

Exhibit A

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EXHIBIT A
DRAFT RESOLUTION

**Before the Housing and Community Development Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

KANTOR JUSTIN M (PLN240274)

RESOLUTION NO. 25-035

Resolution by the County of Monterey Chief of Planning:

- 1) Finding that the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines section 15303, and there are no exemptions pursuant to CEQA Guidelines section 15300.2;
- 2) Approve the Administrative Permit and Design Approval to allow for the construction of a 1,566 square foot manufactured home on a permanent foundation with a 704 square foot attached deck and 448 square foot attached garage.

[PLN240274, Kantor Justin M, 26170 Rinconada Drive, Salinas, Toro Area Plan (APN: 416-051-017-000)]

The KANTOR JUSTIN M application (PLN240274) came on for an administrative decision hearing before the County of Monterey Chief of Planning on August 20th, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, including the conditions of approval and project plans, the County of Monterey Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - The 2010 Monterey County General Plan;
 - Toro Area Plan; and
 - Monterey County Zoning Ordinance (Title 21).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
b) Allowed Use. The property is located at 26170 Rinconada Drive, Salinas, Toro Area Plan (APN: 416-051-017-000). The parcel is zoned Rural Density Residential with Building Site 8 and Visual Sensitivity overlays

or “RDR/B-8-VS”, which allows for the establishment of the first single-family dwelling as a principally allowed use. The Visual Sensitivity overlay requires the granting of an Administrative Permit and Design Approval for all structures that have been determined to not have a potential substantial adverse visual impact when viewed from a common public viewing area. The project involves the construction of a 1,566 square foot manufactured home on a permanent foundation with a 704 square foot attached deck and 448 square foot attached garage. Upon review of the installed staking and flagging, HCD-Planning staff determined that the project would not be visible from any public viewing areas (see subsequent Evidence “d”). Access will be provided via a new driveway from Rinconada Drive. Associated site improvements include a 5,00 gallon water tank, chicken coop, 800-square-foot ground-mounted solar array, and septic system. Therefore, the project is an allowed land use for this site.

- c) Lot Legality. The subject property is shown in its current configuration as “Parcel C” on a Parcel Map recorded for Minor Subdivision 78-141, dated December 1980. Therefore, the County recognizes the project site as a legal lot of record.
- d) Visual Resources and Design. The project site and surrounding area are designated as a Visually Sensitive “VS” zoning district, which is intended to regulate development that could potentially create adverse visual impacts when viewed from a common public viewing area such as Laureles Grade, San Benancio Road, and Highway 68. The nearest public viewing area is Laureles Grade (600 feet west), however the staking and flagging for the project was not visible from Laureles Grade nor any other common public viewing area. Due to the topography of the site and existing vegetation, the proposed dwelling and other improvements will not be visible from Laureles Grade or a public viewing area. Existing trees along Laureles Grade and on the adjacent properties screen the subject parcel from view while traveling the scenic corridor of Laureles Grade. Even without the screening provided by trees along Laureles Grade, proposed development on the subject parcel will not be visible due to the site being situated at a lower elevation below existing homes. Subject properties within a VS zoning district overlay are also subject to design standards outlined in Title 21, Chapter 21.44, which is intended to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The single-family dwelling and attached garage have a modern architectural style with rural finishes, and exterior colors and materials that consist of beige and blue wooden siding, and white wooden framed windows and doors. The residences within the vicinity vary in architectural style, ranging from modern-style homes to craftsman-style homes. The exterior finishes do not detract from the surrounding environment and are consistent with the surrounding residential neighborhood character. A standard condition of approval (Condition No. 7) is included to ensure that all exterior lighting is down-lit, unobtrusive, and harmonious with the areas, in accordance with General Plan Policy LU- 1.13. The project, as

designed and sited, assures protection of the public viewshed, is consistent with the neighborhood character, and assures visual integrity.

- e) Development Standards. The site development standards for the RDR and B zoning Districts are identified in Title 21 sections 21.16.060 and 21.42.030, respectively. The B-8 overlay requires setbacks to be not less than the B-4 requirements, which are 30 feet (front), 10 percent (side), and 20 feet (rear). The project will have setbacks of approximately 200 feet (front) and 100 feet (rear and side). The maximum height allowed for main structures in the RDR zoning district is 30 feet, and the project will have a height of 19 feet 6 inches. The maximum building site coverage allowed is 25%, and the project will result in 11.2% coverage. Therefore, the project meets all required development standards.
- f) B-8 Overlay. The subject property is within a B-8 overlay. Within the Toro Area Plan, the B-8 overlay was established due to known water supply constraints and intended to restrict development or land use intensification that would adversely affect the water supply. Pursuant to Title 21 section 21.42.030.H.1, the construction of the first single-family dwelling and accessory structures is exempt from the limitation of the B-8 zoning overlay.
- g) Land Use Advisory Committee (LUAC) Review. The project was not referred to the Toro Land Use Advisory Committee (LUAC) for review because it does not involve a public hearing Design Approval, a Lot Line Adjustment, preparation of an Initial study, or a Variance.
- h) The project planner conducted a site inspection on April 18th, 2025 to verify that the project on the subject parcel conforms to the plans listed above.
- i) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240175.

2. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to Geotechnical (soils) and Biological resources. The following reports have been prepared:
 - “Geotechnical Report” (LIB250104) prepared by Belinda Taluban, Salinas, CA, March 27, 2024.
 - “Biological Assessment” (LIB250103) prepared by Nicole Nedeff, Carmel Valley, CA, March 11, 2025.

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints

that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

- c) Staff conducted a site inspection on April 18th, 2025 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240274

3. FINDING: HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire Protection District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities will be provided. EHB has reviewed and approved the proposed On-Site Wastewater Treatment System (OWTS) design. Potable water will continue to be provided to the lot by Cal-Am.
 - c) Staff conducted a site inspection on April 18th, 2025 to verify that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240274.

4. FINDING: NO VIOLATIONS – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on April 18th, 2025, and researched County records to assess if any violation exists on the subject property.
 - c) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240274.

5. FINDING: CEQA (Exempt) – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts the construction and location of limited numbers of new, small facilities or structures.
 - b) As proposed, the project involves the construction of a 1,566 square foot manufactured home on a permanent foundation with a 704 square foot

attached deck and 448 square foot attached garage. Therefore, the project meets the Class 3 Categorical Exemption requirements.

- c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no significant effect on the environment due to unusual circumstances. No trees are proposed for removal, and the proposed development is not visible from any scenic corridor or scenic highway. There is no cumulative impact without any prior successive projects of the same type in the same place, over time, and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered a hazardous waste site. No known historical or archaeological resources are present.
- d) No adverse environmental effects were identified during staff review of the development application during a site visit on April 18th, 2025.
- e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240274.

6. **FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Planning Commission.
- EVIDENCE:** a) Planning Commission. Pursuant to Title 21 section 21.80.040.A, the Planning Commission is the appropriate authority to hear appeals from the discretionary decisions of the Director of Planning.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the HCD Chief of Planning does hereby:

1. Find the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Section 15303, and there are no exemptions pursuant to CEQA Guidelines section 15300.2;
2. Approve the Administrative Permit and Design Approval to allow for the construction of a 1,566 square foot manufactured home on a permanent foundation with a 704 square foot attached deck and 448 square foot attached garage

All of which are in general conformance with the attached sketch and subject to the attached conditions.

PASSED AND ADOPTED this 20th day of August 2025.

Melanie Beretti, AICP
HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

_____.
THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240274

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Administrative permit and Design Approval (PLN240274) allows the construction of a 1,566 square foot manufactured home on a permanent foundation with a 704 square foot attached deck and 448 square foot attached garage. The property is located at 26170 Rinconada Drive, Salinas (Assessor's Parcel Number 416-051-017-000), Toro Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"An Administrative Permit and Design Approval (Resolution Number _____) was approved by the Chief of Planning for Assessor's Parcel Number 416-051-017-000 on August 20, 2025. The permit was granted subject to 8 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

5. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project. (Public Works)

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.
2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

6. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

7. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

8. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

Justin Kantor
632 West Curtis
Salinas, CA 93906
PH. (831)2385188
email:justinmkantor@hotmail.com

Construction of a new 1,566 square foot manufactured home with a 704 square foot detached deck and 448 square foot detached garage.

ADDRESS: 26170 Riconada Drive
Carmel Valley, CA 93924

A.P.N.: 416-051-017-000

LEGAL DESC.: Parcel C, Volume 14, page 122

LOT AREA: 90,996.84 S.F. (2.029 acres)
ZONING: RDR/B8VS
SETBACKS: 100' front yard setback along Laureles Grade (40.2.4(T))
PLANNING: Toro Area

MAX BLDG. HT: X FT
GRADING: CUT = 650 CY FILL = 105 CY NET 545 CY CUT
TREE REMOVAL: None
LAND USE DESIGNATION: Residential Rural Density 5 Acres+/Unit
CONST. TYPE: V-B

WATER MANAGEMENT AGENCY: MPWMD
WATER SERVICE AGENCY: CAL-AM

MAIN STRUCTURES.
MINIMUM SETBACKS:
FRONT: THIRTY (30) FEET
SIDE: TWENTY (20) FEET
REAR: TWENTY (20) FEET

MAXIMUM HEIGHT: THIRTY (30) FEET.

PROJECT CODE COMPLIANCE:
 TITLE 24,
 2022 CALIFORNIA BUILDING CODE (CBC),
 2022 CALIFORNIA RESIDENTIAL CODE (CRC),
 2022 CALIFORNIA MECHANICAL CODE (CMC),
 2022 CALIFORNIA PLUMBING CODE (CPC),
 2022 CALIFORNIA ELECTRICAL CODE (CEC),
 2022 CALIFORNIA ENERGY CODE (CENC) AND
 CURRENT EDITION OF MONTEREY COUNTY CODE. [\$18.02.070 MCC]

MAIN BUILDING	EXISTING	PROPOSED REMOVAL	PROPOSED ADDITION
LOWER FLOOR	N/A	N/A	N/A
MAIN FLOOR	N/A	N/A	1,566 S.F.
UPPER FLOOR	N/A	N/A	N/A
GARAGE	N/A	N/A	448 S.F.
CARETAKER UNIT	N/A	N/A	N/A
TOTAL	N/A	N/A	2,014 S.F.

F.A.R. ALLOWED:	XXXX S.F. (XX%)
F.A.R. PROPOSED:	XXXX S.F. (XX%)

	EXISTING	PROPOSED REMOVAL	PROPOSED ADDITION
BUILDINGS	N/A	N/A	2,014 S.F.
DRIVEWAYS	N/A	N/A	7,476 S.F.
DECKS	N/A	N/A	704 S.F.
TOTAL	N/A	N/A	10,194 S.F.

LOT COVERAGE ALLOWED: XXXX S.F. (XX%)
 LOT COVERAGE PROPOSED: 10,194 S.F. (11.2%)

LANDSCAPE ARCHITECT: Marion Weaver, CLA #5178
Environmental Planning & Design, Inc.
(831)596.6664
marion@EPDLA.com

CIVIL ENGINEER:: Frank Campos
C3 Engineering, Inc.
(831) 647-1192
mail@C3Engineering.net

SOIL ENGINEER:: Belinda Taluban
Taluban Engineering, Inc.
(831) 754-0545
taluban@sbcglobal.net

MAP P6. 9 NO.452,900 E 1/92,400 SN 16,353

OWNERS CERTIFICATE

We hereby certify that we are the owners of, or have some right, title or interest in, and, to the real property included within the subdivision shown upon this map, and that we are the only persons whose consent is necessary to pass a clear title to said property, and we consent to the preparation and recording of said map and subdivision as shown within in the subdivision boundary lines.

We also hereby dedicate for public use easements for public utilities including but not limited to electricity, gas, communications, water and their necessary appurtenances, on, over, or under those certain strips of land designated as Public Utilities Easements (PUE) as shown on said map within said subdivision, such strips of land to be kept open and free from buildings or structures not serving the purpose of the easements.

George J. Haltiner
George J. Haltiner

Mary Wahl Haltiner
Mary Wahl Haltiner

STATE OF CALIFORNIA
COUNTY OF MONTEREY

On October 11, 1970, before me, the undersigned, a Notary Public in and for said State, personally appearing George J. Haltiner and Mary Wahl Haltiner

known to me to be the persons whose names appear subscribed to the within instrument, and acknowledged to me that they executed the same.

WITNESS my hand and official seal.

Signature: Ernest A. Maggini
Ernest A. Maggini
Notary (Type or Print)

(SEAL)
OFFICIAL SEAL
ERNEST A. MAGGINI
NOTARY PUBLIC, STATE OF CALIFORNIA
My Commission Expires on July 11, 1972

SURVEYORS CERTIFICATE

This map was prepared by me or under my direction and in conformity with the requirements of the Subdivision Map Act and local ordinance, at the request of George J. and Mary Wahl Haltiner on Dec. 10, 1970.

I hereby state that this Parcel Map substantially conforms to the approximately conditionally approved map of the same name.

Delwyn C. Rasmussen
Delwyn C. Rasmussen
Licensed Land Surveyor #2689
State of California

COUNTY SURVEYOR'S CERTIFICATE

This map conforms with the requirements of the Subdivision Map Act and local ordinances.

George J. Haltiner
County Surveyor, Monterey County
California
By Robert P. Wright Deputy
December 31, 1970

RECORDERS CERTIFICATE

Filed this 27th day of Jan. 1971, in Volume 16 of Parcel Maps, at page 122, in the request of Ernest A. Maggini for George J. and Mary Wahl Haltiner

Signed Ernest A. Maggini
Notary
Fees: \$6.00 By: Thomas F. Ford
G-00591 Deputy

Division of Parcel 1 as shown in Volume 15, Parcel Map Page 129 in Section 16, T16S, R2E, MDBM4M, Monterey County, California

Delwyn C. Rasmussen, Licensed Land Surveyor
Pacific Grove, California

Scale: 1"=100'
Job #: 80-62

Date: Dec. 9, 1980

Log 2978
DEPARTMENT OF PUBLIC WORKS-MICROFILM
SCALE: 1"=10'
COUNTY OF MONTEREY
14 P 122

A map of the Carmel Valley area. At the top, a north arrow points upwards. The map shows the coastline of the Pacific Ocean to the west. Major roads are depicted: Highway 1 runs north-south through Monterey and Carmel; Highway 166 runs east from Monterey towards Marina and Salinas; Highway 152 runs east from Carmel towards Salinas. The Carmel River flows from the south towards the ocean. The Carmel Valley is labeled in the southeast. A specific location is marked with a black arrow and labeled 'SITE', situated near the intersection of Carmel Valley Road and Rinconada Drive. Other labels include 'PUEBLO PLACE' and 'LAURELES GRADE RD.'.

<u>SHEET</u>	<u>NAME/ DESCRIPTION</u>
A1.0	Cover Sheet
A2.0	Site Plan
A3.0	Floor Plan
A3.1	Building Elevations: South & East
A3.2	Building Elevations: North & West

C1.0	Cover sheet & General Notes
C2.0	Existing Site Plan
C3.0	Overall Site Plan
C4.0	Grading & Drainage Plan
C5.0	Utility Plan
C6.0	Drainage Sections & Details
C7.0	Erosion & Sediment Control Plan
C8.0	Erosion & Sediment Control Details
SW1.0	Septic System Site Plan

- L1.0 Landscape Plan
- L2.0 Irrigation Plan & Prelim. Water Budget
- L3.0 Construction Management Plan

TECHNICAL REPORTS: (LETTER SIZE SUBMITTALS):

CONSTRUCTION MANAGEMENT PLAN

GEOTECHNICAL REPORTS:
Soil surveys group, Inc. January 21, 2021
updated March 27, 2024

BIOTIC SURVEY/ ASSESSMENT:

[illegible]

New buildings and structures located in any Fire Hazard Severity Zone ("Moderate", "High", "Very-High") in a State Responsibility Area shall comply with the requirements of CRC, Chapter 3, Section 337. Revise plans as necessary to demonstrate compliance with the following:

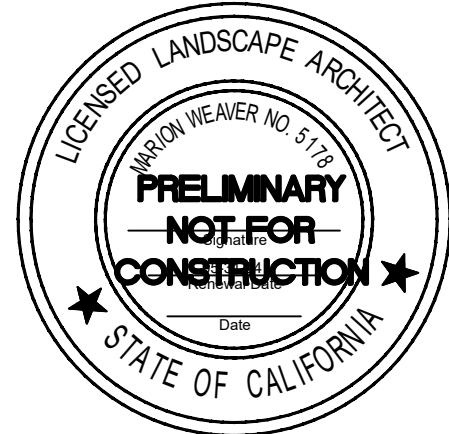
1. **Roof coverings:** Where the roof profile allows a space between the roof covering and roof decking, the spaces shall be constructed to resist the intrusion of flames and embers, be fire stopped with approved materials or have one layer of minimum 72 pound mineral surfaced nonperforated cap sheet complying with ASTM D3909 installed over the combustible decking.
2. Where **valley flashing** is installed, the flashing shall be not less than 26 ga. Galvanized sheet corrosion-resistant metal installed over not less than one layer of minimum 72-pound mineral-surfaced nonperforated cap sheet complying with ASTM D3909, at least 36-inch wide running the full length of the valley.
3. **Roof gutters** shall be provided with the means to prevent the accumulation of leaves and debris in the gutter.
4. **Roof and attic vents** shall resist the intrusion of flame and embers into the attic area of the structure, or shall be protected by corrosion-resistant, noncombustible wire mesh with openings a minimum of 1/16-inch and shall not exceed 1/8-inch.
5. **Vents** shall not be installed on the underside of eaves and cornices, unless the vents are approved to resist the intrusion of flame and embers, the attic space is sprinklered in accordance with CBC Sec. 903.3.1.1, or if the exterior wall and underside of the eave are of ignition resistant materials and the vents are located more than 12 feet from the ground or walking surface.
6. **Exterior wall covering** or wall assembly shall be approved noncombustible material, ignition-resistant material, heavy timber, log wall construction, or shall meet the performance criteria of standard SFM 12-7A-1 for 10 minute direct flame contact exposure test. [R327.7.3] See exceptions to this section for other alternatives.
7. **Exterior wall coverings** shall extend from the top of the foundation to the roof, and terminate at 2-inch nominal solid wood blocking between rafters and eaves at all roof overhangs, or in the case of enclosed eaves, terminate at the enclosure.
8. **The exposed roof deck** on the underside of unenclosed eaves shall be approved noncombustible material, ignition-resistant material, one layer of 5/8" Type X gypsum board, or exterior portion of an approved one hour wall assembly. [R327.7.4] See exceptions to these sections for other alternatives.
9. **Exterior windows and exterior glazed doors** shall be multi-pane glazing with a minimum of one tempered pane, glass block units, have a fire resistance rating of 20 minutes when tested in accordance with NFPA 257, or meet the requirements of SFM 12-7A-2.
10. **Exterior doors** shall be of approved noncombustible construction or ignition-resistant material, solid core wood having stiles and rails not less than 1-3/8 inches thick with interior field panel thickness no less than 1- 1/4 inches thick, shall have a fire-resistance rating of not less than 20 minutes when tested according to NFPA 252, or meet the requirements of SFM-7A-1.
11. **Decking:** The walking surface material of decks, porches, balconies and stairs shall be constructed with ignition resistant or noncombustible material or exterior fire retardant treated wood.

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DATE:
3/8/2025

SCALE:
AS NOTED

DRAWN BY:
MCW

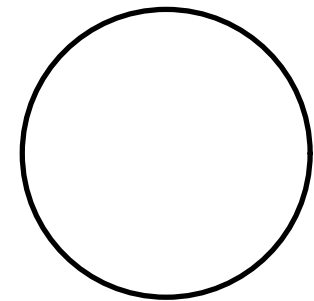


Revisions

PROJECT TITLE:

Kantor
Residence

Laureles Grade Road
26170 Riconada Drive
Carmel Valley, CA 93924
APN 416-051-017



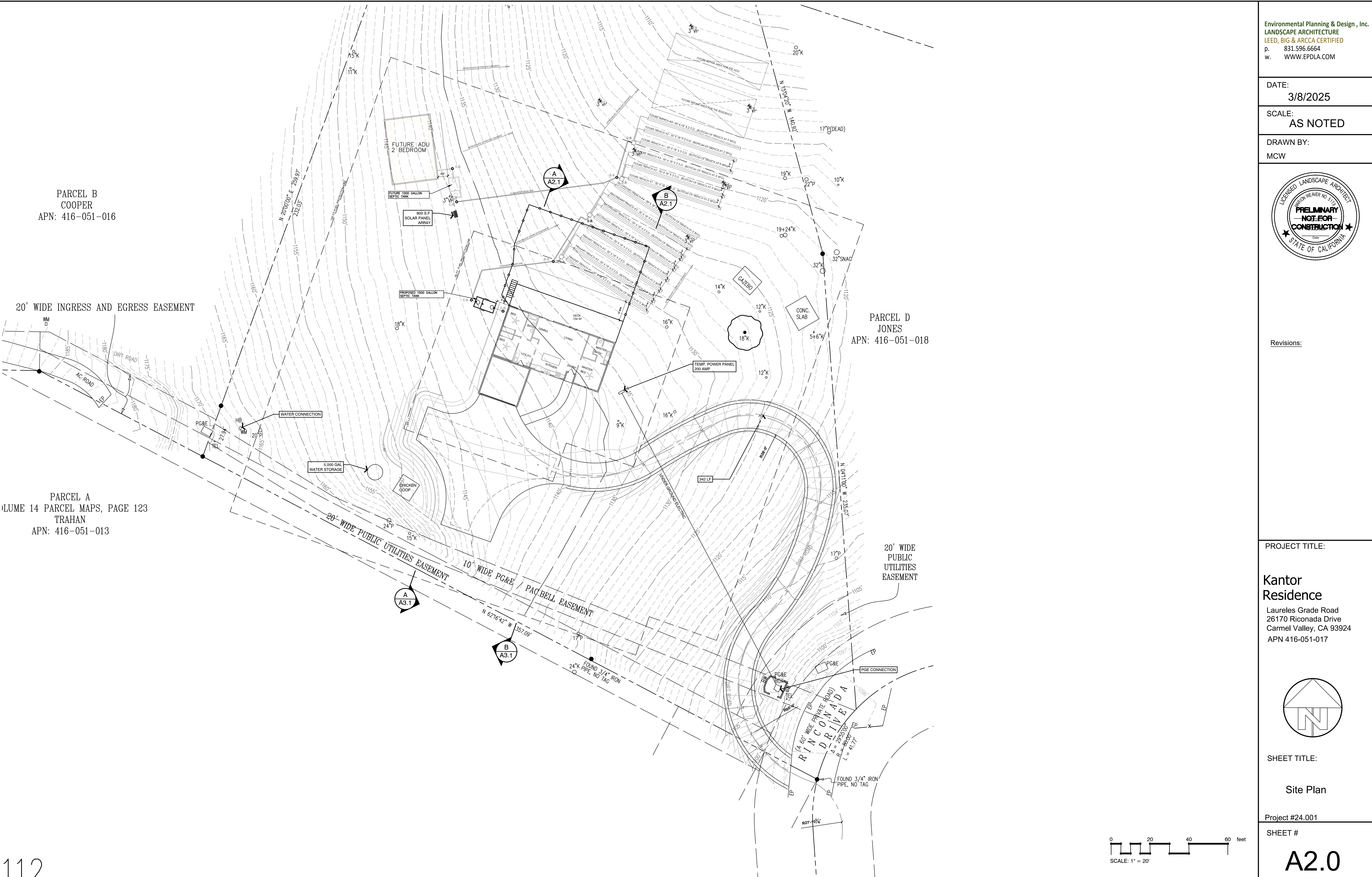
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COVER SHEET

Project #24.001

SHEET #

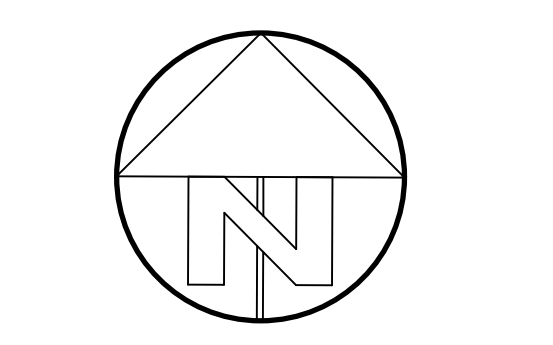
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Revisions:

PROJECT TITLE:

Kantor Residence
Laureles Grade Road
26170 Riconada Drive
Carmel Valley, CA 93924
APN 416-051-017



SHEET TITLE:

Site Plan

Project #24.001

SHEET #

A2.0

DATE:
3/8/2025

SCALE:
AS NOTED

DRAWN BY:
MCW

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CONSTRUCTION

Revisions:

PROJECT TITLE:

Kantor
Residence

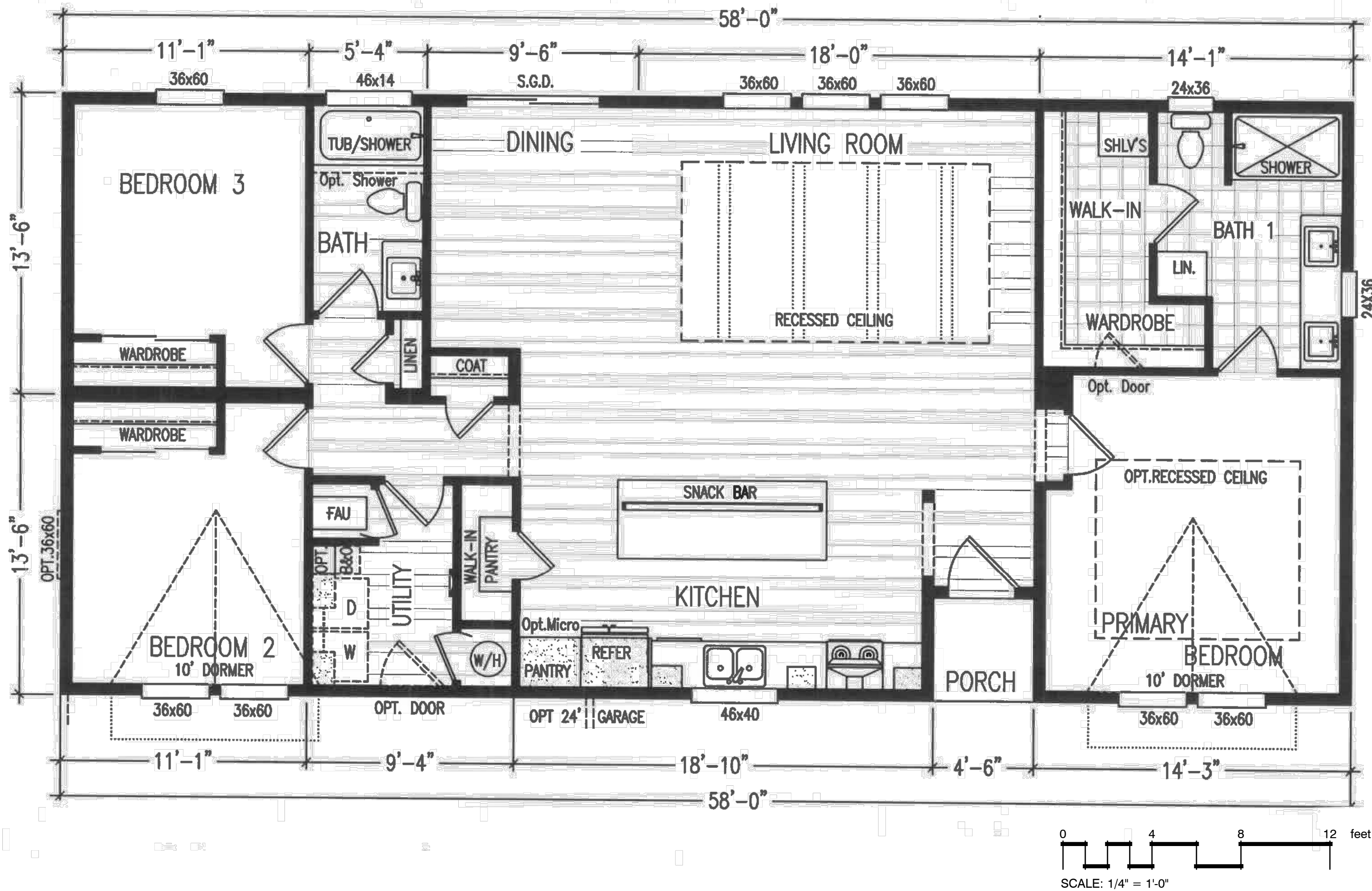
Laureles Grade Road
26170 Riconada Drive
Carmel Valley, CA 93924
APN 416-051-017

SHEET TITLE:
Proposed
Floor Plan

Project #24.001

SHEET #

A3.0



9998 OLD PLACERVILLE ROAD
Sacramento, CA. 95827
Phone: (916) 363-2681; Fax: (916) 363-4537
www.claytonhomes.com www.karstenhomes.com

DRAWING
TITLE:

SALES FLOOR PLAN(ZERH)

DRAWING FILE INFORMATION:

STANDARD AS OF REVISION DATE

PRODUCT:

CORONADO SERIES

DESRI.P.:

2758-A

MODEL NO.:

COR27583A

SQUARE FT.:

1543 /1651

DATE:

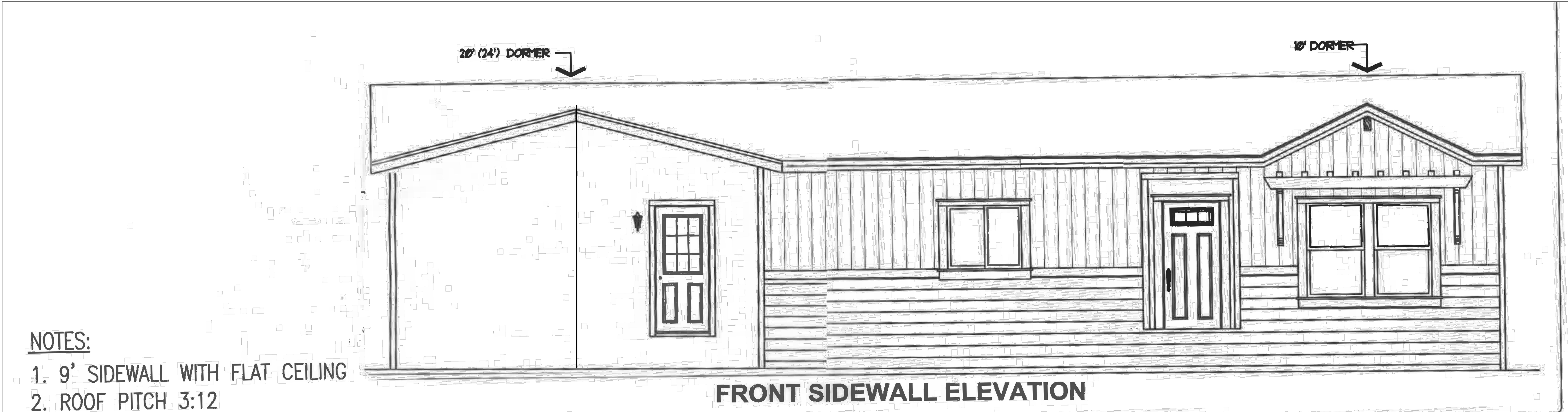
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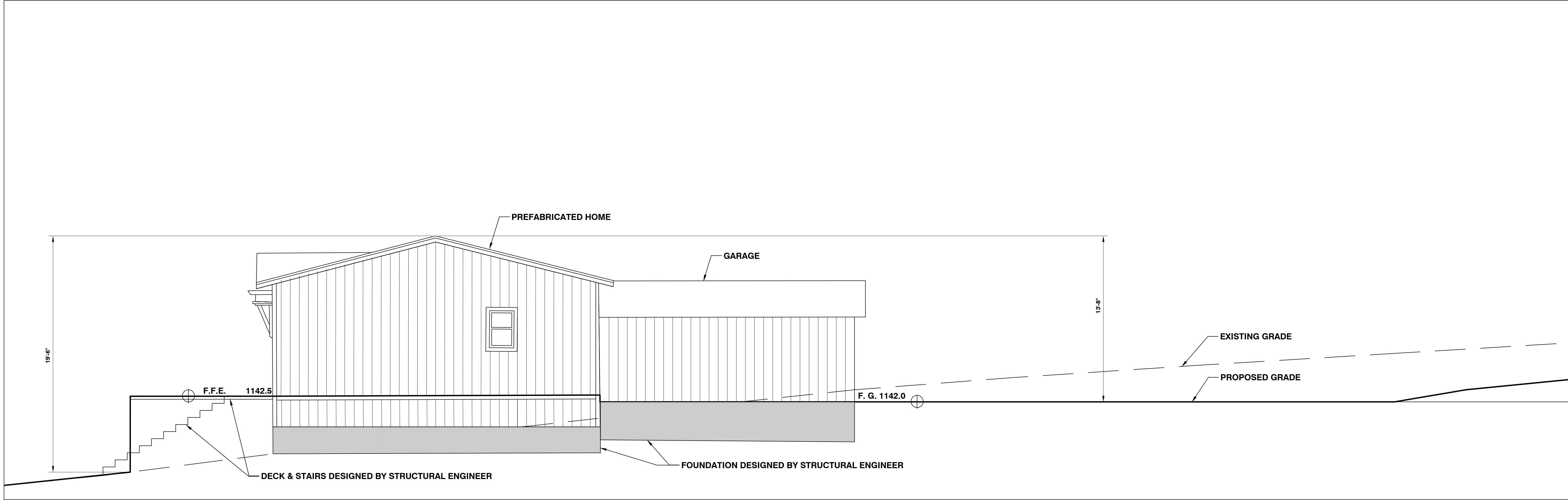
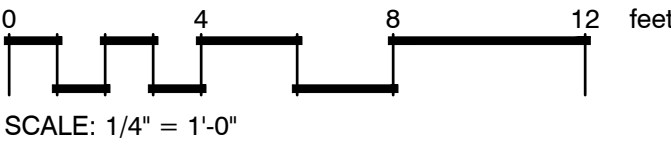
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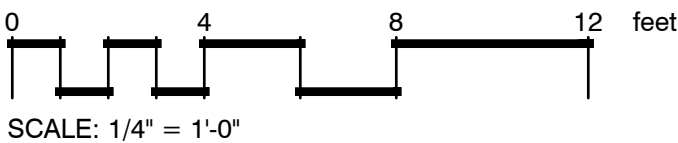
02-22-2023



- NOTES:
1. 9' SIDEWALL WITH FLAT CEILING
 2. ROOF PITCH 3:12



A LEFT END WALL (WEST) ELEVATION



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Revisions:

PROJECT TITLE:

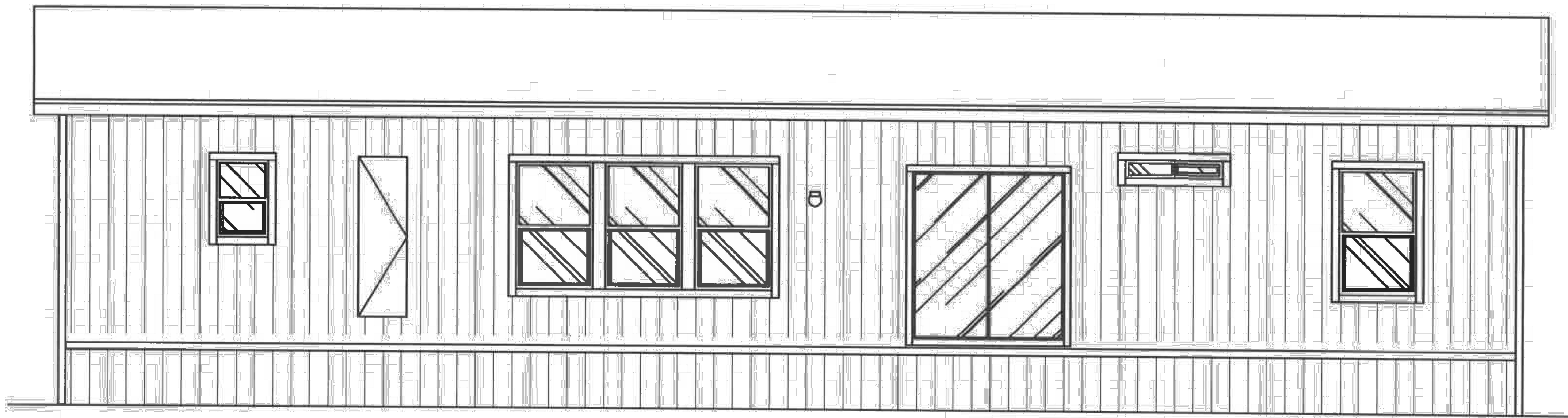
**Kantor
Residence**
Laureles Grade Road
26170 Riconada Drive
Carmel Valley, CA 93924
APN 416-051-017

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& Left Endwall
Bldg. Elevations**

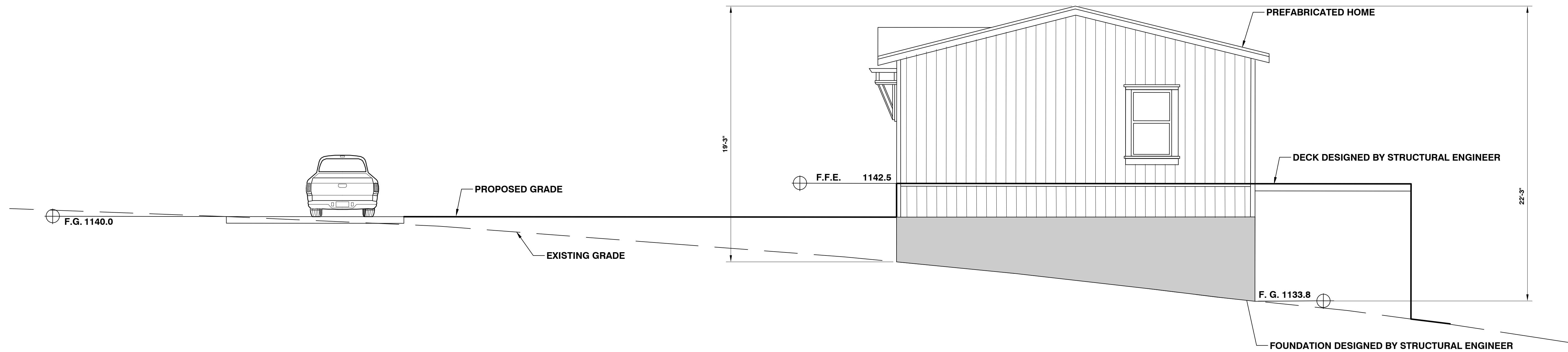
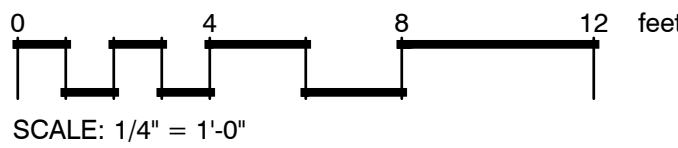
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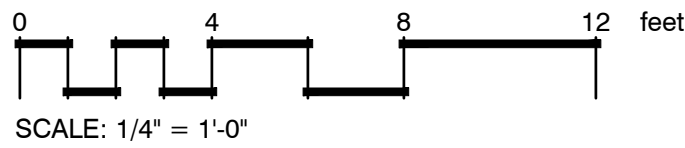
A3.1



REAR SIDEWALL ELEVATION



B RIGHT END WALL (EAST) ELEVATION



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Revisions:

PROJECT TITLE:

**Kantor
Residence**
Laureles Grade Road
26170 Riconada Drive
Carmel Valley, CA 93924
APN 416-051-017

SHEET TITLE:
**Rear Sidewall
Right Endwall
Blg. Elevations**

Project #24.001

SHEET #

A3.2

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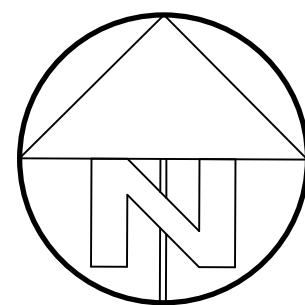


Revisions:

PROJECT TITLE:

Kantor
Residence

Laureles Grade Road
26170 Riconada Drive
Carmel Valley, CA 93924
APN 416-051-017



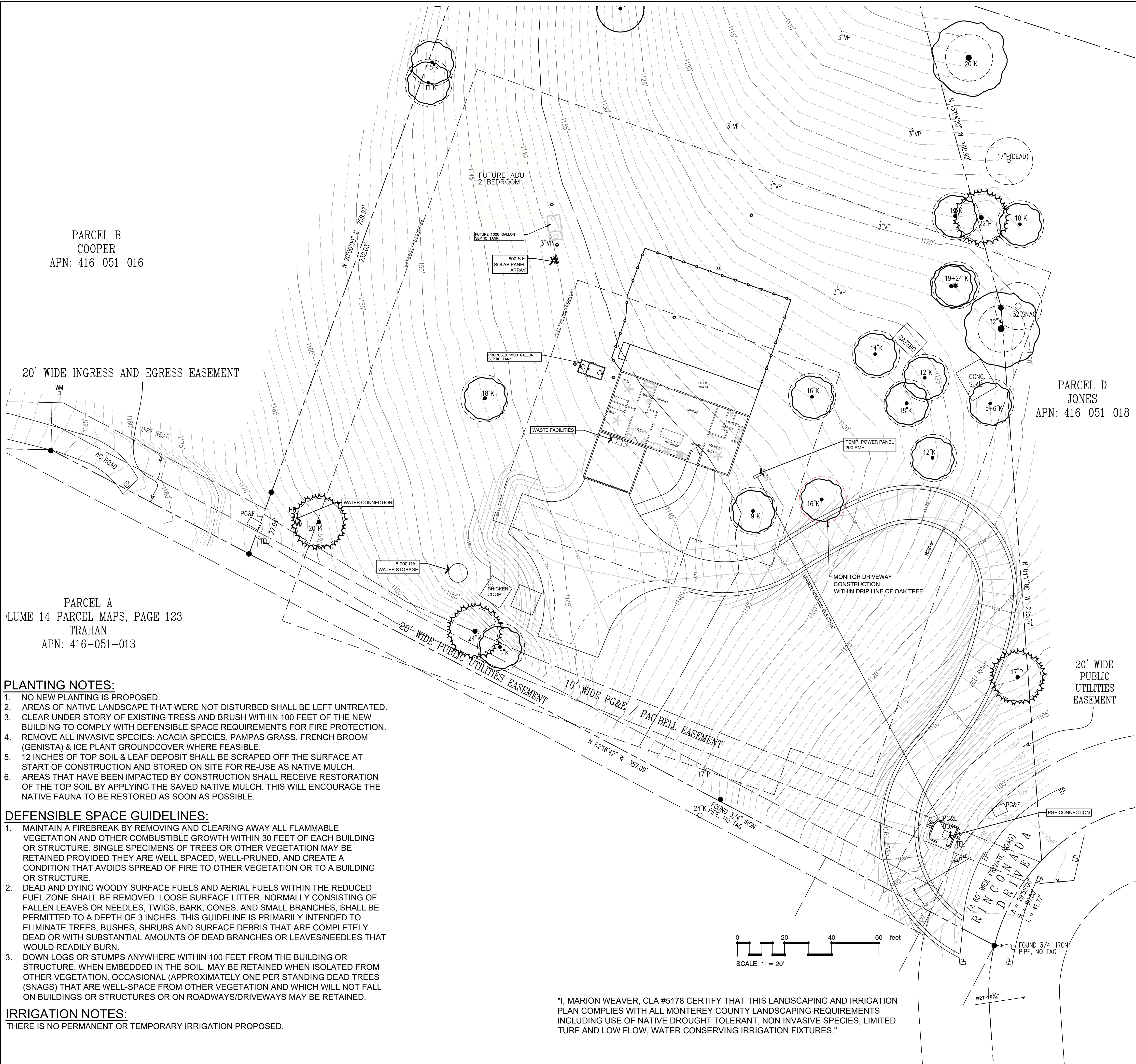
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Concept
Landscape Plan

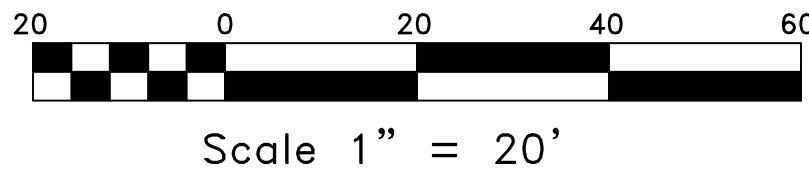
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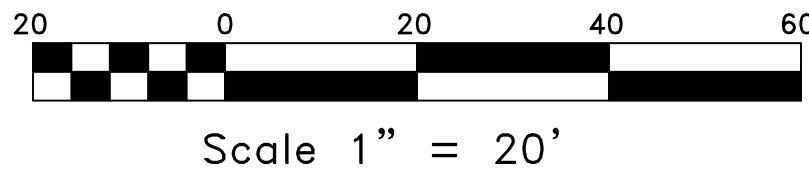
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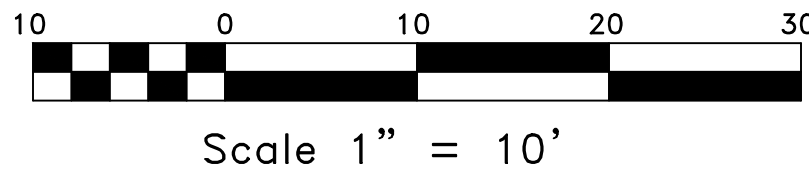
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Plotted: Jan 24, 2025 - 4:37pm



	REV.	DATE	DESCRIPTION	BY	MADE IN THE U.S.A.
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KANTOR RESIDENCE
APN# 416-051-017

Civil Engineering Land Development
Stormwater Management

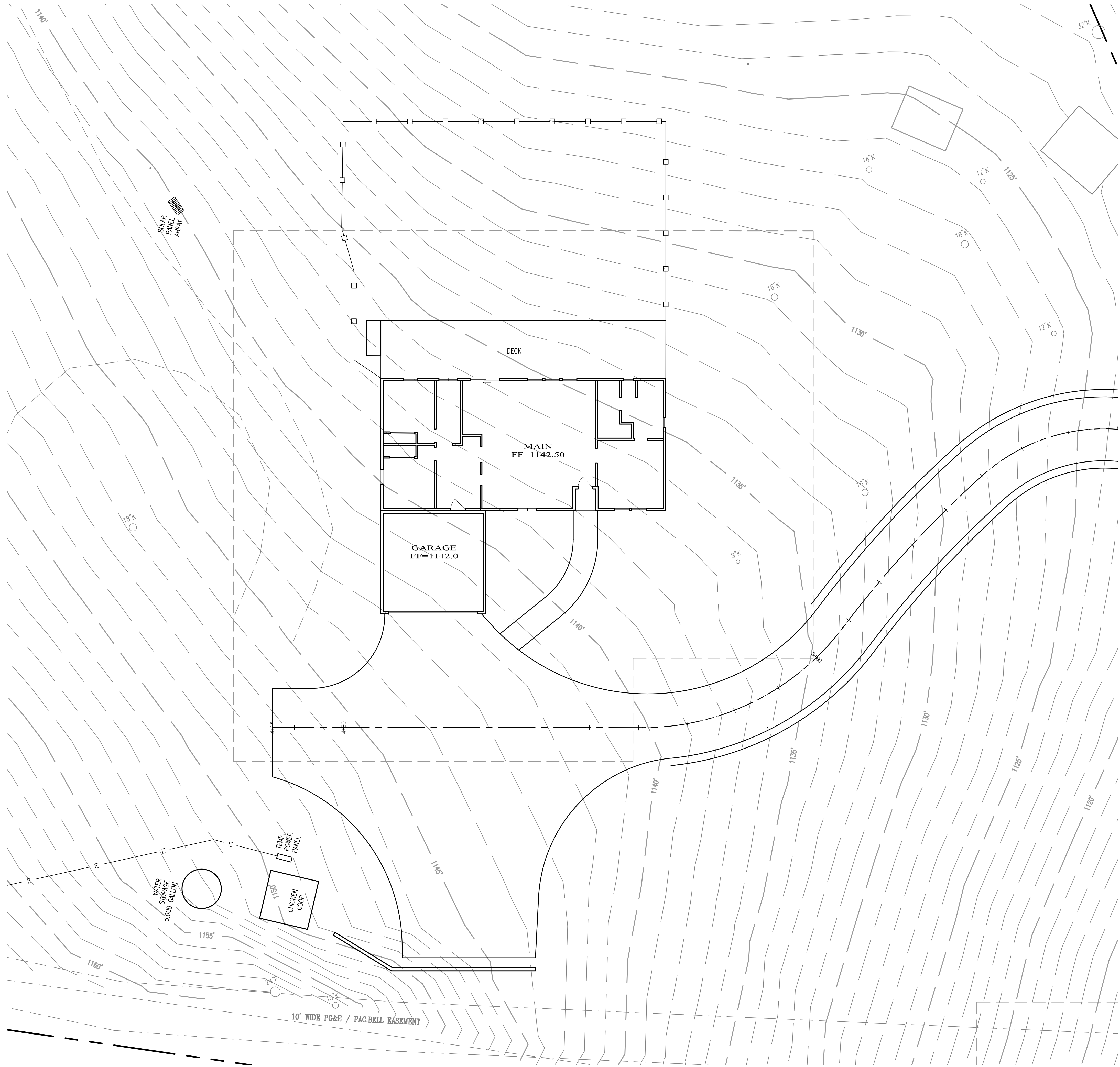
126 Bonifacio Place, Suite C, Monterey, CA 93940
Phone: (831) 647-1192 Fax (831) 647-1194
mail@C3Engineering.net

[illegible]

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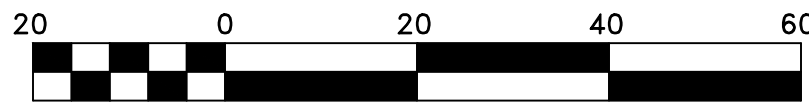
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UTILITY PLAN

1" = 20'



Scale 1" = 20'

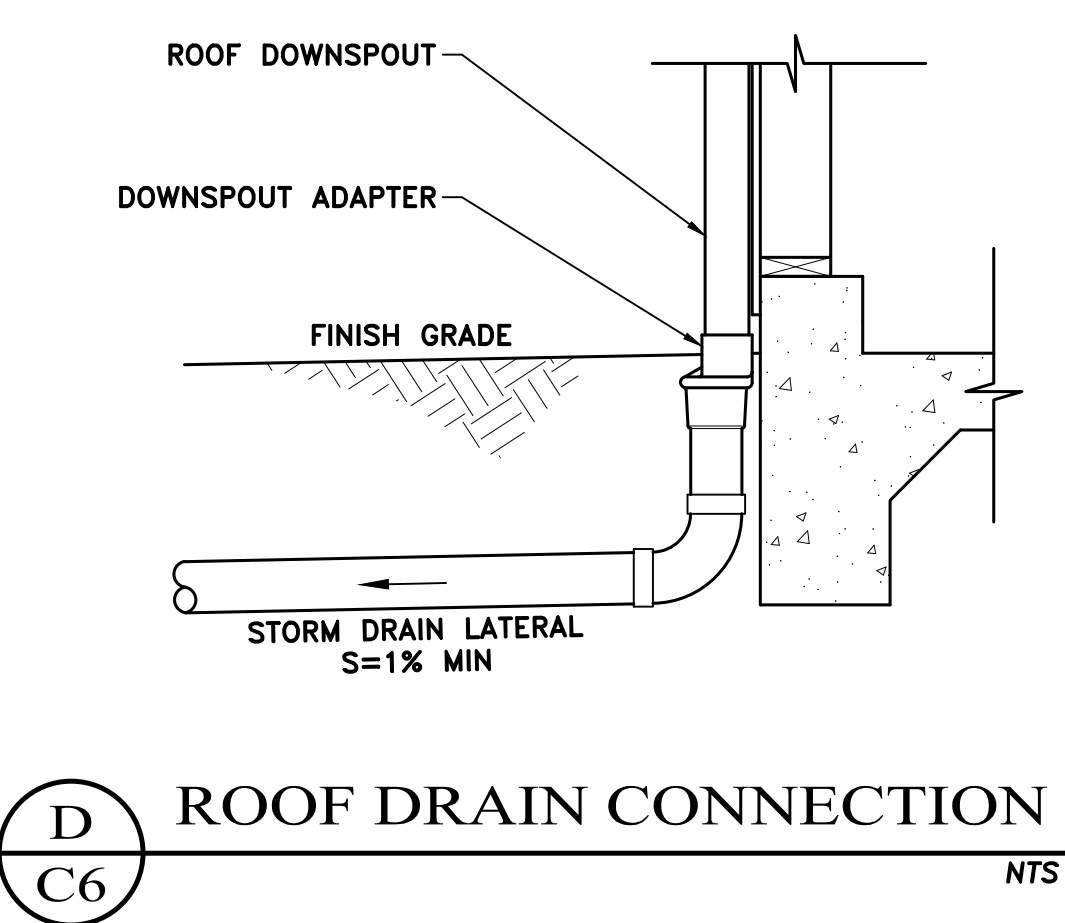
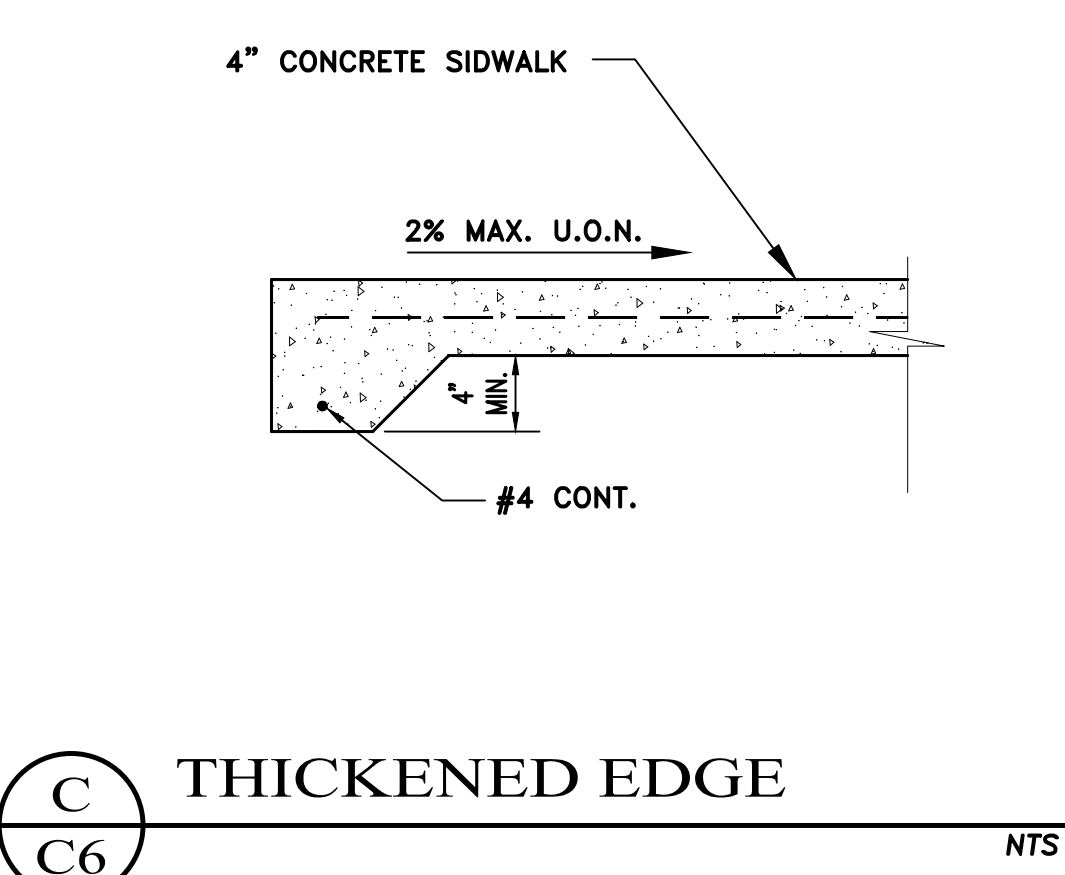
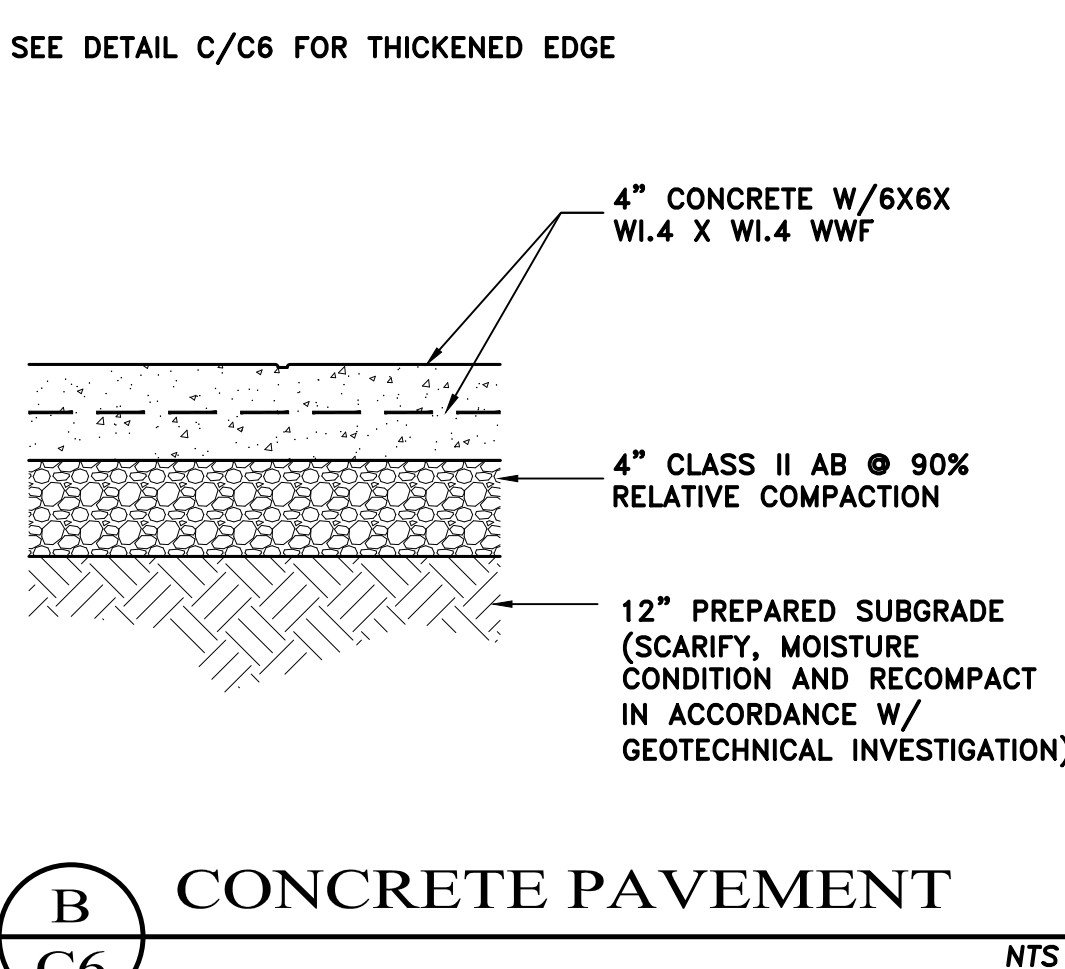
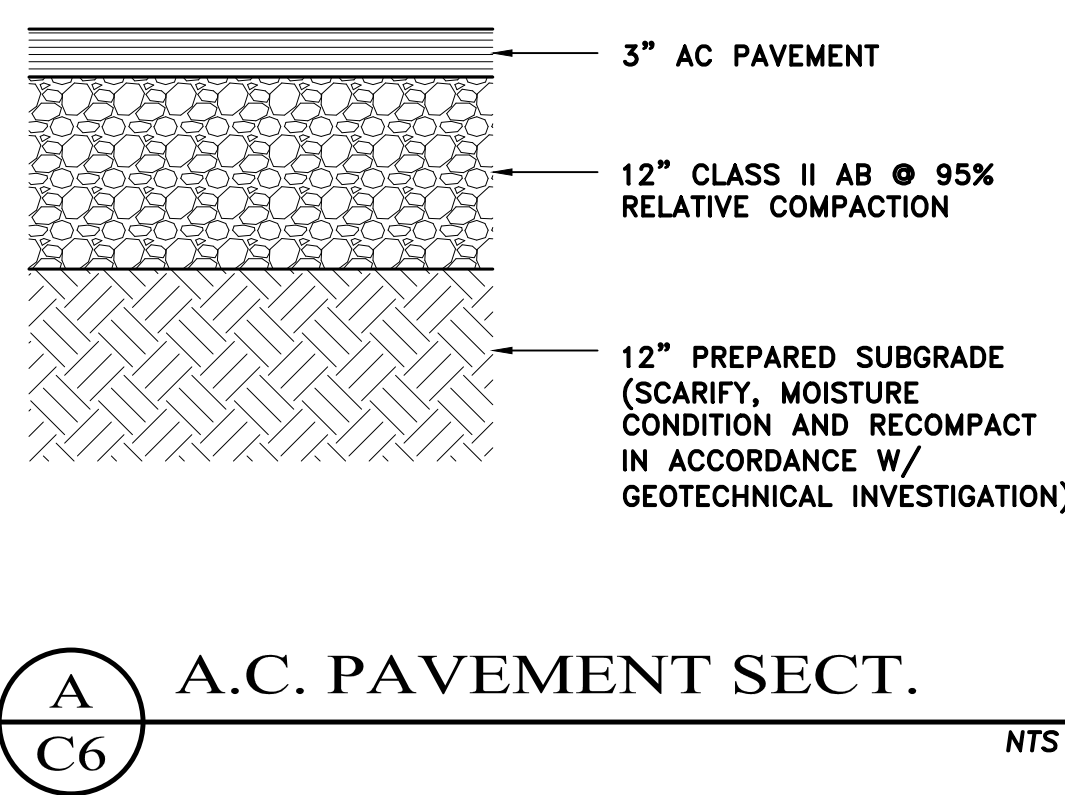


UTILITY PLAN		KANTOR RESIDENCE APN# 416-051-017		Project Location: 26170 RICONADA DR., CARMEL VALLEY, CA 93924 PREPARED FOR: KANTOR	
SCALE: AS NOTED		DATE: 09/30/2024		DESIGN BY: FJC	
DRAWN BY: ECH		CHECKED BY: FJC		SHEET NUMBER:	
C5		OF 9 SHEETS		PROJECT# 124-138	
C3 ENGINEERING INCORPORATED		Civil Engineering Land Development Stormwater Management		126 Bonifacio Place, Suite C, Monterey, CA 93940 Phone: (831) 647-1192 Fax (831) 647-1194 mail@C3Engineering.net	
REGISTERED PROFESSIONAL ENGINEER R. J. CAMPO No. 61390 Exp. 06/30/25 CIVIL STATE OF CALIF.		REV.		DATE	
MADE IN THE USA		DESCRIPTION		BY	

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Plotted: Jan 24, 2025 - 4:37pm

[illegible]



SILT FENCE (SEE F/C8)

REFER TO THE CASQA BMP HANDBOOK FOR BMP FACT SHEETS. SWPPP WDIID:XXXXXXXXXX

9. SOIL STOCKPILES AREAS SHALL BE PROTECTED AGAINST EROSION.

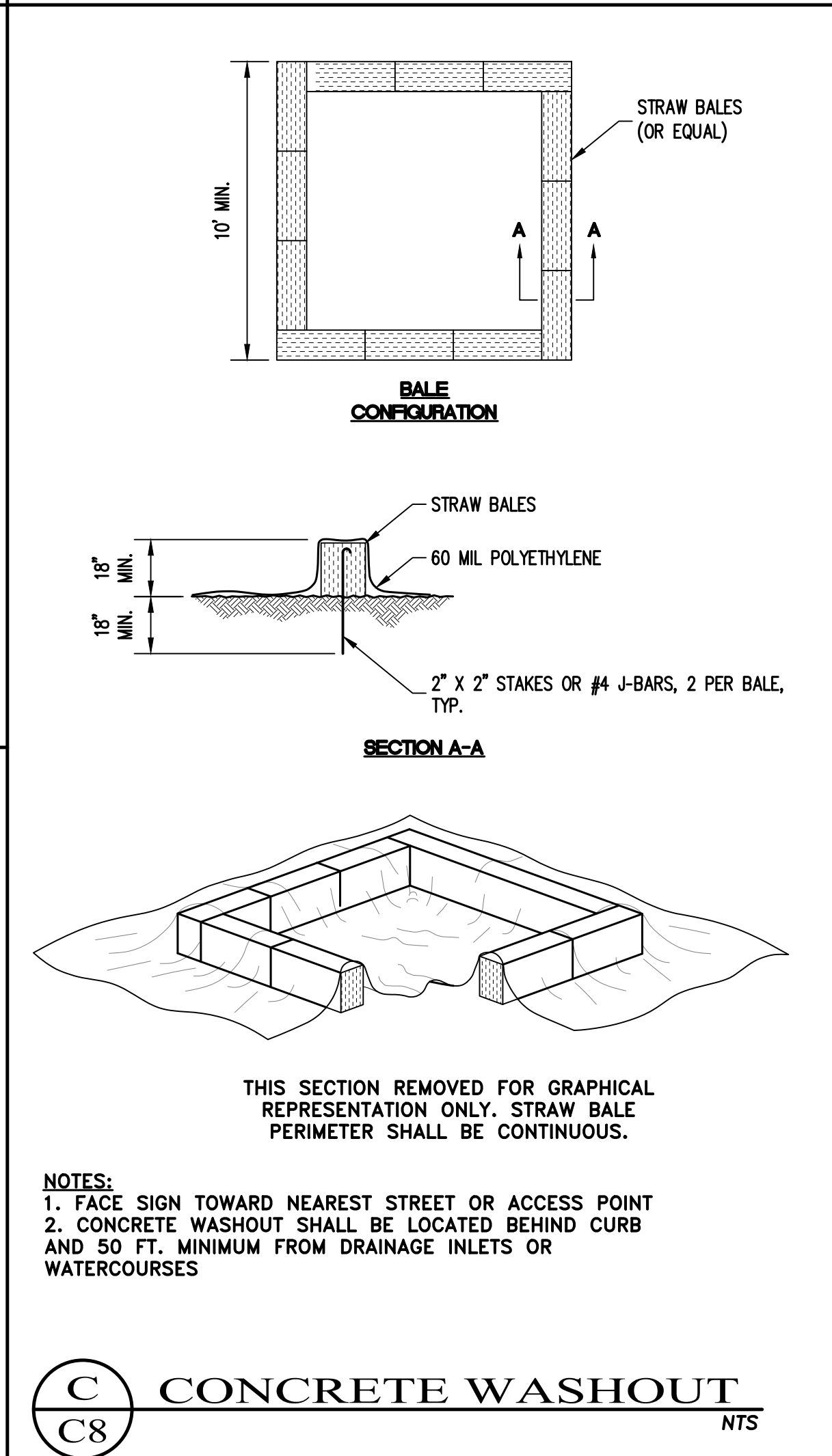
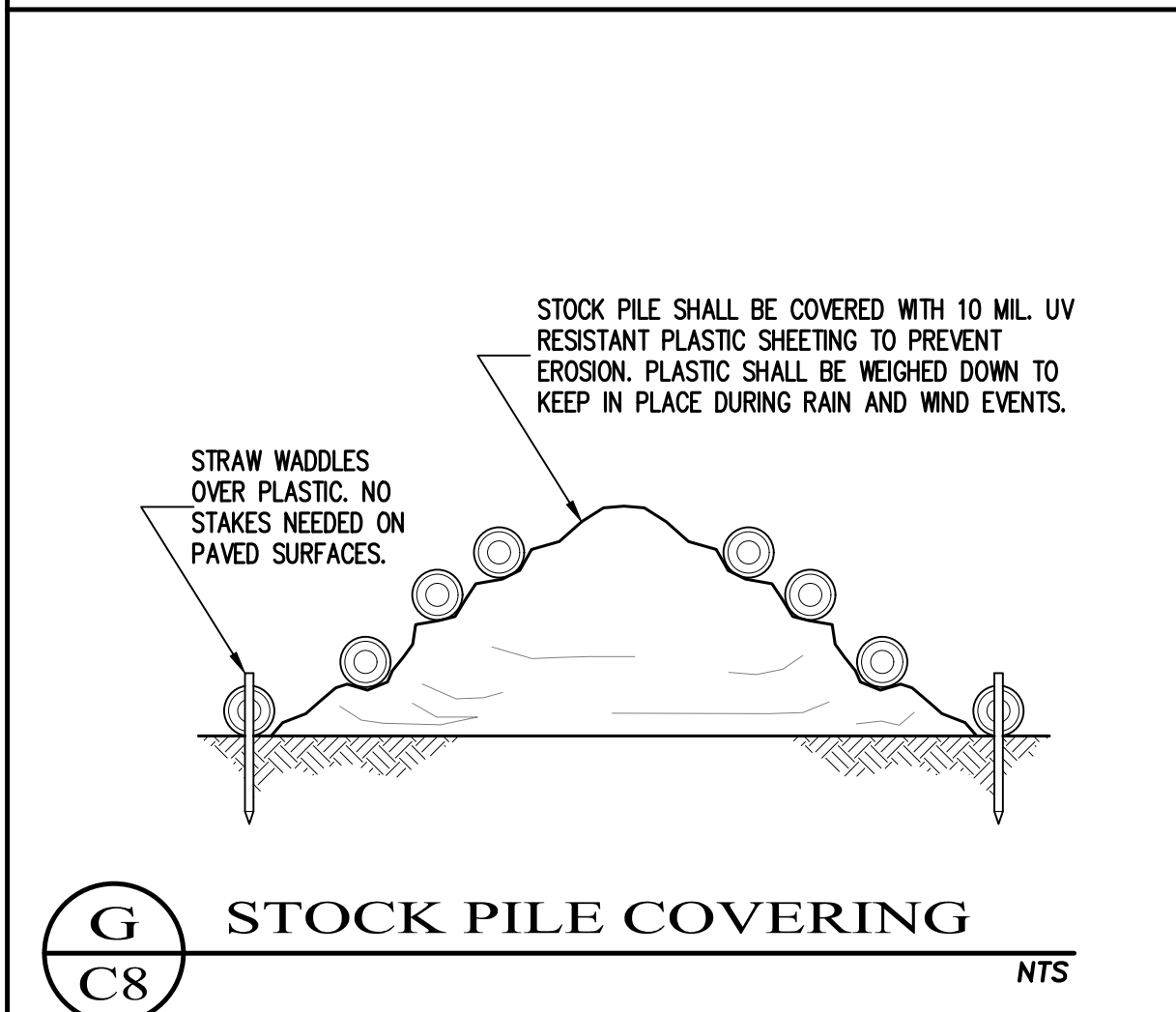
EARTH MOVING/GRADING:

1. REMOVE EXISTING VEGETATION ONLY WHEN NECESSARY.
2. PLANT TEMPORARY VEGETATION WHEN SLOPE HAVE BEEN DISTURBED BUT CONSTRUCTION IS STILL ONGOING DURING PERIODS OF RAIN
3. PROTECT DOWN SLOPE DRAINAGE COURSES BY RECOGNIZED METHODS SUCH AS THOSE IN THE CASQA HANDBOOK.
4. USE CHECK DAMS OR DITCHES TO DIVERT WATER AROUND EXCAVATIONS.
5. COVER STOCKPILES OF EXCAVATED SOIL WITH TARPS.
6. SCHEDULE GRADING ACTIVITIES DURING DRY PERIODS.

PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE (RMA-ENVIRONMENTAL SERVICES) A LETTER FROM A LICENSED PRACTITIONER.

OF 9 SHEETS
PROJECT# 124-138

Drawing file: Z:\Projects\124138 Kantor Residence\Dwg\124138 XBase.dwg
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EROSION AND SEDIMENT CONTROL PLAN DETAILS	
KANTOR RESIDENCE APN# 416-051-017	
Project Location: 26170 RICONADA DR., CARMEL VALLEY, CA 93924 PREPARED FOR: KANTOR	
SCALE:	AS NOTED
DATE:	09/30/2024
DESIGN BY:	FJC
DRAWN BY:	ECH
CHECKED BY:	FJC
SHEET NUMBER:	
C8	
OF 9 SHEETS	
PROJECT#	124-138