

Exhibit B

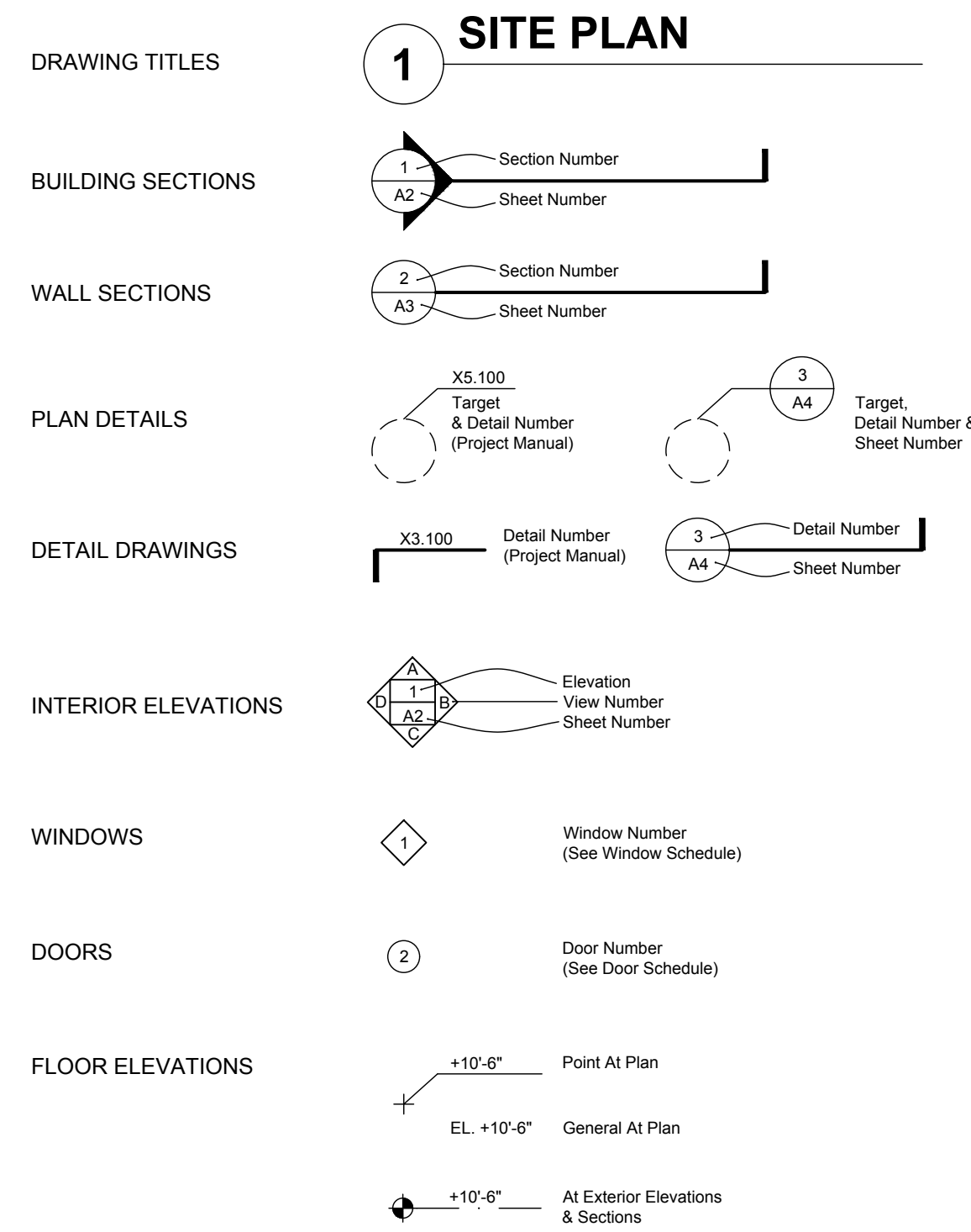
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DOWLER RESIDENCE REMODEL

FANSHELL HOUSE
3137 17 MILE DRIVE
PEBBLE BEACH, CA

APN 008-263-001

SYMBOLS



STREET VIEW



DRAWING INDEX

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PROJECT TEAM

OWNER	RANDALL & STACEY DOWLER 705 UNIVERSITY AVENUE, LOS ALTOS, CA 94923
ARCHITECT	GRETHEN FLESHER ARCHITECTS 550 HARTNELL ST, SUITE E MONTEREY, CA 93940 831.375.4868 gretchen@gfastudio.com
STRUCTURAL ENGINEERS	MURPHY BURR & CURRY, INC. 85 2ND STREET, SUITE 501 SAN FRANCISCO, CA 94105 415.669.5320
GEOTECHNICAL ENGINEER	HOWARD CARTER ASSOCIATES, INC 9600 BLUE LARKSPUR LANE #202 MONTEREY, CA 93940 831.373.3119
CONTRACTOR	ROD VOWELL BUILDERS P.O. BOX 22921 CARMEL, CA 93922 831.620.2541
MECHANICAL CONSULTANT	ZAL ENGINEERING 472 CEDAR STREET MONTEREY, CA 93940 831.402.2728
LIGHTING CONSULTANT	EJA LIGHTING DESIGN 201 ALAMEDA DEL PRADO, SUITE 204 NOVATO, CA 94949 415.482.0923

ABBREVIATIONS

&	AND	ELEC	ELECTRICAL	LAV	LAVATORY	SPEC	SPECIFICATION
L	ANGLE	EP	ELECTRIC PANELBOARD	LT	LIGHT	SQ	SQUARE
@	AT	EL	ELEVATION	LWC	LIGHTWEIGHT CONCRETE	SS	STAINLESS STEEL
CL	CENTERLINE	ELEV	ELEVATOR	MB	MARKER BOARD	STD	STANDARD
⊥	PERPENDICULAR	ENCL	ENCLOSURE	MFR	MANUFACTURER	STL	STEEL
#	POUND OR NUMBER	ENGR	ENGINEER	MO	MASONRY OPENING	STRUCT	STRUCTURAL
PL	PROPERTY LINE	EQ	EQUAL	MAX	MAXIMUM	SUSP	SUSPENDED
ABV	ABOVE	EQPT	EQUIPMENT	MECH	MECHANICAL	SAT	SUSPENDED ACOUSTIC TILE
AFF	ABOVE FINISH FLOOR	EXIST (E)	EXISTING	MEMB	MEMBRANE	SYM	SYMMETRICAL
ACOUS	ACOUSTICAL	EJ	EXPANSION JOINT	MEPS	MOLDED EXPANDED POLYSTYRENE BOARD	SYS	SYSTEM
ADJ	ADJUSTABLE	EXP	EXPOSED	MET	METAL	T	TREAD
AGG	AGGREGATE	FOC	FACE OF CONCRETE	MIN	MINIMUM	TEMP	TEMPERED
ALT	ALTERNATE	EXT	EXTERIOR	MISC	MISCELLANEOUS	THK	THICKNESS
AL	ALUMINUM	FOS	FACE OF FINISH	MTD	MOUNTED	THRES	THRESHOLD
AN	ANCHOR BOLT	FOS	FACE OF STUD	MUL	MULLION	TACKBOARD	TACKBOARD
APPROX	APPROXIMATE	FRP	FIBERGLASS REINFORCED PLASTIC	NOM	NOMINAL	TCA	TILE COUNCIL OF AMERICA
ARCH	ARCHITECTURAL	FIN	FINISH	NIC	NOT IN CONTRACT	T&G	TONGUE & GROVE
AC	ASPHALTIC CONCRETE	FF	FINISH FLOOR	NTS	NOT TO SCALE	TOC	TOP OF CONCRETE
BM	BEAM	FA	FIRE ALARM	NO/#	NUMBER	TOP	TOP OF PAVEMENT
BITUM	BITUMINOUS	FEB	FIRE EXTINGUISHER/BACKET	O/	OVER	TOS	TOP OF STEEL
BLK	BLOCK	FEC	FIRE EXTINGUISHER/CABINET	OC	ON CENTER	TOW	TOP OF WALL
BLKG	BLOCKING	FIXT	FIXTURE	OPP	OPPOSITE	TS	TUBE STEEL
BD	BOARD	FLASH	FLASHING	OPP HND	OPPOSITE HAND	TYP	TYPICAL
BOT	BOTTOM	FLEX	FLEXIBLE	OD	OUTSIDE DIAMETER	TEN	TYPICAL END NAIL
BLDG	BUILDING	FLR	FLOOR	OA	OVERALL	UON	UNLESS OTHERWISE NOTED
BUR	BUILT-UP ROOFING	FD	FLOOR DRAIN	OH	OVERHEAD	VIF	VERIFY IN FIELD
CAB	CABINET	FLUOR	FLUORESCENT	PT	PAINT	VERT	VERTICAL
CA	CARPET	FTG	FOOTING	PR	PAIR	VGDF	VERTICAL GRAIN DOUGLAS FIR
CLKG	CAULKING	FT	FOOT OR FEET	PNL	PANEL	VCT	VINYL COMPOSITION TILE
CB	CATCH BASIN	FDN	FOUNDATION	PTN	PARTITION	VWF	VINYL WALL FABRIC
CI	CAST IRON	FR	FRAME	PLAS	PLASTER	WP	WATERPROOF
CLG	CEILING	FURR	FURRING	PLAM	PLASTIC LAMINATE	WPM	WATERPROOF MEMBRANE
CEM	CEMENT	GALV	GALVANIZED	PL	PLATE	WWW	WELDED WIRE MESH
CNTR	CENTER	GSM	GALVANIZED SHEET METAL	PWD	PLYWOOD	WDW	WINDOW
CT	CERAMIC TILE	GA	GAUGE	PS	PLYWOOD SHEATHING	W/	WITH
CLR	CLEAR	GENL	GENERAL	PT	POINT OR PAINT	W/O	WITHOUT
CW	COLD WATER	GL	GLASS	PVMT	PAVEMENT	WD	WOOD
COL	COLUMN	GLB	GLULAM BEAM	QT	QUARRY TILE		
CONC	CONCRETE	GR	GRADE	R	RADIUS OR RISER		
CMU	CONCRETE MASONRY UNIT	GND	GROUND	RWL	RAIN WATER LEADER		
CONN	CONNECTION	GYP	GYP SUM	RWD	REDWOOD		
CONST	CONSTRUCTION	GWB	GYP SUM WALL BOARD	REINF	REINFORCED		
CJ	CONTROL JOINT	HR	HANDRAIL	REQ	REQUIRED		
CONT	CONTINUOUS	HDWR	HARDWARE	RESIL	RESILIENT		
CONTR	CONTRACTOR	HDWD	HARDWOOD	REV	REVISION OR REVISED		
CTSK	COUNTERSINK	HDR	HEADER	RD	ROOF DRAIN		
DET	DETAIL	HT	HEIGHT	RO	ROUGH OPENING		
DIA	DIAGONAL	HM	HOLLOW METAL	SCHED	SCHEDULE		
DIA	DIAMETER	HORZ	HORIZONTAL	SECT	SECTION		
DIM	DIMENSION	HB	HOSE BIBB	SAD	SEE ARCHITECTURAL DRAWINGS		
DR	DOOR	HR	HOUR	SED	SEE ELECTRICAL DRAWINGS		
DS	DOWNSPOUT	HW	HOT WATER	SLD	SEE LANDSCAPE DRAWINGS		
DWG	DRAWING	INCL	INCLUDE	SMD	SEE MECHANICAL DRAWINGS		
DF	DRINKING FOUNTAIN OR DOUGLAS FIR	ID	INSIDE DIAMETER	SSD	SEE STRUCTURAL DRAWINGS		
DP	DIMENSION POINT	INSUL	INSULATION	SHT	SHEET		
EA	EACH	INT	INTERIOR	SH	SHelf		
EIFS	EXTERIOR INSULATION FINISH SYSTEM	JT	JOINT	SHWR	SHOWER		
		JST	JOIST	SIM	SIMILAR		
		LAM	LAMINATE	SC	SOLID CORE		

VICINITY MAP



PROJECT INFORMATION

PROJECT DESCRIPTION:

THE SCOPE INCLUDES AN INTERIOR MODIFICATIONS AND REPLACEMENT OF ALL WINDOWS. WORK INCLUDES: REARRANGING INTERIOR NON-STRUCTURAL PARTITIONS TO MODIFY THE (E) 4 BEDROOM, 3 BATH RESIDENCE TO A 2 BEDROOM, 2 BATH RESIDENCE, AND ADDING A HALF BATH TO THE EXISTING TWO CAR GARAGE. SCOPE INCLUDES A KITCHEN REMODEL AND ASSOCIATED MECH. & ELECTRICAL UPGRADES. EXTERIOR MODIFICATIONS INCLUDE ADDITION OF NEW WINDOWS AND ACCESS DOORS FROM THE (E) COURTYARD TO THE GARAGE AND RESIDENCE. MODIFICATIONS AT THE LOW SLOPE ROOF OVER THE GARAGE INCLUDE REROOFING, OVERHANG, RESTRUCTURING AND A GREEN ROOF AT A PORTION OF THE STRUCTURE. REPLACEMENT TRELLIS SECTIONS ARE PROPOSED AT THE NORTH AND SOUTH ENDS OF THE MAIN STRUCTURE AS WAS INCLUDED IN THE ORIGINAL CONSTRUCTION. ALL SINGLE PANE PLATE GLASS GLAZING WILL BE REPLACED WITH INSULATED GLAZING IN ALUM. FRAMES IN THE EXISTING OPENINGS. CASEMENT EGRESS WINDOWS WILL BE REPLACED WITH NEW ALUM. FRAME UNITS IN EXISTING OPENINGS. THE WORK INCLUDES REPLACING THE RADIANT FLOOR HEATING SYSTEM, NEW PLUMBING AND ELECTRICAL AND FIRE SPRINKLERS THROUGHOUT A NEW HOT TUB, PLANTERS, AND BENCH ARE PROPOSED WITHIN THE EXISTING COURTYARD. NO WORK IS PROPOSED OUTSIDE THE EXISTING BUILDING, COURTYARD OR DRIVEWAY AREAS.

PROJECT: 3137 17 MILE DRIVE
ADDRESS: PEBBLE BEACH, CA 93950

OWNERS: RANDALL & STACEY DOWLER

LEGAL DESCRIPTION: ASSESSORS MAP EL PASCADERO RO BLOCK 151, LOT 1

PROJECT CODE DATA:

ARCHITECTURAL PERMIT: 22-0238
APN: 008-263-001
ZONING: LDR-1 S D(CZ)
OCCUPANCY: R3U- SINGLE FAMILY DWELLING
CONSTRUCTION TYPE: TYPE II
FIRE SPRINKLERS REQ'D: YES

FIRE DEPARTMENT: PEBBLE BEACH CSD

AREA SUMMARY:

SITE AREA	1.68 ACRES (50,888 sq. ft.)
ALLOWABLE SITE COVERAGE	17,811 sq. ft. (35%)

FLOOR AREA SUMMARY: EXISTING & PROPOSED

FIRST FLOOR	2200
GARAGE	740
TOTAL FLOOR AREA	2940 sq. ft. (F.A.R 6%)

SITE COVERAGE EXISTING (NO CHANGE)

DRIVEWAY	8134
PATIOS & WALKWAYS	1456
BLDG. (E)	2940
	10,530 sq. ft. (62%)

TREE REMOVAL: NONE

GRADING: N/A

1321.01

DESIGN APPROVAL SUBMITTAL

Title:
TITLE SHEET: SHEET INDEX
ABBREVIATIONS, SYMBOLS,

PROJECT INFORMATION

Revisions:

Scale: NTS

Sheet No:

Date: NOV. 15, 2024

T1.0

DOWLER RESIDENCE REMODEL

FANSHELL HOUSE
 3137 17 MILE DRIVE
 PEBBLE BEACH, CA

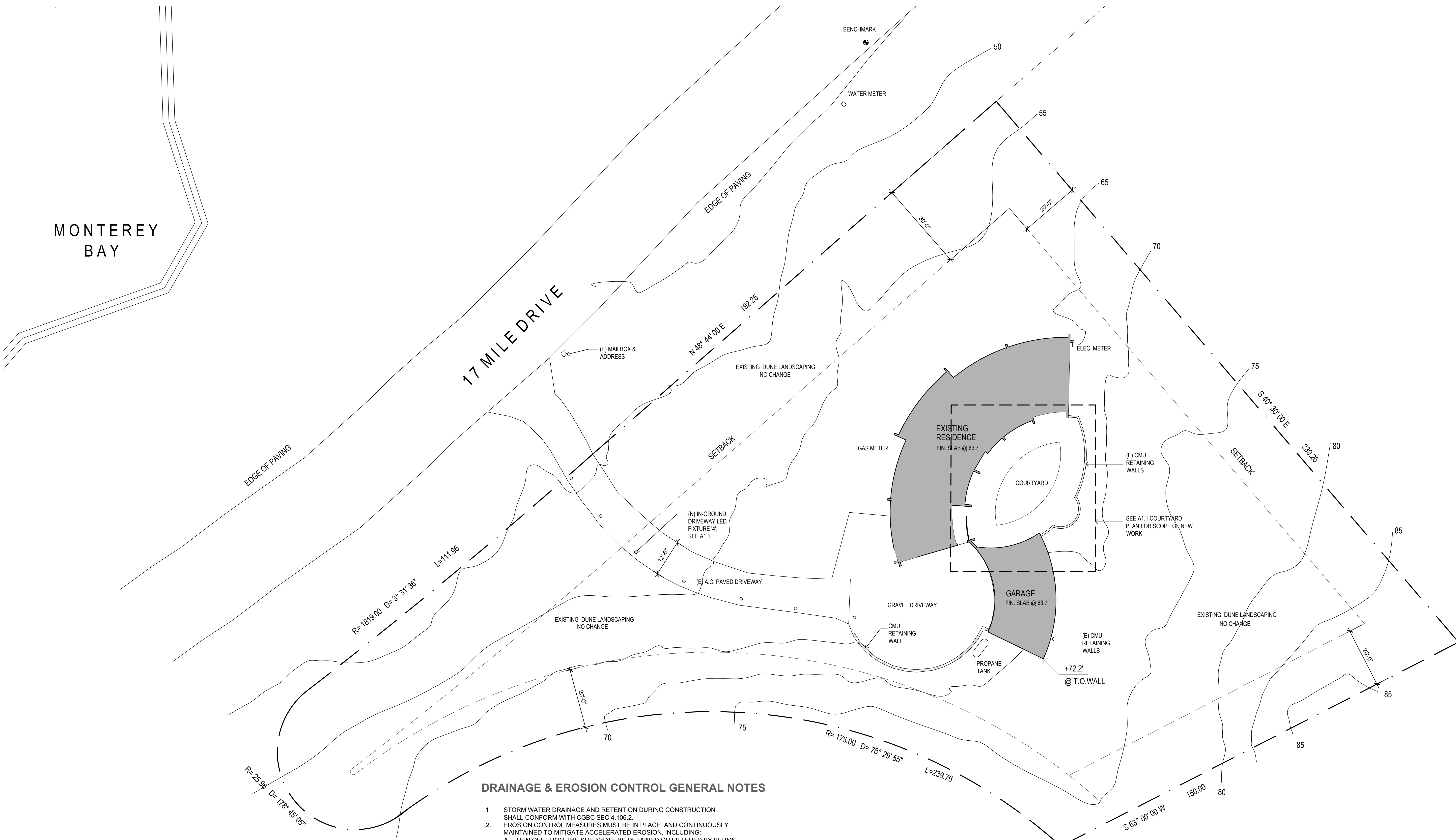
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Title:
 SITE PLAN

Revisions:

Scale: 1/16"=1'-0" **Sheet No:**
Date: NOV. 15, 2024 **A1.0**



DRAINAGE & EROSION CONTROL GENERAL NOTES

1. STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION SHALL CONFORM WITH CGBC SEC 4.106.2.
2. EROSION CONTROL MEASURES MUST BE IN PLACE AND CONTINUOUSLY MAINTAINED TO MITIGATE ACCELERATED EROSION, INCLUDING:
 - A. RUN OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
 - B. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAYS WORK.
 - C. ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
3. DURING CONSTRUCTION THE CONTRACTOR SHALL MAINTAIN THE PUBLIC RIGHT OF WAY (STREET/SIDEWALK) FREE FROM DEBRIS AND DIRT.
4. DISTURBANCE OF SURFACE VEGETATION DURING CONSTRUCTION SHALL BE KEPT TO A MINIMUM.
5. DIRT/SAND/OR GRAVEL MATERIALS STORED ON SITE SHALL BE COVERED AND CONTAINED WITH SEDIMENT BARRIERS.
7. CLEARANCE OF VEGETATION AROUND THE BUILDING AND EMERGENCY ACCESS TO THE STRUCTURE TO COMPLY WITH THE FIRE DEPARTMENT HAVING JURISDICTION.
8. ALL DISTURBED SURFACED SHALL BE PREPARED AND MAINTAINED TO CONTROL EROSION AND TO ESTABLISH NATIVE OR NATURALIZED VEGETATIVE GROWTH COMPATIBLE WITH THE AREA. THIS CONTROL SHALL CONSIST OF:
 - A. EFFECT TEMPORARY PLANTING SUCH AS RYE GRASS, SOME OTHER FAST GERMINATING SEED AND MULCHING WITH STRAW AND/OR OTHER SLOPE STABILIZATION MATERIAL.
 - B. PERMANENT PLANTING OF NATIVE OR NATURALIZED DROUGHT RESISTANT SPECIES OF SHRUBS, TREES OR OTHER VEGETATION PURSUANT TO THE COUNTY'S LANDSCAPE CRITERIA, WHEN THE PROJECT IS COMPLETED.
 - C. MULCHING, FERTILIZING, WATERING OR OTHER METHODS MAY BE REQUIRED TO ESTABLISH NEW VEGETATION. TOPSOIL SHOULD BE STOCKPILED AND REAPPLIED.
9. DUST FROM THE GRADING OPERATION SHALL BE CONTROLLED. THE OWNER OR CONTRACTOR MAY BE REQUIRED TO KEEP ADEQUATE EQUIPMENT ON THE GRADING SITE TO PREVENT DUST PROBLEMS.

PLAN LEGEND

- TREE PROTECTION; FENCING AND STRAW BALES
- FIBER/SEDIMENT ROLL
- 5' (E) CONTOURS
- WOOD FENCING
- GARDEN FENCING
- EXISTING RESIDENTIAL STRUCTURE

1 EXISTING & PROPOSED SITE PLAN
 1/16"=1'-0"

SURVEY NOTES:

1. BOUNDARY LOCATIONS SHOWN HEREON ARE SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS.
2. BENCHMARK: AN ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM. AN ELEVATION OF 50.0' HAS BEEN ASSIGNED TO A MAG NAIL & DISC SET IN THE PAVEMENT NEAR THE NORTHERN CORNER OF THE PROPERTY.
3. PROPERTY LINES, CONTOURS, AND SITE FEATURES ARE BASED ON TOPOGRAPHIC SITE SURVEY PREPARED BY LUCIDO SURVEYORS, LICENSED LAND SURVEYOR, DEL REY OAKS, CA, DATED AUGUST 2023.
4. CONTOUR INTERVAL = 5'

DOWLER RESIDENCE REMODEL

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 3137 17 MILE DRIVE
 PEBBLE BEACH, CA

APN 008-263-001

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Title:
 EXISTING & DEMO FLOOR PLAN

Revisions:

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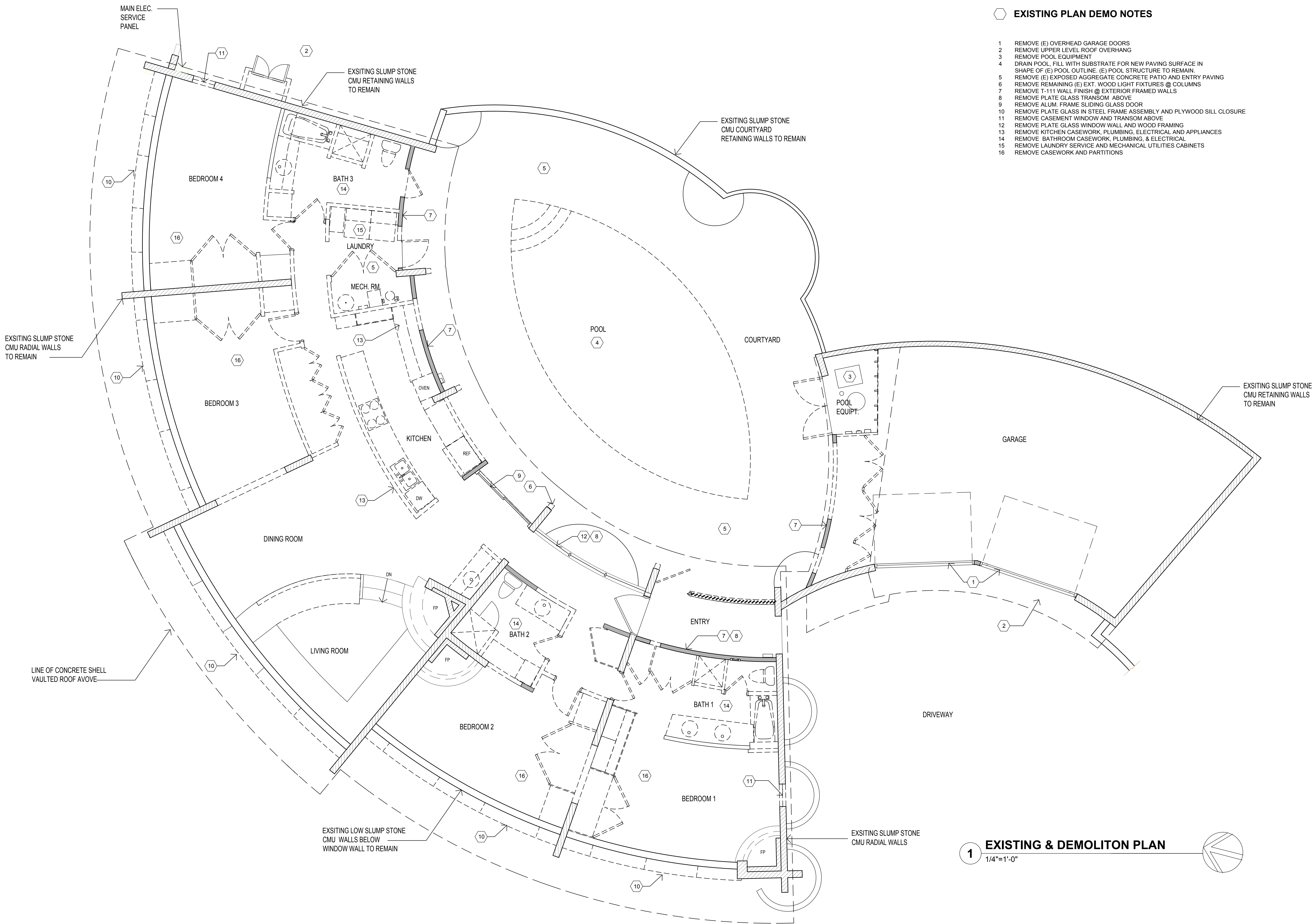
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EXISTING PLAN DEMO NOTES

- 1 REMOVE (E) OVERHEAD GARAGE DOORS
- 2 REMOVE UPPER LEVEL ROOF OVERHANG
- 3 REMOVE POOL EQUIPMENT
- 4 DRAIN POOL. FILL WITH SUBSTRATE FOR NEW PAVING SURFACE IN SHAPE OF (E) POOL OUTLINE. (E) POOL STRUCTURE TO REMAIN.
- 5 REMOVE (E) EXPOSED AGGREGATE CONCRETE PATIO AND ENTRY PAVING
- 6 REMOVE REMAINING (E) EXT. WOOD LIGHT FIXTURES @ COLUMNS
- 7 REMOVE T-111 WALL FINISH @ EXTERIOR FRAMED WALLS
- 8 REMOVE PLATE GLASS TRANSOM ABOVE
- 9 REMOVE ALUM. FRAME SLIDING GLASS DOOR
- 10 REMOVE PLATE GLASS IN STEEL FRAME ASSEMBLY AND PLYWOOD SILL CLOSURE
- 11 REMOVE CASEMENT WINDOW AND TRANSOM ABOVE
- 12 REMOVE PLATE GLASS WINDOW WALL AND WOOD FRAMING
- 13 REMOVE KITCHEN CASEWORK, PLUMBING, ELECTRICAL AND APPLIANCES
- 14 REMOVE BATHROOM CASEWORK, PLUMBING, & ELECTRICAL
- 15 REMOVE LAUNDRY SERVICE AND MECHANICAL UTILITIES CABINETS
- 16 REMOVE CASEWORK AND PARTITIONS



1 EXISTING & DEMOLITION PLAN
 1/4"=1'-0"

DOWLER RESIDENCE REMODEL

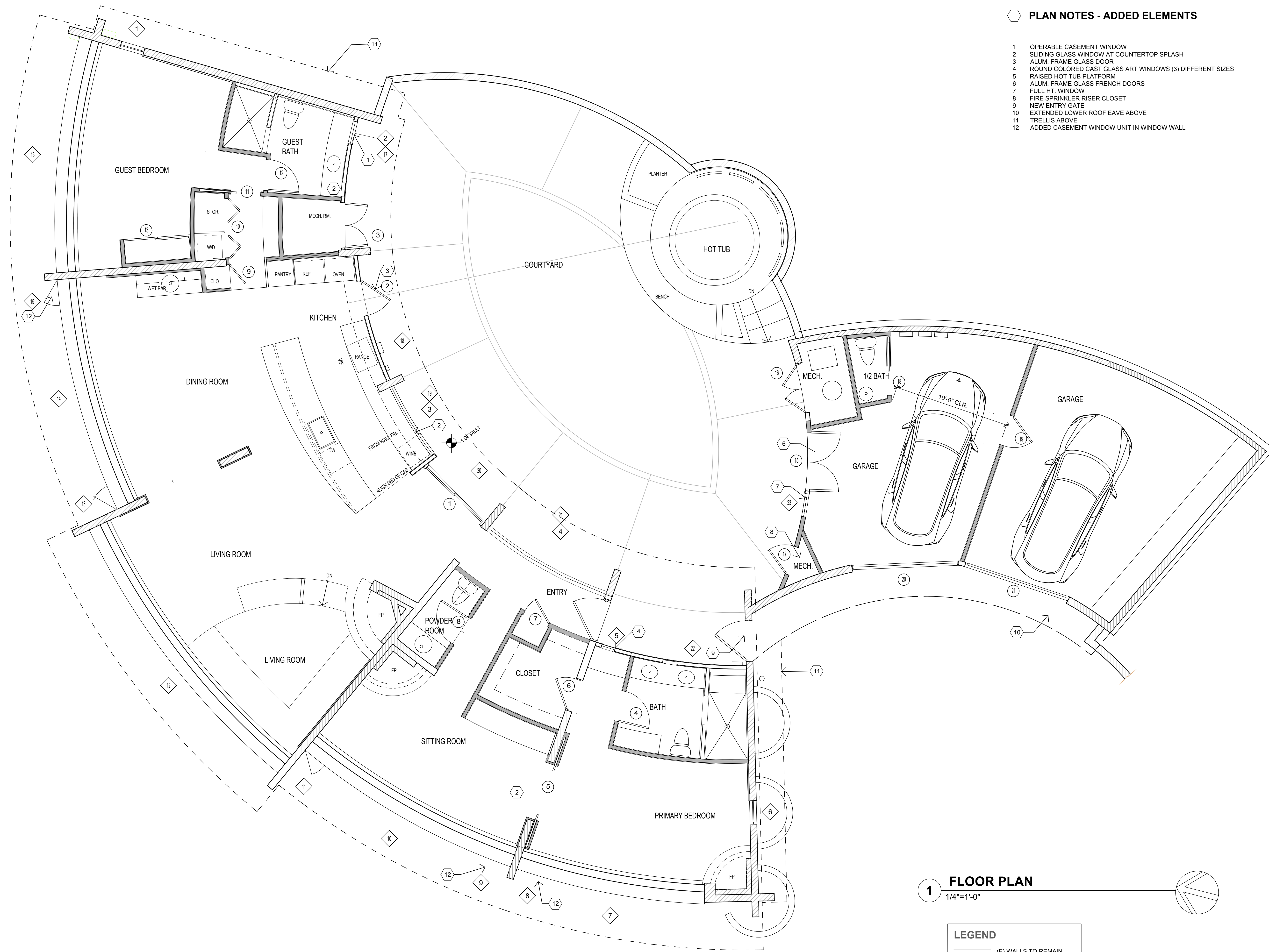
FANSHELL HOUSE
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Title:
 FLOOR PLAN

Revisions:

Scale: 1/4"=1'-0" Sheet No:
 Date: NOV. 15, 2024 A2.1



PLAN NOTES - ADDED ELEMENTS

- 1 OPERABLE CASEMENT WINDOW
- 2 SLIDING GLASS WINDOW AT COUNTERTOP SPLASH
- 3 ALUM. FRAME GLASS DOOR
- 4 ROUND COLORED CAST GLASS ART WINDOWS (3) DIFFERENT SIZES
- 5 RAISED HOT TUB PLATFORM
- 6 ALUM. FRAME GLASS FRENCH DOORS
- 7 FULL HT. WINDOW
- 8 FIRE SPRINKLER RISER CLOSET
- 9 NEW ENTRY GATE
- 10 EXTENDED LOWER ROOF EAVE ABOVE
- 11 TRELLIS ABOVE
- 12 ADDED CASEMENT WINDOW UNIT IN WINDOW WALL

1 FLOOR PLAN
 1/4"=1'-0"

LEGEND	
	(E) WALLS TO REMAIN
	NEW 2 X STUD WALL
	DEMOLISHED FEATURES

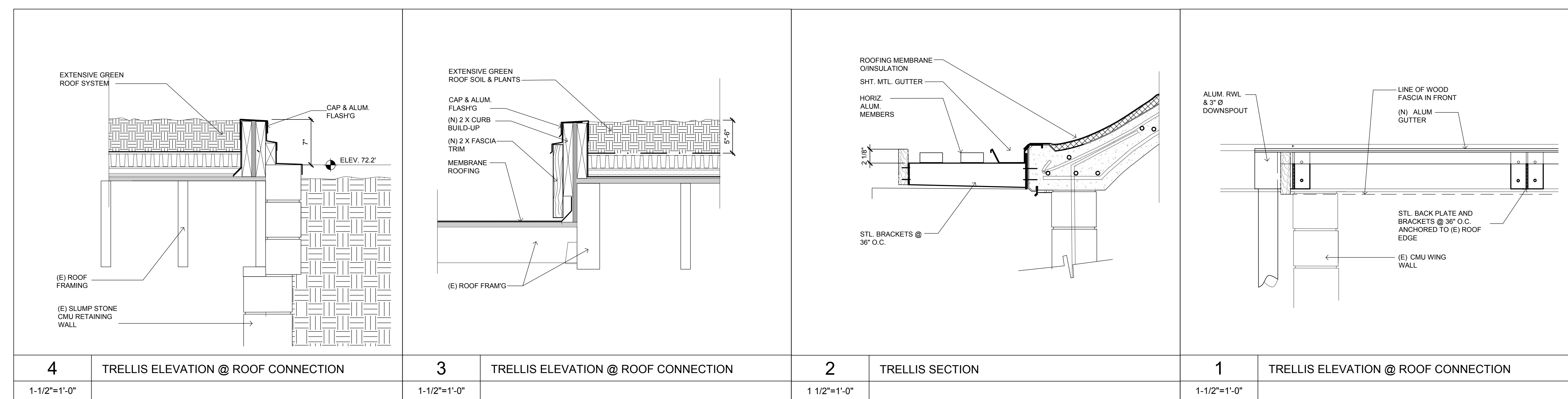
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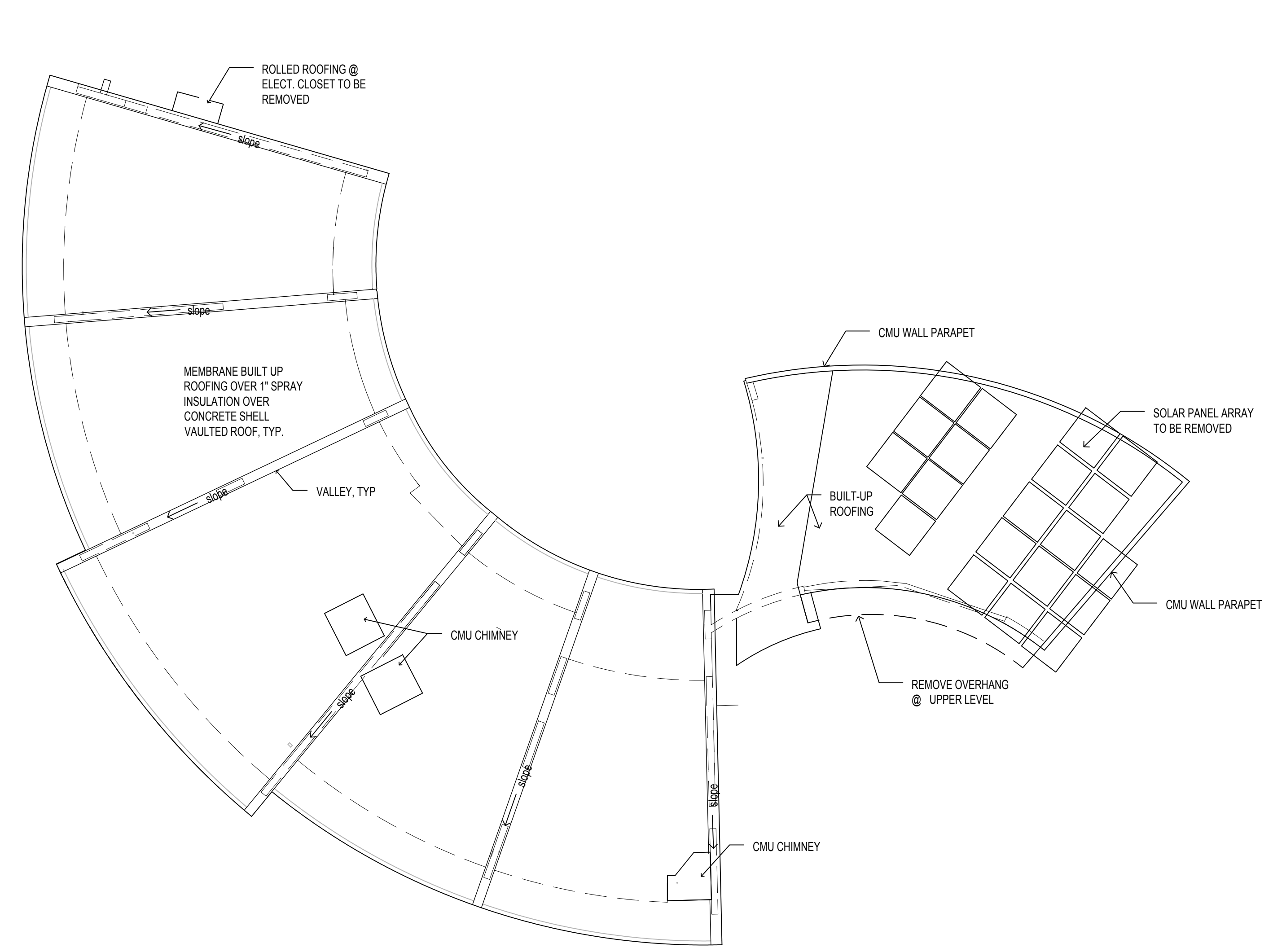
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Title:
 EXISTING ROOF PLAN
 PROPOSED ROOF PLAN
 ROOF DETAILS

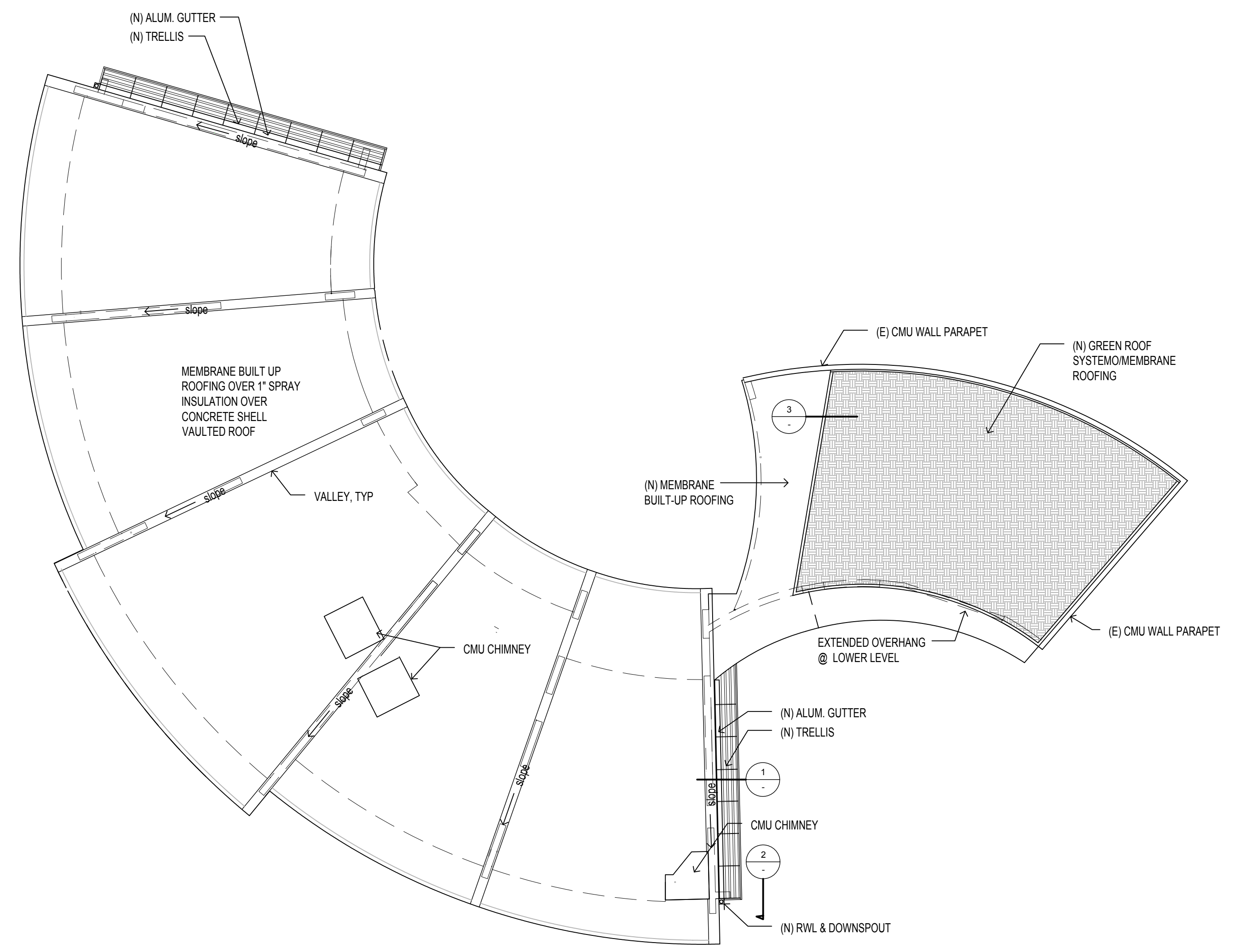
Revisions:



4	TRELLIS ELEVATION @ ROOF CONNECTION	3	TRELLIS ELEVATION @ ROOF CONNECTION	2	TRELLIS SECTION	1	TRELLIS ELEVATION @ ROOF CONNECTION
1-1/2"=1'-0"		1-1/2"=1'-0"		1 1/2"=1'-0"		1-1/2"=1'-0"	



6 EXISTING ROOF PLAN
 1/8"=1'-0"



5 PROPOSED ROOF PLAN
 1/8"=1'-0"

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Title:
 EXISTING ROOF PLAN
 PROPOSED ROOF PLAN
 ROOF DETAILS

Revisions:

DOWLER RESIDENCE REMODEL

FANSHELL HOUSE
3137 17 MILE DRIVE
PEBBLE BEACH, CA

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Title:
WINDOW SECTIONS & DETAILS

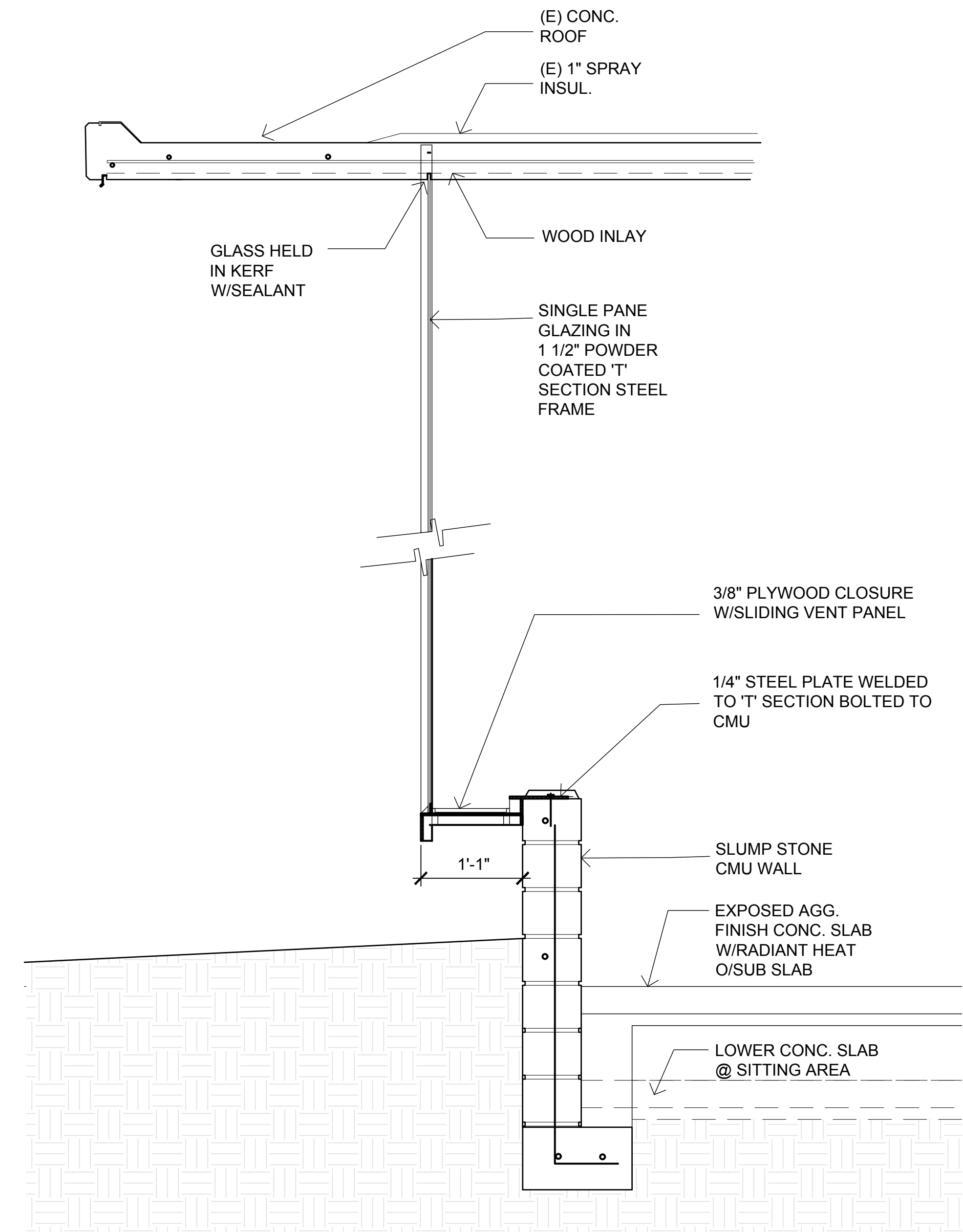
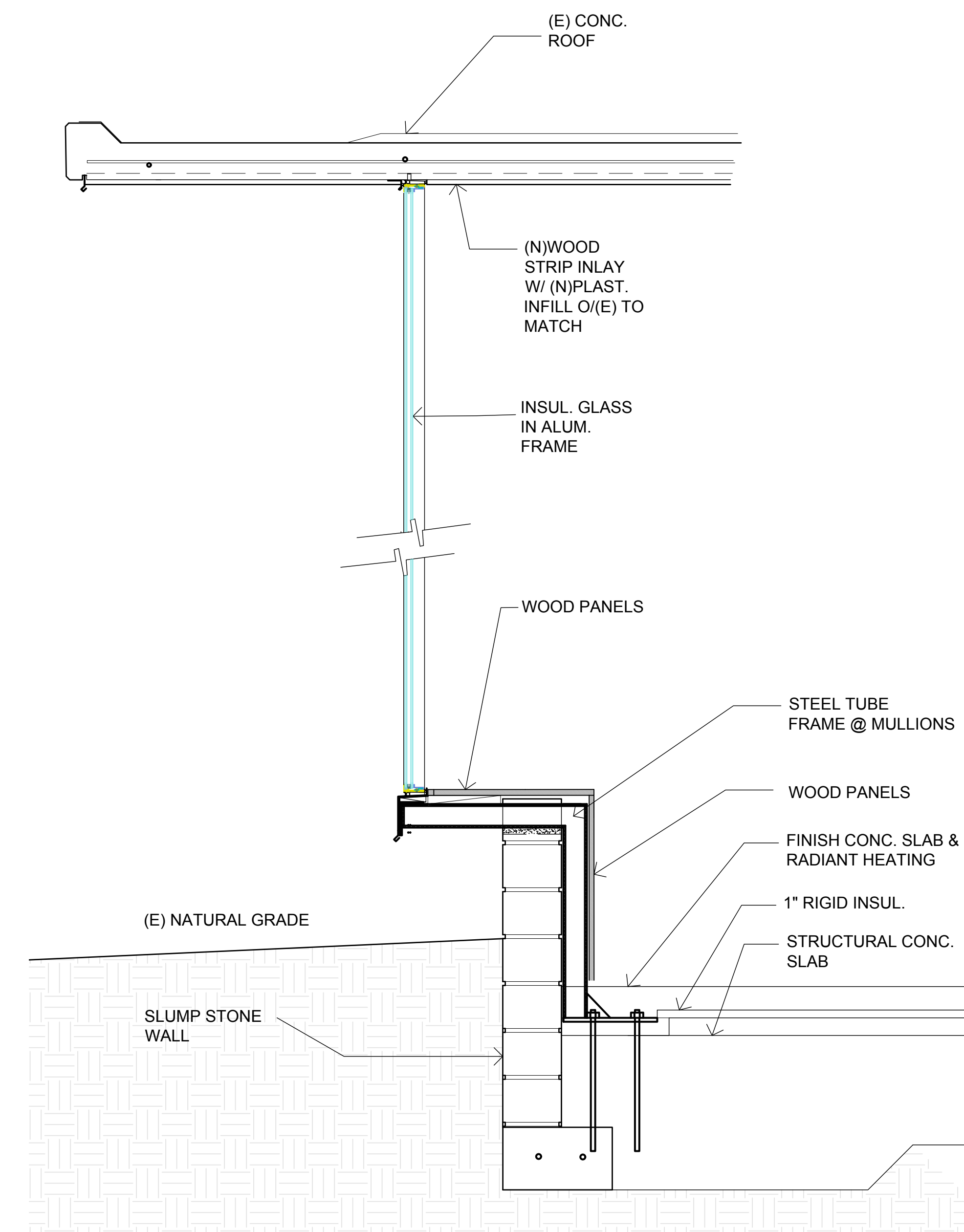
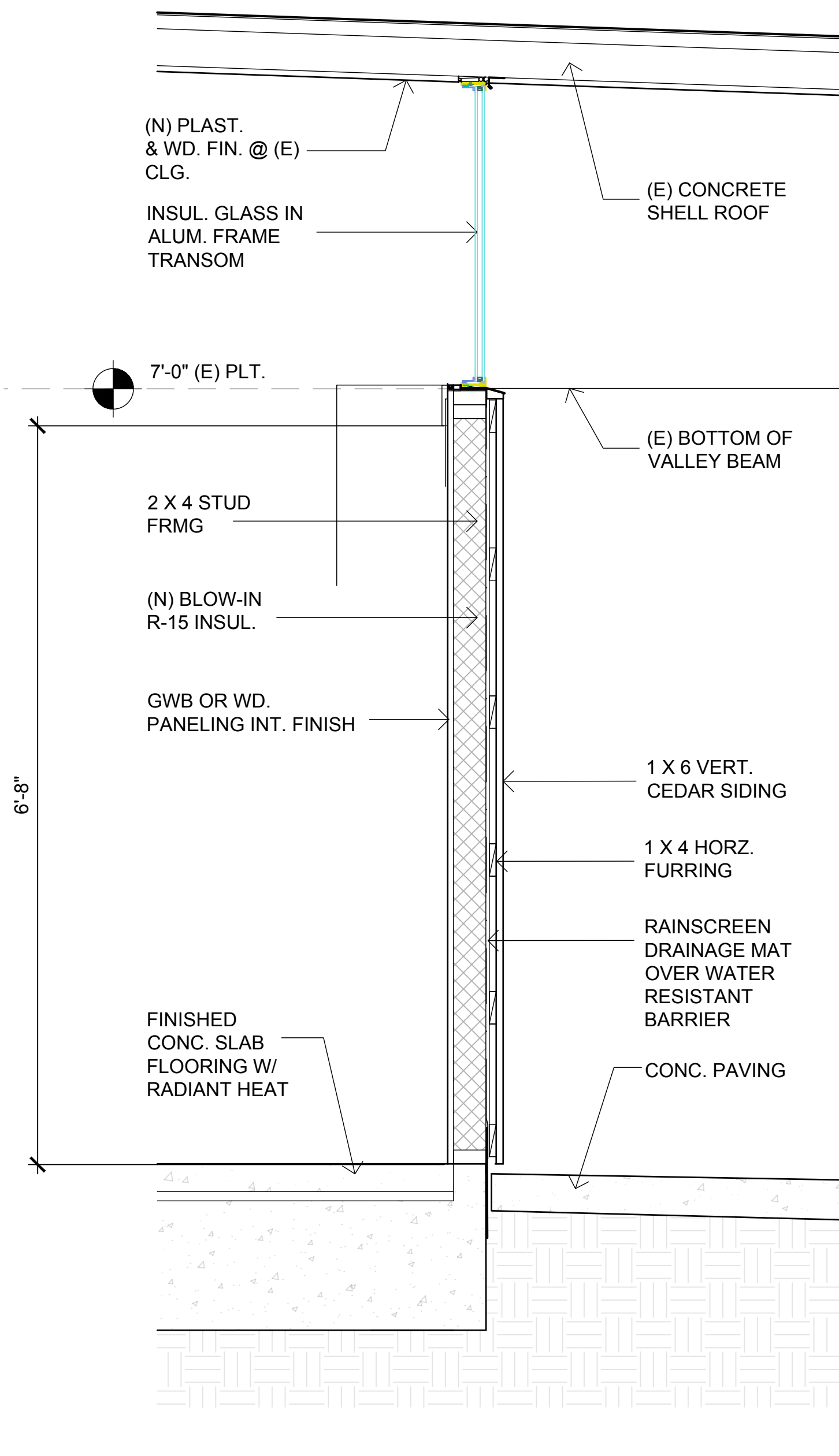
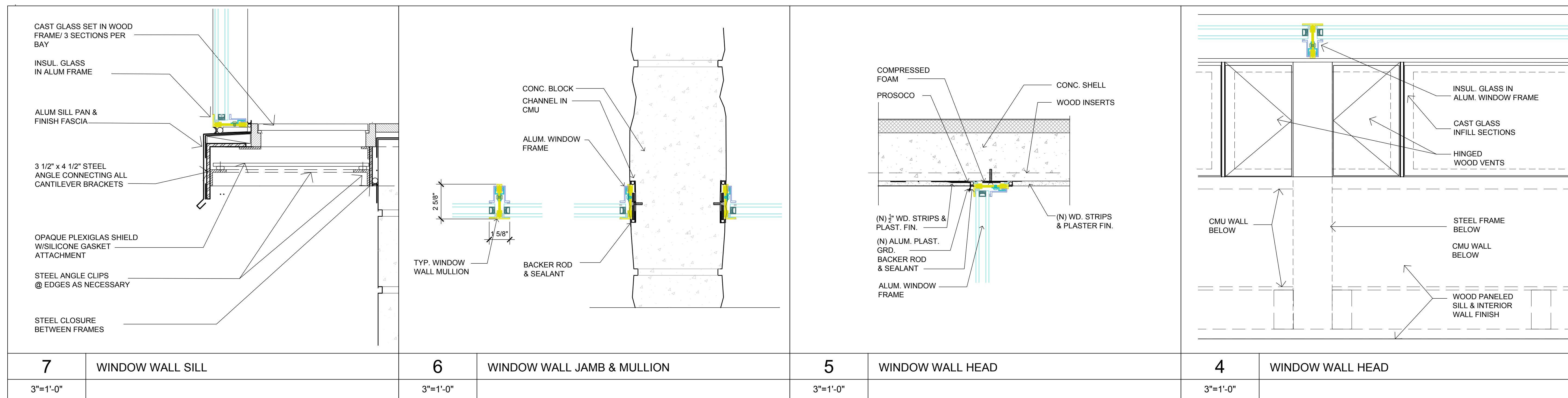
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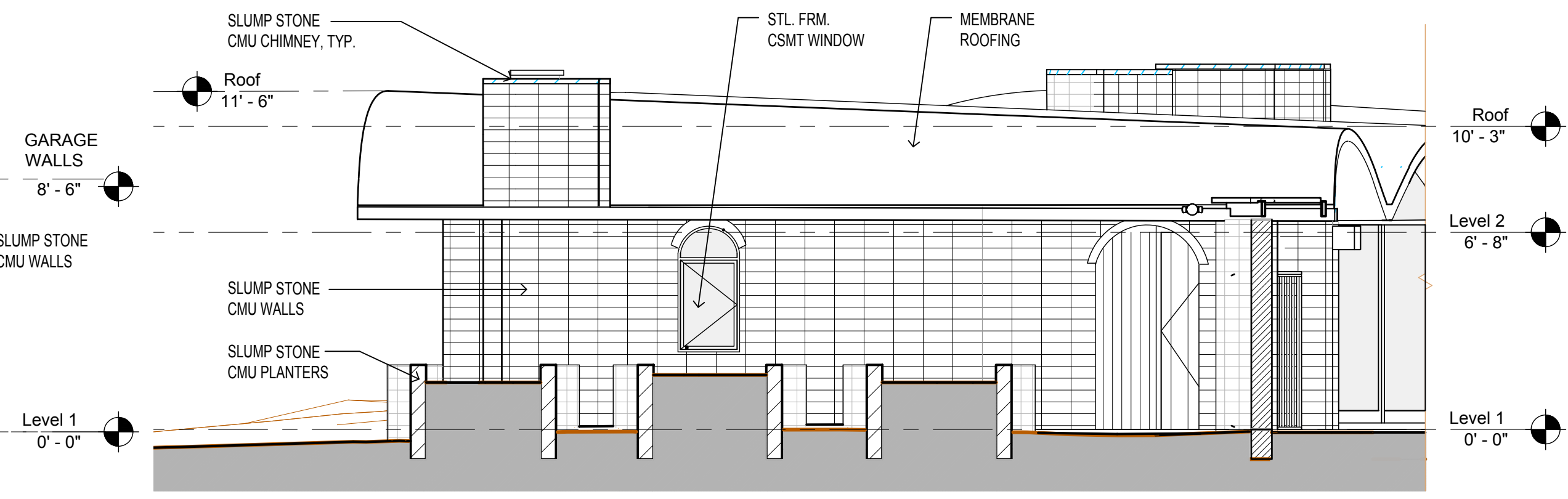
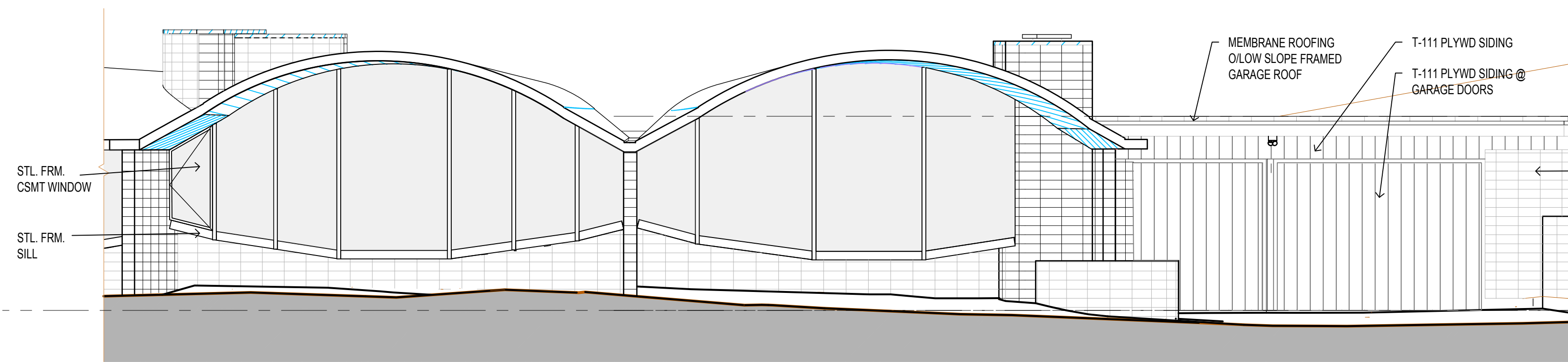
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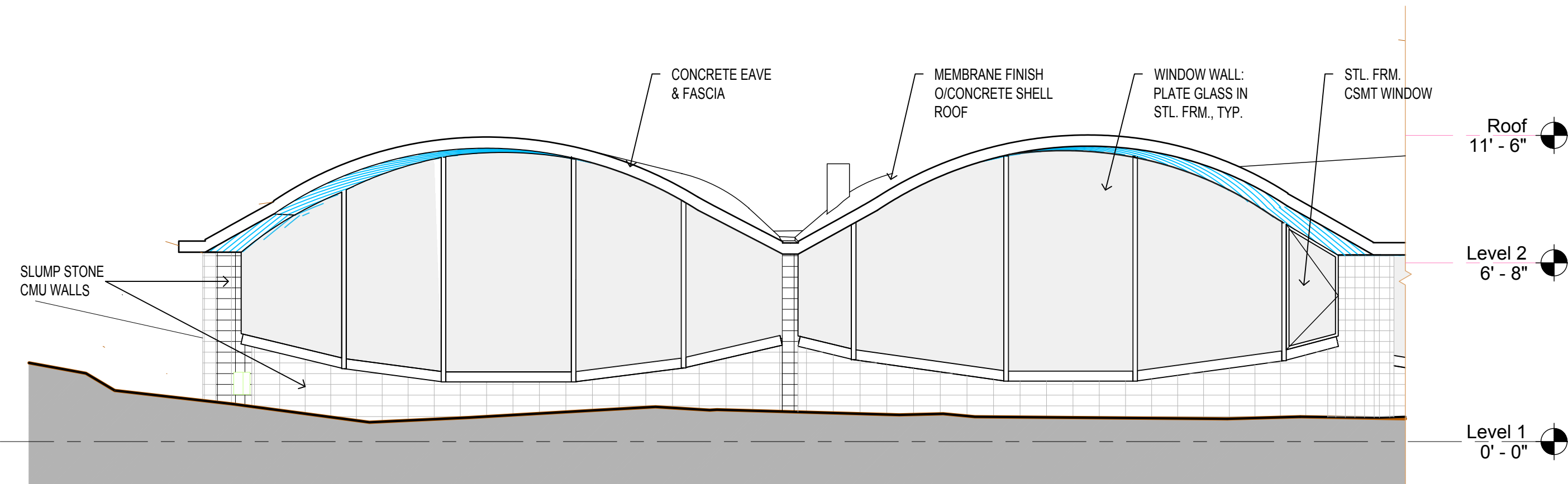
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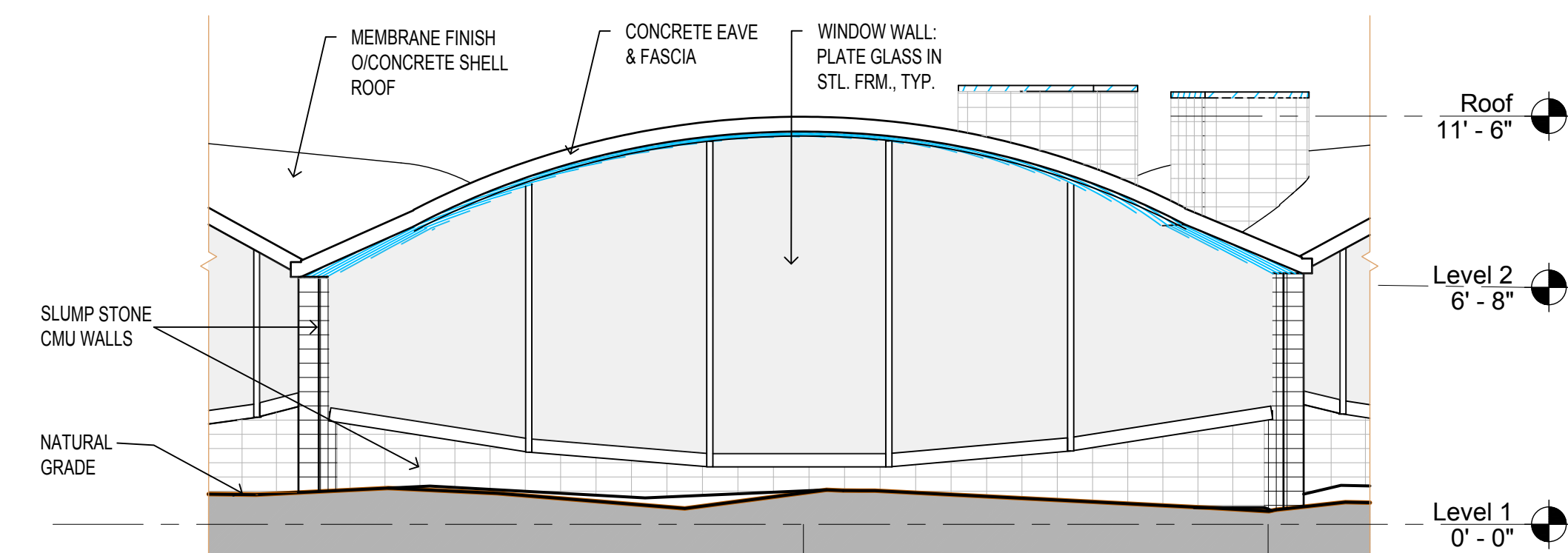
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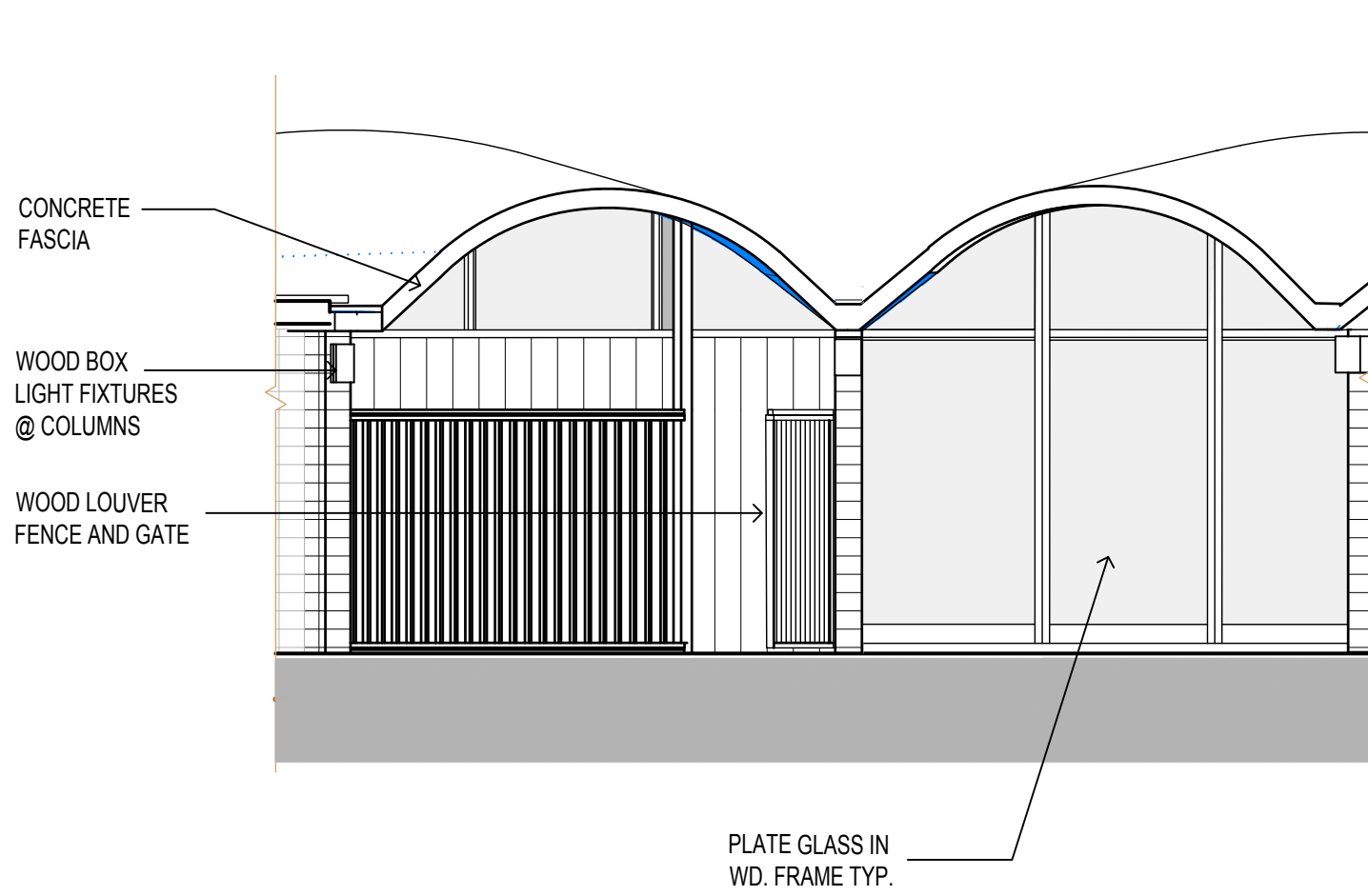
2 SOUTH/WEST
1/4"=1'-0"



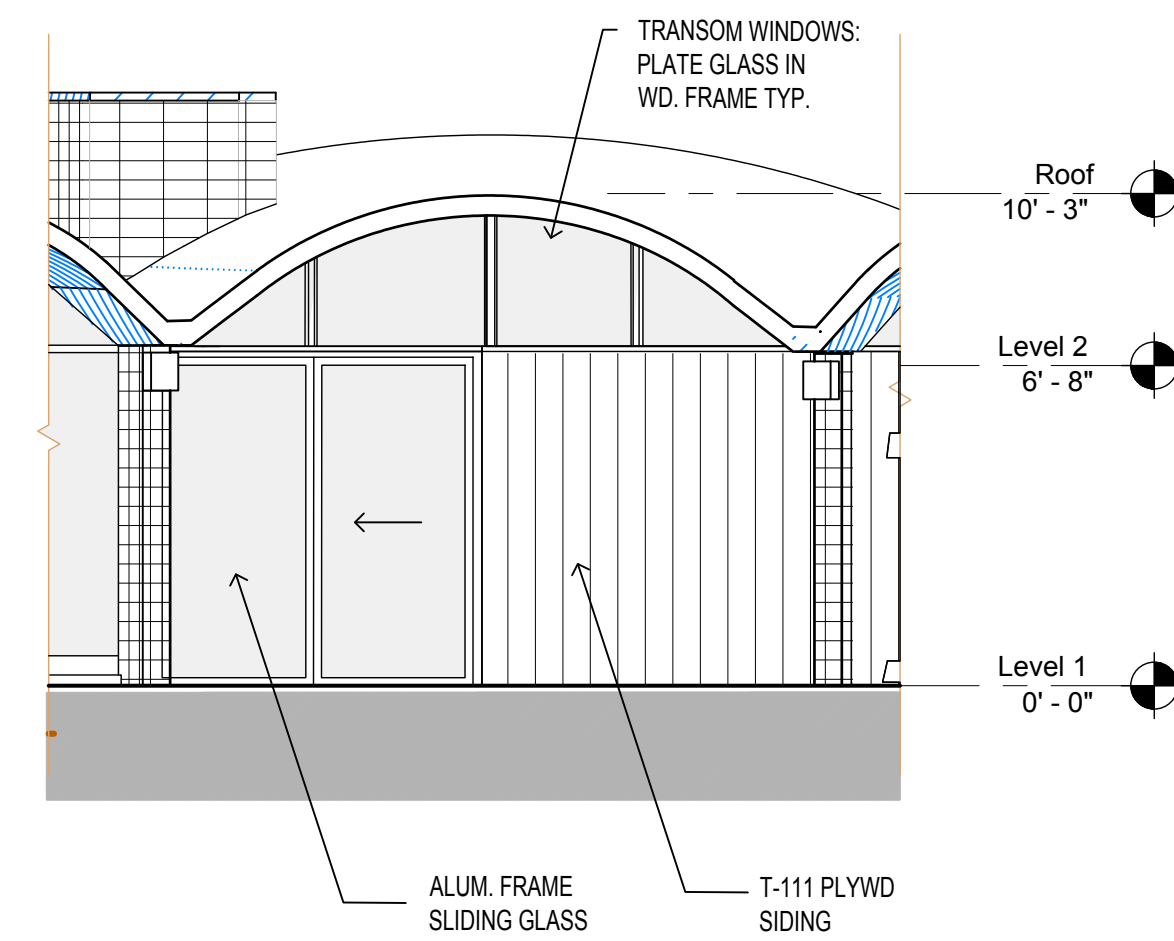
1 SOUTH
1/4"=1'-0"



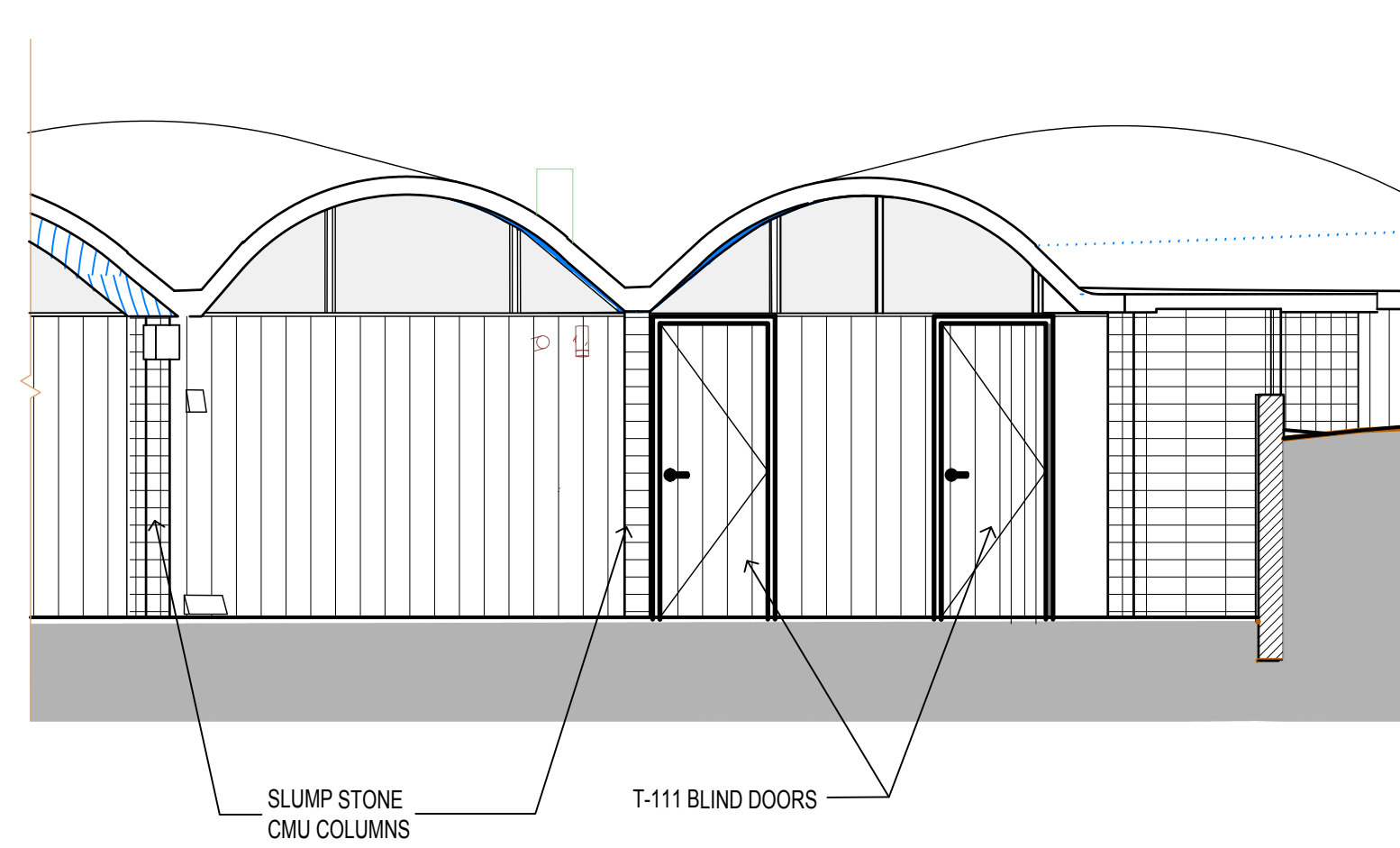
4 NORTH/WEST
1/4"=1'-0"



7 NORTH/EAST
1/4"=1'-0"

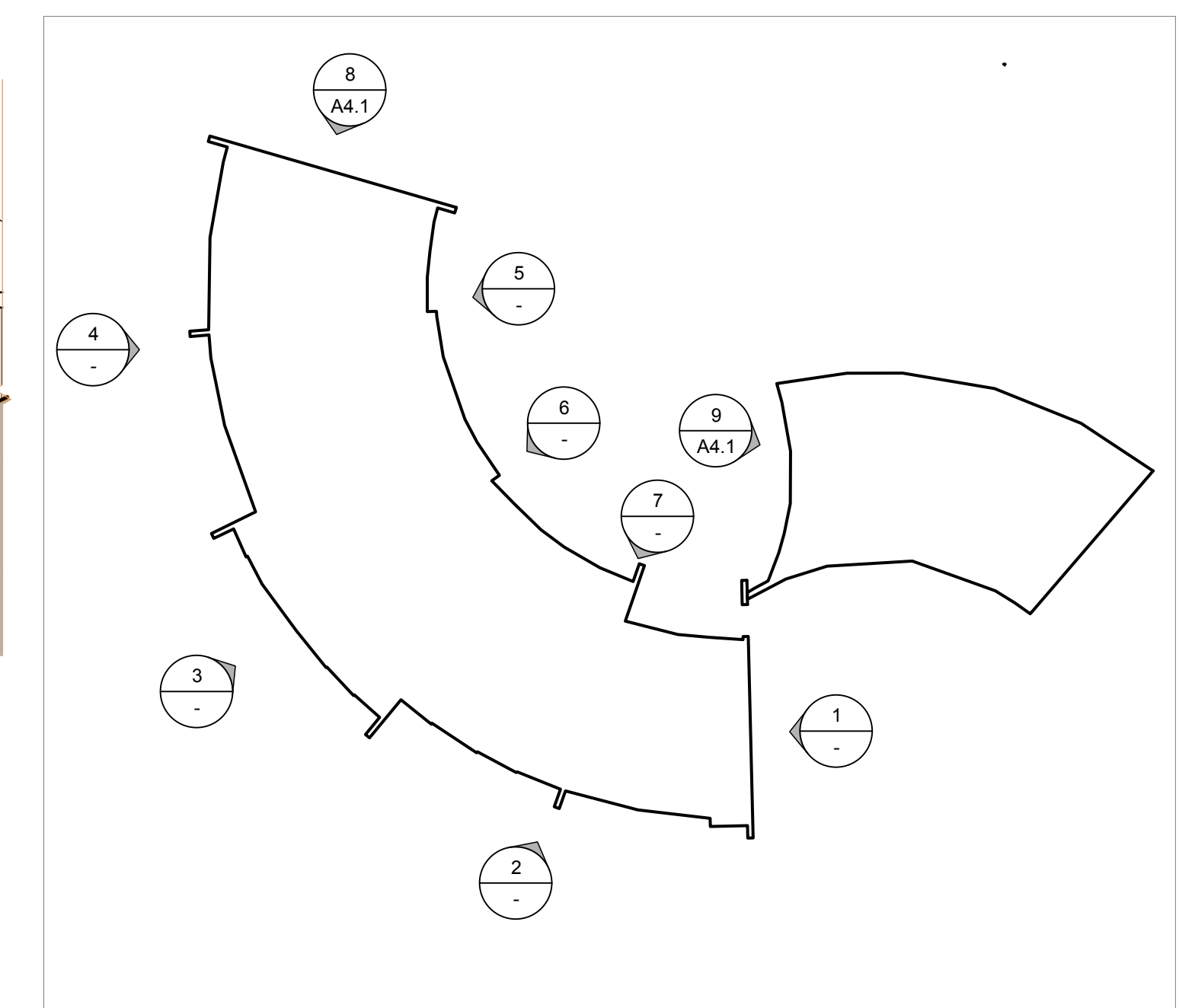


6 EAST
1/4"=1'-0"



5 SOUTH/EAST
1/4"=1'-0"

3 WEST
1/4"=1'-0"



KEY PLAN
NTS

NOTE:
EXISTING ELEVATIONS WERE GENERATED FROM A 3D LASER BUILDING SCAN BY MULTIVISTA, INC. REFER TO THE KEY PLAN ABOVE FOR THE VIEWS OF EACH BUILDING SEGMENT OF THE PRIMARY STRUCTURE.

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DESIGN APPROVAL SUBMITTAL

Title:
EXISTING EXTERIOR ELEVATIONS

Revisions:

Scale: 1/4"=1'-0"

Sheet No:

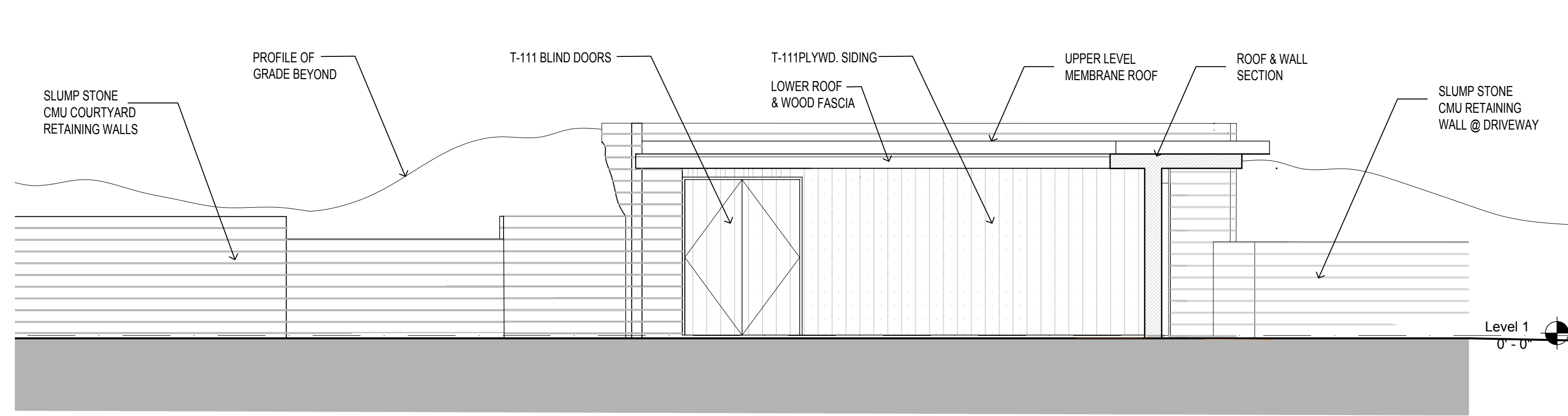
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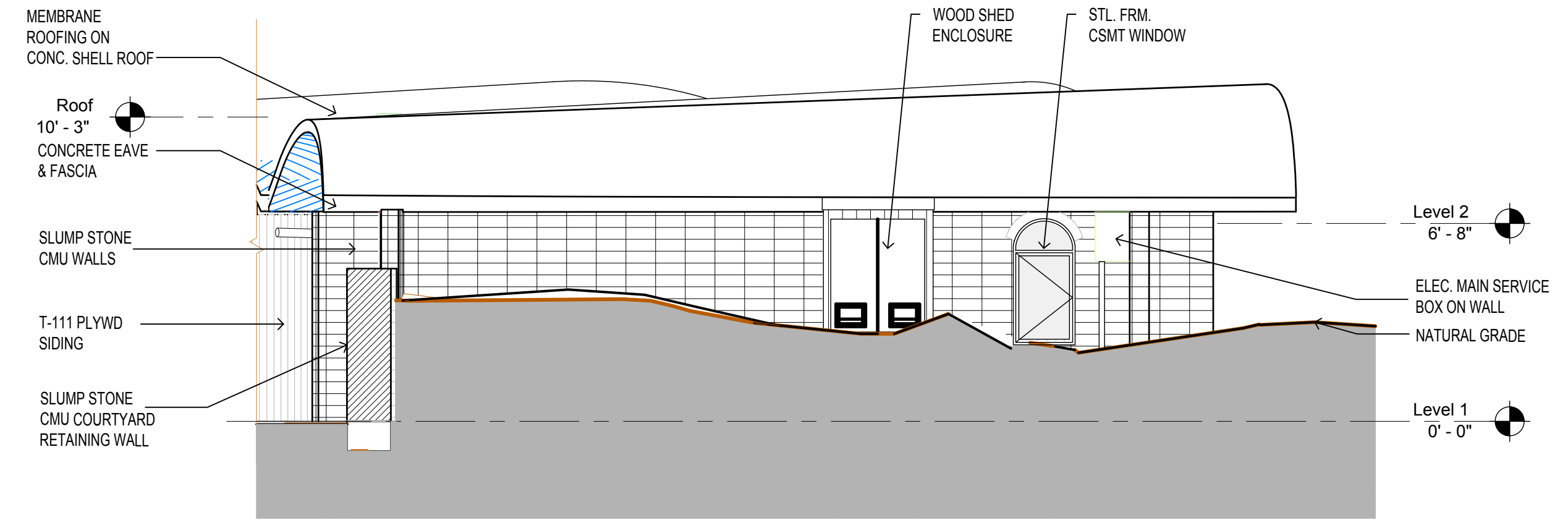
DOWLER RESIDENCE REMODEL

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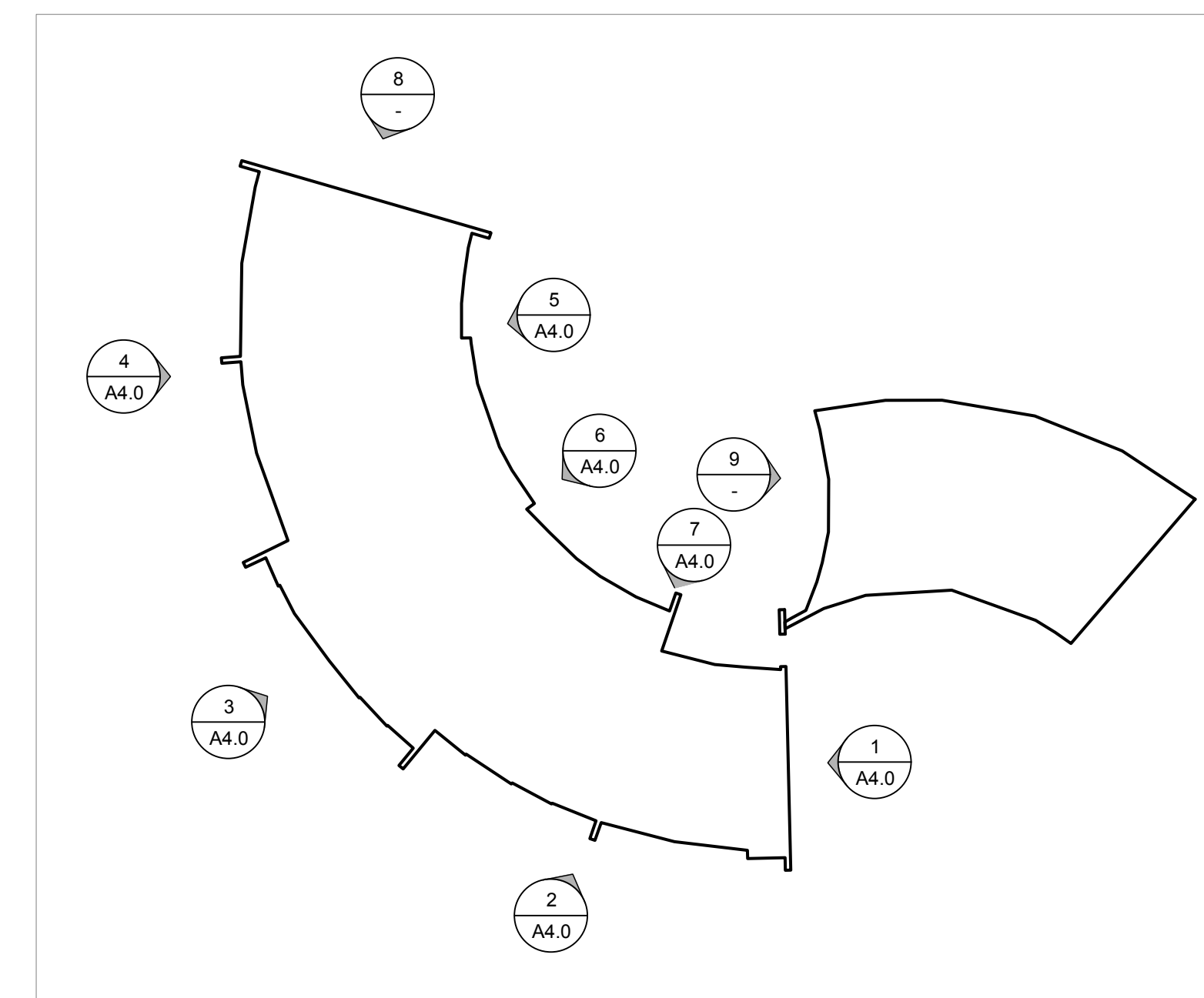
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9 GARAGE/NORTH
 1/4"=1'-0"



8 NORTH
 1/4"=1'-0"



KEY PLAN
 NTS

1321.01

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Title:
 EXISTING EXTERIOR ELEVATIONS

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DESIGN APPROVAL SUBMITTAL

Title:
 EXTERIOR ELEVATIONS
 PROPOSED

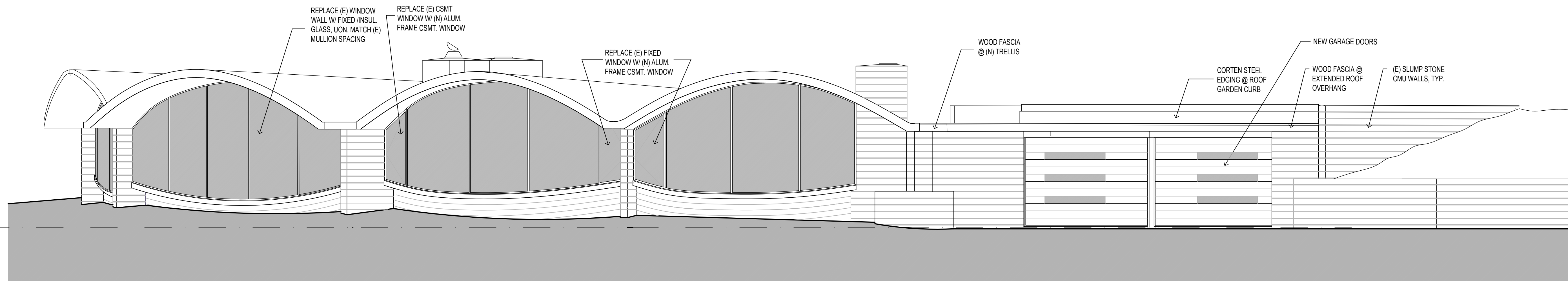
Revisions:

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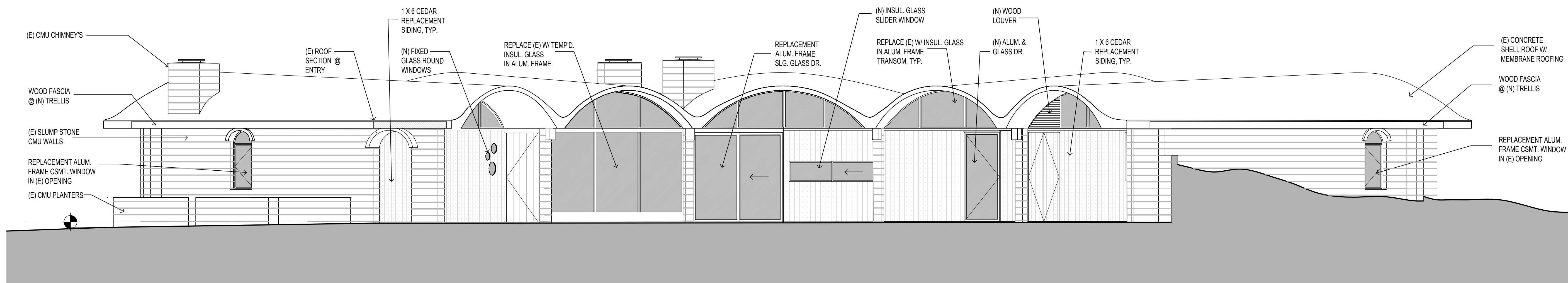
Sheet No:

Date: NOV. 15, 2024

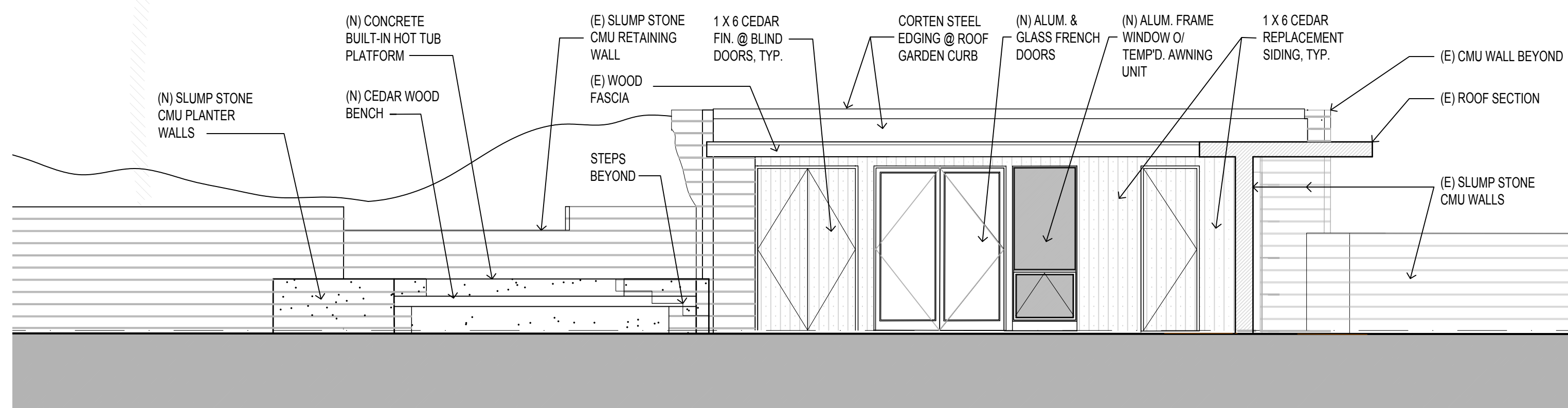
A4.2



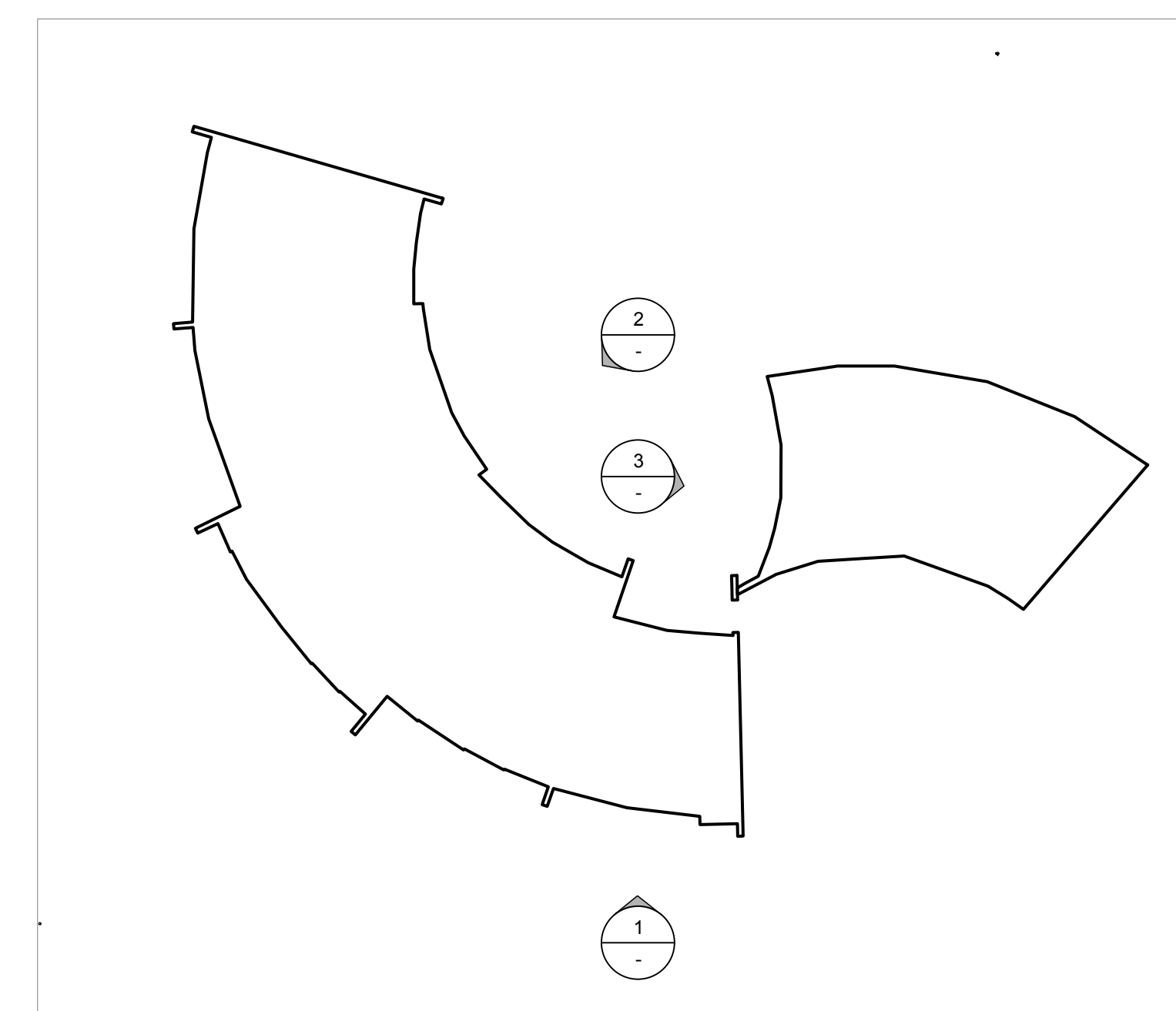
1 WEST ELEVATION
 1/4"=1'-0"



2 EAST ELEVATION
 1/4"=1'-0"



3 GARAGE NORTH ELEVATION
 1/4"=1'-0"



KEY PLAN
 NTS

DOWLER RESIDENCE REMODEL

FANSHELL HOUSE
 3137 17 MILE DRIVE
 PEBBLE BEACH, CA

APN 008-263-001

1321.01

DESIGN APPROVAL SUBMITTAL

Title:
 DOOR SCHEDULE & TYPES
 WINDOW SCHEDULE &
 TYPES

Revisions:

Scale: 1/4"=1'-0"

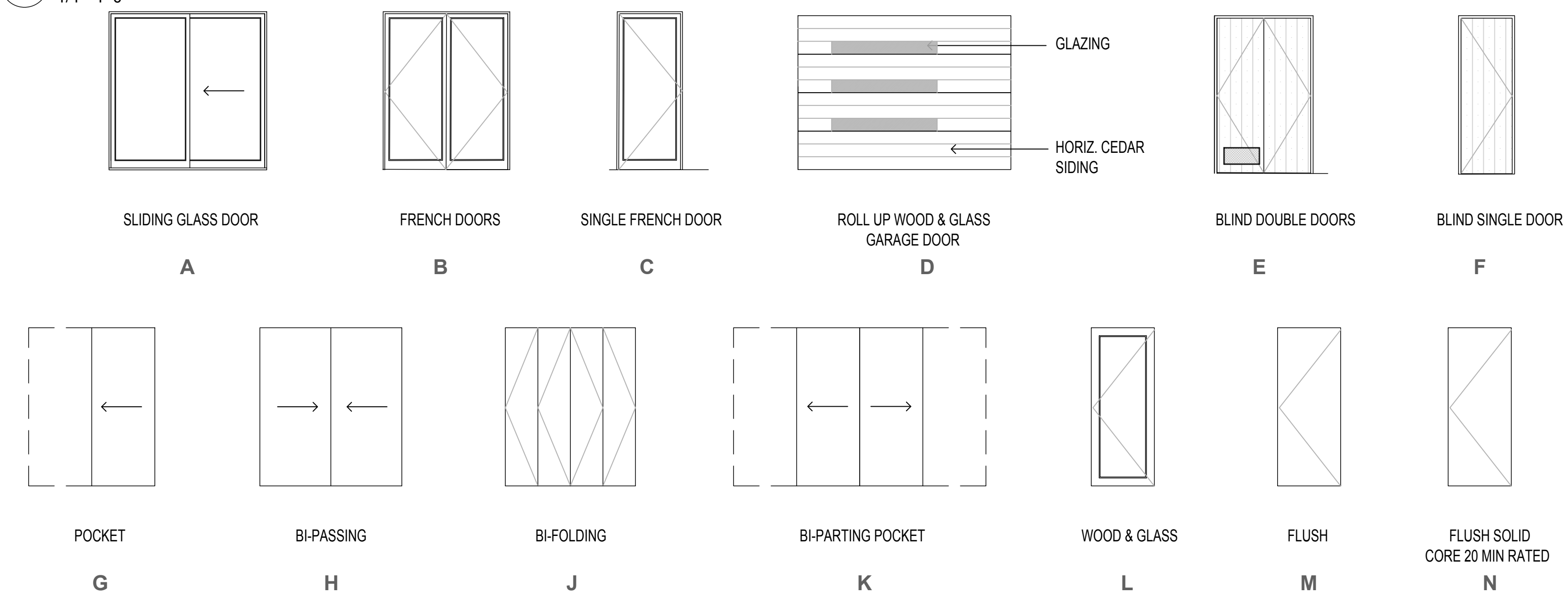
Sheet No:

Date: NOV. 15, 2024

A4.3

2 DOOR TYPES

1/4"=1'-0"



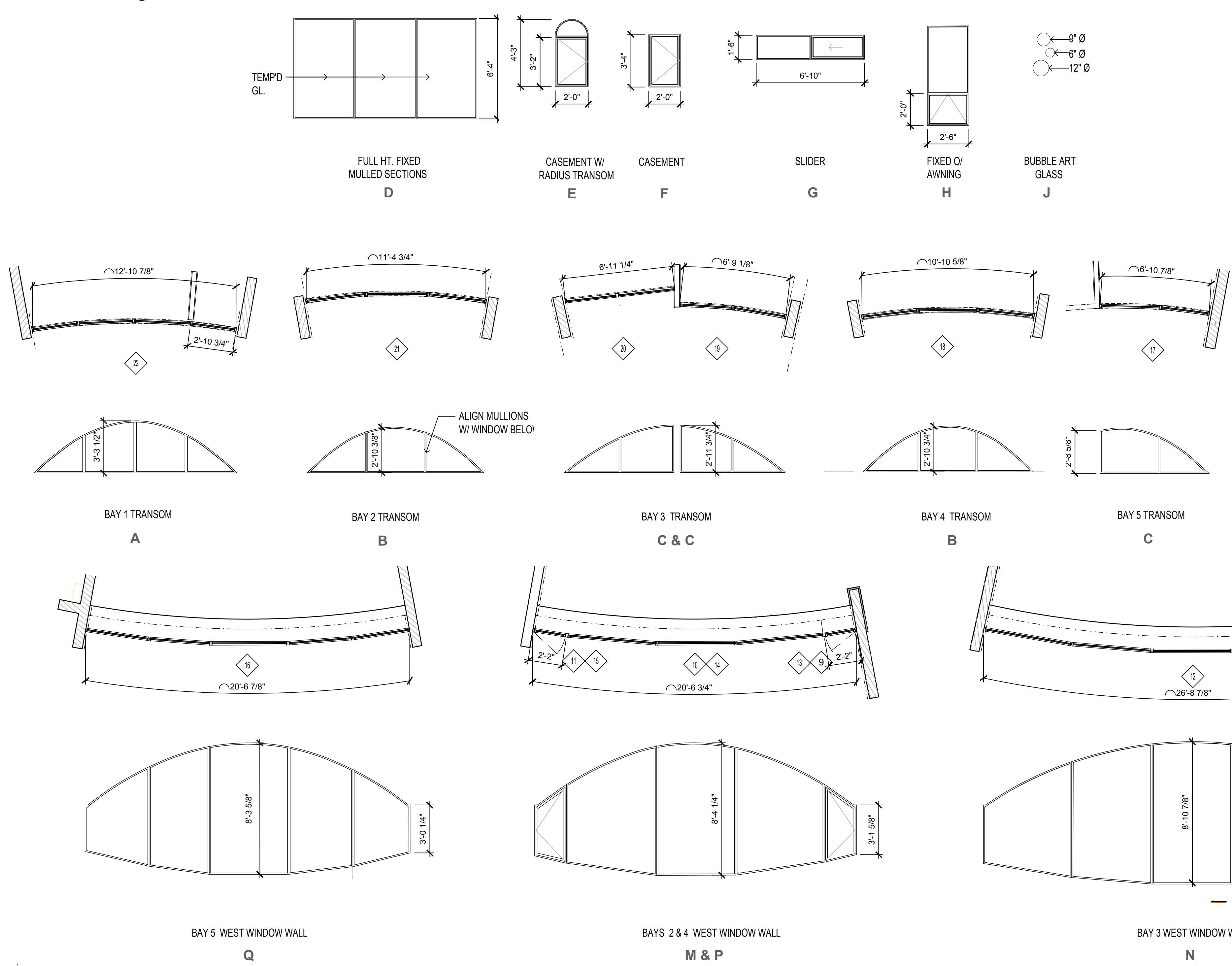
1 DOOR SCHEDULE

MARK	DOOR TYPE	SIZE		FRAME DETAILS	REMARKS	NOTE
		WIDTH	HEIGHT			
1	A	6'-11"	6'-8"		ALUM. SLIDING GLASS DOOR, ROUGH OPENING	2,3,4,5
2	C	2'-10"	6'-8"		ALUM. & GLASS SINGLE LEAF OUTSWINGING DOOR	2,3,4,5
3	B	4'-0"	6'-8"		BLIND FRAME, DBL. OUTSWINGING W/ VENTING	
4	L	2'-8"	6'-8"			
5	K	4'-8"	6'-8"		BI-PARTING POCKET DOORS	
6	L	2'-8"	6'-8"			
7	M	2'-4"	6'-8"			
8	M	2'-8"	6'-8"			
9	M	2'-8"	6'-8"			
10	J	6'-0"	6'-8"		BI-FOLDING DOOR	
11	G	2'-10"	6'-8"		POCKET DOOR	
12	L	2'-8"	6'-8"			
13	H	5'-0"	6'-8"			
14						
15	B	5'-0"	6'-8"		ALUM. & GLASS INSWINGING FRENCH DOORS	2,3,4,5
16	E	4'-0"	6'-8"		BLIND FRAME, DBL. OUTSWINGING W/ VENTING	
17	F	2'-8"	6'-8"		BLIND FRAME, OUTSWINGING	
18	G	2'-8"	6'-8"		POCKET DOOR	
19	N	2'-10"	6'-8"		SELF CLOSING 20 MIN. RATED FIRE DOOR	
20	D	9'-0"	6'-8"		NEW ROLL UP GARAGE DOOR IN (E) OPENING	
21	D	9'-0"	6'-8"		NEW ROLL UP GARAGE DOOR IN (E) OPENING	

- FINISH DOOR SIZES SHOWN, U.O.N.. CONTRACTOR TO COORDINATE AND VERIFY ALL ROUGH OPENING DIMENSIONS.
- ALUMINUM AND GLASS DOORS BASED ON ALUMINUM-ARTE MANUFACTURED BY DYNAMIC FENESTRATION
- FENESTRATION MUST HAVE A MAXIMUM U-FACTOR 0.45
- WHERE REQUIRED PROVIDE TEMPERED GLAZING. A PERMANENT LABEL PER CRC SEC. R308.1 SHALL IDENTIFY EACH LIGHT OF SAFETY GLAZING.
- EVERY MANUFACTURED FENESTRATION PRODUCT SHALL HAVE TEMPORARY AND PERMANENT LABELING THAT CERTIFIES COMPLIANCE W/AIR LEAKAGE, U-FACTOR, SHGC AND VT PER CAEC SEC. 110.6(A)

4 WINDOW TYPES

1/4"=1'-0"



3 WINDOW SCHEDULE

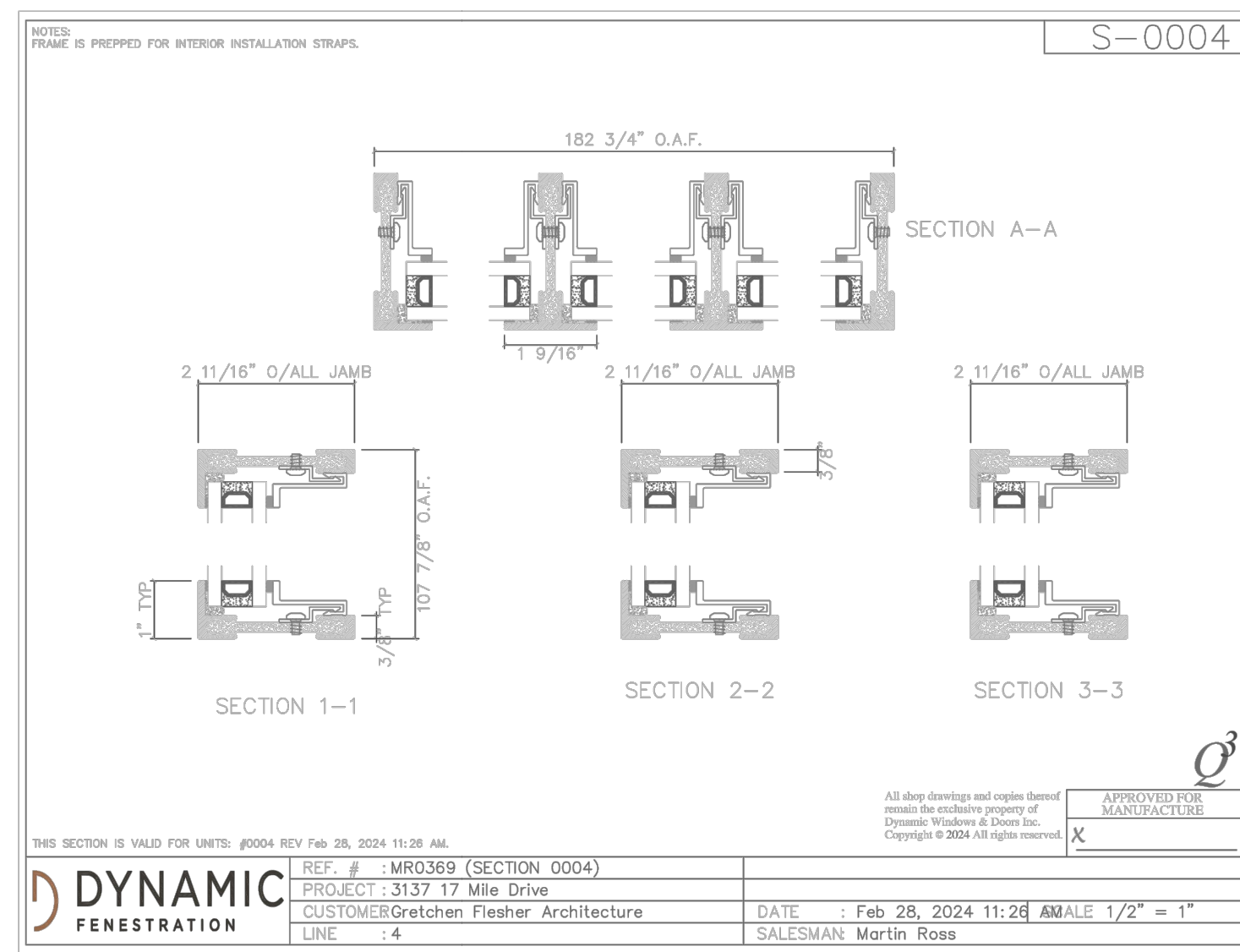
MARK	WINDOW TYPE	SIZE		FRAME DETAILS	REMARKS	NOTE
		WIDTH	HEIGHT			
1	E	2'-0"	4'-2"		RADIUS TRANSOM O/C/SMT. IN (E) OPEN'G.	1, 2
2	F	2'-0"	3'-4"			
3	G	6'-9"	1'-6"		SLIDER	
4	D	11'-7 3/4"	6'-4"		MULLED 3 EQ. PANEL UNIT	
5	J	-	-		3 CAST GLASS BUBBLES, VARIOUS SIZES	
6	E	2'-0"	4'-2"		RADIUS TRANSOM O/C/SMT. IN (E) OPEN'G.	1, 2
7	L	-	-		MULLED 4 PANEL CP WINDOW WALL	
8	-	-	-		TRAPIZOID CASEMENT IN WINDOW WALL	
9	-	-	-		TRAPIZOID CASEMENT IN WINDOW WALL	
10	M	-	-		MULLED 5 PANEL WINDOW WALL	
11	-	-	-		TRAPIZOID CASEMENT IN WINDOW WALL	
12	N	-	-		MULLED 5 PANEL WINDOW WALL	
13	-	-	-		TRAPIZOID CASEMENT IN WINDOW WALL	
14	P	-	-		MULLED 5 PANEL WINDOW WALL	
15	-	-	-		TRAPIZOID CASEMENT IN WINDOW WALL	
16	Q	-	-		MULLED 5 PANEL WINDOW WALL	
17	C	-	-		TRANSOM	1, 3
18	B	-	-		TRANSOM	1, 3
19	C	-	-		TRANSOM	1, 3
20	C	-	-		TRANSOM	1, 3
21	B	-	-		TRANSOM	1, 3
22	A	-	-		TRANSOM	1, 3
23	H	-	-			

- WINDOW ROUGH OPENING SIZES ESTIMATED. WINDOWS ARE REPLACEMENTS IN (E) OPENINGS. CONTRACTOR TO VERIFY ALL DIMENSIONS.
- OPERABLE WINDOW TO COMPLY WITH EGRESS MINIMUM CLEAR SIZES.
- RADIUS TOP TRANSOM - MULLED UNITS TO FIT INTO CURVED WALL AS NOTED.
- WINDOWS BASED ON ALUMINUM-ARTE, THERMALLY BROKEN ALUMINUM WINDOWS MANUFACTURED BY DYNAMIC FENESTRATION
- FENESTRATION PRODUCTS MUST HAVE A MAXIMUM U-FACTOR 0.45
- WHERE REQUIRED PROVIDE TEMPERED GLAZING PER CRC SECTION R308.1.
- EVERY MANUFACTURED FENESTRATION PRODUCT SHALL HAVE TEMPORARY AND PERMANENT LABELING THAT CERTIFIES COMPLIANCE W/AIR LEAKAGE, U-FACTOR, SHGC AND VT PER CAEC SEC. 110.6(A)

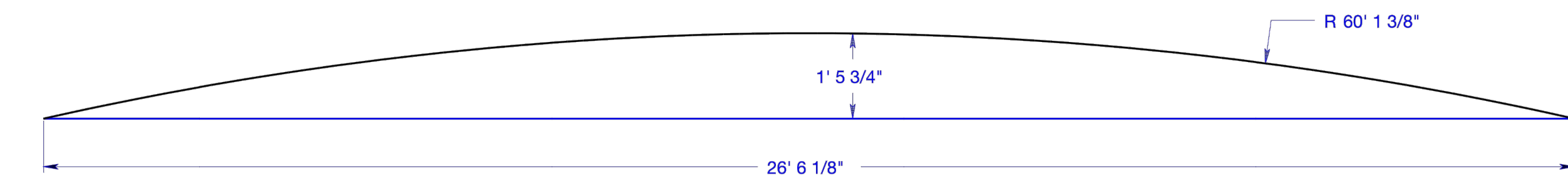
DOWLER RESIDENCE REMODEL

FANSHELL HOUSE
 3137 17 MILE DRIVE
 PEBBLE BEACH, CA

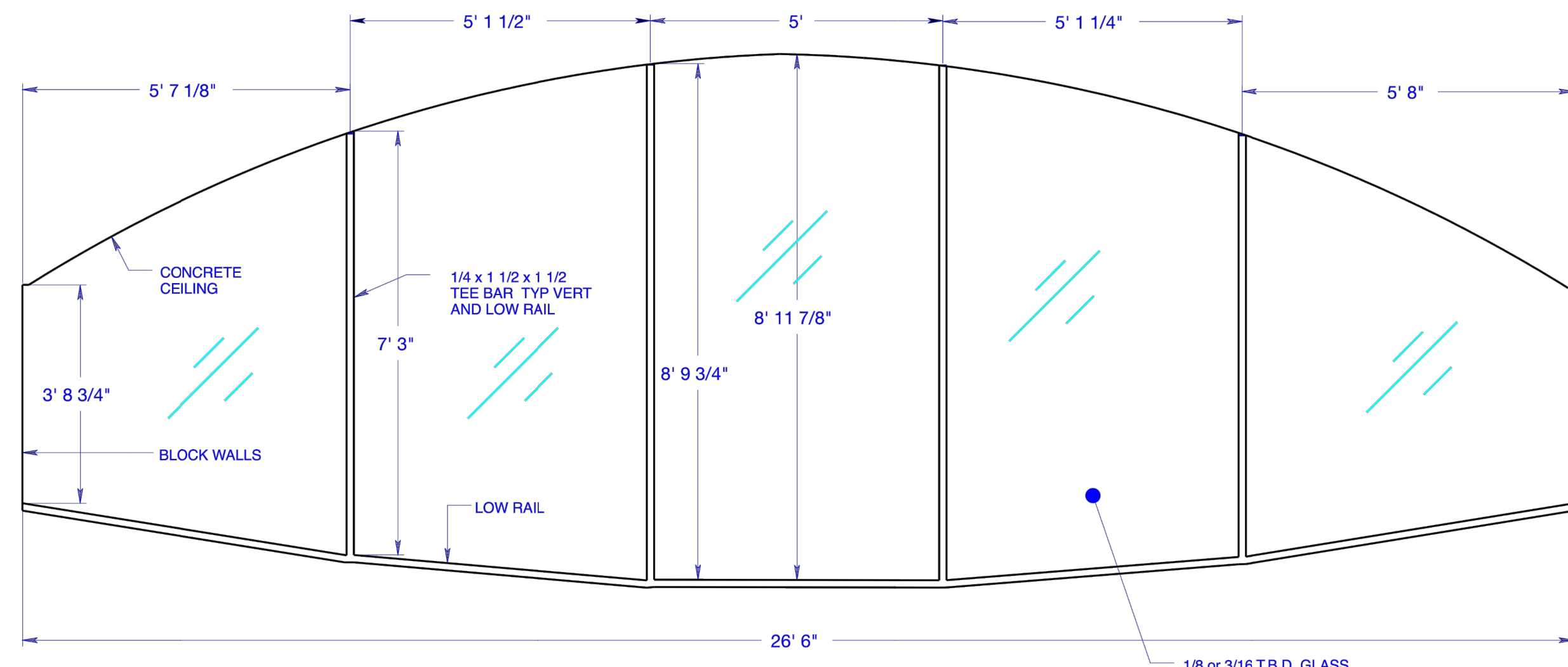
APN 008-263-001



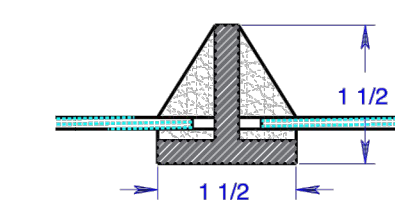
2 PROPOSED WINDOW FRAME DETAILS
 N.T.S.



E1.2 CENTER ROOM ROUGH DIMENSIONS PLAN



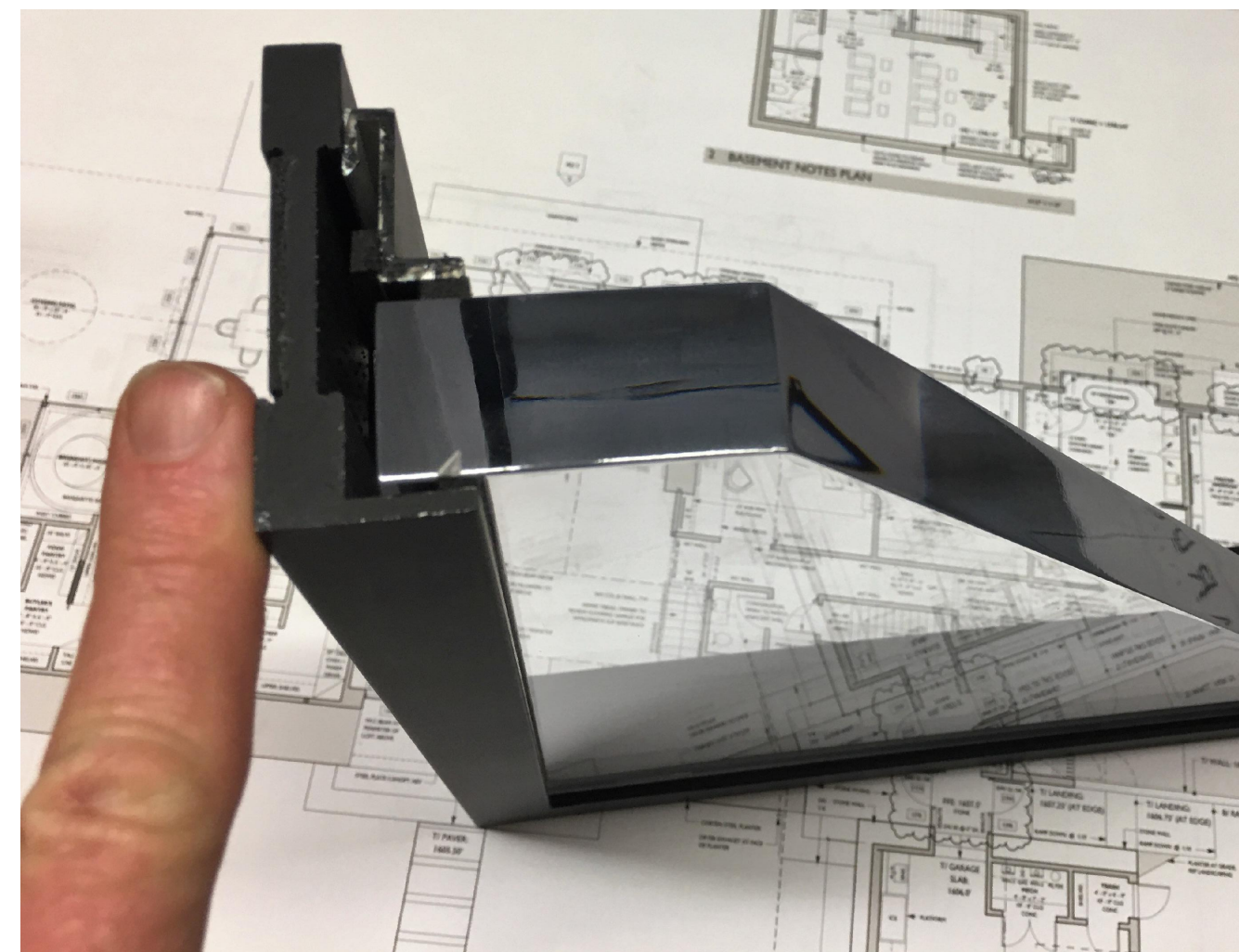
E1.1 CENTER ROOM ROUGH DIMENSIONS ELEVATION



E1.3 CROSS SECTION AT TEE BAR

1 SAMPLE WINDOW MULLION PATTERN

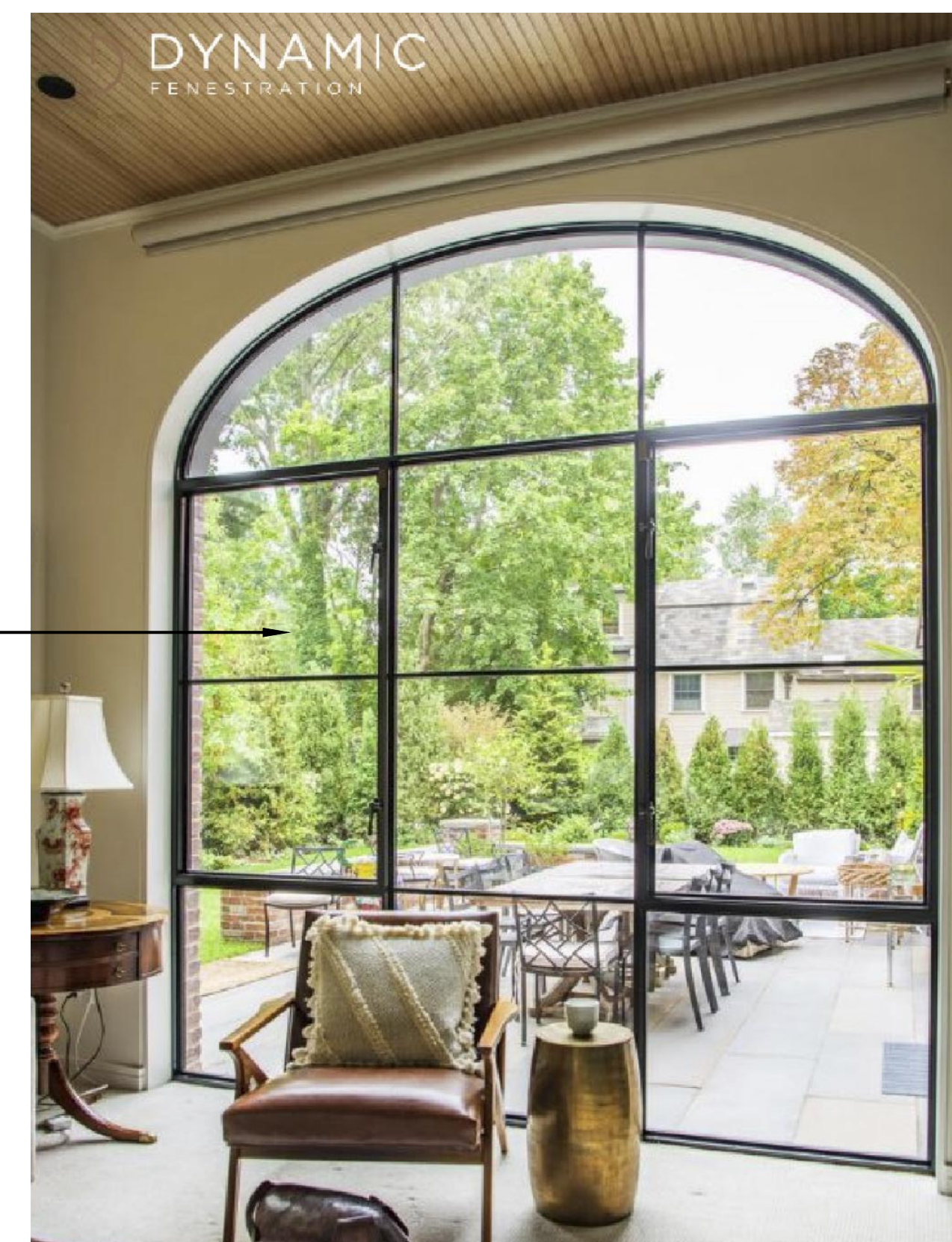
EXISTING LIVING ROOM WINDOW WALL, NEW MULLION PATTERN TO MATCH EXISTING



SCALE OF FRAME W/PLATE GLASS, SIMILAR USING PROPOSED INSULATED GLASS



SAMPLE OF PROPOSED VERTICAL MULLIONS (NO HORIZONTALS) REFER TO EXTERIOR ELEVATIONS



SAMPLE OF PROPOSED CASEMENT UNITS IN MINIMAL FRAMES

3 PROPOSED WINDOW FRAME IMAGES
 N.T.S.

1321.01
 DESIGN APPROVAL SUBMITTAL

Title:
 WINDOW MANUFACTURER
 IMAGES & DETAILS

Revisions: