LINE
- INSTALL 10' UPHILL OF BIO BERM

1 EROSION CONTROL FENCE

NO SCALE

EROSION CONTROL NOTES:

- IN CASE OF EMERGENCY CALL DAN CURRIER AT (831) 676-6626
- A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT APPROVED LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES OR TO REPAIR DAMAGED EROSION CONTROL MEASURES
- AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM CHECK BERMS AND DE-SILTING FACILITIES. GRADED SLOPE PROTECTION MEASURES DAMAGED DURING THE RAINSTORM SHALL ALSO BE REPAIRED
- A SIX-FOOT HIGH PERIMETER FENCE OR 24-HOUR GUARD SHALL BE PLACED ON THE SITE WHENEVER THE DEPTH OF WATER IN A FACILITY EXCEEDS 18 INCHES

LEGEND:

	DETAIL/SECTION CALLOUT. REFERS TO DETAIL "Y" ON SHEET "CX"
	EROSION SEDIMENTATION CONTROL
	CONTINUOUS BIO BERM
	EROSION CONTROL FENCE
	CONCRETE TRUCK WASH
	DIRECTION OF FLOW
	EX. MAJOR CONTOUR
	EX. MINOR CONTOUR
	MAJOR CONTOUR
	MINOR CONTOUR
	TOP/TOE EX. SLOPE
	TOP/TOE SLOPE



20 0 20 40
SCALE: 1" = 20'

STORM WATER POLLUTION PREVENTION PLAN

SCALE: 1" = 20'

CENTRAL COAST CIVIL & STRUCTURAL ENGINEERING, INC.

PELOVO & BRADFORD
STORM WATER POLLUTION PREVENTION PLAN

JOB # 220701
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DRAWN BY: JCC
CHECKED BY: JCC
DATE: 05/19/2025
SHEET: C6

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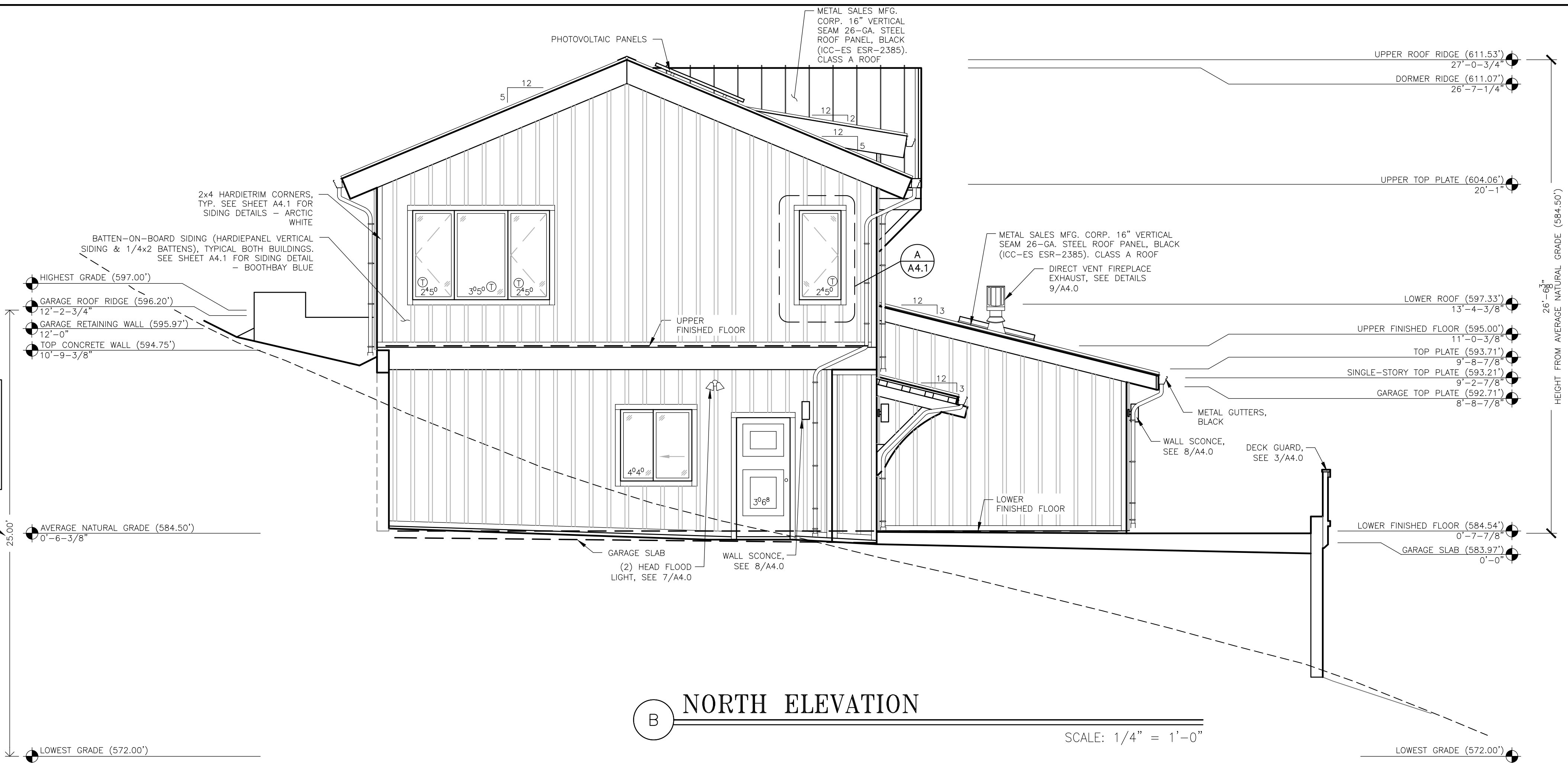
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Average Natural Grade Calculation
Highest Grade: Grade_{max} = 597 ft
Lowest Grade: Grade_{min} = 572 ft
Grade_{ave} = $\frac{\text{Grade}_{\text{max}} + \text{Grade}_{\text{min}}}{2}$ = 584.5 ft

HEIGHT FROM LOWEST GRADE
(572') TO HIGHEST GRADE (597')
BEING DISTURBED BY THE
DEVELOPMENT



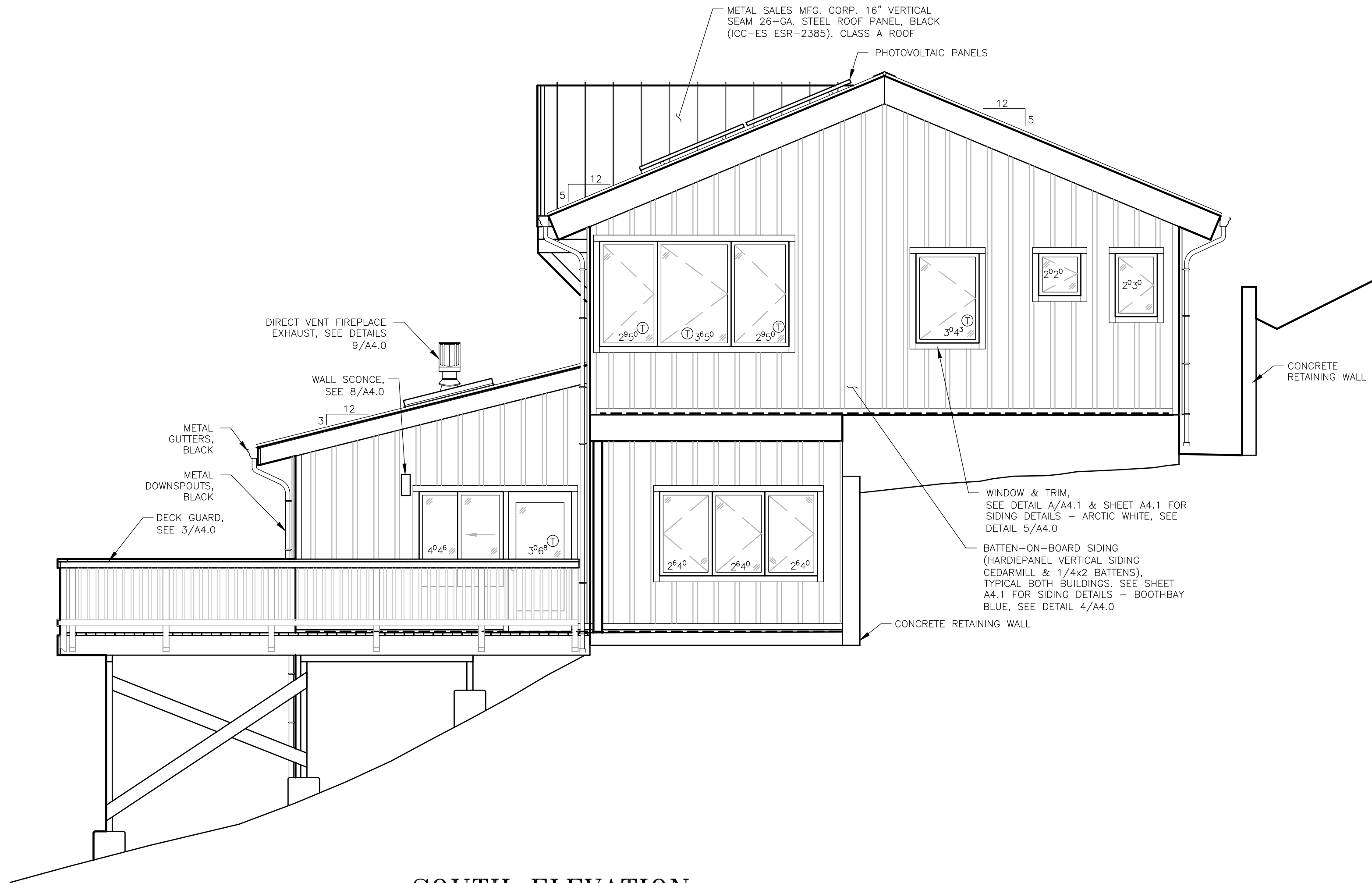
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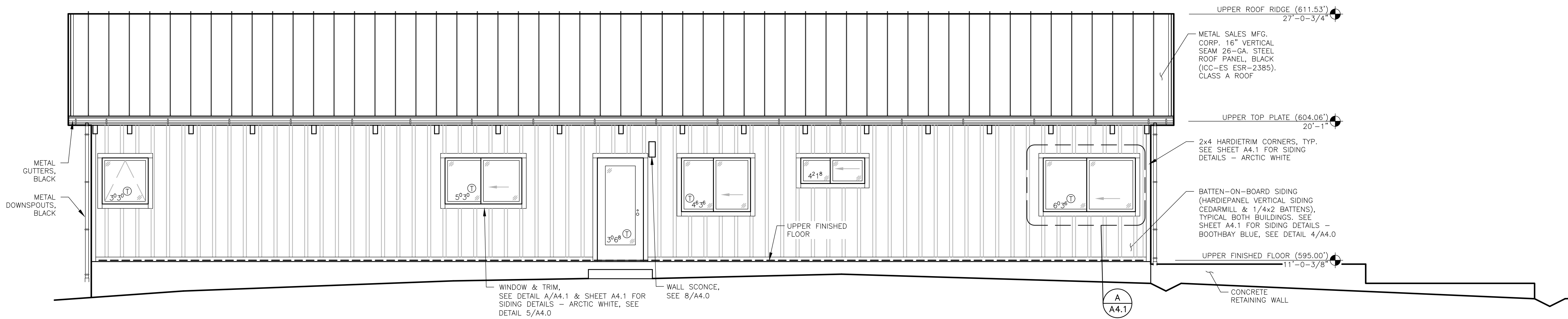
PELOVO & BRADFORD
**BUILDING
ELEVATIONS**
103A SAN BENANCIO CANYON RD
SALINAS, CA 93908 APN 416-251-018

JOB #	220701
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D SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



C EAST ELEVATION

SCALE: 1/4" = 1'-0"

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SHEET:	A1.1

FLOOR PLAN NOTES:

1. EACH BEDROOM SHALL HAVE A DOOR DIRECTLY TO THE EXTERIOR OR A WINDOW THAT WILL PROVIDE A CLEAR SPACE OPENING OF AT LEAST 5.7 FT² IN THE OPEN POSITION, AND A MINIMUM CLEAR OPENING WIDTH OF 20" AND CLEAR OPENING HEIGHT OF 24" AND A MAXIMUM SILL HEIGHT OF 44" ABOVE THE FINISHED FLOOR. SLEEPING ROOMS AT GRADE FLOOR LEVEL MAY HAVE A CLEAR SPACE OPENING OF 5 FT² (CRC R310.1, 310.2.1, 310.2.2)
2. PROVIDE ACCESS TO ALL UNDER-FLOOR SPACES. INTERIOR ACCESS OPENINGS SHALL BE 18"x24", MIN. EXTERIOR ACCESS OPENINGS SHALL BE 16"x24", MIN. (CRC 408.4)
3. LANDINGS SHALL NOT BE MORE THAN 7'-3/4" BELOW THE TOP OF THE THRESHOLD AT EXTERIOR DOORS
4. PROVIDE SMOKE ALARMS WHERE NOTED ON PLANS (SEE SHEET E1.0 & E1.1) (CRC 314.3, CRC 314.3.3 NFPA 72 SECTION 29.8.3.4)
- 4.1. SMOKE ALARMS SHALL BE LOCATED IN EACH SLEEPING ROOM AND 3' MINIMUM BATHROOM DOORS (CRC 314.3.1)
- 4.2. SMOKE ALARMS SHALL BE LOCATED OUTSIDE EACH SEPARATE SLEEPING ROOM IN THE IMMEDIATE VICINITY OF THE BEDROOM DOOR(S) AND 3' MINIMUM FROM BATHROOM DOORS (CRC 314.3.2)
- 4.3. SMOKE ALARMS SHALL BE LOCATED A MINIMUM OF 20" HORIZONTALLY FROM PERMANENTLY INSTALLED COOKING APPLIANCES (CRC 314.3.3)
5. SMOKE ALARMS INSTALLED IN ROOMS WITH VAULTED CEILINGS WITH EXPOSED BEAMS WHERE THE BEAM DEPTH IS LESS THAN 10% OF THE OVERALL CEILING HEIGHT SHALL COMPLY WITH THE REQUIREMENTS OF NFPA 72 SECTION 17.7.3.2.4.2
- 5.1. SMOKE DETECTORS SHALL BE LOCATED NOT MORE THAN 15' FROM WALLS
- 5.2. SMOKE DETECTORS SHALL BE LOCATED NOT MORE THAN 30' ON-CENTER
6. SMOKE ALARMS INSTALLED WITH ROOMS WITH LEVEL CEILINGS SHALL COMPLY WITH THE REQUIREMENTS OF NFPA 72 SECTION 17.7.3.2.3.1
- 6.1. SMOKE DETECTORS SHALL BE LOCATED NOT MORE THAN 15' FROM WALLS
- 6.2. SMOKE DETECTORS SHALL BE LOCATED NOT MORE THAN 30' ON-CENTER
7. PROVIDE CARBON MONOXIDE ALARMS WHERE NOTED ON PLANS (CRC 315.3)
- 7.1. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING ROOM IN THE IMMEDIATE VICINITY OF THE BEDROOM DOORS (CRC 315.3.1)
8. PROVIDE CARBON MONOXIDE ALARMS WHERE NOTED ON PLANS (CRC 315.2.1, CRC 315.2.2, CRC 315.3)
- 8.1. IN DWELLINGS CONTAINING FUEL FIRED APPLIANCES OR FIREPLACES
- 8.2. OUTSIDE EACH SEPARATE SLEEPING ROOM DOOR(S) (CRC 315.3.1)
9. COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF CARBON MONOXIDE ALARMS (CRC 315.4)
10. CARBON MONOXIDE ALARMS INSTALLED IN ACCORDANCE WITH CRC SECTION R315.2.2 (SEE NOTE 7. ABOVE) SHALL BE PERMITTED TO BE BATTERY POWERED
11. EXHAUST FANS (FANS REQUIRED TO BE ENERGY STAR RATED) IN BATHROOMS (WITH BATHING) SHALL BE SWITCHED SEPARATELY FROM LIGHT WHERE PERMITTED BY LAW (SEE SHEET E1). PROVIDE MIN. FIVE COMPLETE AIR CHANGES PER HOUR (50 CFM, MIN.). ALL VENTS LEAD TO OUTSIDE AIR. FANS SHALL PROVIDE 20/50 CFM AND BE CONTROLLED BY HUMIDISTAT (CRC 303.3.1)
12. MATERIAL OTHER THAN STRUCTURAL ELEMENTS USED IN SHOWERS SHALL BE A TYPE NOT ADVERSELY AFFECTED BY MOISTURE. SHOWERS SHALL BE FINISHED TO A HEIGHT OF 72" ABOVE THE DRAIN INLET (CRC R307.2)
13. SHOWERS AND SHOWER-TUB COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES FOR THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE (CPC 408.3)
14. CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS OR OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE COMPARTMENT (CRC 408.9)
15. SHOWER COMPARTMENT SHALL HAVE NOT LESS THAN 1,024 IN² (32"x32") FLOOR AREA AND BE ABLE TO ENCOMPASS A 30" DIAMETER CIRCLE (CPC 408.6)
16. SHOWER COMPARTMENT SHALL HAVE A CLEAR WIDTH OPENING OF 22" (CPC 408.5)
17. PROVIDE NON-SLIP JOINT TRAP AT ALL BATHTUBS (CPC 402.10)
18. PROVIDE 30" CLEAR WIDTH (FINISHED SURFACES) AND 24" CLEARANCE IN FRONT OF WATER CLOSET (CPC 402.5)
19. ALL TOILETS SHALL BE ULTRA-LOW FLUSH WITH A MAXIMUM OF 1.28 GALLONS PER FLUSH (GPF) (4.301.1.1)
20. ALL SHOWER HEADS SHALL HAVE A MAXIMUM OF 1.8 GALLONS PER MINUTE (GPM) AT 80 POUNDS PER SQUARE INCH (PSI) FLOW CAPACITY. SHOWERHEADS SHALL BE CERTIFIED TO US EPA WATERSENSE PERFORMANCE CRITERIA (4.303.1.3)
21. ALL LAVATORY FAUCETS SHALL HAVE A MAXIMUM OF 1.2 GPM AT 60 PSI FLOW CAPACITY. MINIMUM FLOW CAPACITY SHALL NOT BE LESS THAN 0.8 GPM AT 20 PSI (4.301.1.4.1)
22. ALL KITCHEN FAUCETS SHALL HAVE A MAXIMUM OF 1.8 GPM AT 60 PSI (4.301.4.4)

STAIR & DECK NOTES:

1. FIRST FLOOR TO SECOND FLOOR - (1) 7'-5/8" RISERS + (16) 7'-3/8" RISERS, (17) STAIRS TOTAL, 10'-5-5/8" TOTAL HEIGHT BETWEEN LOWER AND UPPER FLOORS. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS FOR FLIGHTS WITH (4) OR MORE RISERS (CRC R311.7.8) 11" TREADS, TYP., U.N.O.
2. HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF FLIGHT EXCEPT AT A NEWEL POST AT THE TURN (CRC R311.7.8.2)
3. HANDRAIL SHALL BE 34"-38" ABOVE THE NOSING OF TREADS (CRC R311.7.8.1)
4. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAILS (CRC R311.7.8.2)
5. HANDRAILS SHALL NOT PROJECT MORE THAN 4-1/2" ON EITHER SIDE OF STAIRWAY (CRC R311.7.1)
6. THE HANDGRIP PORTION OF THE HANDRAIL SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION. IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" (NOT GREATER THAN 6-1/4") WITH A MAXIMUM CROSS-SECTION DIMENSION OF 2-1/4". EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01". (CRC R311.7.8.3 TYPE I)
7. OPENINGS IN THE STAIR RISER SHALL BE LESS THAN 4"
8. GUARDS SHALL BE CONTINUOUS ALONG DECK EDGES AND STAIRWAYS AT LOCATIONS WITH GREATER THAN 30" HIGH VERTICAL SEPARATION TO ADJACENT GRADE

WILDLAND URBAN INTERFACE FIRE

AREA REQUIREMENTS:

1. NEW BUILDINGS FOR WHICH A BUILDING PERMIT APPLICATION IS SUBMITTED ON OR AFTER JULY 1, 2008 (LOCATED IN ANY WILDLAND INTERFACE FIRE AREA) SHALL COMPLY WITH ALL SECTIONS OF SECTION R327, 2022 CRC (R327.1.3.1)
2. PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51182. ACCEPTABLE METHODS OF INSPECTION AND DOCUMENTATION SHALL BE DETERMINED BY THE ENFORCING AGENCY (R327.1.5)
3. ACCEPTED AS MEETING THE DEFINITION OF IGNITION-RESISTANT MATERIAL:
 - A. NONCOMBUSTIBLE MATERIAL - MATERIAL THAT COMPLIES WITH THE DEFINITION OF NONCOMBUSTIBLE MATERIALS IN SECTION 202
 - B. FIRE-RETARDANT TREATED WOOD - TREATED WOOD IDENTIFIED FOR EXTERIOR USE THAT COMPLIES WITH THE REQUIREMENTS OF SECTION 2303.2 OF THE CALIFORNIA BUILDING CODE (R327.4.3)
4. VENTILATION OPENINGS SHALL RESIST INTRUSION OF BURNING EMBERS AND FLAME. VENTILATION OPENINGS SHALL BE FULLY COVERED WITH METAL/WIRE MESH, MANUFACTURED VENTS, OR OTHER MATERIALS/DEVICES THAT ARE NONCOMBUSTIBLE, CORROSION-RESISTANT, AND HAVE OPENINGS MEASURING BETWEEN 1/16" AND 1/8" (R327.6.2)
5. THE EXTERIOR WALL COVERING AND EAVE COVERINGS SHALL COMPLY WITH ONE OF THE FOLLOWING REQUIREMENTS:
 - A. NONCOMBUSTIBLE MATERIAL
 - B. IGNITION-RESISTANT MATERIAL
 - C. HEAVY TIMBER EXTERIOR WALL ASSEMBLY NON-COMPLIANT COVERINGS SHALL HAVE (1) LAYER OF 5/8" TYPE-X GYPSUM SHEATHING APPLIED BEHIND THE EXTERIOR COVERING OR CLADDING ON THE EXTERIOR SIDE OF THE FRAMING (R327.7.3-5)

DOOR SCHEDULE

MARK	QUANTITY	SIZE	MATERIAL	TYPE	REMARKS
(A)	1	8 ⁰ 7 ⁰	WOOD CLAD	EXTERIOR - SLIDING	TEMPERED U _{MIN} =0.32
(B)	3	3 ⁶ 8	WOOD	EXTERIOR - SINGLE	(1) LOCATION TEMPERED U _{MIN} =0.32
(C)	5	2 ⁶ 8	WOOD	INTERIOR - SINGLE	-
(E)	1	3 ⁰ 8	WOOD	GARAGE MAN - SINGLE	SEE DOOR NOTE 4.
(F)	1	18 ⁰ 7 ⁰	STEEL	OVERHEAD - GARAGE	INSULATED
(G)	1	2 ⁶ 8	WOOD	EXTERIOR - SINGLE	TEMPERED
(H)	1	15 ⁹ 9 ⁰	WOOD	INTERIOR - OPENING	-
(I)	1	11 ⁰ 6 ⁰	GLASS	SHOWER	TEMPERED
(J)	1	4 ⁸ 8	WOOD	INTERIOR - DBL. BI-FOLD	-

DOOR SCHEDULE NOTES:

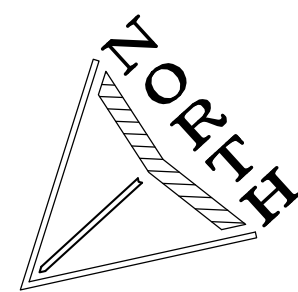
1. ALL DOORS ARE 6'-8" TALL, U.N.O.
2. ALL DOORS ARE SOLID WOOD CORE, PAINT GRADE
3. 1-3/4" EXTERIOR DOORS, 1-5/8" INTERIOR DOORS
4. GARAGE MAN-DOOR SHALL BE PROTECTED BY A 1-3/8" TIGHT-FITTING, SELF-CLOSING & SELF-LATCHING, SOLID WOOD CORE DOOR OR SOLID HONEYCOMB STEEL DOOR, OR A TIGHT FITTING, SELF-CLOSING & SELF-LATCHING DOOR HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 20 MIN. (CFC 701, CRC R302.5.1)

WINDOW SCHEDULE

MARK	QUANTITY	SIZE		SILL HEIGHT AFF	MATERIAL	U _{MIN}	SHGC	TYPE	REMARKS
		WIDTH	HEIGHT						
[1]	3	2'-6"	4'-0"	32"	WOOD CLAD	0.32	0.32	CASEMENT	-
[2]	1	4'-0"	4'-0"	38"	WOOD CLAD	0.32	0.32	SLIDER	TEMPERED
[3]	2	7'-6"	6'-0"	8"	WOOD CLAD	0.32	0.32	FIXED	TEMPERED
[4]	1	2'-4"	3'-6"	38"	WOOD CLAD	0.32	0.32	CASEMENT	TEMPERED
[5]	1	4'-0"	4'-6"	26"	WOOD CLAD	0.32	0.32	SLIDER	TEMPERED
[6]	2	1'-0"	6'-0"	8"	WOOD CLAD	0.32	0.32	FIXED	TEMPERED

WINDOW SCHEDULE NOTES:

1. ALL WINDOWS ARE DUAL PANE W/ EXTERIOR PANE TEMPERED (EXCEPT FOR HAZARDOUS LOCATIONS WHERE 2-PANES OF TEMPERED GLASS ARE REQUIRED)
2. ALL WINDOWS ARE WOOD CLAD W/ VINYL OR ALUMINUM



LEGEND:

- (Y) DETAIL/SECTION CALLOUT, REFERS TO DETAIL "Y" ON SHEET "Sx"
- (Sx) GRID LINE
- (T) TEMPERED GLASS

WALL LEGEND:

- 2x6 WALL @ 16" O.C.
- 2x4 WALL @ 16" O.C.

LOWER FLOOR PLAN

LOWER 1,545 FT²
DECK 369 FT²
GARAGE 606 FT²

SCALE: 1/4" = 1'-0"

CENTRAL COAST CIVIL & STRUCTURAL ENGINEERING, INC.

PELOVO & BRADFORD
LOWER FLOOR
PLAN

JOB # 220701
DESIGN BY: JCC
DRAWN BY: JCC
CHECKED BY: JCC
DATE: 05/19/2025
SHEET: A2.0

FLOOR PLAN NOTES:

- EACH BEDROOM SHALL HAVE A DOOR DIRECTLY TO THE EXTERIOR OR A WINDOW THAT WILL PROVIDE A CLEAR SPACE OPENING OF AT LEAST 5.7 FT² IN THE OPEN POSITION, AND A MINIMUM CLEAR WIDTH OF 20" AND CLEAR OPENING HEIGHT OF 24" AND A MAXIMUM SILL HEIGHT OF 44" ABOVE THE FINISHED FLOOR. SLEEPING ROOMS AT GRADE FLOOR LEVEL MAY HAVE A CLEAR SPACE OPENING OF 5 FT² (CRC R310.1, 310.2.1, 310.2.2)
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- PROVIDE SMOKE ALARMS WHERE NOTED ON PLANS (SEE SHEET E1.0 & E1.1) (CRC 314.3, CRC 314.3.3 NFPA 72 SECTION 29.8.3.4)
- SMOKE ALARMS SHALL BE LOCATED IN EACH SLEEPING ROOM AND 3' MINIMUM BATHROOM DOORS (CRC 314.3.1)
- SMOKE ALARMS SHALL BE LOCATED OUTSIDE EACH SEPARATE SLEEPING ROOM IN THE IMMEDIATE VICINITY OF THE BEDROOM DOOR(S) AND 3' MINIMUM FROM BATHROOM DOORS (CRC 314.3.2)
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- CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING ROOM IN THE IMMEDIATE VICINITY OF THE BEDROOM DOORS (CRC 315.3.1)
- PROVIDE CARBON MONOXIDE ALARMS WHERE NOTED ON PLANS (CRC 315.2.1, CRC 315.2.2, CRC 315.3)
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- OUTSIDE EACH SEPARATE SLEEPING ROOM DOOR(S) (CRC 315.3.1)
- COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF CARBON MONOXIDE ALARMS (CRC 315.4)
- CARBON MONOXIDE ALARMS INSTALLED IN ACCORDANCE WITH CRC SECTION R315.2.2 (SEE NOTE 7. ABOVE) SHALL BE PERMITTED TO BE BATTERY POWERED
- EXHAUST FANS (FANS REQUIRED TO BE ENERGY STAR RATED) IN BATHROOMS (WITH BATHING) SHALL BE SWITCHED SEPARATELY FROM LIGHT WHERE PERMITTED BY LAW (SEE SHEET E1). PROVIDE MIN. FIVE COMPLETE AIR CHANGES PER HOUR (50 CFM, MIN.). ALL VENTS LEAD TO OUTSIDE AIR. FANS SHALL PROVIDE 20/50 CFM AND BE CONTROLLED BY HUMIDISTAT (CRC 303.3.1)
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- SHOWER COMPARTMENT SHALL HAVE NOT LESS THAN 1,024 IN² (32"x32") FLOOR AREA AND BE ABLE TO ENCOMPASS A 30" DIAMETER CIRCLE (CPC 408.6)
- SHOWER COMPARTMENT SHALL HAVE A CLEAR WIDTH OPENING OF 22" (CPC 408.5)
- PROVIDE NON-SLIP JOINT TRAP AT ALL BATHTUBS (CPC 402.10)
- PROVIDE 30" CLEAR WIDTH (FINISHED SURFACES) AND 24" CLEARANCE IN FRONT OF WATER CLOSET (CPC 402.5)
- ALL TOILETS SHALL BE ULTRA-LOW FLUSH WITH A MAXIMUM OF 1.28 GALLONS PER FLUSH (GPF) (4.301.1.1)
- ALL SHOWER HEADS SHALL HAVE A MAXIMUM OF 1.8 GALLONS PER MINUTE (GPM) AT 80 POUNDS PER SQUARE INCH (PSI) FLOW CAPACITY. SHOWERHEADS SHALL BE CERTIFIED TO US EPA WATERSENSE PERFORMANCE CRITERIA (4.303.1.3)
- ALL LAVATORY FAUCETS SHALL HAVE A MAXIMUM OF 1.2 GPM AT 60 PSI FLOW CAPACITY. MINIMUM FLOW CAPACITY SHALL NOT BE LESS THAN 0.8 GPM AT 20 PSI (4.301.1.4.1)
- ALL KITCHEN FAUCETS SHALL HAVE A MAXIMUM OF 1.8 GPM AT 60 PSI (4.301.4.4)

STAIR & DECK NOTES:

- FIRST FLOOR TO SECOND FLOOR - (1) 7'-5/8" RISERS + (16) 7'-3/8" RISERS, (17) STAIRS TOTAL, 10'-5-5/8" TOTAL HEIGHT BETWEEN LOWER AND UPPER FLOORS. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS FOR FLIGHTS WITH (4) OR MORE RISERS (CRC R311.7.8) 11" TREADS, TYP., U.N.O.
- HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF FLIGHT EXCEPT AT A NEWEL POST AT THE TURN (CRC R311.7.8.2)
- HANDRAIL SHALL BE 34"-38" ABOVE THE NOSING OF TREADS (CRC R311.7.8.1)
- HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAILS (CRC R311.7.8.2)
- HANDRAILS SHALL NOT PROJECT MORE THAN 4-1/2" ON EITHER SIDE OF STAIRWAY (CRC R311.7.1)
- THE HANDGRIP PORTION OF THE HANDRAIL SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION. IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" (NOT GREATER THAN 6-1/4") WITH A MAXIMUM CROSS-SECTION DIMENSION OF 2-1/4". EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01". (CRC R311.7.8.3 TYPE 1)
- OPENINGS IN THE STAIR RISER SHALL BE LESS THAN 4"
- GUARDS SHALL BE CONTINUOUS ALONG DECK EDGES AND STAIRWAYS AT LOCATIONS WITH GREATER THAN 30" HIGH VERTICAL SEPARATION TO ADJACENT GRADE

WILDLAND URBAN INTERFACE FIRE

AREA REQUIREMENTS:

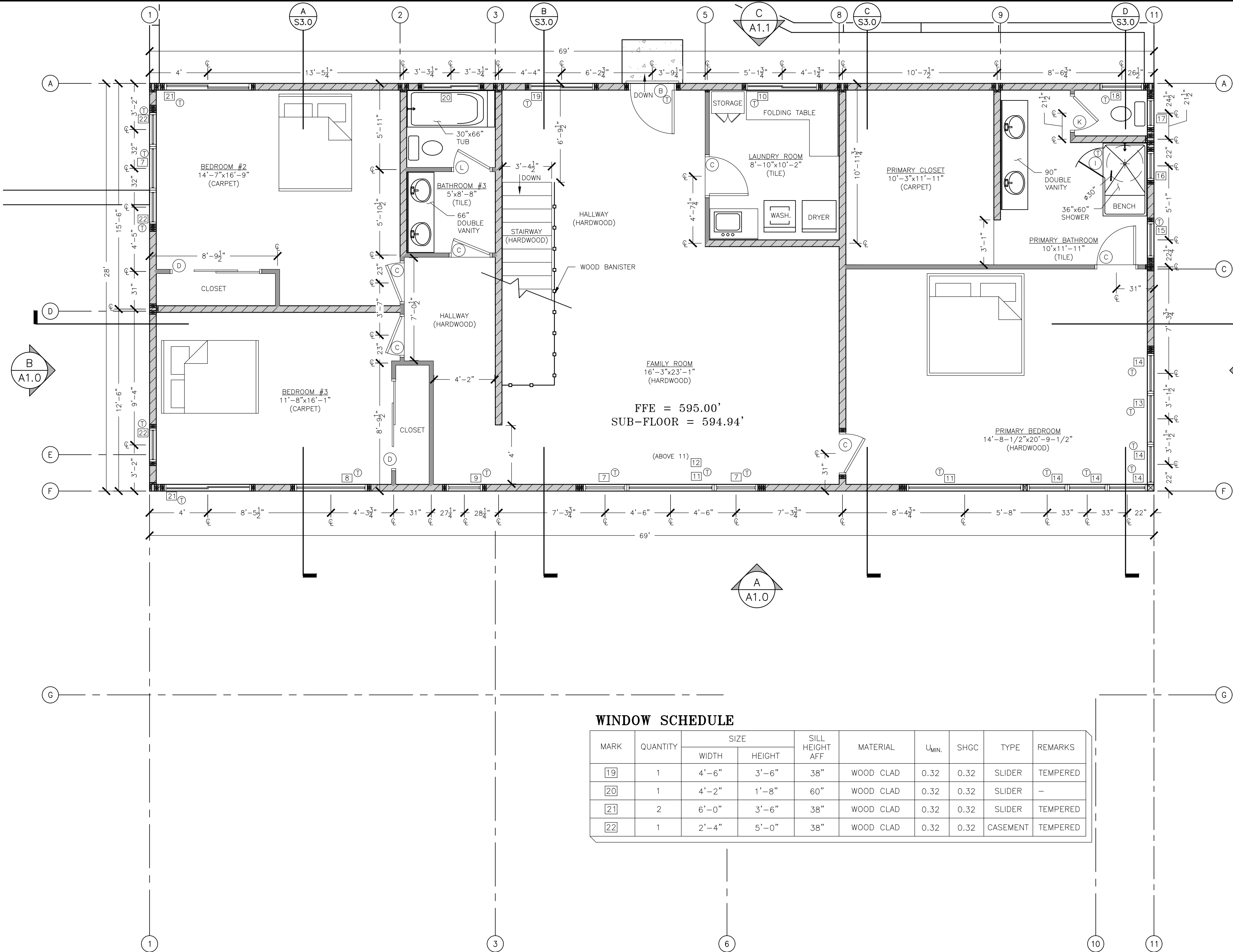
- NEW BUILDINGS FOR WHICH A BUILDING PERMIT APPLICATION IS SUBMITTED ON OR AFTER JULY 1, 2008 (LOCATED IN ANY WILDLAND INTERFACE FIRE AREA) SHALL COMPLY WITH ALL SECTIONS OF SECTION R327, 2022 CRC (R327.1.3.1)
- PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51182. ACCEPTABLE METHODS OF INSPECTION AND DOCUMENTATION SHALL BE DETERMINED BY THE ENFORCING AGENCY (R327.1.5)
- ACCEPTED AS MEETING THE DEFINITION OF IGNITION-RESISTANT MATERIAL:
 - NONCOMBUSTIBLE MATERIAL - MATERIAL THAT COMPLIES WITH THE DEFINITION OF NONCOMBUSTIBLE MATERIALS IN SECTION 202
 - FIRE-RETARDANT TREATED WOOD - TREATED WOOD IDENTIFIED FOR EXTERIOR USE THAT COMPLIES WITH THE REQUIREMENTS OF SECTION 2303.2 OF THE CALIFORNIA BUILDING CODE (R327.4.3)
- VENTILATION OPENINGS SHALL RESIST INTRUSION OF BURNING EMBERS AND FLAME. VENTILATION OPENINGS SHALL BE FULLY COVERED WITH METAL/WIRE MESH, MANUFACTURED VENTS, OR OTHER MATERIALS/DEVICES THAT ARE NONCOMBUSTIBLE, CORROSION-RESISTANT, AND HAVE OPENINGS MEASURING BETWEEN 1/16" AND 1/8" (R327.6.2)
- THE EXTERIOR WALL COVERING AND EAVE COVERINGS SHALL COMPLY WITH ONE OF THE FOLLOWING REQUIREMENTS:
 - NONCOMBUSTIBLE MATERIAL
 - IGNITION-RESISTANT MATERIAL
 - HEAVY TIMBER EXTERIOR WALL ASSEMBLY NON-COMPLIANT COVERINGS SHALL HAVE (1) LAYER OF 5/8" TYPE-X GYPSUM SHEATHING APPLIED BEHIND THE EXTERIOR COVERING OR CLADDING ON THE EXTERIOR SIDE OF THE FRAMING (R327.7.3-5)

DOOR SCHEDULE

MARK	QUANTITY	SIZE	MATERIAL	TYPE	REMARKS
(B)	1	3'0"	WOOD	EXTERIOR - SINGLE	TEMPERED
(C)	6	2'6"	WOOD	INTERIOR - SINGLE	-
(D)	2	6'6"	WOOD	INTERIOR - SLIDING	-
(I)	1	1'10"	GLASS	SHOWER	TEMPERED
(K)	1	2'6"	WOOD	INTERIOR - SINGLE	-
(L)	1	2'6"	WOOD	INTERIOR - SINGLE	-

DOOR SCHEDULE NOTES:

- ALL DOORS ARE 6'-8" TALL, U.N.O.
- ALL DOORS ARE SOLID WOOD CORE, PAINT GRADE
- 1-3/4" EXTERIOR DOORS, 1-5/8" INTERIOR DOORS



WINDOW SCHEDULE

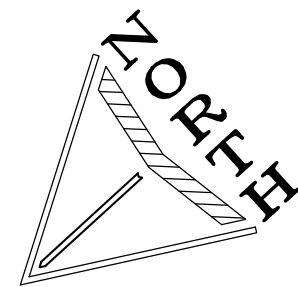
MARK	QUANTITY	SIZE		SILL HEIGHT AFF	MATERIAL	U _{MIN}	SHGC	TYPE	REMARKS
		WIDTH	HEIGHT						
(19)	1	4'-6"	3'-6"	38"	WOOD CLAD	0.32	0.32	SLIDER	TEMPERED
(20)	1	4'-2"	1'-8"	60"	WOOD CLAD	0.32	0.32	SLIDER	-
(21)	2	6'-0"	3'-6"	38"	WOOD CLAD	0.32	0.32	SLIDER	TEMPERED
(22)	1	2'-4"	5'-0"	38"	WOOD CLAD	0.32	0.32	CASEMENT	TEMPERED

WINDOW SCHEDULE

MARK	QUANTITY	SIZE		SILL HEIGHT AFF	MATERIAL	U _{MIN}	SHGC	TYPE	REMARKS
		WIDTH	HEIGHT						
(7)	3	3'-0"	5'-0"	38"	WOOD CLAD	0.32	0.32	FIXED	TEMPERED
(8)	1	5'-0"	7'-0"	25"	WOOD CLAD	0.32	0.32	FIXED	TEMPERED
(9)	1	2'-6"	6'-0"	25"	WOOD CLAD	0.32	0.32	FIXED	TEMPERED
(10)	1	5'-0"	3'-0"	44"	WOOD CLAD	0.32	0.32	FIXED	TEMPERED
(11)	2	6'-0"	5'-0"	38"	WOOD CLAD	0.32	0.32	FIXED	TEMPERED
(12)	1	6'-0"	2'-3"	102"	WOOD CLAD	0.32	0.32	FIXED	TEMPERED
(13)	1	3'-6"	5'-0"	38"	WOOD CLAD	0.32	0.32	CASEMENT	TEMPERED
(14)	5	2'-9"	5'-0"	38"	WOOD CLAD	0.32	0.32	CASEMENT	TEMPERED
(15)	1	2'-6"	4'-3"	40"	WOOD CLAD	0.32	0.32	CASEMENT	TEMPERED
(16)	1	2'-0"	2'-0"	67"	WOOD CLAD	0.32	0.32	CASEMENT	-
(17)	1	2'-0"	3'-0"	55"	WOOD CLAD	0.32	0.32	CASEMENT	-
(18)	1	3'-0"	3'-0"	44"	WOOD CLAD	0.32	0.32	AWNING	TEMPERED

WINDOW SCHEDULE NOTES:

- ALL WINDOWS ARE DUAL PANE W/ EXTERIOR PANE TEMPERED (EXCEPT FOR HAZARDOUS LOCATIONS WHERE 2-PANES OF TEMPERED GLASS ARE REQUIRED)
- ALL WINDOWS ARE WOOD CLAD W/ VINYL OR ALUMINUM



LEGEND:

- (Y) DETAIL/SECTION CALLOUT, REFERS TO DETAIL "Y" ON SHEET "Sx"
- (Sx) REFERS TO DETAIL "Y" ON SHEET "Sx"
- (X) GRID LINE
- (T) TEMPERED GLASS

WALL LEGEND:

- 2x6 WALL @ 16" O.C.
- 2x4 WALL @ 16" O.C.

UPPER FLOOR PLAN

UPPER 1,932 FT²

SCALE: 1/4" = 1'-0"

Rev. No. 1 2 3 4 5 6

Date

103A SAN BENANCIO CANYON RD
SALINAS, CA 93908 APN 416-251-018

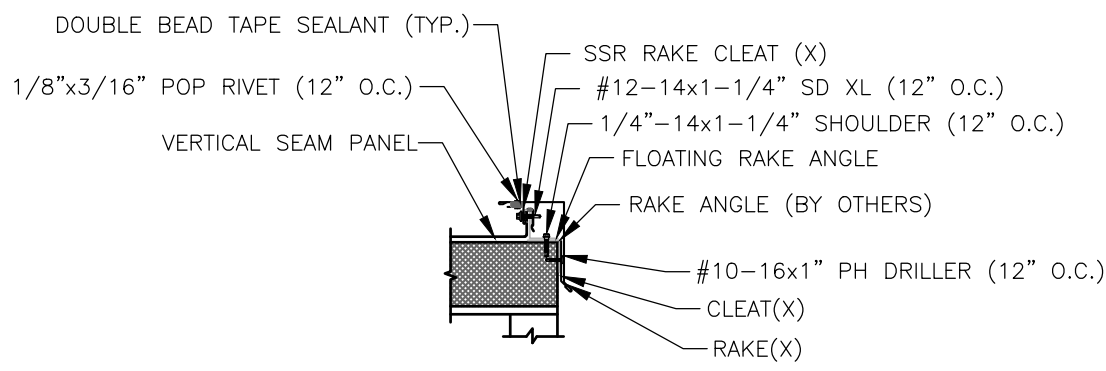
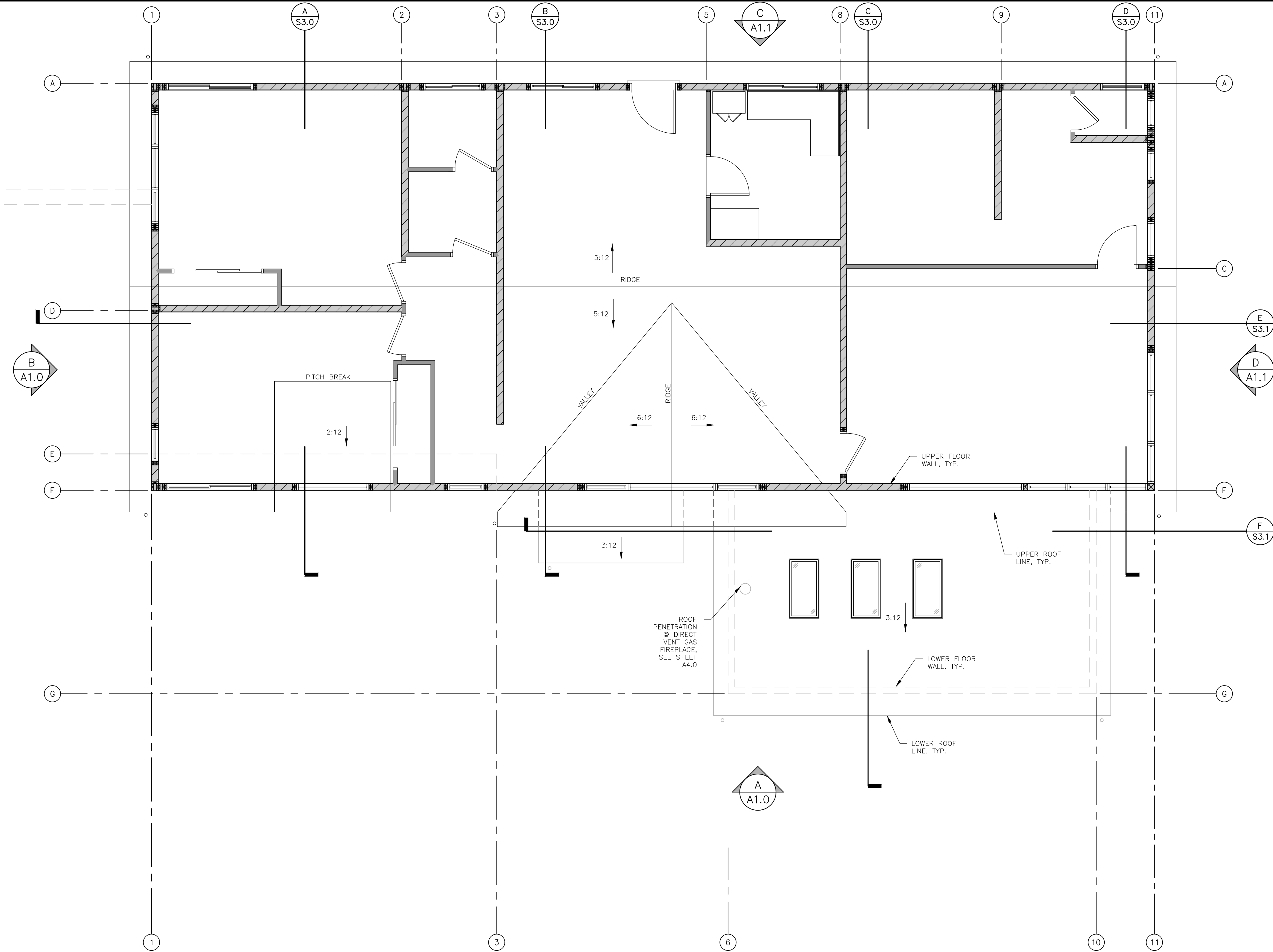
PELOVA & BRADFORD
UPPER FLOOR
PLAN

JOB # 220701
DESIGN BY: JCC
DRAWN BY: JCC
CHECKED BY: JCC
DATE: 05/19/2025
SHEET: A2.1

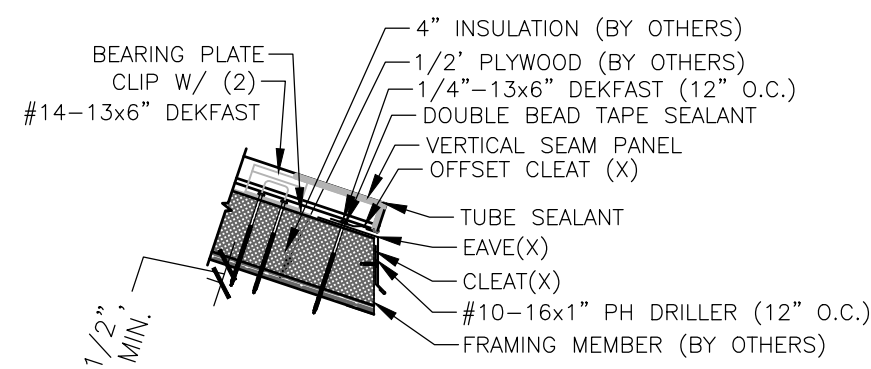
536 Abrego St. Monterey, CA 93940
Phone: 831.760.9944
e-mail: jacob@ccsceng.com
www.ccsceng.com

CENTRAL COAST CIVIL & STRUCTURAL ENGINEERING, INC.

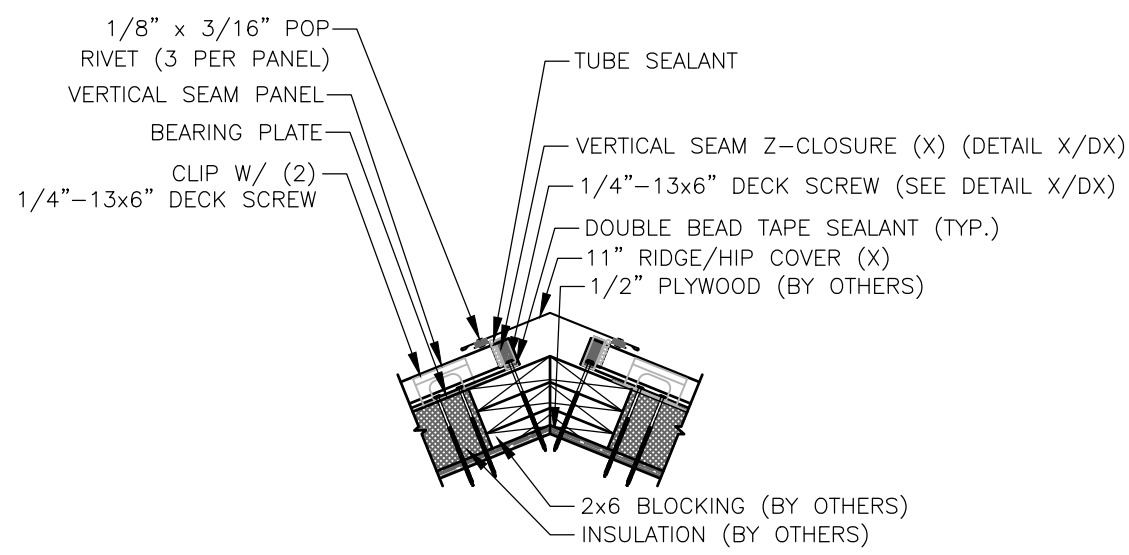
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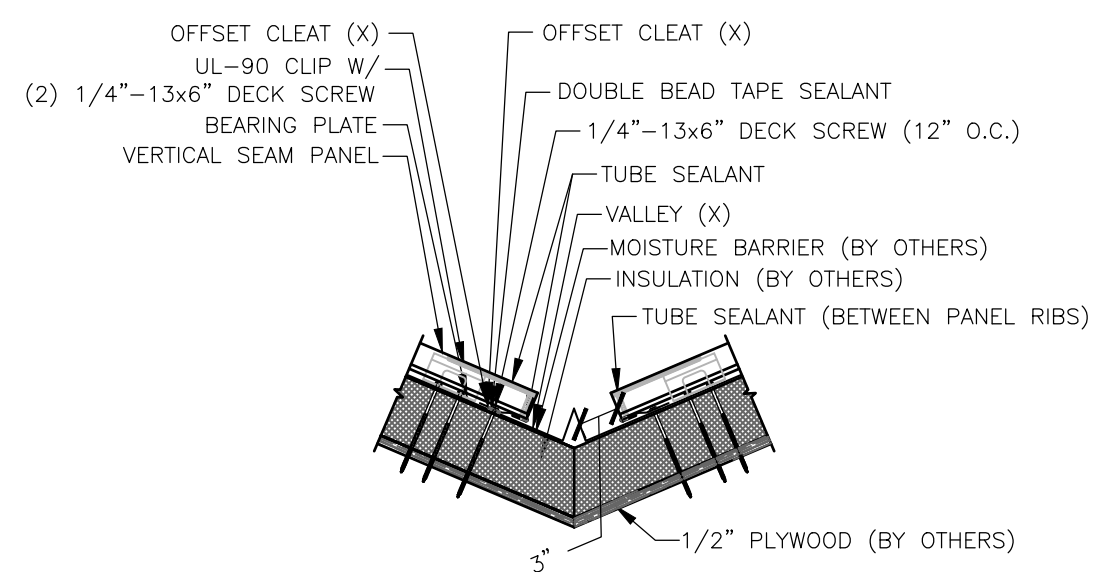
1 METAL ROOF RAKE
SCALE: 1" = 1' - 0"



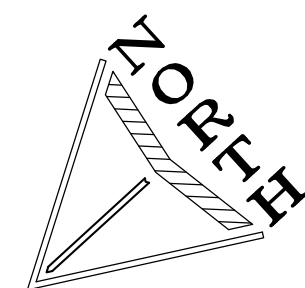
2 METAL ROOF EAVE
SCALE: 1" = 1' - 0"



3 METAL ROOF RIDGE
SCALE: 1" = 1' - 0"



4 METAL ROOF VALLEY
SCALE: 1" = 1' - 0"



LEGEND:
Y Sx DETAIL/SECTION CALLOUT, REFERS TO DETAIL "Y" ON SHEET "Sx"
X GRID LINE

Date	Rev. No.	Rev. Description
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PELOVA & BRADFORD
ROOF PLAN
103A SAN BENANCIO CANYON RD
SALINAS, CA 93908 APN 416-231-018

JOB # 220701
DESIGN BY: JCC
DRAWN BY: JCC
CHECKED BY: JCC
DATE: 05/19/2025
SHEET: A3

ROOF PLAN

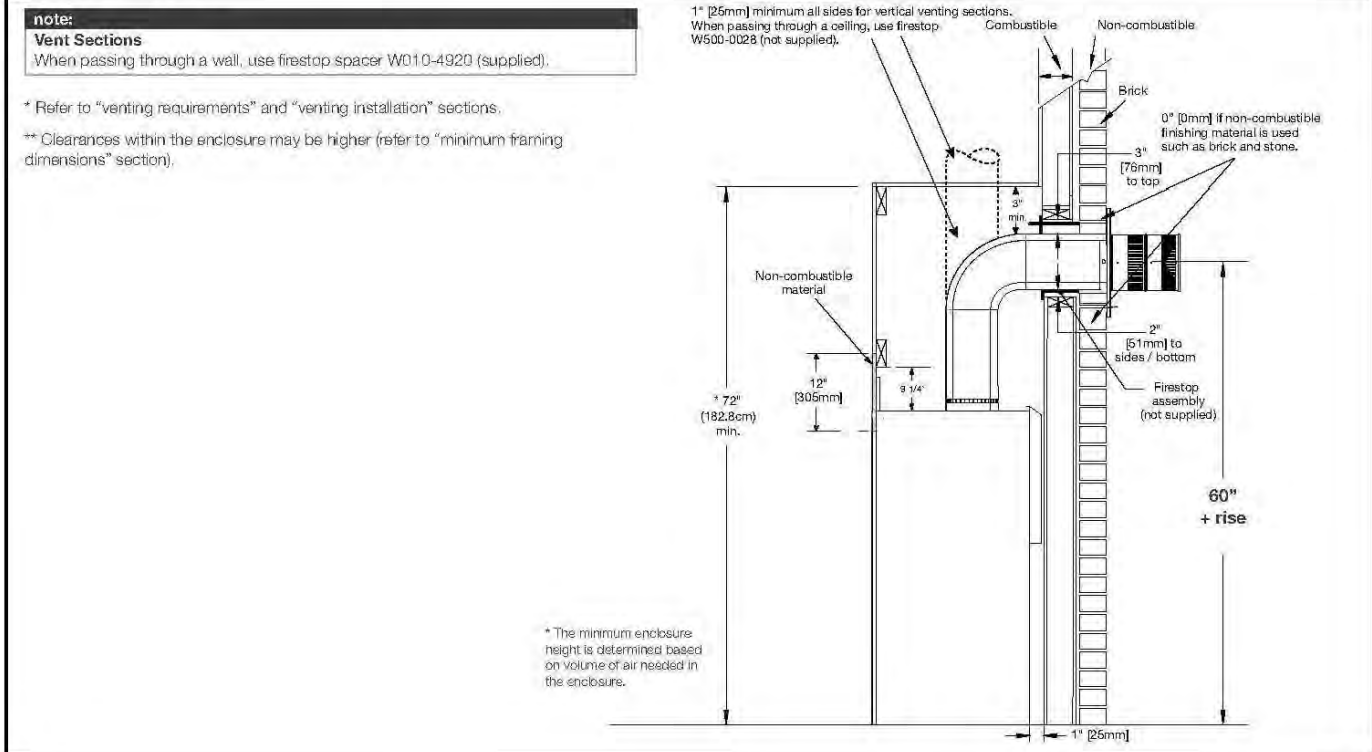
SCALE: 1/4" = 1'-0"

ELEVATION™ 36 DIRECT VENT GAS FIREPLACE

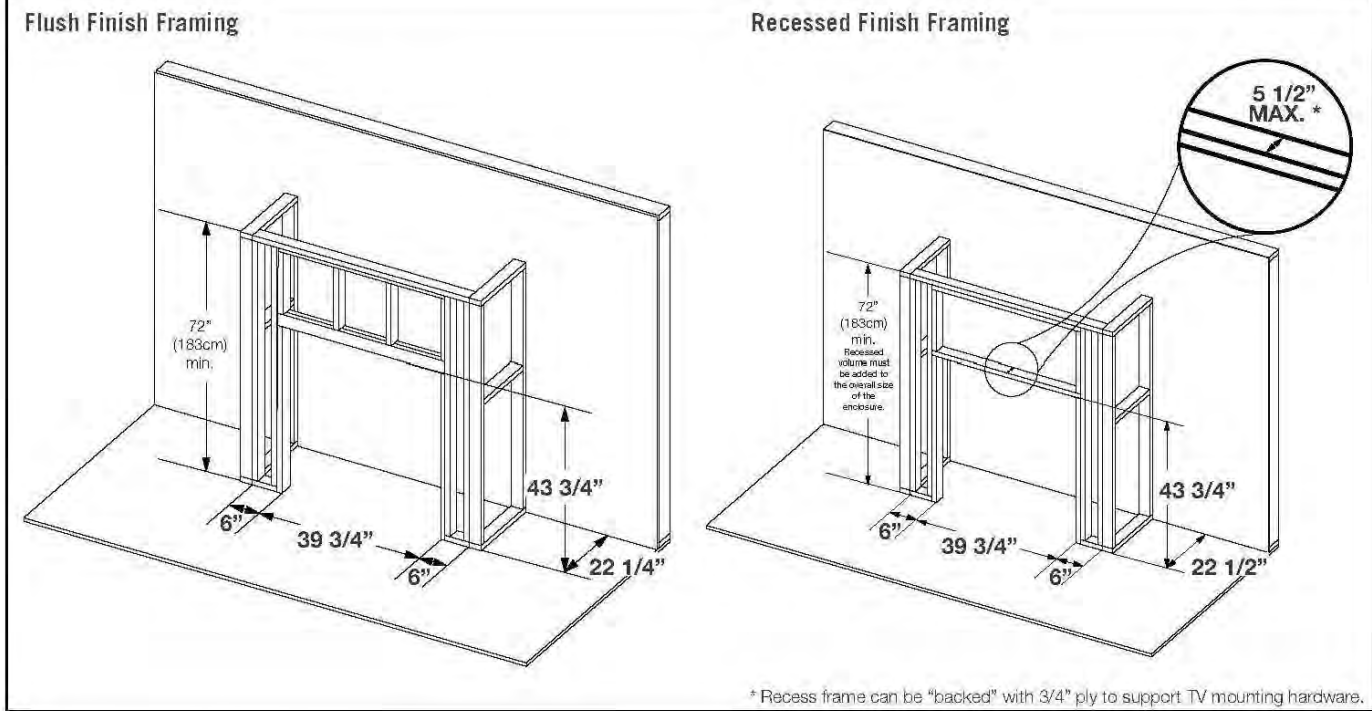


Product information provided is not complete and is subject to change without notice. Please consult the installation manual for the most up to date installation information.

Wall Penetration



Framing



Wolf Steel Ltd., 24 Napoleon Rd., Barrie, ON L4M 0G8 Canada • 1(866)820-8886 • www.napoleon.com

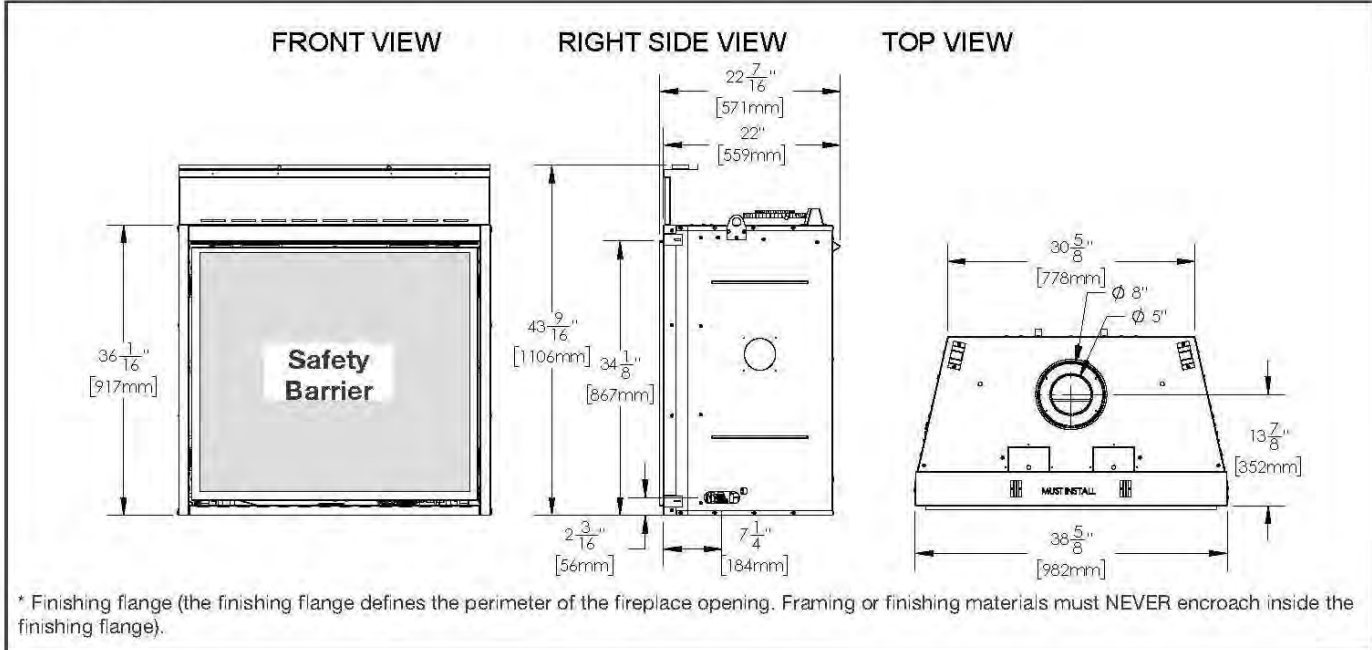
ELEVATION™ 36 DIRECT VENT GAS FIREPLACE



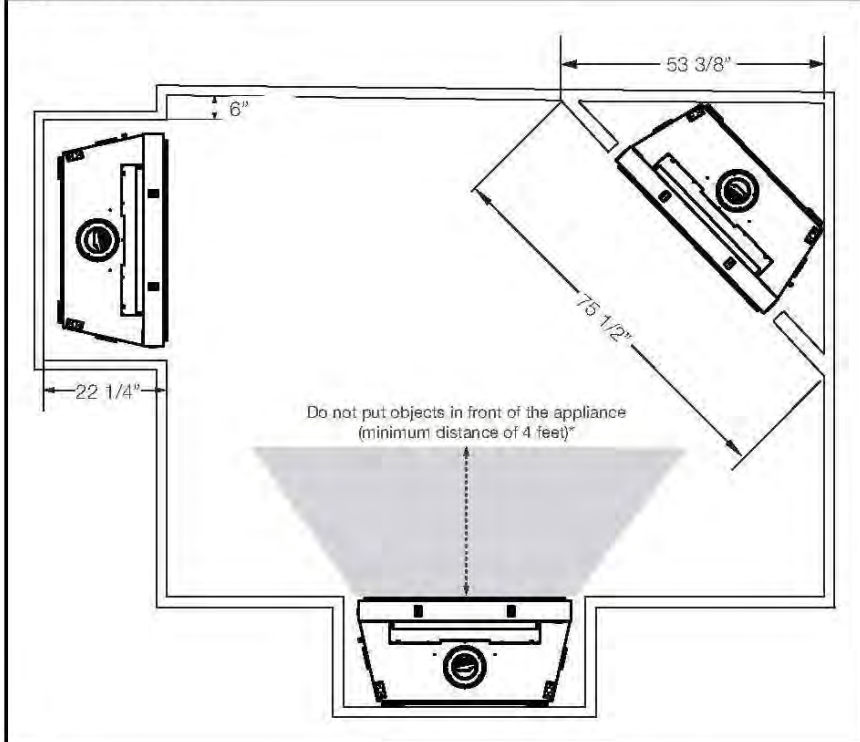
Specifications

Model	BTU	Width		Height		Depth		Glass Size
		Actual	Framing	Actual	Framing	Actual	Framing	
E36NTE	26,000	38 5/8"	39 3/4"	36 1/6"	43 3/4"	22 7/16"	22 1/4"	24 15/16" x 30 7/16"
E36PTE								

Dimensions



Appliance Location



Combustible Mantel Clearances

Mantel Dimensions		
Ref	Height	Depth
J	8"	2"
K	10"	4"
L	12"	6"
M	14"	8"

Wolf Steel Ltd., 24 Napoleon Rd., Barrie, ON L4M 0G8 Canada • 1(866)820-8886 • www.napoleon.com

8 GAS FIREPLACE
SCALE: NTS



8 EXTERIOR ENTRY LIGHTING
SCALE: NTS



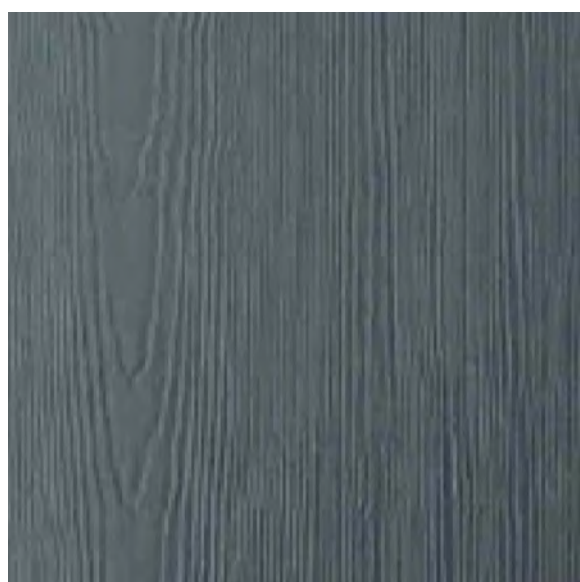
7 EXTERIOR FLOOD LIGHT
SCALE: NTS



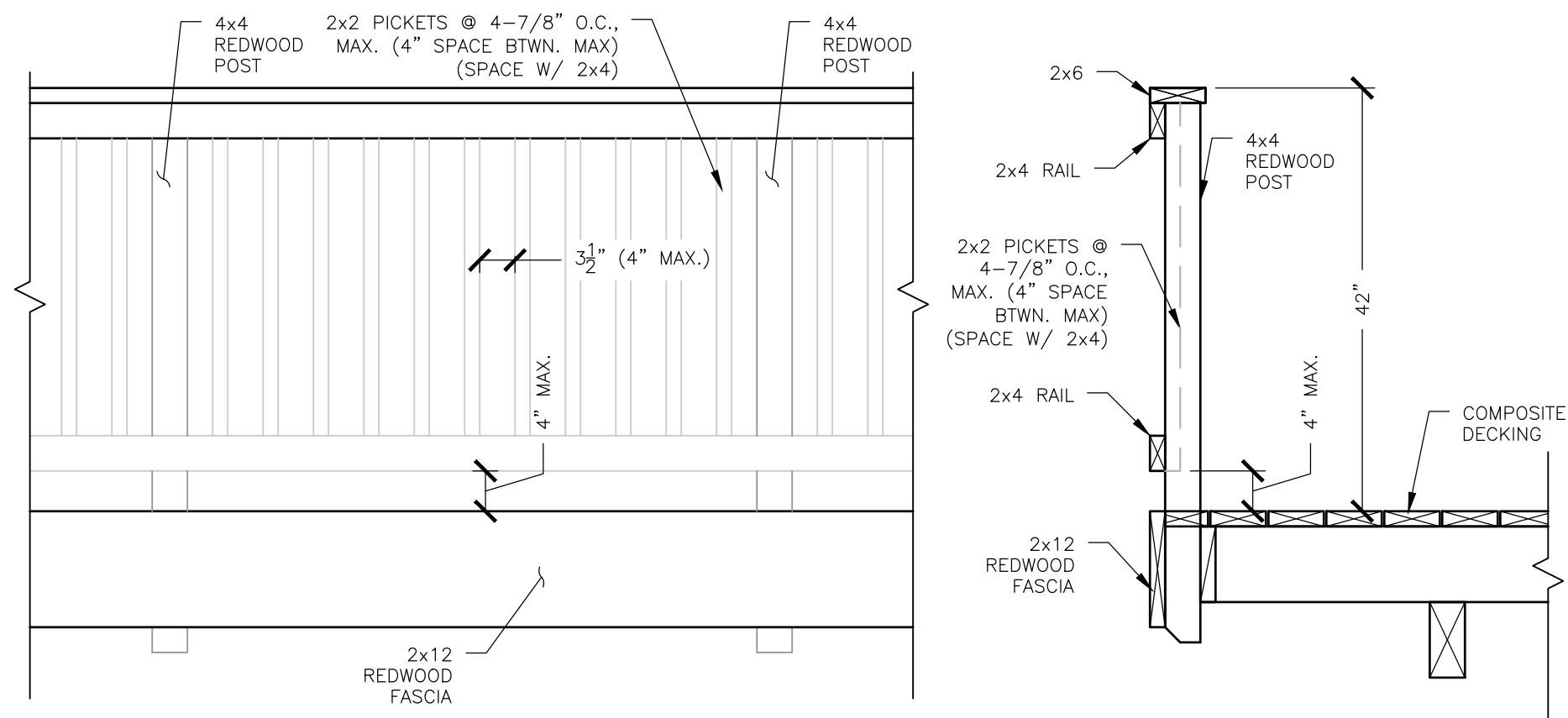
6 METAL SALES MFG. CO. RAISED SEAM METAL ROOF
SCALE: NTS



5 JAMES HARDIE - ARCTIC WHITE EXTERIOR TRIM COLOR
SCALE: NTS



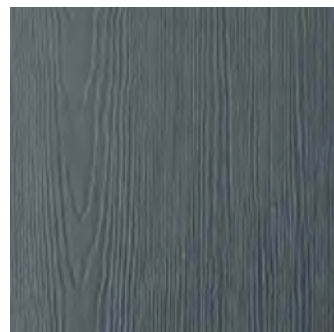
4 JAMES HARDIE - BOOTHBAY BLUE EXTERIOR SIDING COLOR
SCALE: NTS



3 DECK GUARD RAIL
SCALE: NTS



2 NANAWALL FOLDING GLASS WALL - NW ALUMINUM 640
SCALE: NTS



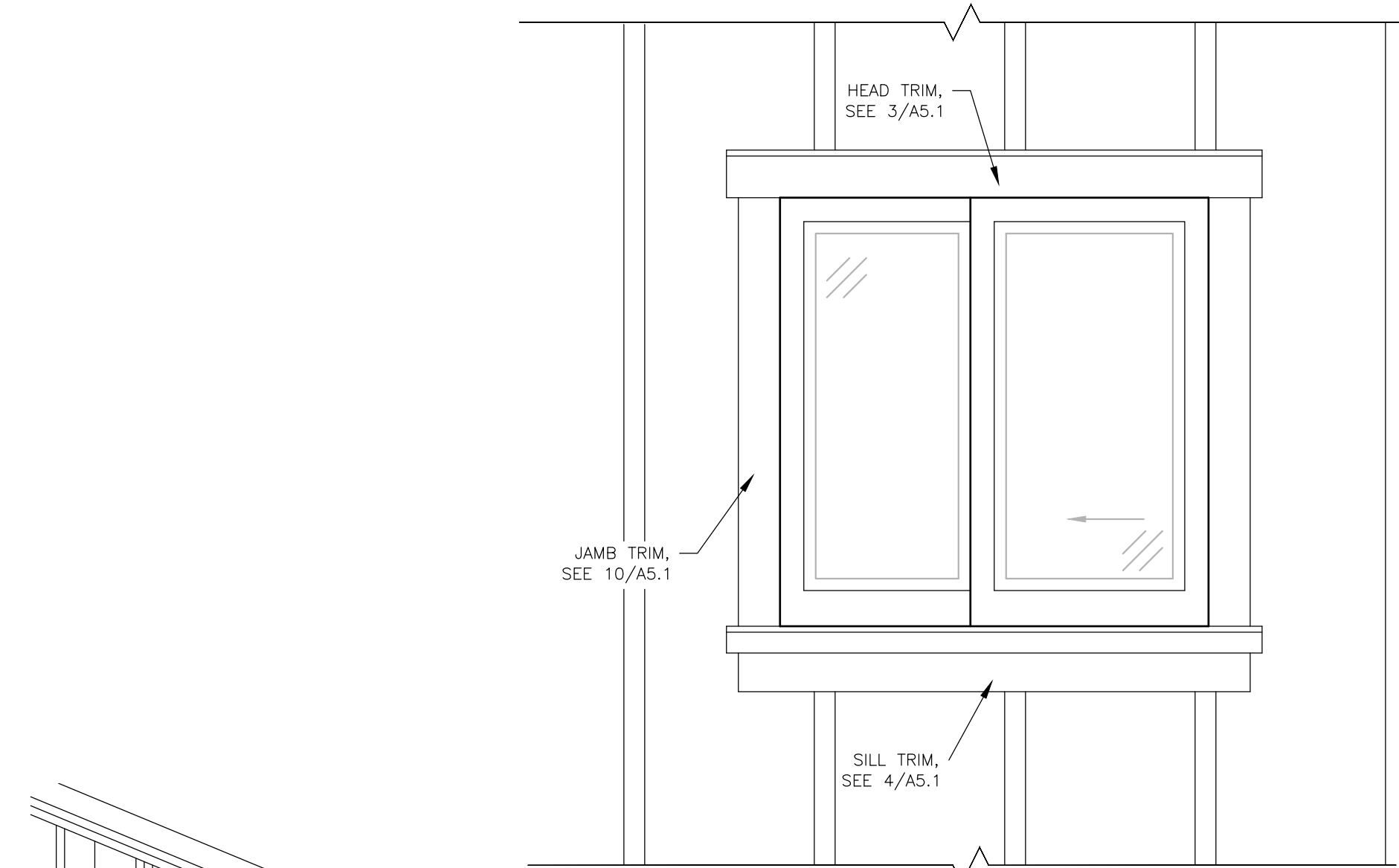
1 HARDIEPANEL VERTICAL SIDING: CEDARMILL - BOARD-AND-BATTEN
SCALE: NTS

Rev. No.	Date
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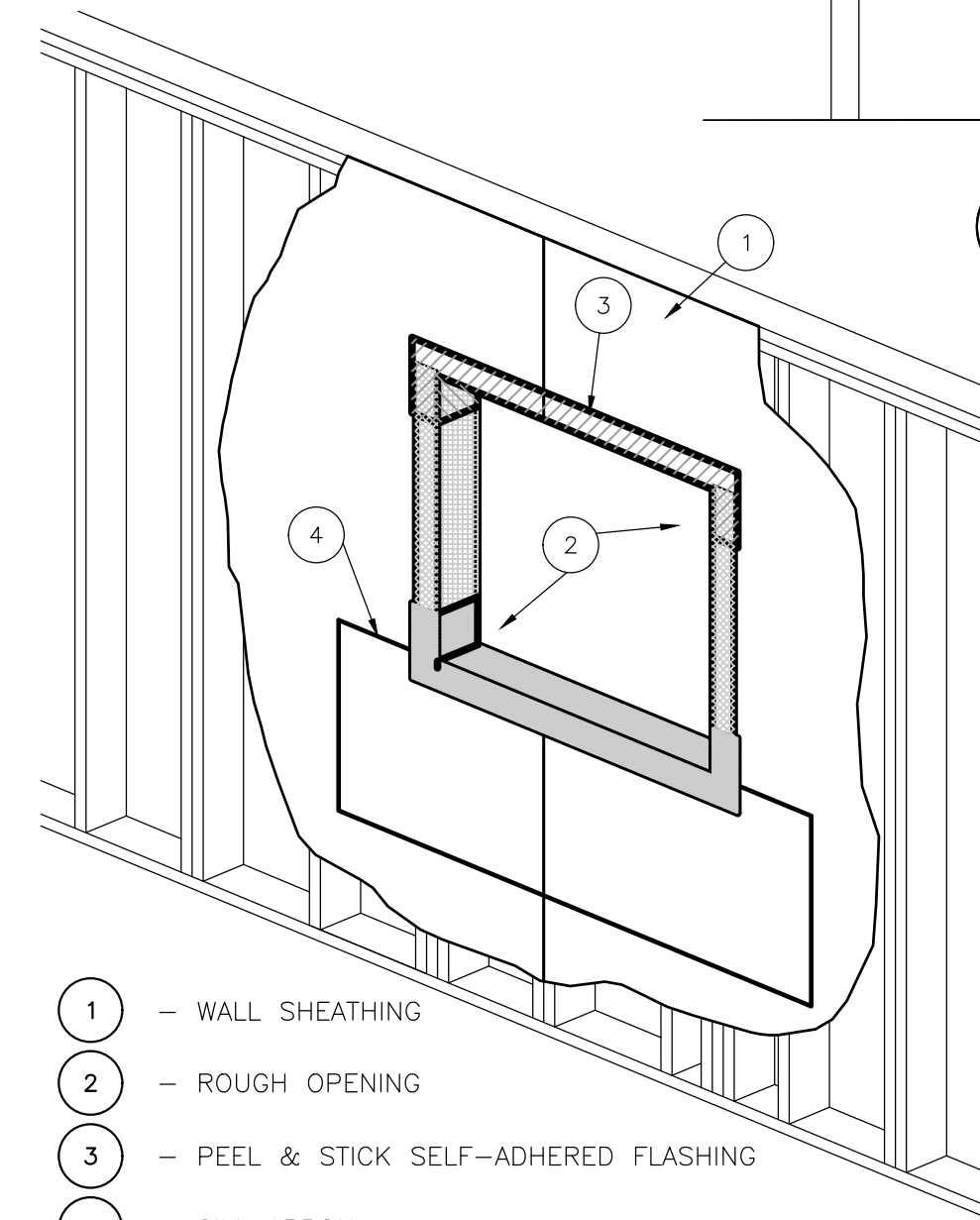
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e-mail: jae@ccseng.com
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PELOVO & BRADFORD
BUILDING DESIGN
DETAILS
103A SAN BENANCIO CANYON RD
SALINAS, CA 93908 APN 416-251-018

JOB #	220701
DESIGN BY:	JCC
DRAWN BY:	JCC
CHECKED BY:	JCC
DATE:	05/19/2025
SHEET:	A4.0



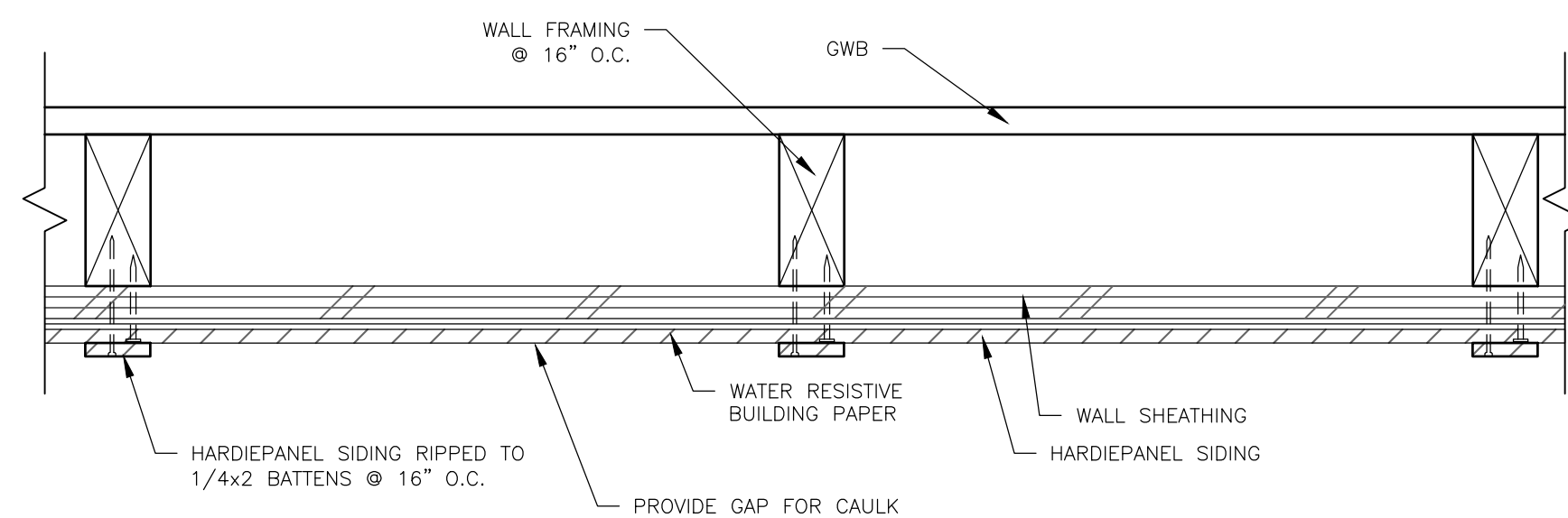
A WINDOW/DOOR TRIM DETAIL
SCALE: 1" = 1' - 0"



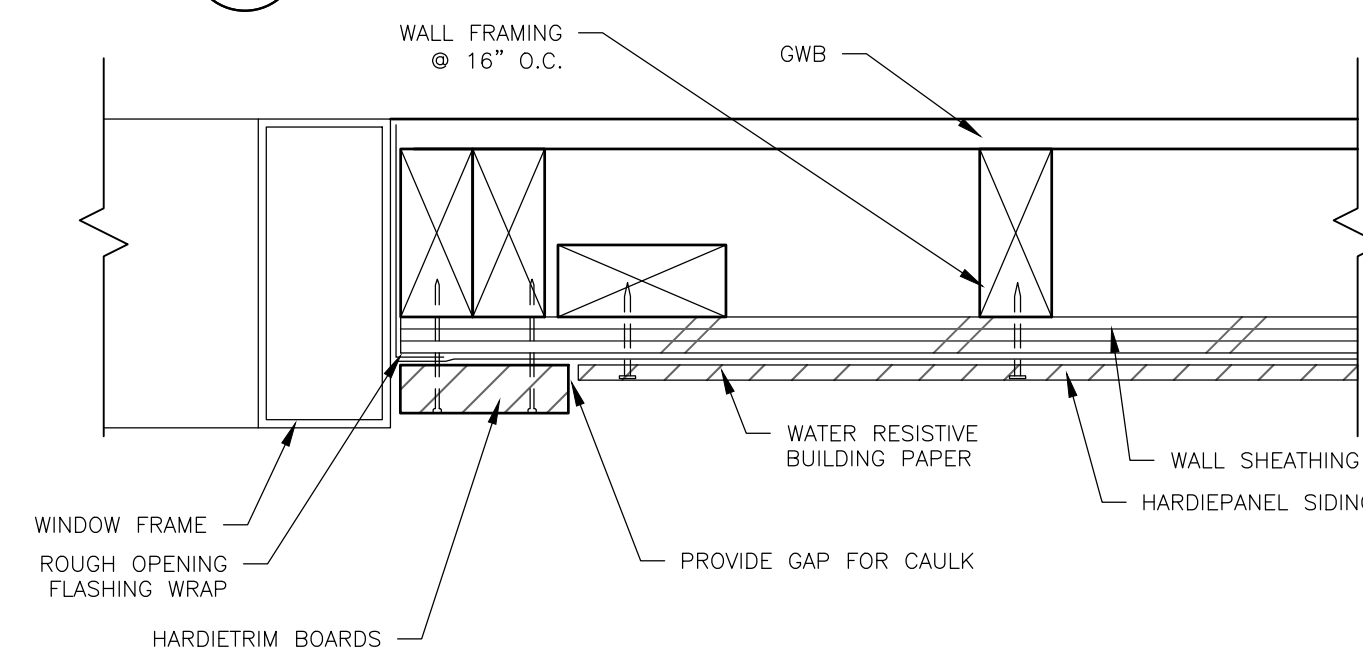
- 1 - WALL SHEATHING
- 2 - ROUGH OPENING
- 3 - PEEL & STICK SELF-ADHERED FLASHING
- 4 - SILL APRON

NOTES:
1. APPLY SILL PAN FLASHING TO ROUGH OPENING W/ BUILDING PAPER APRON
2. APPLY JAMB FLASHING
3. APPLY HEAD FLASHING

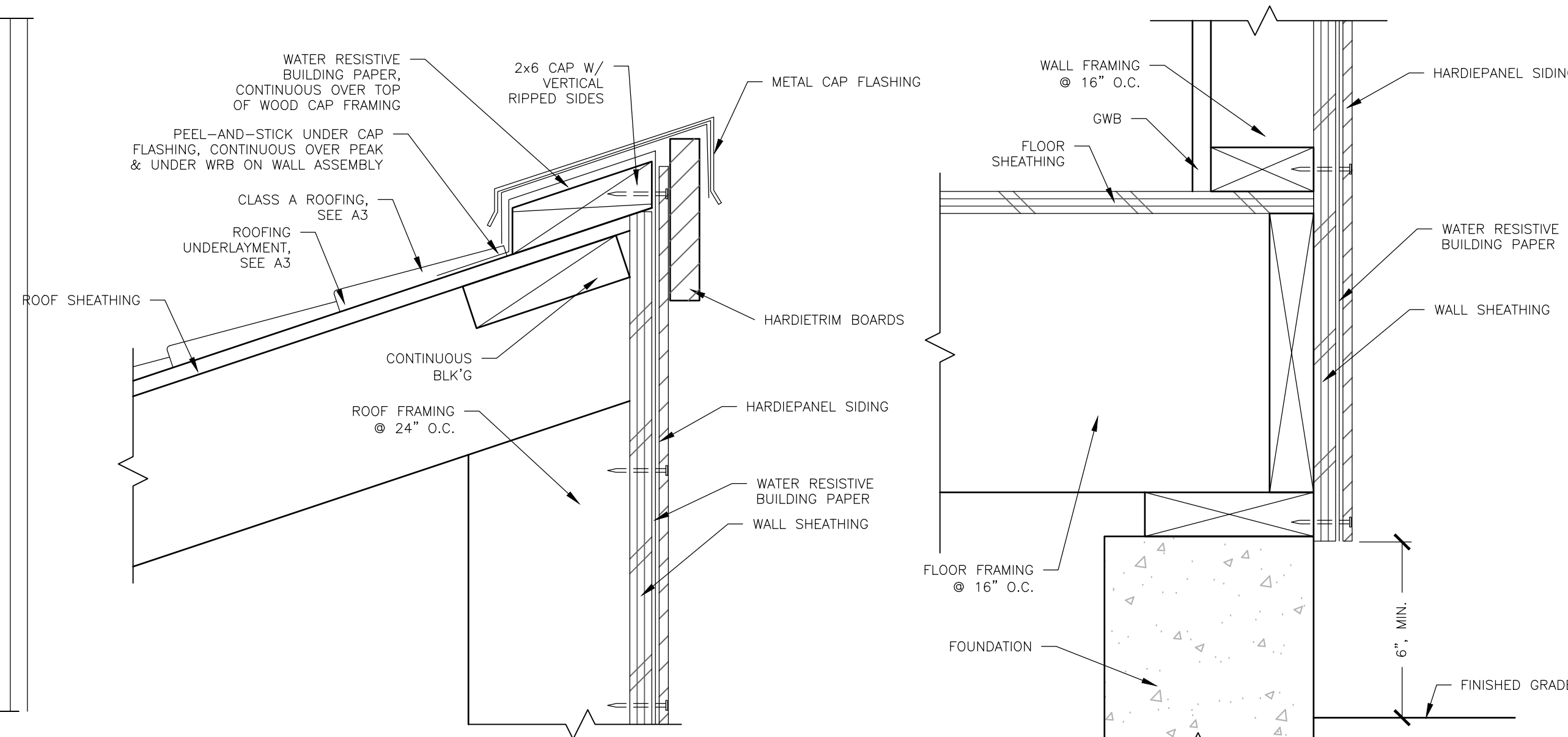
11 WINDOW WRAP DETAIL
SCALE: NTS



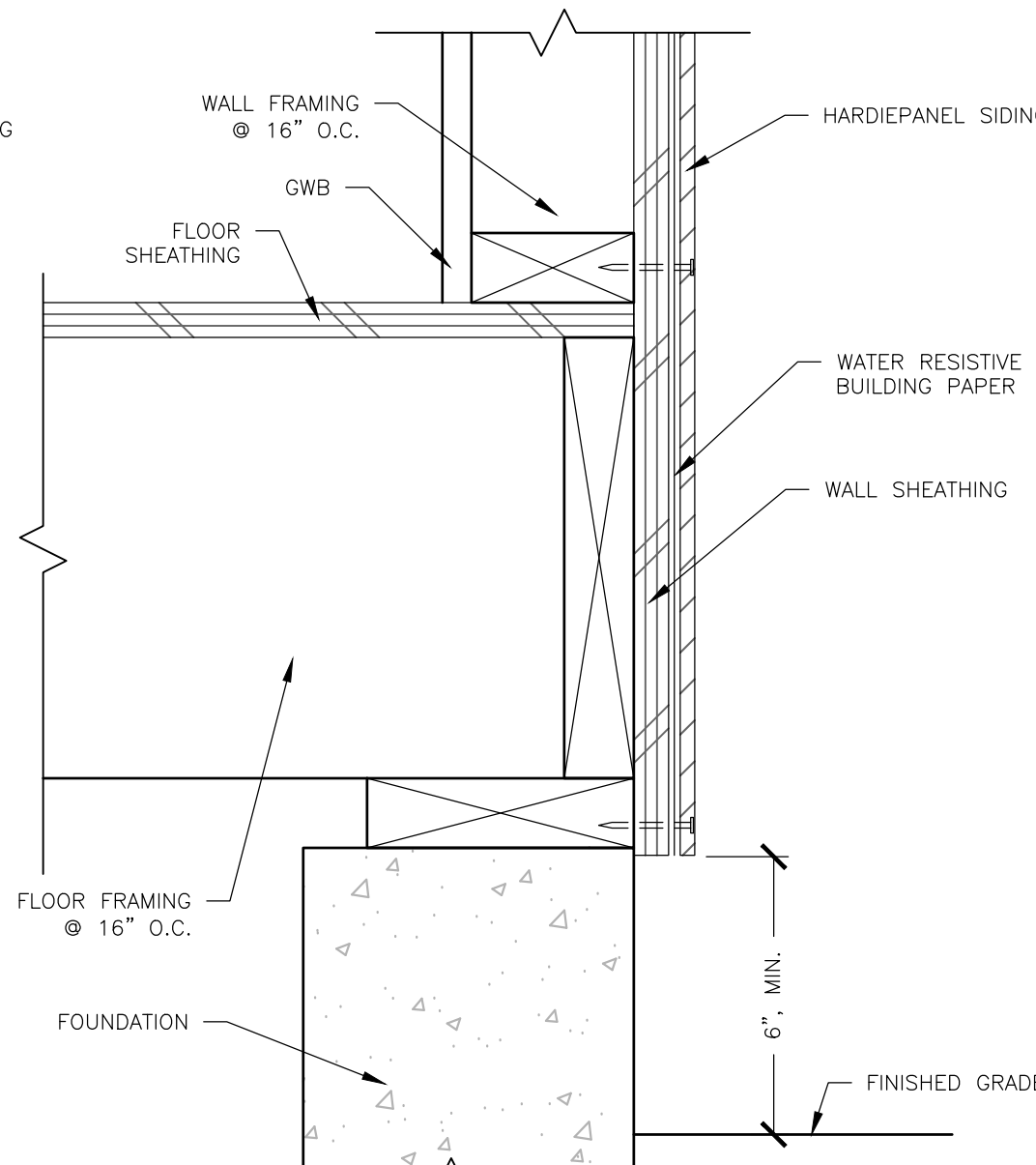
10 EXTERIOR SIDING - BATTENS
SCALE: 3" = 1' - 0"



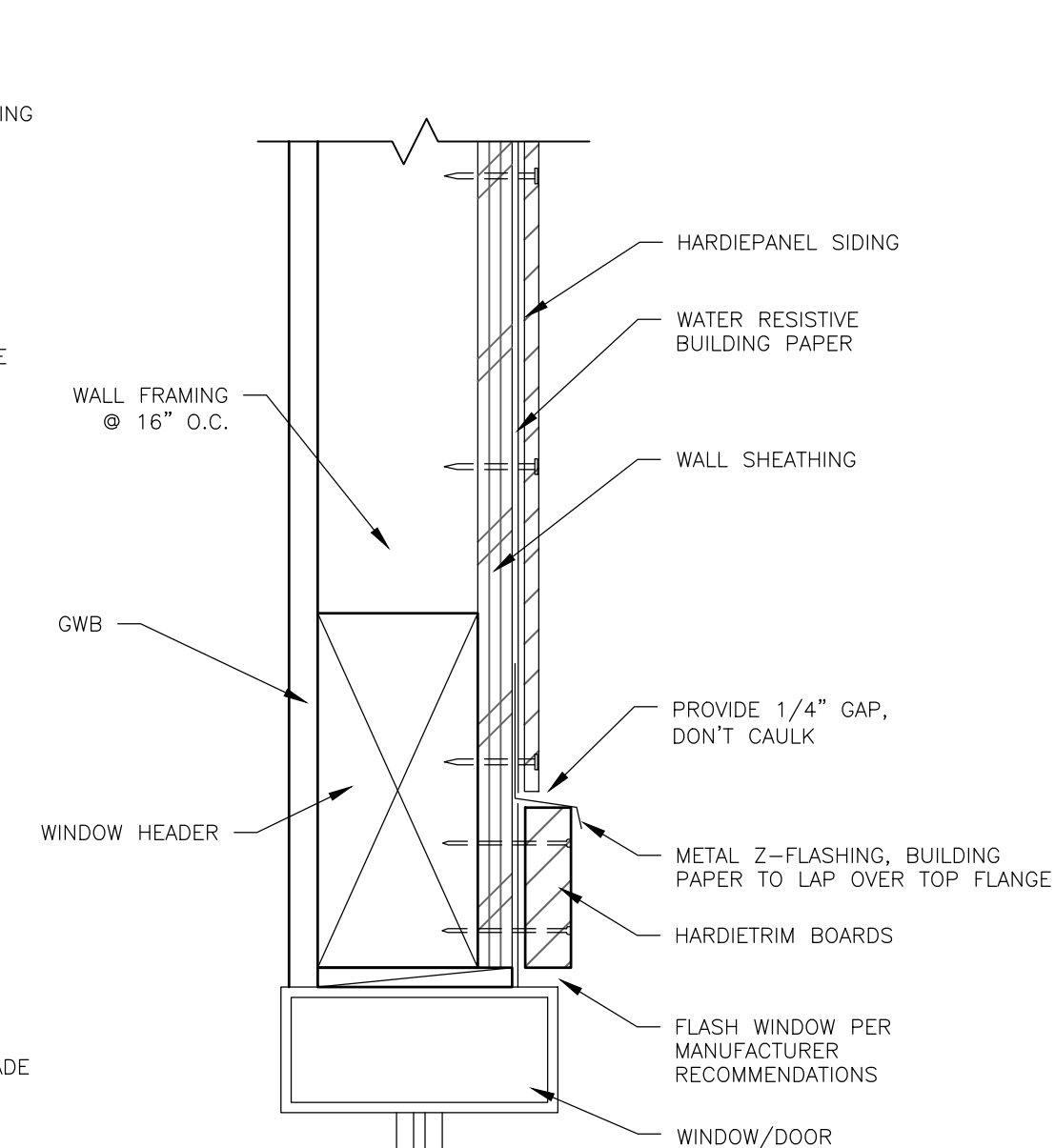
9 EXTERIOR SIDING - WINDOW/DOOR JAMB
SCALE: 3" = 1' - 0"



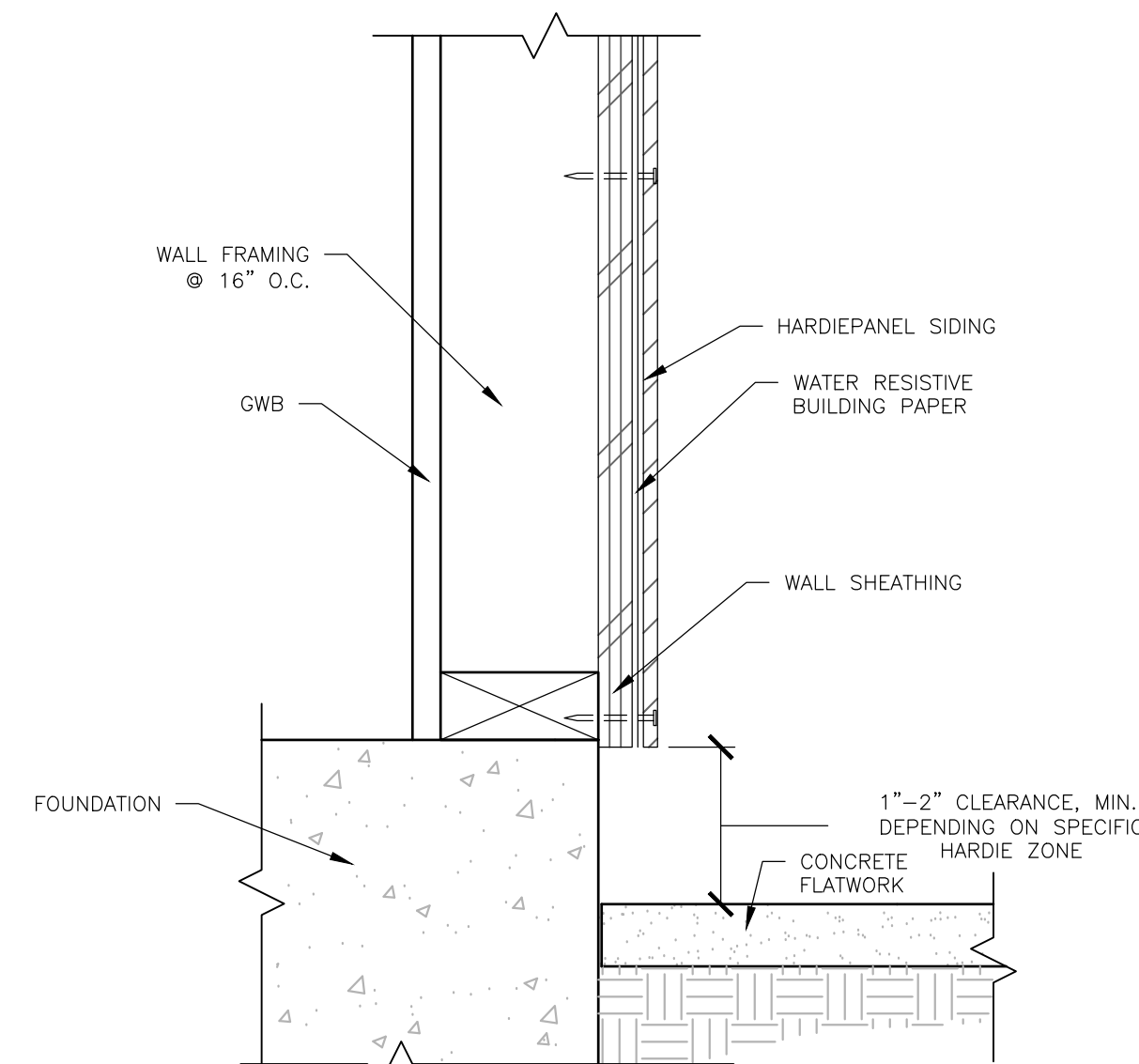
13 MONO-PITCH ROOF PEAK
SCALE: 3" = 1' - 0"



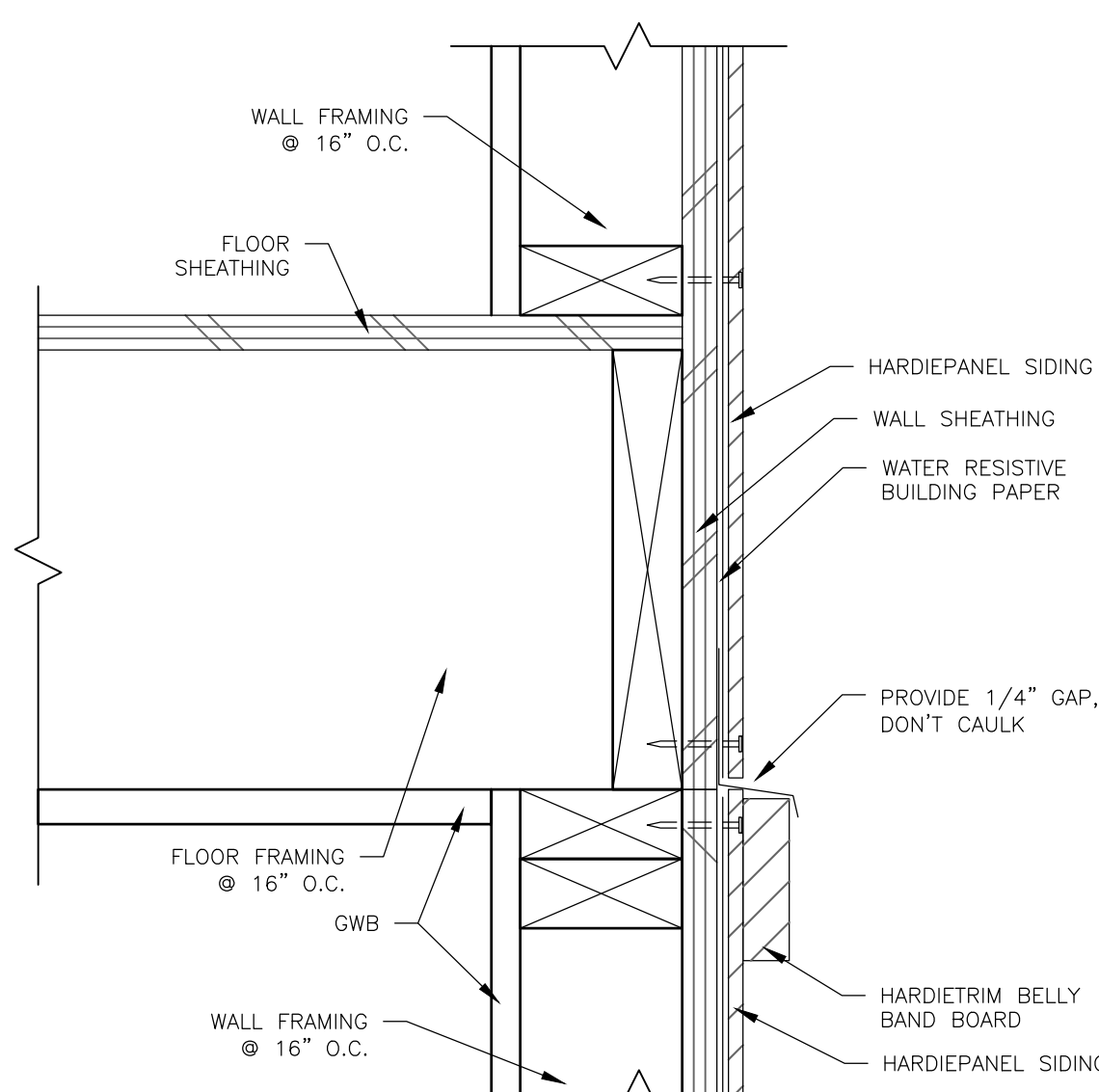
6 EXTERIOR SIDING - GRADE CLEARANCE
SCALE: 3" = 1' - 0"



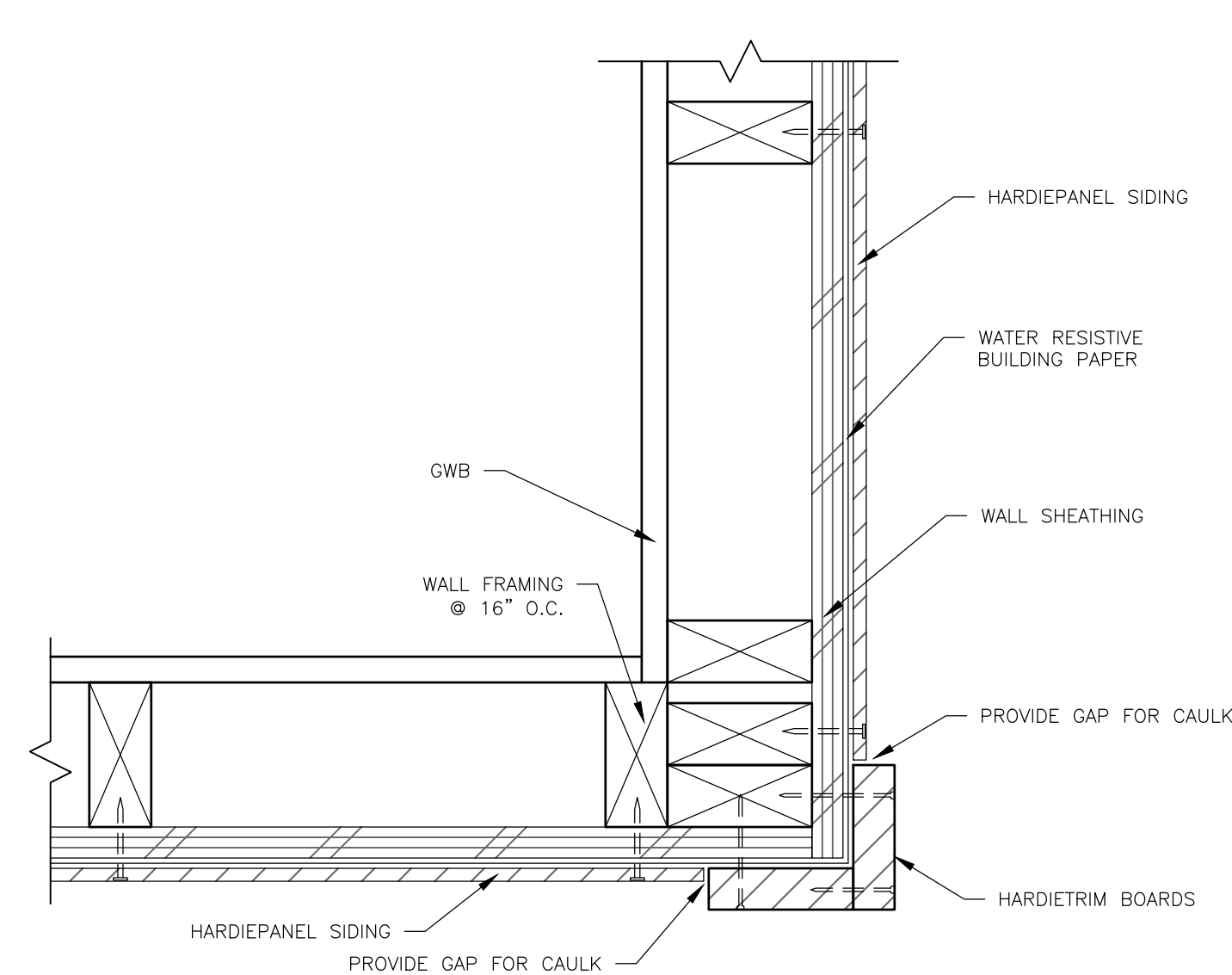
3 EXTERIOR SIDING - WINDOW/DOOR HEAD
SCALE: 3" = 1' - 0"



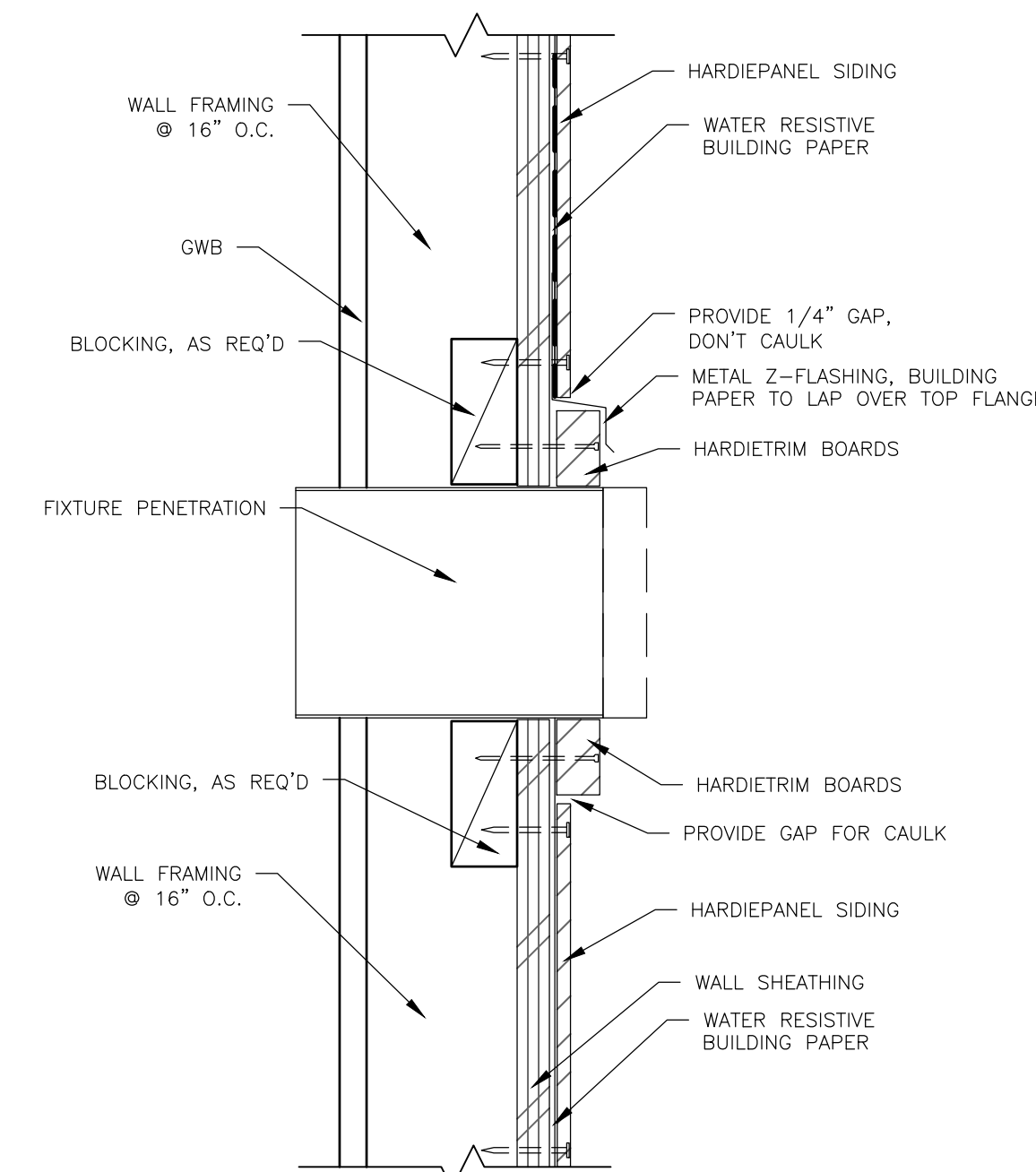
8 EXTERIOR SIDING - CLEARANCE AT HARDSCAPE
SCALE: 3" = 1' - 0"



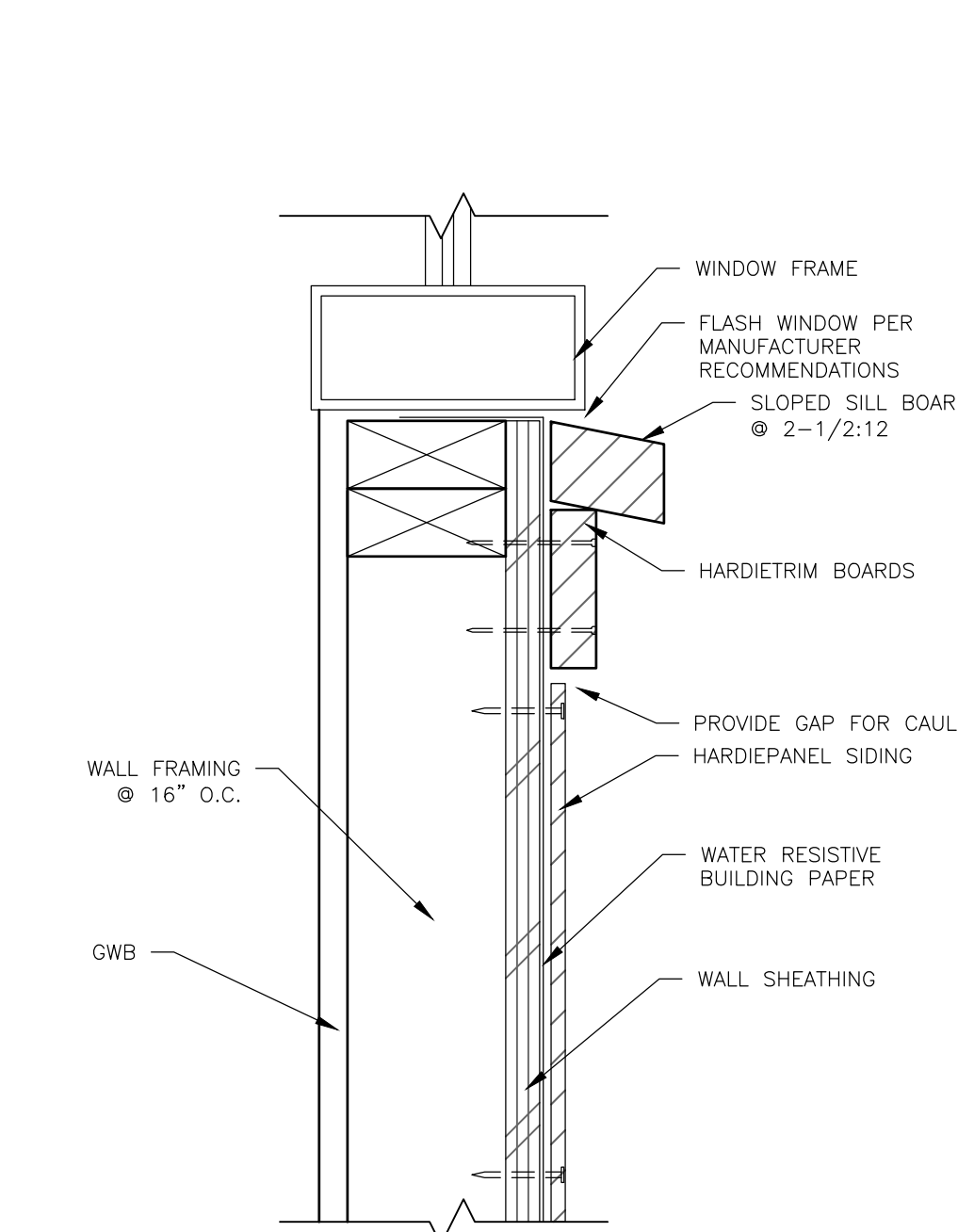
5 EXTERIOR SIDING - BELLY BAND SECTION
SCALE: 3" = 1' - 0"



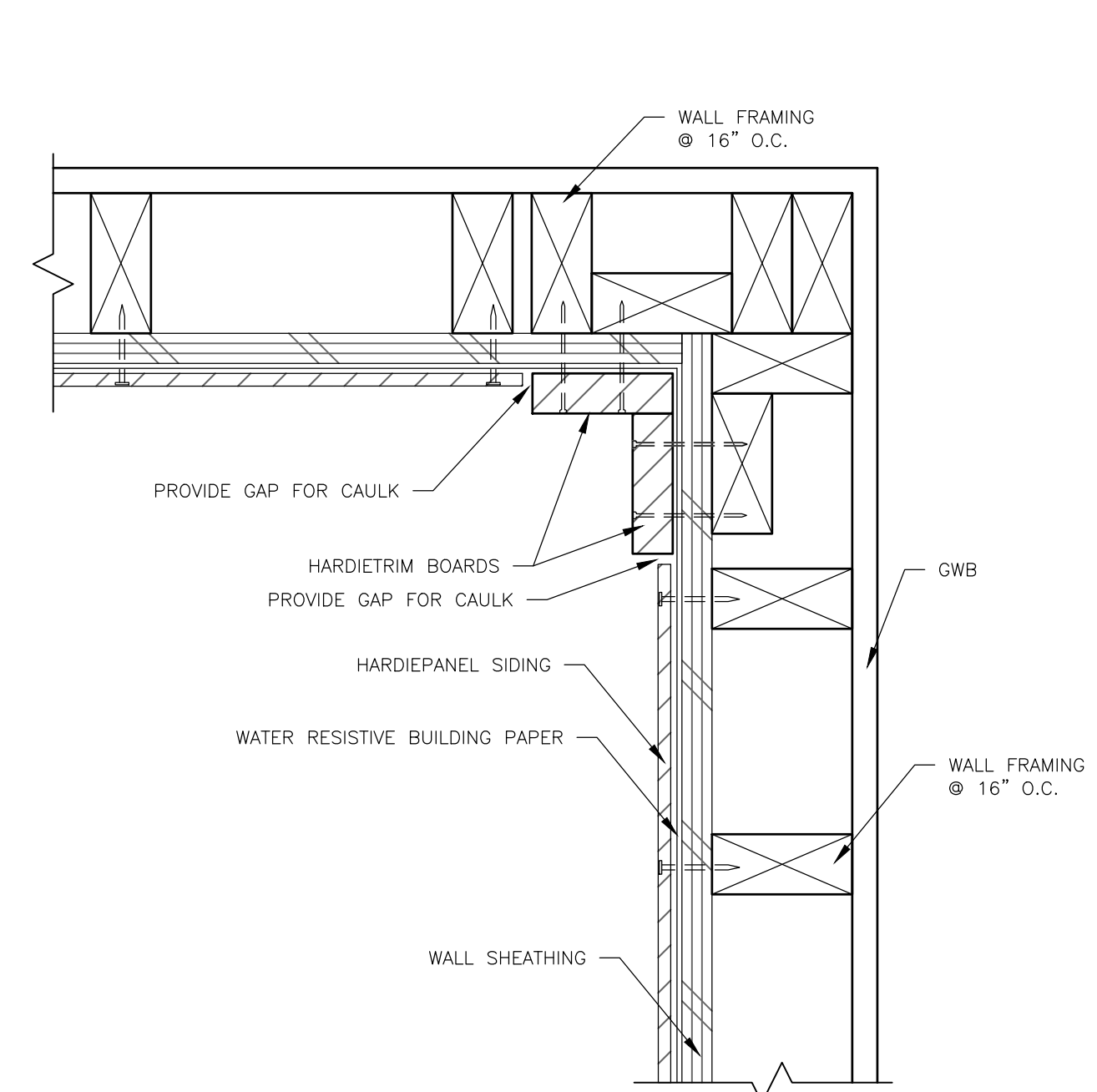
2 EXTERIOR SIDING - OUTSIDE CORNER
SCALE: 3" = 1' - 0"



7 EXTERIOR SIDING - PENETRATION
SCALE: 3" = 1' - 0"



4 EXTERIOR SIDING - WINDOW SILL
SCALE: 3" = 1' - 0"



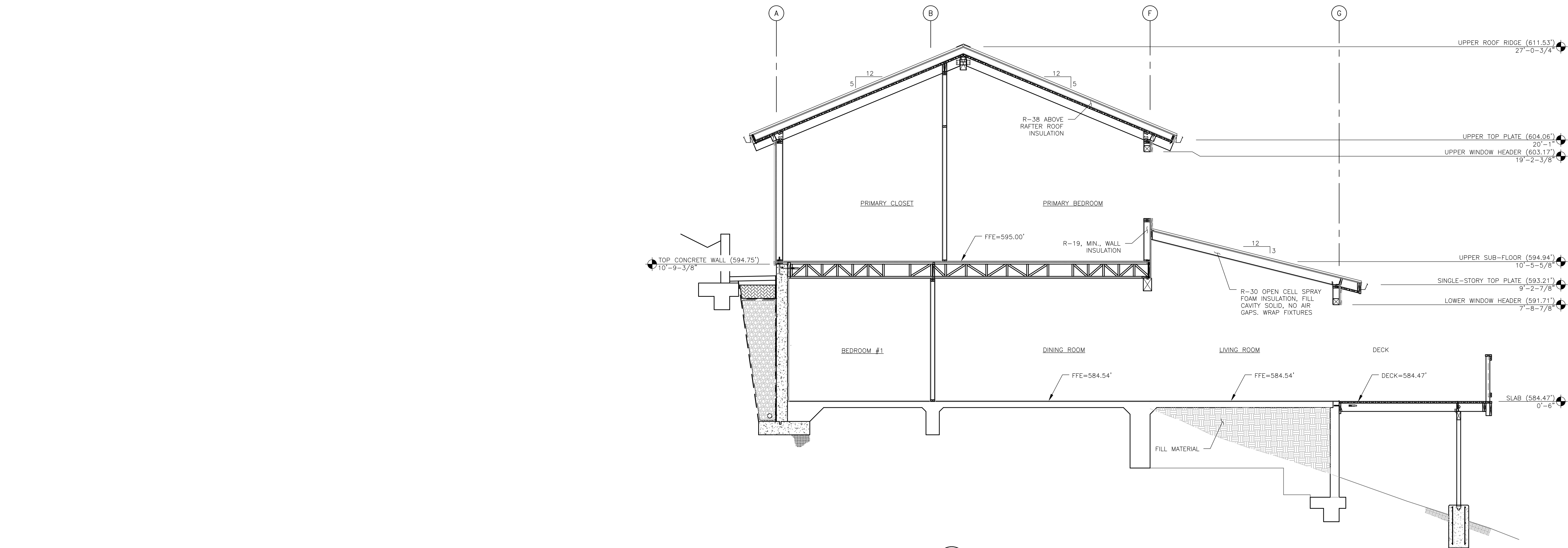
1 EXTERIOR SIDING - INSIDE CORNER
SCALE: 3" = 1' - 0"

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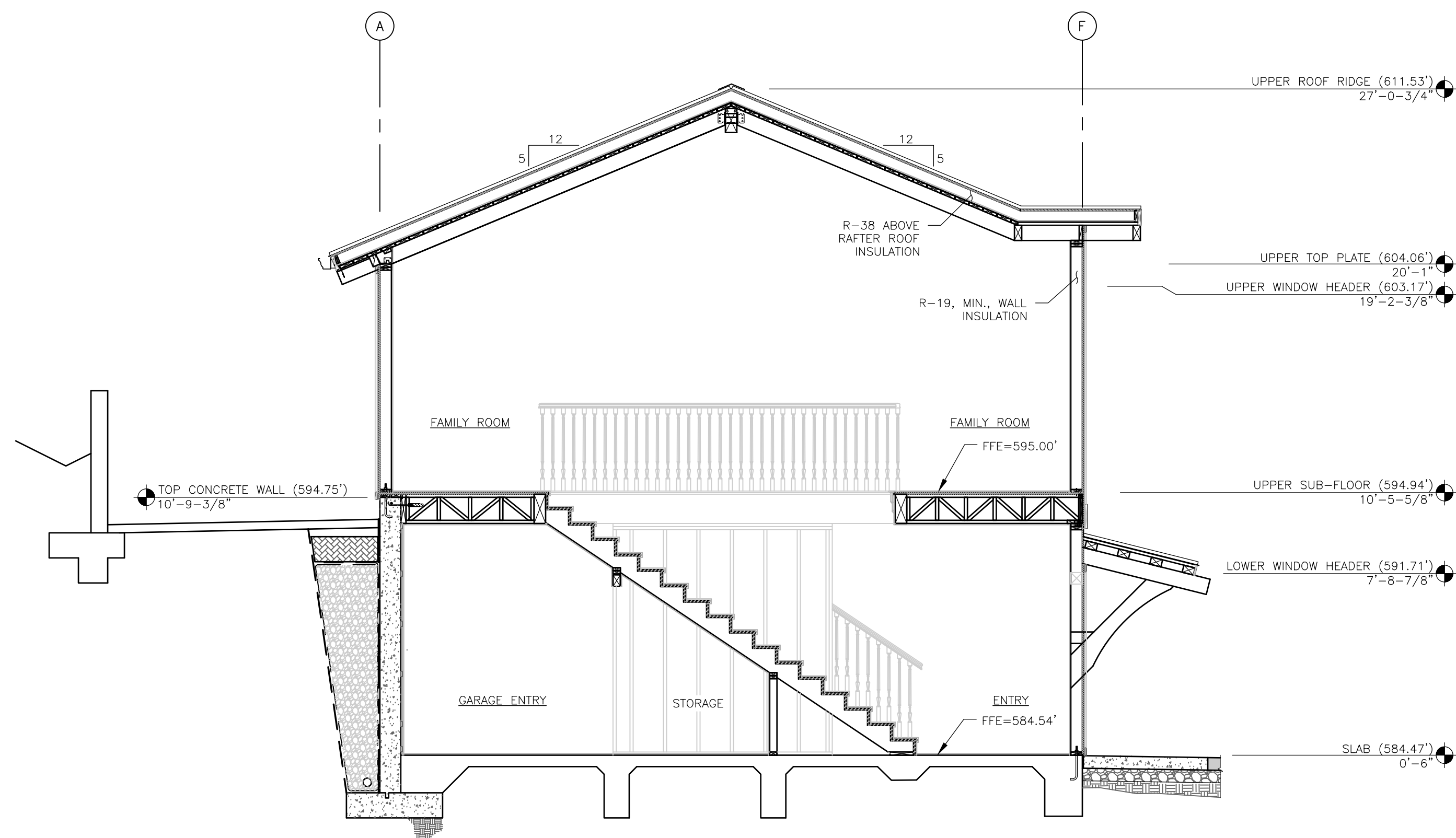
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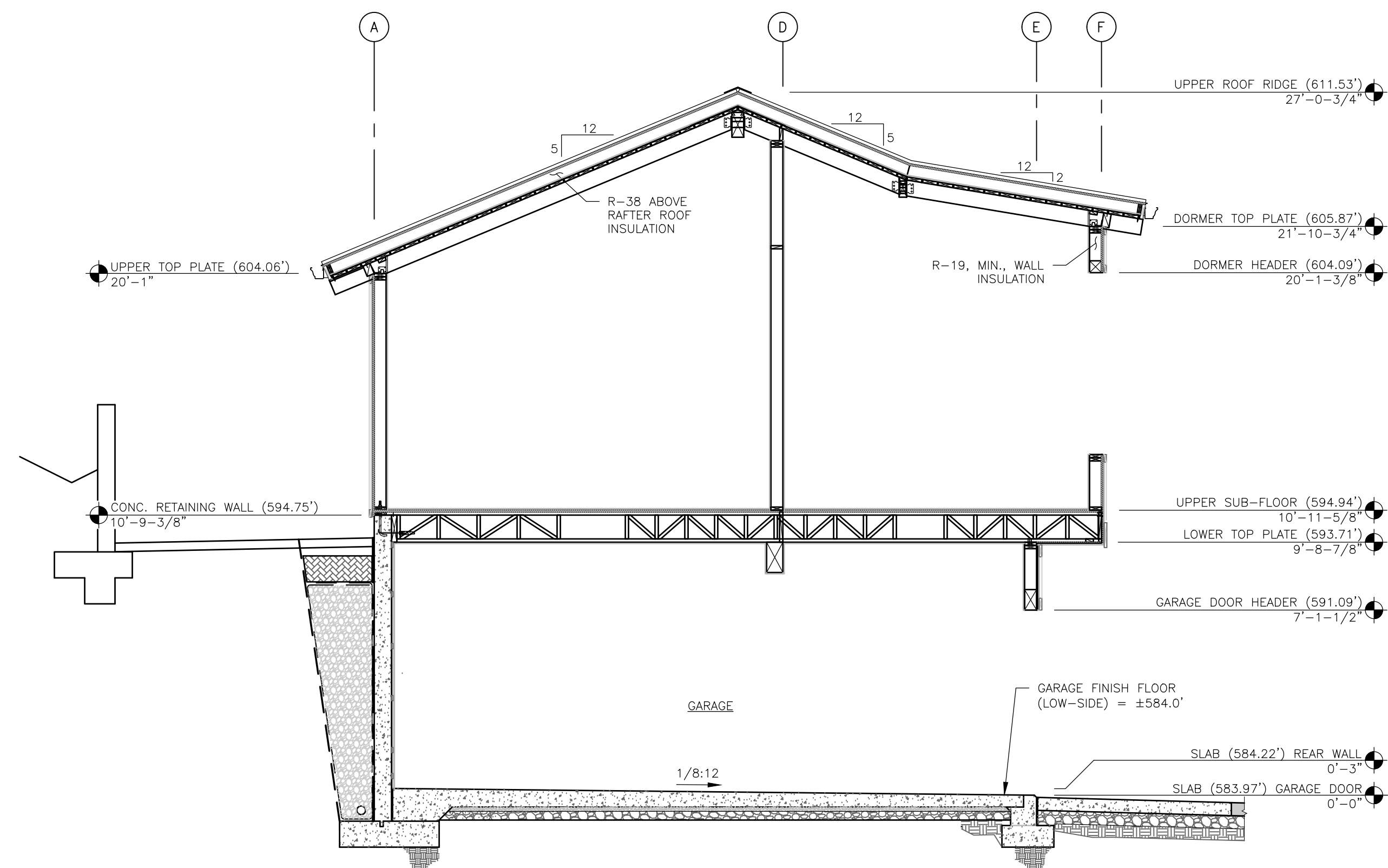
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SHEET:	A4.1



C TRANSVERSE SECTION
SCALE: 1/4" = 1'-0"



B TRANSVERSE SECTION
SCALE: 1/4" = 1'-0"



A TRANSVERSE SECTION
SCALE: 1/4" = 1'-0"

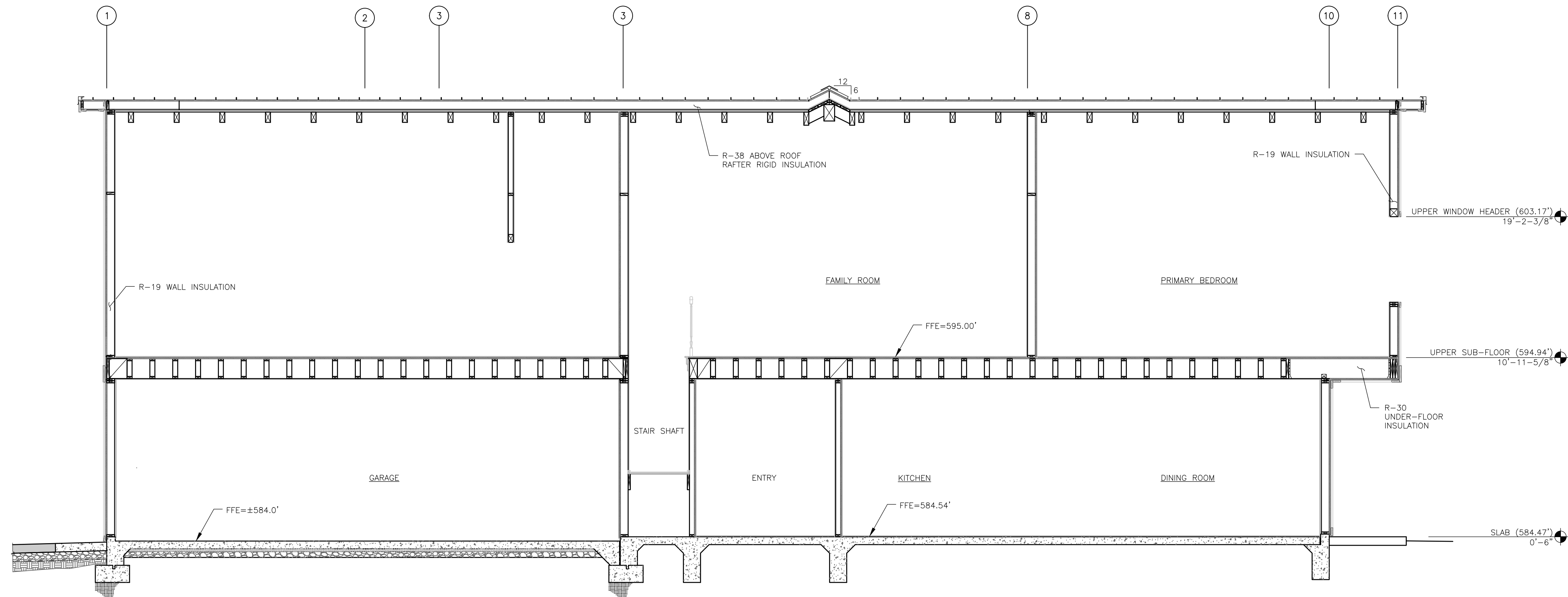
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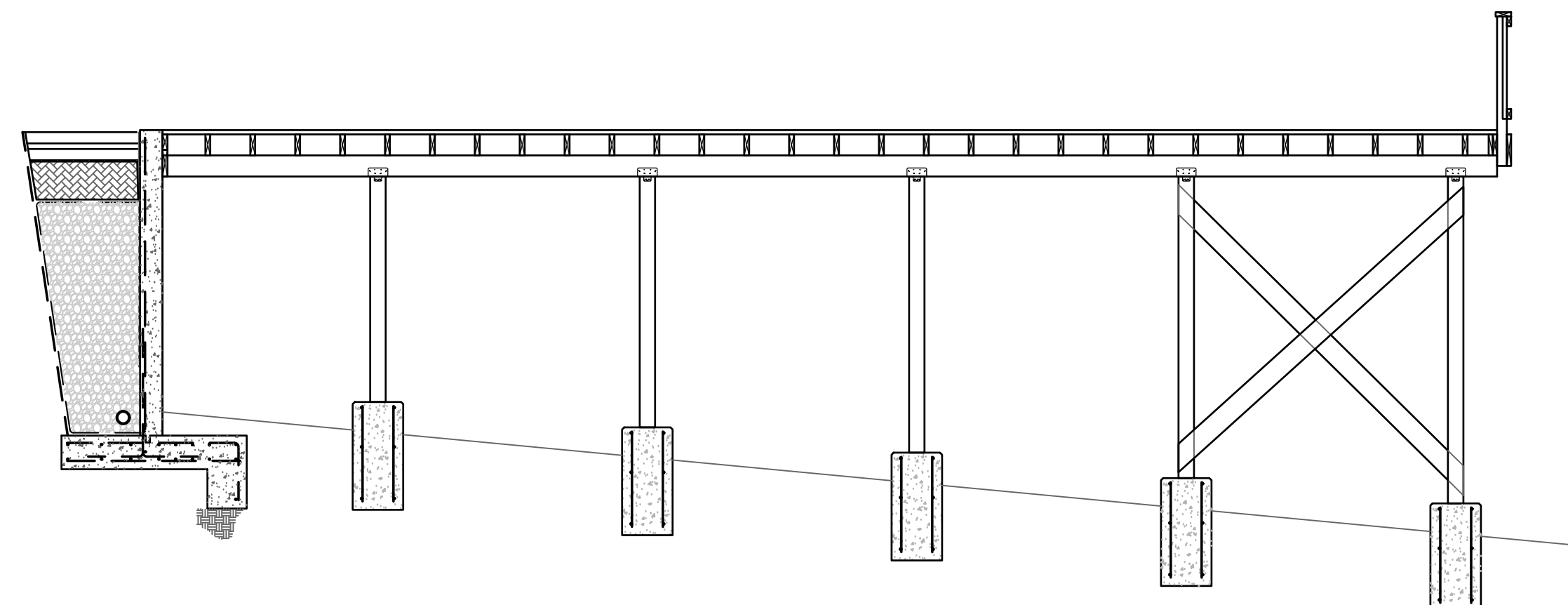
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PELOVO & BRADFORD
STRUCTURAL SECTIONS
103A SAN BENANCIO CANYON RD
SALINAS, CA 93908 APN 416-251-018

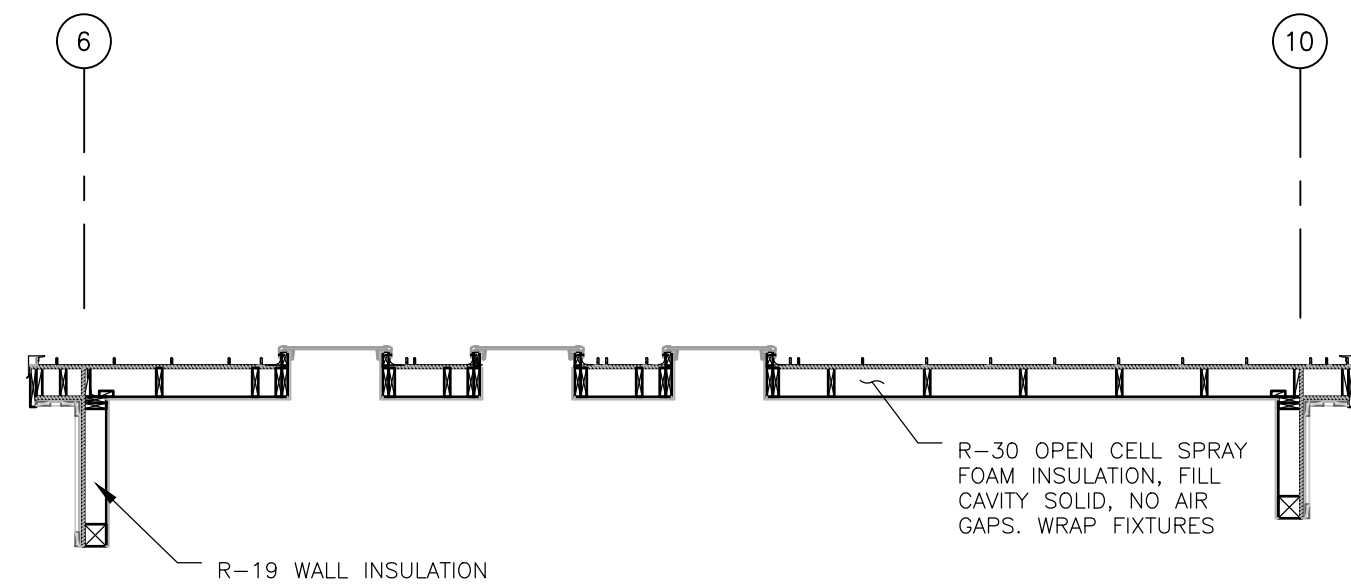
JOB #	220701
DESIGN BY:	JCC
DRAWN BY:	JCC
CHECKED BY:	JCC
DATE:	05/19/2025
SHEET:	S3.0



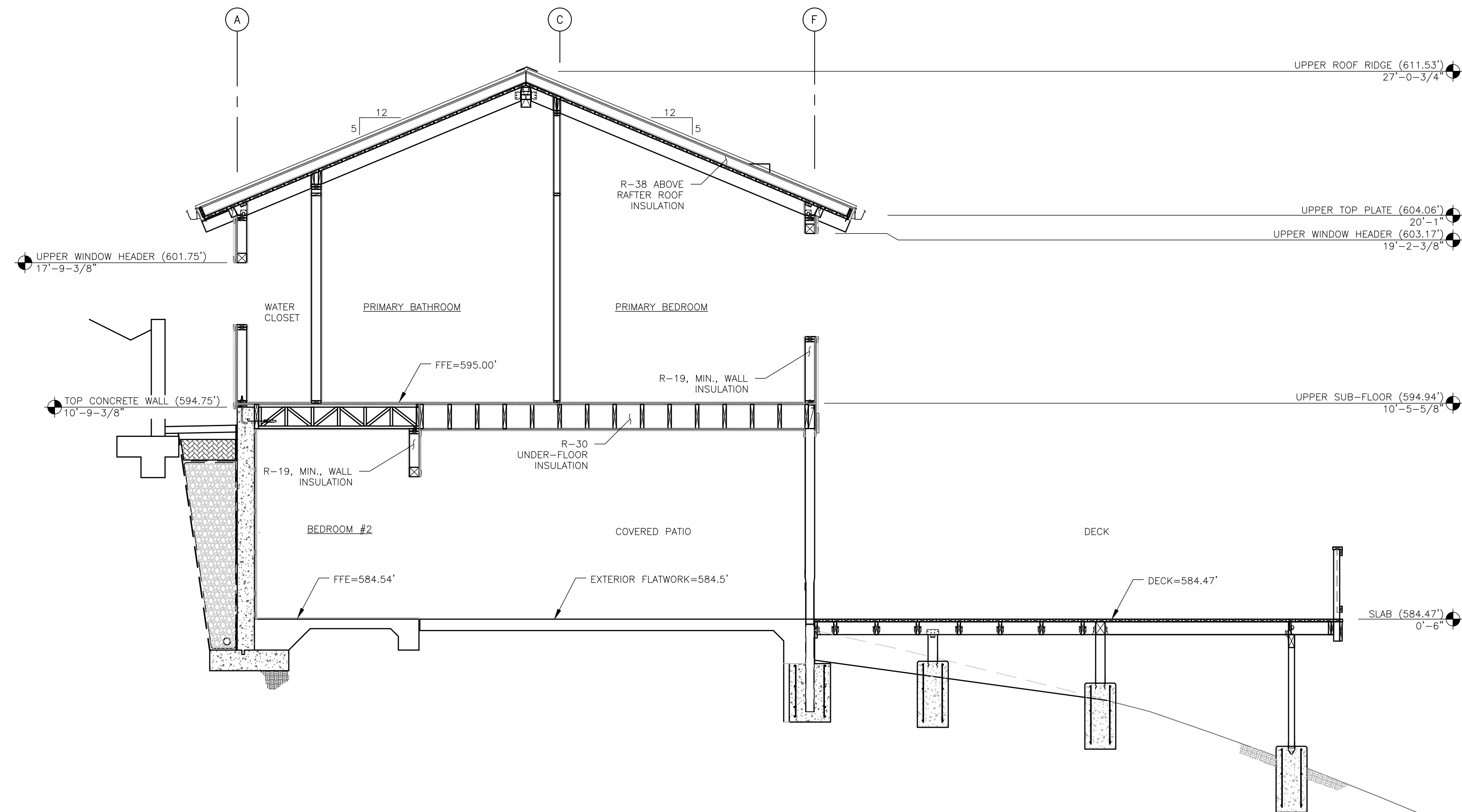
E LONGITUDINAL SECTION
SCALE: 1/4" = 1'-0"



G LONGITUDINAL SECTION
SCALE: 1/4" = 1'-0"



F LONGITUDINAL SECTION
SCALE: 1/4" = 1'-0"



D LONGITUDINAL SECTION
SCALE: 1/4" = 1'-0"

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