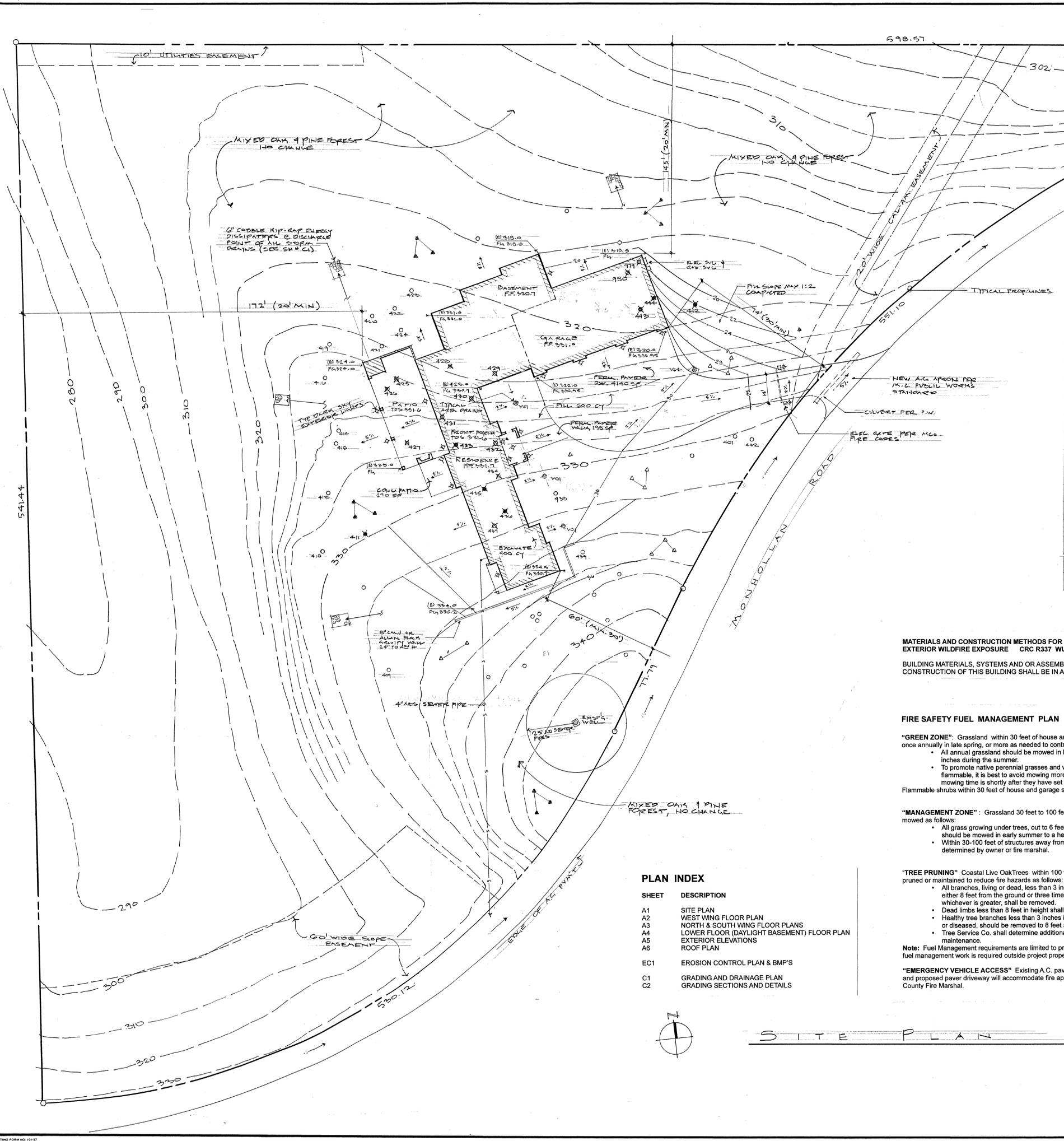
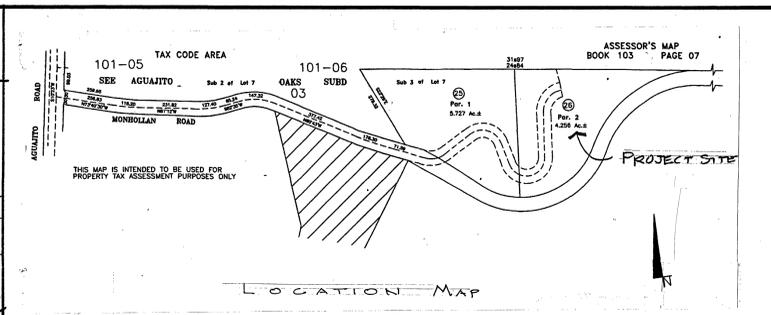


REVISIONS	BY
10-30-24	10
11-6-24	10
2-7-25	10



PROJECT DESCRIPTION

Rev 2-6-2025
 OCCUPANCY GROUP: R-3U
 CONSTRUCTION TYPE: V-B SPRINKLERED
 STORIES: 1 plus daylight basement HEIGHT: 30' maximum above average grade
 CODES: 2022 CALIFORNIA CODES
 SCOPE OF WORK: Construction of a new one story single family residence w/ daylight basement, attached garage, covered patio, covered front porch, Grading: Excavate 400 c.y., fill 600 c.y. 6' fencing along property lines. Tree Removal: Remove 19 trees, (12) Coastal Live Oaks 9" to 21" diameter, and (7) Monterey Pines 19" to 45" diameter. Note: 11 trees are in the fair category, 7 trees are in the poor category, 1 tree is dead. Due to the topography of the site and heavily wooded areas, in order to keep development off slopes that exceed 25%, it is necessary to remove these trees.
 GROUND DISTURBANCE: 16,500 s.f.
 SEWER SYSTEM: Monterey One Water WATER SYSTEM: Existing Private shared Well
 ZONING: RDR10-UR-D

TREE REMOVAL SCHEDULE

Species	ID	Dia. In
Monterey pine	411	24
Quercus agrifolia	425	15
Quercus agrifolia	426	12
Quercus agrifolia	427	14
Quercus agrifolia	428	10
Quercus agrifolia	429	10
Quercus agrifolia	430	10
Quercus agrifolia	431	10
Quercus agrifolia	432	20
Pinus radiata	433	39
Quercus agrifolia	434	15
Pinus radiata	435	25
Pinus radiata	436	45
Quercus agrifolia	437	21
Pinus radiata	442	28
Pinus radiata	443	19
Pinus radiata	444	36
Quercus agrifolia	979	9
Quercus agrifolia	980	15

FLOOR AREA:

PROPOSED RESIDENCE	5382 S.F.
DAYLIGHT BASEMENT	1414 S.F.
ATTACHED GARAGE	2580 S.F.
COVERED FRONT PORCH	162 S.F.
COVERED BACK PATIO	1505 S.F.
COVERED BACK PORCH	96 S.F.

BUILDING SITE COVERAGE

RESIDENCE	5382 S.F.
ATTACHED GARAGE	2580 S.F.
COVERED FRONT PORCH	162 S.F.
COVERED BACK PATIO	1505 S.F.
COVERED BACK PORCH	96 S.F.
TOTAL	9735 S.F.
LOT AREA	186,436 S.F. = 5%

PAVED COVERAGE

DESCRIPTION	PERVIOUS	IMPERVIOUS
PAVER D.W.	4140 S.F.	
PAVER WALK	198 S.F.	
CONC. PATIO		270 S.F.
TOTAL	4338 S.F.	270 S.F. = 4608 S.F.

DRAINAGE NOTES

- Roof drain downspouts shall be installed on all roof overhangs & flat roofs, and shall discharge onto concrete splash blocks or pavement, or connect to a 4 inch dia solid NDS underground conduit. The conduit shall slope at a 1% gradient minimum and discharge at stone cobble rip/rap energy dissipaters shown on site plan.
- Area drains shall be installed to collect surface water, and shall connect to a 4 inch dia solid NDS underground conduit. The conduit shall slope at a 1% gradient minimum and at stone cobble rip/rap energy dissipaters shown on site plan.
- All finish grades including patios, and driveways shall be contoured to slope away from proposed structures:
 Site Grading (CRC 401.3): Surface Drainage shall be diverted to a storm sewer conveyance or other approved point of collection that does not create a hazard. Lots shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches within the first 10 feet. Exception: Where lot lines, walls, slopes, or other physical barriers prohibit 6 inches of fall within 10 feet, drains or swales shall be constructed to ensure drainage away from the structure. Impervious surface (pavers, etc.) within 10 feet of the building foundation shall slope a minimum of 2 percent away from the building.
 All drainage facilities should be checked and maintained periodically to remove
 All fill material shall comply with geotechnical report.
- Excavate 400 cubic yards
 Fill 600 cubic yards
 Import 200 cubic yards
- See sheet #C1-C2 for Grading and Drainage Plan
- See sheet #EC1 for Erosion Control Plan and BMP's
- Refer to soils report prior to construction.

MATERIALS AND CONSTRUCTION METHODS FOR EXTERIOR WILDFIRE EXPOSURE CRC R337 WUI

BUILDING MATERIALS, SYSTEMS AND OR ASSEMBLIES USED IN THE EXTERIOR CONSTRUCTION OF THIS BUILDING SHALL BE IN ACCORDANCE WITH R337.3

FIRE SAFETY FUEL MANAGEMENT PLAN

- "GREEN ZONE": Grassland within 30 feet of house and garage shall be mowed at least once annually in late spring, or more as needed to control fuel hazard.
- All annual grassland should be mowed in late spring to a minimum height of 4 inches during the summer.
 - To promote native perennial grasses and wildflower stands which are less flammable, it is best to avoid mowing more frequently than 60 days. Ideal mowing time is shortly after they have set seed.
- Flammable shrubs within 30 feet of house and garage shall be removed.
- "MANAGEMENT ZONE": Grassland 30 feet to 100 feet from house and garage shall be mowed as follows:
- All grass growing under trees, out to 6 feet beyond the driplines of the trees, should be mowed in early summer to a height of four inches.
 - Within 30-100 feet of structures away from trees need not be mowed unless determined by owner or fire marshal.

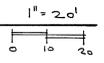
- "TREE PRUNING" Coastal Live Oak Trees within 100 feet of house and garage shall be pruned or maintained to reduce fire hazards as follows:
- All branches, living or dead, less than 3 inches diameter in width and less than either 8 feet from the ground or three times the height of any understory shrubs whichever is greater, shall be removed.
 - Dead limbs less than 8 feet in height shall be removed.
 - Healthy tree branches less than 3 inches in diameter or 8 inches diameter if split or diseased, should be removed to 8 feet above understory plants.
 - Tree Service Co. shall determine additional pruning or trimming during maintenance.
- Note: Fuel Management requirements are limited to project site within the property lines. No fuel management work is required outside project property lines.

"EMERGENCY VEHICLE ACCESS" Existing A.C. paved public roadway Monhollan Road, and proposed paver driveway will accommodate fire apparatus in accordance with Monterey County Fire Marshal.

PLAN INDEX

SHEET	DESCRIPTION
A1	SITE PLAN
A2	WEST WING FLOOR PLAN
A3	NORTH & SOUTH WING FLOOR PLANS
A4	LOWER FLOOR (DAYLIGHT BASEMENT) FLOOR PLAN
A5	EXTERIOR ELEVATIONS
A6	ROOF PLAN
EC1	EROSION CONTROL PLAN & BMP'S
C1	GRADING AND DRAINAGE PLAN
C2	GRADING SECTIONS AND DETAILS

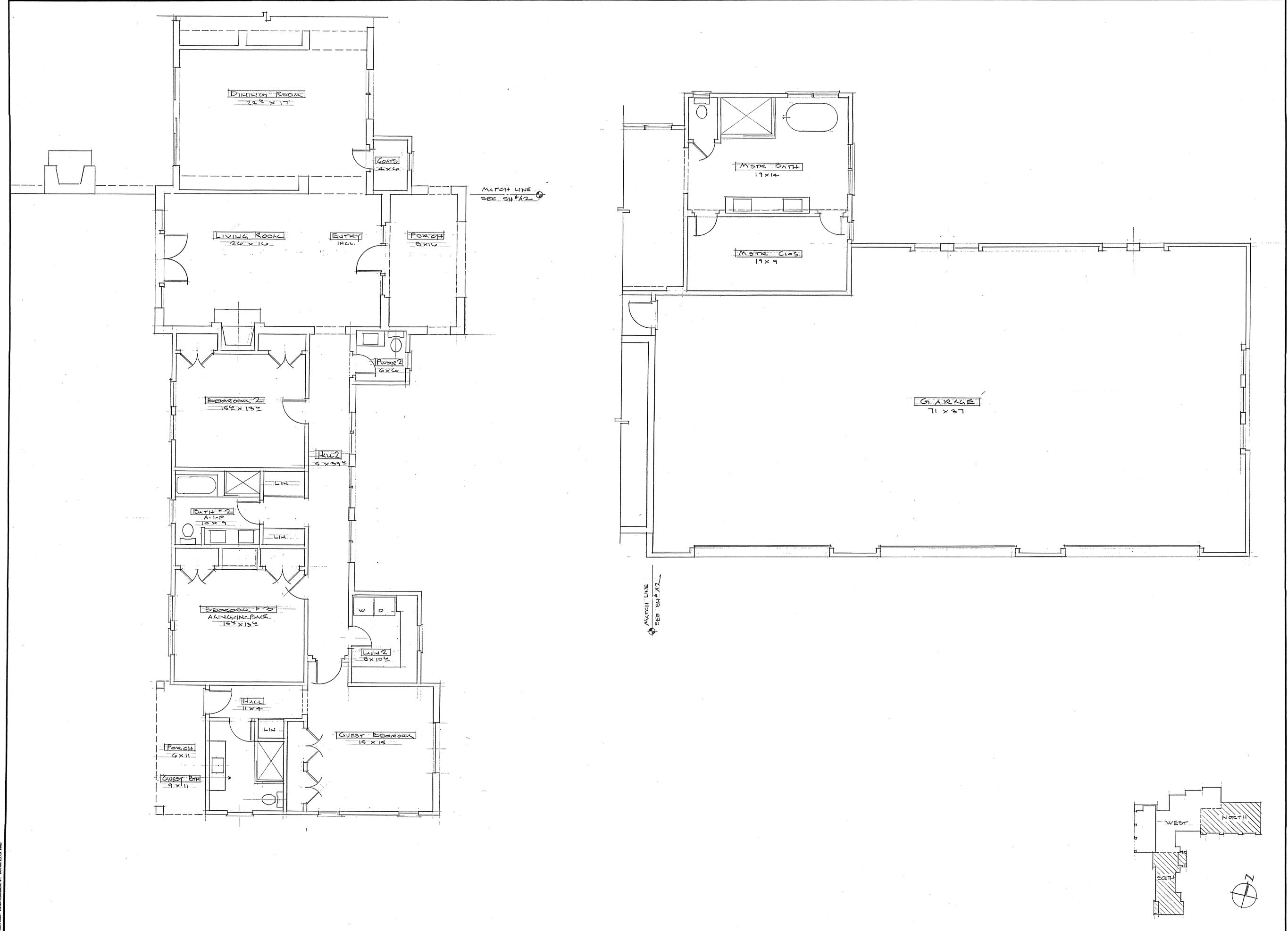
SITE PLAN



BUILDING DESIGN & CONSULTING
draftact
 2180 GARFIELD, SUITE 603 / MONTEREY, CA 93940 / (831) 646-9986 / FAX 646-9988

FLORES RESIDENCE
 577 MONHOLLAN ROAD
 CARMEL, CALIFORNIA 93923
 APN: 103-071-026-000 831 236-2367

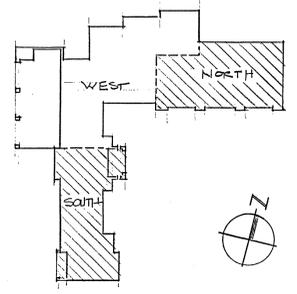
DATE	10-24-24
SCALE	
DRAWN	
JOB	25-2024
SHEET	
OF 9 SHEETS	



NORTH & SOUTH WINGS MAIN FLOOR

1/4"=1'-0"

KEY



REVISIONS	BY

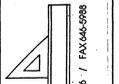
BUILDING DESIGN & CONSULTING
drafttect
 2100 GARDEN RD. SUITE 818 / MONTEREY, CA 93940 / (831) 446-5886 / FAX 446-5988

FLORES RESIDENCE
 577 MONHOLLAN ROAD
 CARMEL, CALIFORNIA 93923
 APN: 103-071-026-000 831 236-2367

DATE	2.7.25
SCALE	
DRAWN	
JOB	25-2024
SHEET	A.3
OF SHEETS	

DRAFTING CORP. 390 BIC CLAYBURN ST. SAN MATEO, CA 94402
 STOCKDRAFTING FORM NO. 12137

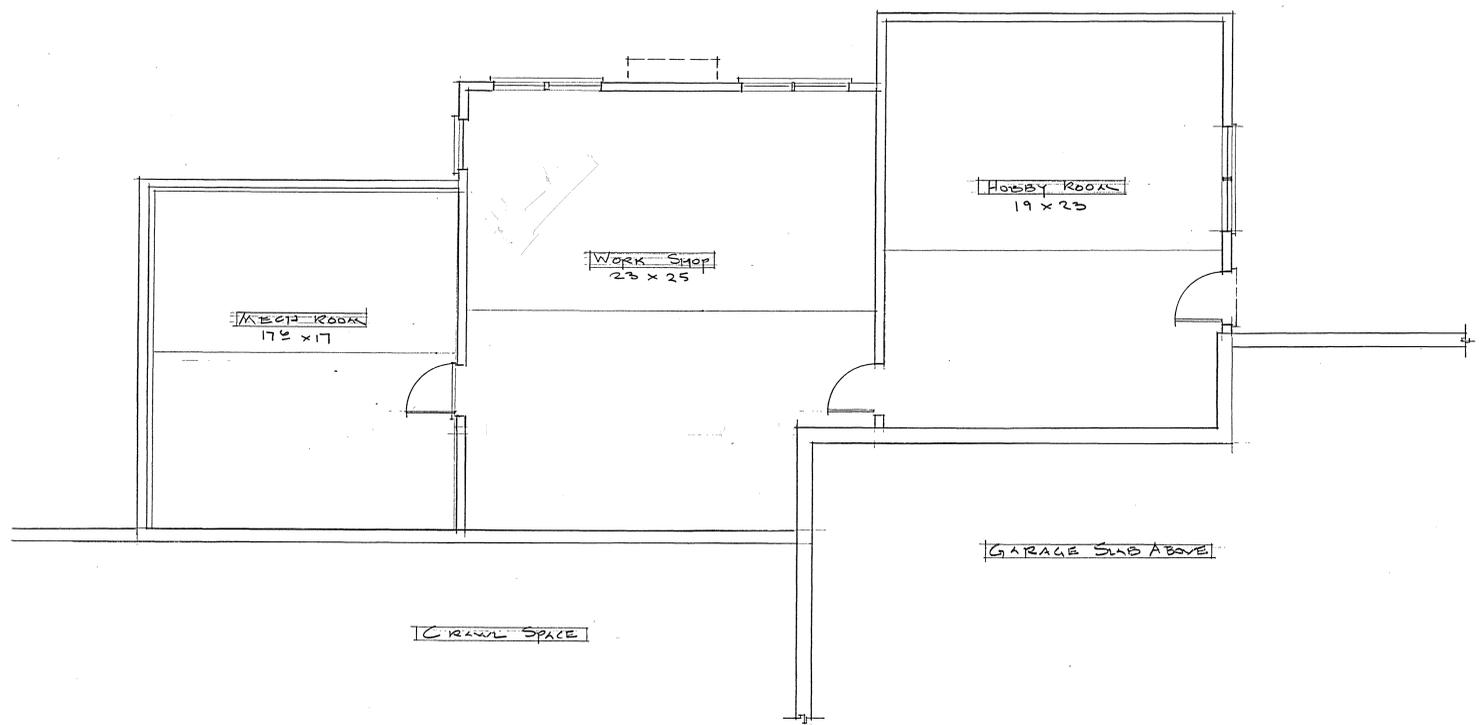
REVISIONS	BY



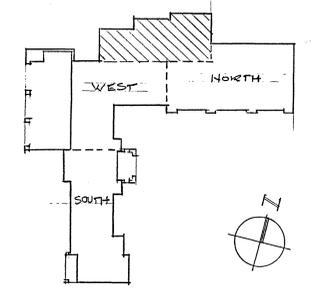
 BUSINESS DESIGN & CONSULTING

drafttect

 2150 GARDEN RD., SUITE B3 / MONTEBELO, CA 91760 / (818) 746-8986 / FAX 468-6988



WEST WING LOWER FLOOR 1/4"=1'-0"



KEY 1/4"=1'-0"

FLORES RESIDENCE
 577 MONHOLLAN ROAD
 CARMEL, CALIFORNIA 93923
 APN: 103-071-026-000 831 236-2367

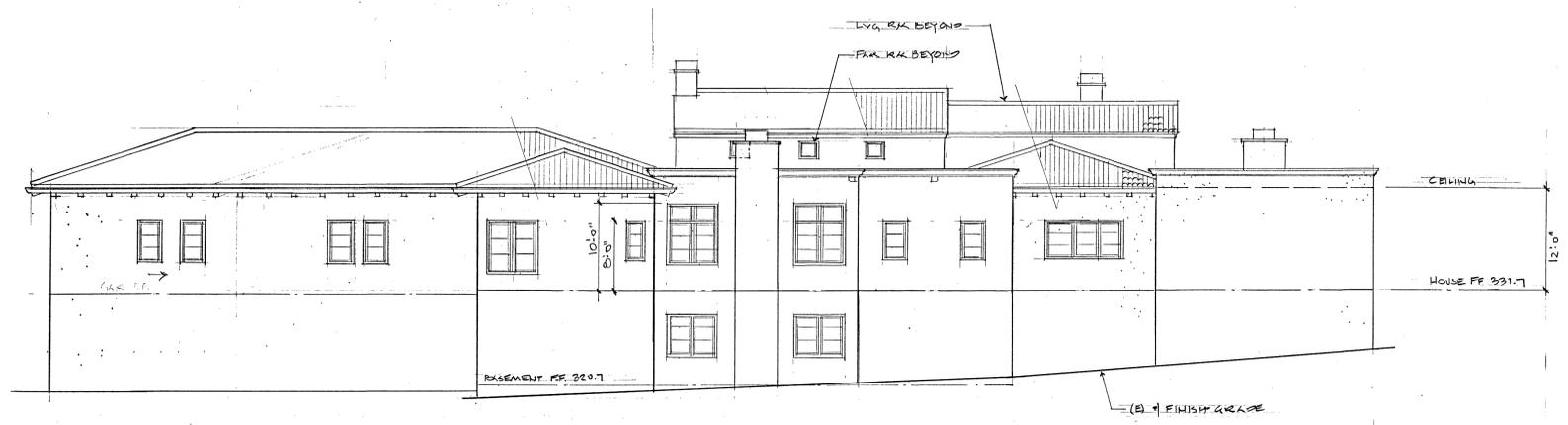
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SCALE	
DRAWN	
JOB	25-2024
SHEET	
OF SHEETS	

MATERIALS AND CONSTRUCTION METHODS FOR EXTERIOR WILDFIRE EXPOSURE - CRC R337 WU1 BUILDING MATERIALS, SYSTEMS AND OR ASSEMBLIES USED IN THE EXTERIOR CONSTRUCTION OF THIS BUILDING SHALL BE IN ACCORDANCE WITH R337.3

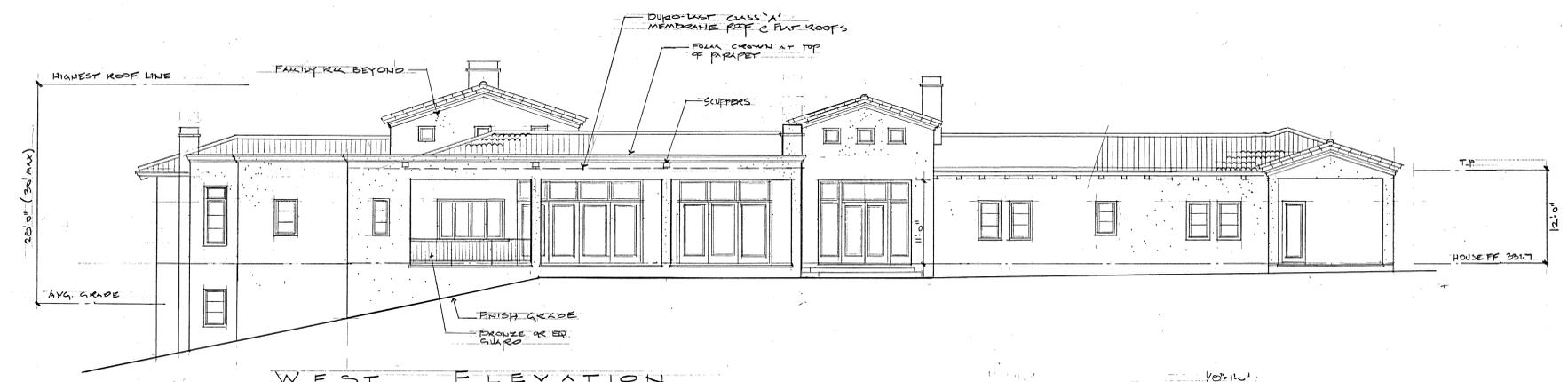
REVISIONS	BY
10-12-24	D
10-30-24	D
2-7-25	D



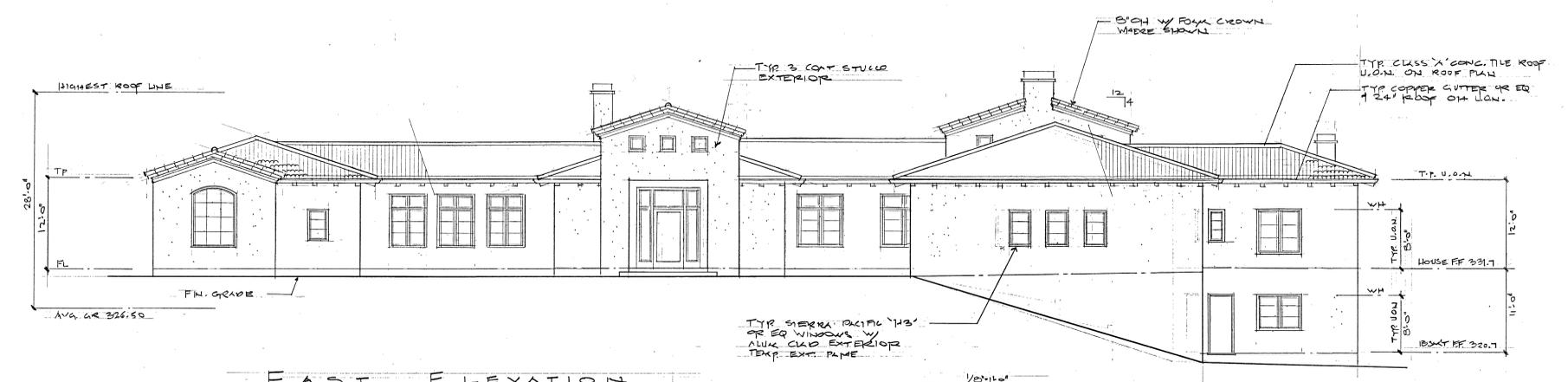
SOUTH ELEVATION 1/8"=1'-0"



NORTH ELEVATION 1/8"=1'-0"



WEST ELEVATION 1/8"=1'-0"



EAST ELEVATION 1/8"=1'-0"

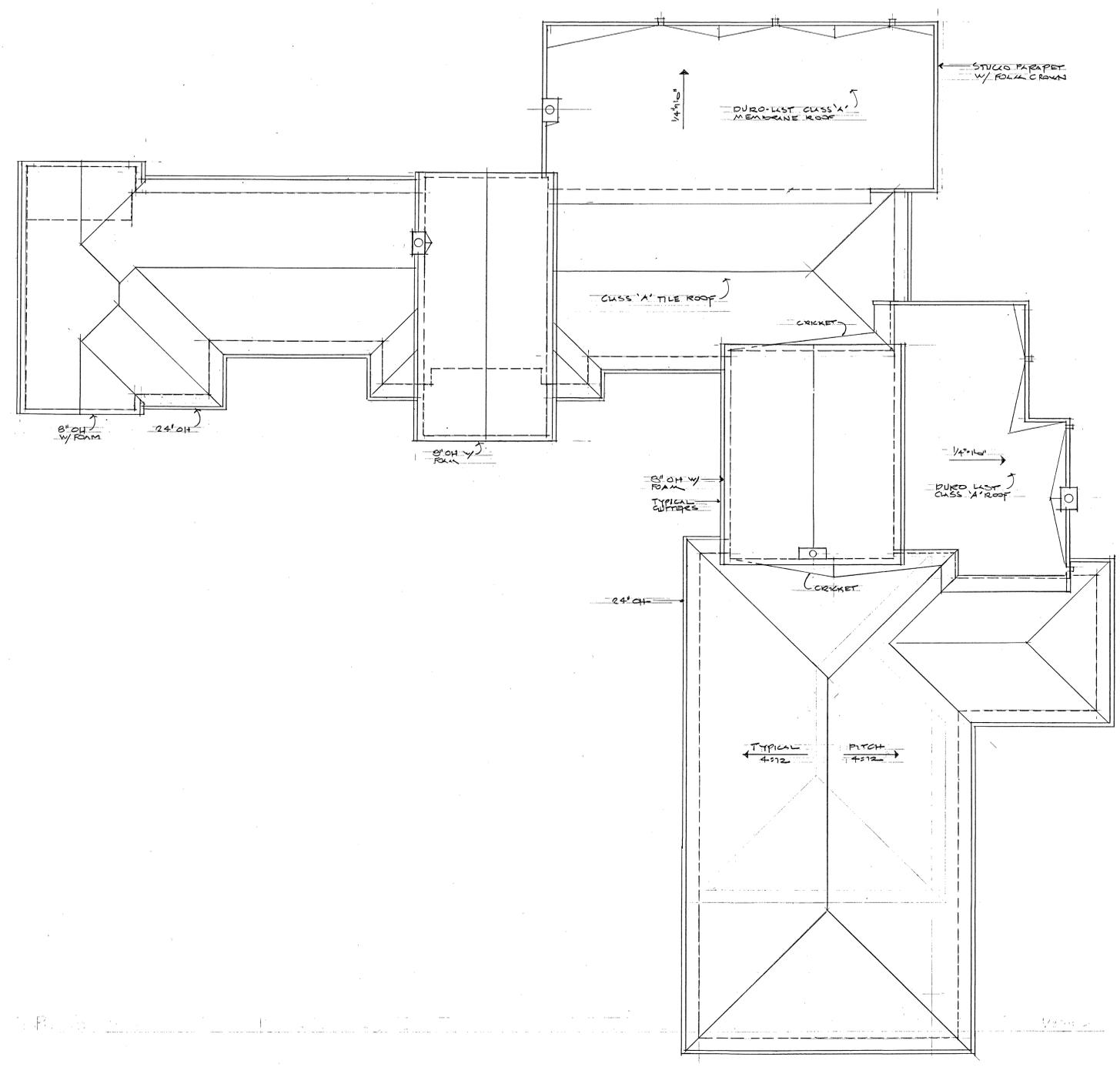
BUILDING DESIGN & CONSULTING
draft
 2150 GARDEN RD., SUITE 103 / MONTEREY, CA 94040 / (831) 646-9986 / FAX 646-9988

FLORES RESIDENCE
 577 MONHOLLAN ROAD
 CARMEL, CALIFORNIA 93923
 APN: 103-071-026-000 831 236-2367

DATE 10-7-24
 SCALE
 DRAWN
 JOB 25-2524
 SHEET
A5
 OF SHEETS

REVISIONS	BY
10-12-24	D
10-30-24	D
2-7-25	D

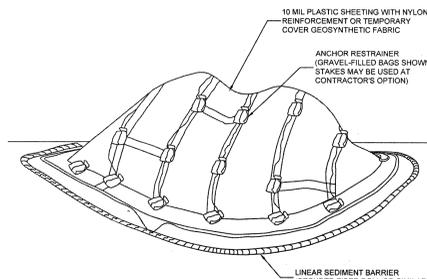
BUILDING DESIGN & CONSULTING
draft
 210 SANDHILL RD., SUITE B3 / MONTEREY, CA 95040 / (831) 646-9986 / FAX 646-9986



ROOF PLAN

FLORES RESIDENCE
 577 MONHOLLAN ROAD
 CARMEL, CALIFORNIA 93923
 APN: 103-071-026-000 831 236-2387

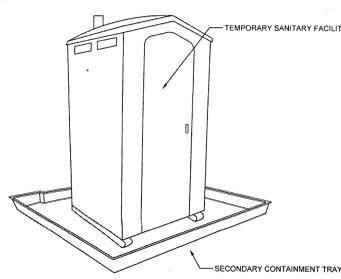
DATE	10-7-24
SCALE	
DRAWN	
JOB	252024
SHEET	
OF SHEETS	



- NOTES:**
1. ALL STOCKPILES SHALL BE CONTAINED AND COVERED WHEN NOT ACTIVE, AND SECURED AT THE END OF EACH DAY.
 2. STOCKPILES SHALL BE SECURELY COVERED OVERNIGHT, AND PRIOR TO, DURING, AND AFTER RAIN EVENTS.
 3. NO MATERIAL SHALL LEAVE THE SITE OR MOVE INTO STREET.
 4. PLASTIC SHEETING HAS LIMITATIONS DUE TO SUNLIGHT BREAKDOWN, HARD TO MANAGE IN WINDY CONDITIONS, AND CAN INCREASE RIMPUP RISK FOR PERMITTER CONTROL. INSPECT FREQUENTLY OR USE GEOTEXTILIC FABRIC AS APPLICABLE.
 5. DO NOT LOCATE WITHIN 50 FEET OF A STORM DRAIN.

TEMPORARY COVER ON STOCKPILE

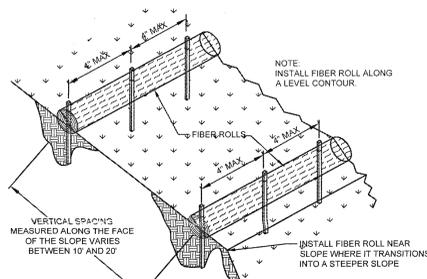
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- STORAGE AND DISPOSAL PROCEDURES**
1. TEMPORARY SANITARY FACILITIES SHOULD BE LOCATED AWAY FROM DRAINAGE FACILITIES, WATERCOURSES, AND FROM TRAFFIC CIRCULATION. IF SITE CONDITIONS ALLOW, PLACE PORTABLE FACILITIES A MINIMUM OF 50 FEET FROM DRAINAGE CONVEYANCES AND TRAFFIC AREAS.
 2. WHEN SUBJECTED TO HIGH WINDS OR RISK OF HIGH WINDS, TEMPORARY SANITARY FACILITIES SHOULD BE SECURED TO PREVENT OVERTURNING.
 3. TEMPORARY SANITARY FACILITIES MUST BE EQUIPPED WITH SECONDARY CONTAINMENT TRAYS TO PREVENT DISCHARGE OF ILLUCTIONS TO THE STORMWATER DRAINAGE SYSTEM OF THE RECEIVING WATER.
 4. ARRANGE FOR REGULAR WASTE COLLECTION. DO NOT ALLOW SANITARY FACILITY TO BECOME OVERFULL.

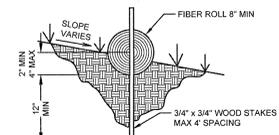
SANITARY WASTE MANAGEMENT

NTS



TYPICAL FIBER ROLL INSTALLATION

NTS

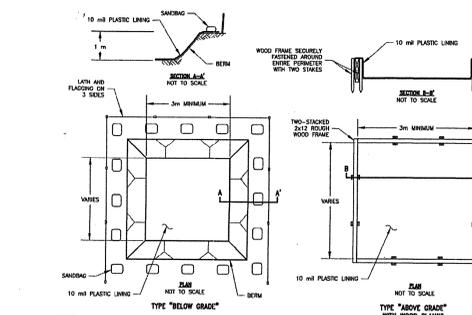


ENTRENCHMENT DETAIL

NTS

FIBER ROLLS

NTS



Concrete Waste Management

WM-8

FLOOR AREA:

PROPOSED RESIDENCE	5382 S.F.
DAYLIGHT BASEMENT	1414 S.F.
ATTACHED GARAGE	2580 S.F.
COVERED FRONT PORCH	162 S.F.
COVERED BACK PATIO	1505 S.F.
COVERED BACK PORCH	96 S.F.
TOTAL	9735 S.F.

BUILDING SITE COVERAGE

RESIDENCE	5382 S.F.
ATTACHED GARAGE	2580 S.F.
COVERED FRONT PORCH	162 S.F.
COVERED BACK PATIO	1505 S.F.
COVERED BACK PORCH	96 S.F.
TOTAL	9735 S.F.
LOT AREA	186,436 S.F.
	= 5%

PAVED COVERAGE

DESCRIPTION	PERVIOUS	IMPERVIOUS
PAVER D.W.	4140 S.F.	
PAVER WALK	198 S.F.	
CONC. PATIO		270 S.F.
TOTAL	4338 S.F.	270 S.F.
		= 4608 S.F.

GROUND DISTURBANCE 10,500 S.F.

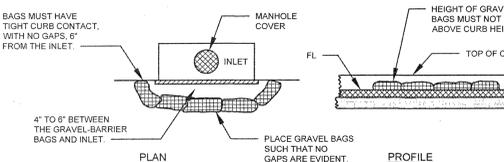
CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMP) on this Page, as they Apply to Your Project, All Year Long



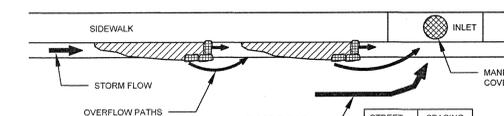
- MATERIALS & WASTE MANAGEMENT**
 - Non-Hazardous Materials
 - Form and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
 - Use (that don't overtop) reclaimed water for dust control.
 - Hazardous Materials
 - Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
 - Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
 - Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
 - Arrange for appropriate disposal of all hazardous wastes.
 - Waste Management
 - Cover waste disposal containers accurately with tarps at the end of every work day and during wet weather.
 - Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
 - Clean or replace portable toilets, and inspect them frequently for leaks and spills.
 - Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gypsum board, pipe, etc.).
 - Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
 - Do not clean vehicles or equipment onsite using hoses, solvents, degreasers, steam cleaning equipment, etc.
 - Maintenance and Parking
 - Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
 - Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
 - If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
 - If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface water.
 - Do not clean vehicles or equipment onsite using hoses, solvents, degreasers, steam cleaning equipment, etc.
 - Spill Prevention and Control
 - Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
 - Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
 - Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
 - Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, filter rolls, berms, etc.
 - Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
 - Keep excavated soil on the site where it will not collect into the street.
 - Transfer excavated materials to dump trucks on the site, not in the street.
 - Communicated Soil
 - If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells.
 - Buried barrels, debris, or trash.
- EQUIPMENT MANAGEMENT & SPILL CONTROL**
 - Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
 - Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
 - If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
 - If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface water.
 - Do not clean vehicles or equipment onsite using hoses, solvents, degreasers, steam cleaning equipment, etc.
- EARTHWORKS & CONTAMINATED SOILS**
 - Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
 - Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
 - Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, filter rolls, berms, etc.
 - Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
 - Keep excavated soil on the site where it will not collect into the street.
 - Transfer excavated materials to dump trucks on the site, not in the street.
 - Communicated Soil
 - If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells.
 - Buried barrels, debris, or trash.
- PAVING/ASPHALT WORK**
 - Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
 - Cover storm drain inlets and manholes when applying seal coat, seal coat, slurry seal, fog seal, etc.
 - Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
 - Do not use water to wash down fresh asphalt concrete pavement.
 - Sawcutting & Asphalt/Concrete Removal
 - Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
 - Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
 - If sawcut slurry enters a catch basin, clean it up immediately.
- CONCRETE, GROUT & MORTAR APPLICATION**
 - Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
 - Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
 - Collect the wash water from washing exposed aggregate concrete and remove it to appropriate disposal offsite.
- PAINTING & PAINT REMOVAL**
 - Painting cleanup
 - Schedule cleaning and rinse paint containers into a street, gutter, storm drain, or surface water.
 - For water-based paints, paint out brushes in the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
 - For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinner and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.
 - Paint Removal
 - Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
 - Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloth and disposed of as ash.
- DEWATERING**
 - Effectively manage all run-on, all runoff within the site, and all runoff discharge from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
 - When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
 - In areas of known contamination, testing is required prior to reuse or discharge of ground-water. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated ground-water must be treated or hauled off-site per proper disposal.

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!



DRAIN INLET BARRIER

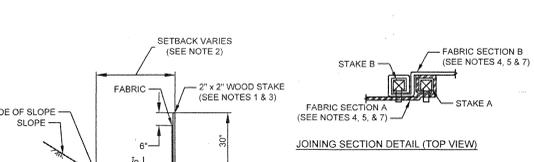
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CURB AND GUTTER CONTAINMENT

NTS

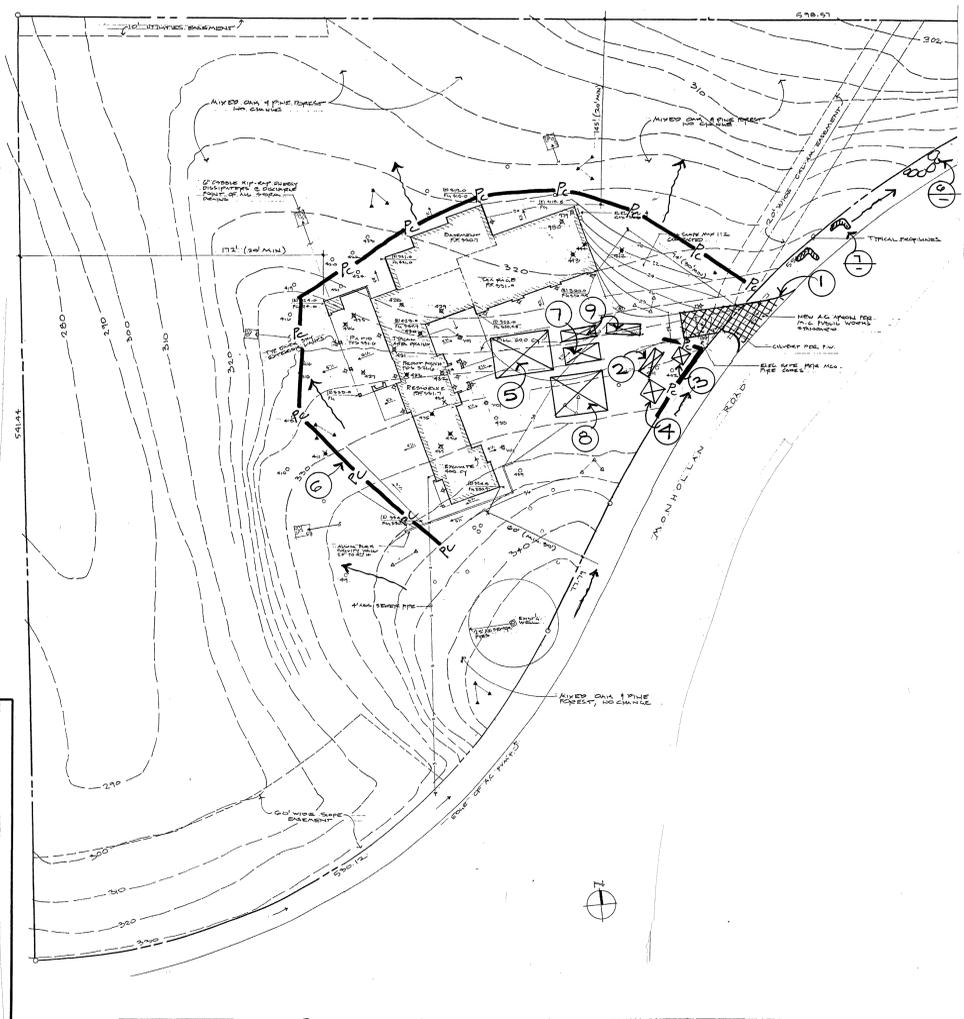
STREET GRADE (%)	SPACING BETWEEN BAGS (FT)
0.5	100
1.0	50
2.0	25
3.0	16
4.0	13
6.0	10



SILT FENCE

NTS

- NOTES:**
1. STAKE DIMENSIONS ARE NOMINAL.
 2. DIMENSIONS MAY VARY TO FIT FIELD CONDITIONS.
 3. STAKES SHALL BE SPACED AT 6'-0" MAXIMUM AND SHALL BE POSITIONED ON DOWNSTREAM SIDE OF FENCE.
 4. STAKES TO OVERLAP AND FENCE FABRIC TO FOLD AROUND EACH STAKE AND FULL TURN. SECURE FABRIC TO STAKE WITH 4 STAPLES.
 5. STAKES SHALL BE DRIVEN TIGHTLY TOGETHER TO PREVENT POTENTIAL FLOW-THROUGH OF SEDIMENT AT JOINT. THE TOPS OF THE STAKES SHALL BE SECURED WITH WIRE.
 6. FOR END STAKE, FENCE FABRIC SHALL BE FOLDED AROUND TWO STAKES ONE FULL TURN AND SECURED WITH 4 STAPLES.
 7. JOINING SECTIONS SHALL NOT BE PLACED AT SUMP LOCATIONS.



EROSION CONTROL PLAN & BMPs

1"=40'

Erosion Control Legend

1. **Tracking Control:** Prevent tracking dirt offsite. Use gravel and corrugated steel plates or equal to provide a stabilized entrance and exit for vehicles. Clean plates regularly and replace gravel when no longer effective. Maintain dust control and implement street sweeping and vacuuming, as needed.
2. **Solid Waste Management:** 3 CY container w lid (WM-8)
3. **Sanitary/Septic Waste Management:** Portable Bathroom w containment underneath (WM-9) (1/2)
4. **Concrete Washout (WM-8)** (1/2)
5. **Stockpile Management -** Fiberrolls or gravel bags around with visqueen cover and gravel bags on top to secure visqueen (WM3) (2/1)
6. **Perimeter Control:** Fiber Rolls or Silt Fencing (1/2)
7. **Earthmoving Equipment w/ containment underneath**
8. **Material Delivery and Storage, cover when not in use (WM-1)**
9. **EMPLOYEE PARKING**

Additional Contact Numbers (Non-Emergency):
 City of Carmel-by-the-Sea (831) 320-2000
 City of Del Mar (619) 948-8111
 City of Monterey (831) 466-3921
 City of Pacific Grove (831) 948-9722
 City of San Jose (408) 394-3004
 City of Santa Cruz (831) 298-4822
 City of Monterey (831) 795-4000

REVISIONS

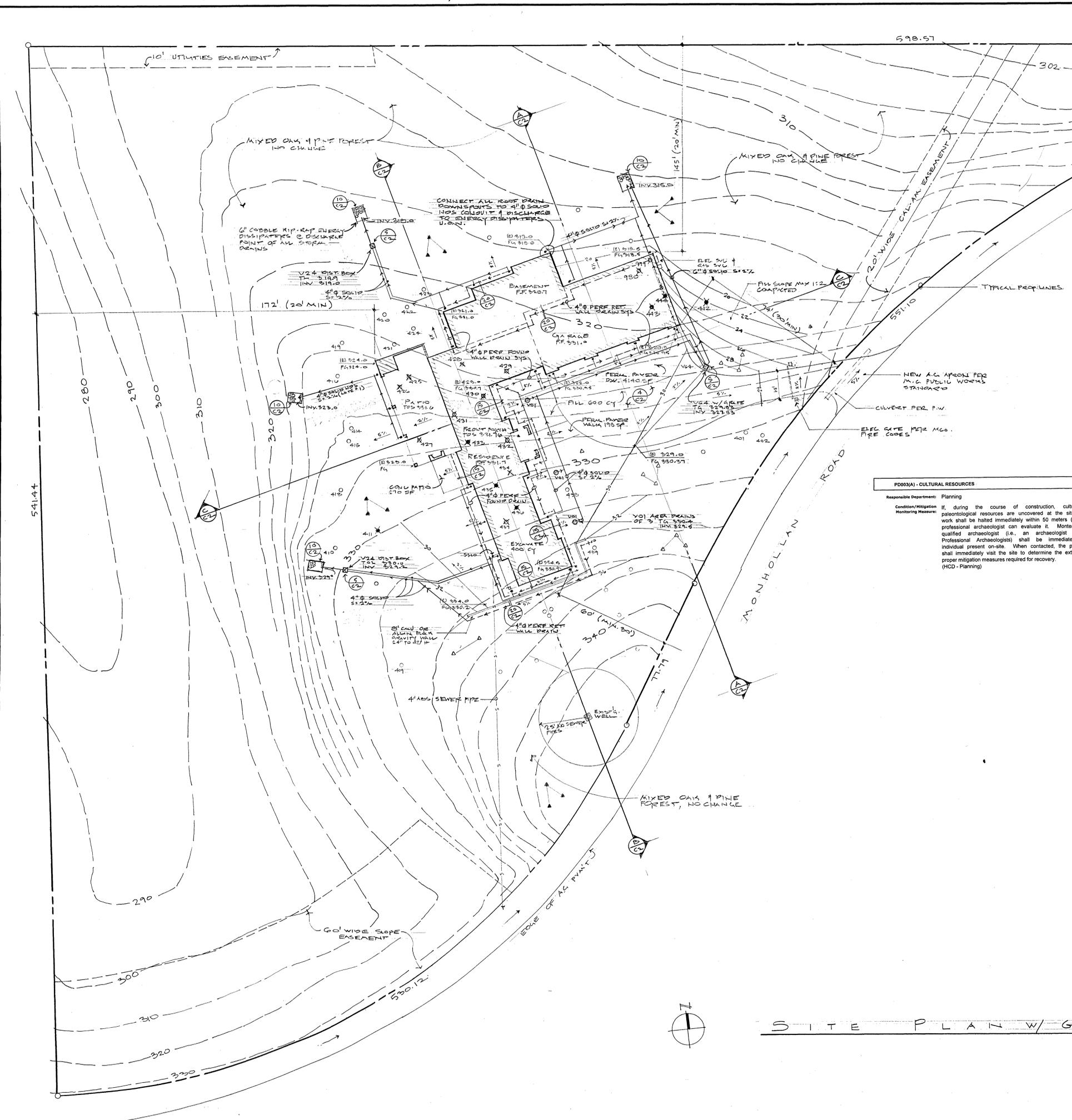
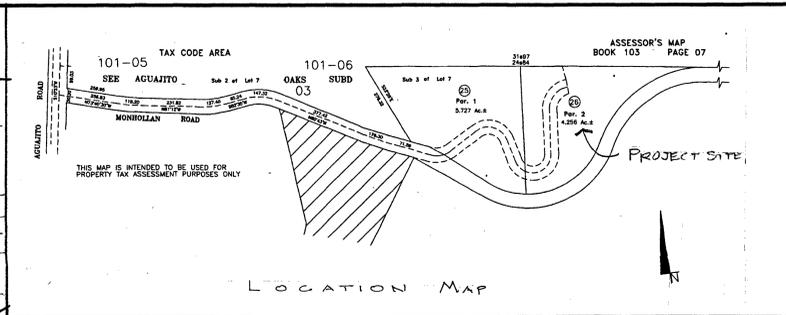
NO.	DESCRIPTION	DATE

DATE 2.7.25
SCALE 1"=40'
DRAWN
SHEET 25 of 24
JOB
PROJECT
DATE
BY

FLORES RESIDENCE
MONHOLLAN ROAD
MONTEREY, CALIFORNIA
APN: 103-071-026-000

BLDG DESIGN & CONSULTING
draftact
 2100 GARDEN RD., SUITE 103 / MONTEREY, CA 93940 / (831) 646-0998 / FAX 646-0998

REVISIONS	BY
10-20-24	10
11-6-24	9
2-7-25	8



- ### DRAINAGE & GRADING NOTES
- Roof drain downspouts shall be installed on all roof overhangs & flat roofs, and shall discharge onto concrete splash blocks or pavement, or connect to a 4 inch dia solid NDS underground conduit. The conduit shall slope at a 1% gradient minimum and discharge at stone cobble riprap energy dissipaters shown on site plan.
 - Area drains shall be installed to collect surface water, and shall connect to a 4 inch dia solid NDS underground conduit. The conduit shall slope at a 1% gradient minimum and at stone cobble riprap energy dissipaters shown on site plan.
 - All finish grades including patios, and driveways shall be contoured to slope away from proposed structures.
 - Site Grading (CRC 401.3): Surface Drainage shall be diverted to a storm sewer conveyance or other approved point of collection that does not create a hazard. Lots shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches within the first 10 feet. **Exception:** Where lot lines, walls, slopes, or other physical barriers prohibit 6 inches of fall within 10 feet, drains or swales shall be constructed to ensure drainage away from the structure. Impervious surface (pavers, etc.) within 10 feet of the building foundation shall slope a minimum of 2 percent away from the building.
 - All drainage facilities should be checked and maintained periodically to remove obstructions and assure proper function.
 - Cut and fill slopes shall have a maximum slope of 2' horizontal to 1' vertical.
 - Toe of all cut and fill slopes to be 3'-0" minimum from property line or per HOA whichever is greater.
 - All grading shall conform with the county of Monterey Grading Ordinance No. 2535, and erosion control ordinance No. 2806.
 - Ultimate purpose of grading: Construct new S.F.D.
 - Estimated Start Date: May 1, 2025
 - Estimated Complete date: May 1, 2026
 - Actual grading shall begin within 30 days of vegetation removal or the area shall be planted to control erosion.
 - All fill material shall comply with geotechnical report.
 - Excavate 400 cubic yards
Fill 600 cubic yards
Import 200 cubic yards
 - Pad elevation shall be certified to 0.1 feet by a licensed surveyor or civil engineer, prior to digging any footings or scheduling any inspections.
 - Soils report requires foundation excavations to be reviewed by soils engineer. Prior to requesting a building division foundation inspection, the soils engineer shall inspect and approve in writing the foundation excavations.
 - When a grading permit is required, prior to calling for building division foundation inspection, preliminary grading and compaction reports shall be submitted to and approved by the building division grading inspector. Any revisions from the original soils report shall be incorporated into the plans and specifications.
 - A soils geotechnical report has been prepared by:
Grice Engineering, Inc.
File # 13-6-24-05
561A Brunken Avenue
Salinas, CA 93901
831 422-9619

PD003(A) - CULTURAL RESOURCES

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e. an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery. (HCD - Planning)

SPECIAL TESTS AND INSPECTION SCHEDULE

THE FOLLOWING ITEMS SHALL BE INSPECTED. "SPECIAL INSPECTION" SHALL CONFORM TO 2022 CBC 17047. SPECIAL INSPECTION AGENCIES AND/OR INDIVIDUALS SHALL BE RETAINED BY THE OWNER AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO ANY WORK. FOR MATERIAL TESTING REQUIREMENTS, SEE SPECIFICATIONS AND/OR GENERAL NOTES. TESTING AGENCY SHALL SEND COPIES OF ALL STRUCTURAL TESTING AND INSPECTION REPORTS DIRECTLY TO THE BUILDING OFFICIAL AND ENGINEER.

ITEM	REQ.	REMARKS
FOUNDATION EXCAVATIONS	YES	BY SOIL ENGINEER / PERIODIC
SUBGRADE PREPARATION	YES	BY SOIL ENGINEER / PERIODIC
CLASSIFICATION/TESTING FILL MATERIAL	YES	BY SOIL ENGINEER / PERIODIC
OBSERVATION OF FILL MATERIAL/COMPACTION	YES	BY SOIL ENGINEER / CONTINUOUS
FOUNDATION	YES	BY SOIL ENGINEER / PERIODIC VERIFICATION - MATERIALS BLM FOOTING/SLAB BEARING CAPACITY TO BE DETERMINED / PERIODIC
MASONRY & CONCRETE CONSTRUCTION	YES	TO BE DETERMINED / PERIODIC
REINFORCING STEEL CONSTRUCTION	YES	TO BE DETERMINED / PERIODIC

SOILS ENGINEER TO PROVIDE OBSERVATION DURING GRADING AND FOUNDATION PHASE OF CONSTRUCTION.

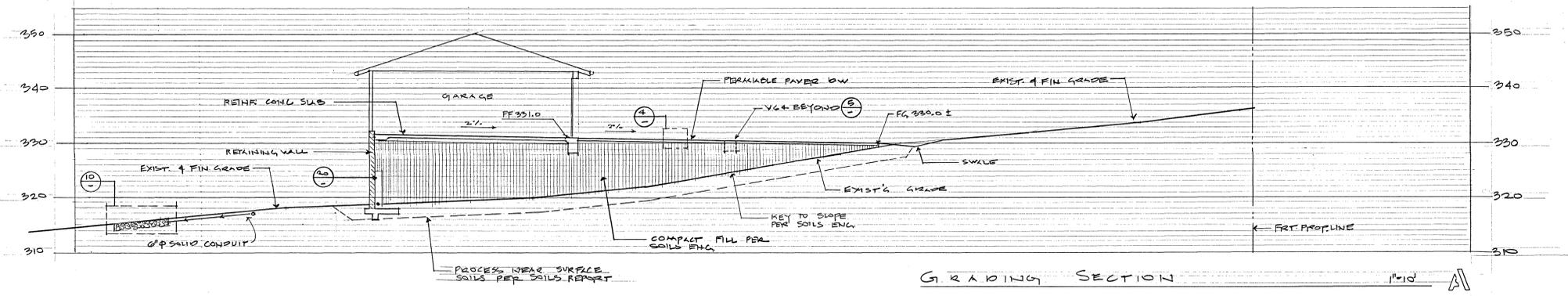
- ### NOTES
- TREE LEGEND
 - MONTEREY PINES TO REMOVE (7)
 - COASTAL LIVE OAKS TO REMOVE (12)
 - 5 GAL MONTEREY PINE REPLACEMENTS (13)
 - 5 GAL COASTAL LIVE OAK REPLACEMENTS (12)
 - SEE ATTACHED ARBORIST REPORT BY ALBERT WEISFUSS ISA#1388
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - EXTERIOR DARK SKY LISTED LIGHTS

SITE PLAN W/ GRADING & DRAINAGE 1" = 20'

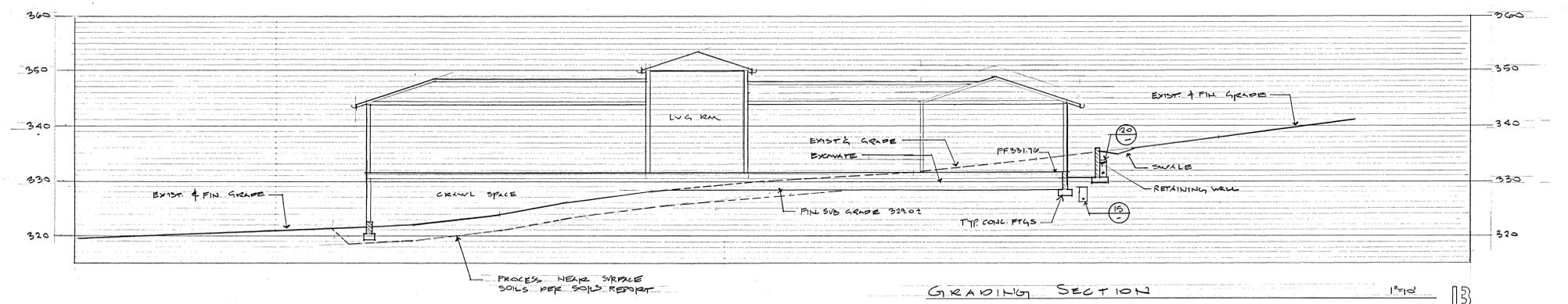
BLENDING DESIGN & CONSULTING
 2150 GARDEN RD., SUITE 103 / MONTEREY, CA 93940 / (831) 466-5986 / FAX: 466-5988

FLORES RESIDENCE
 577 MONHOLLAN ROAD
 CARMEL, CALIFORNIA 93923
 APN: 103-071-026-000 831 236-2367

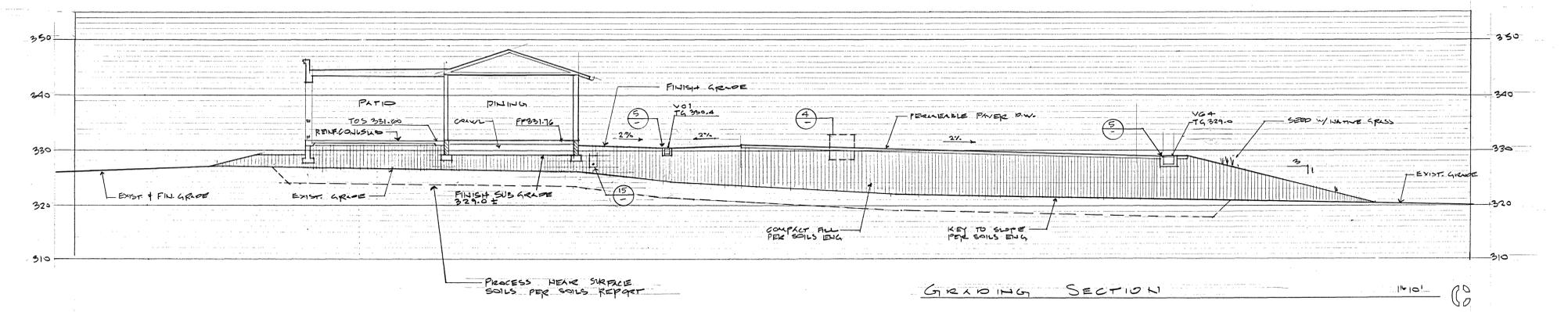
DATE	10-24-24
SCALE	
DRAWN	
JOB	25-2024
SHEET	10
OF	2 SHEETS



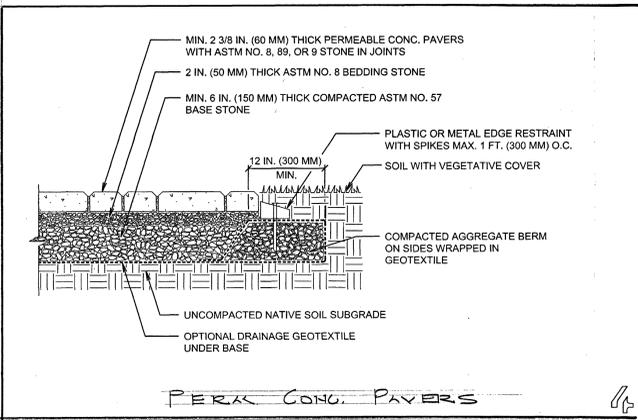
GRADING SECTION A-A 1/4" = 1'-0"



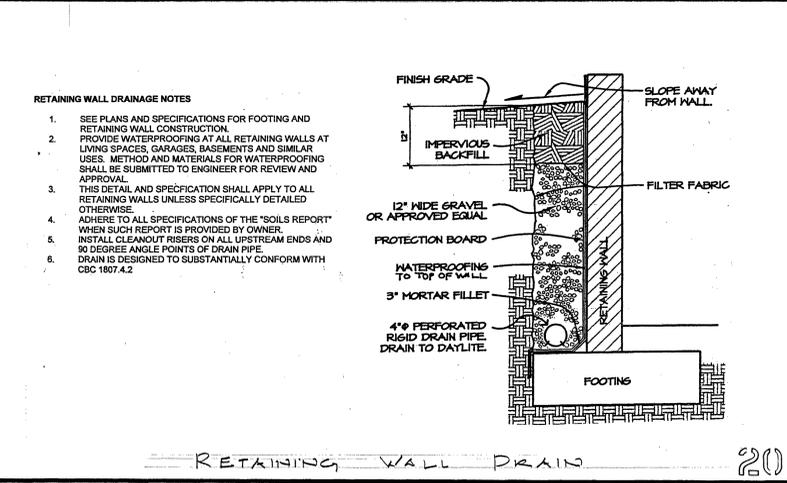
GRADING SECTION B-B 1/4" = 1'-0"



GRADING SECTION C-C 1/4" = 1'-0"

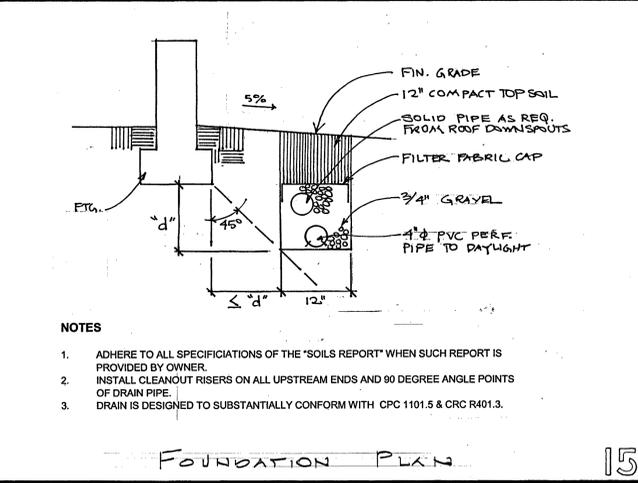


PERMEABLE CONG. PAVERS



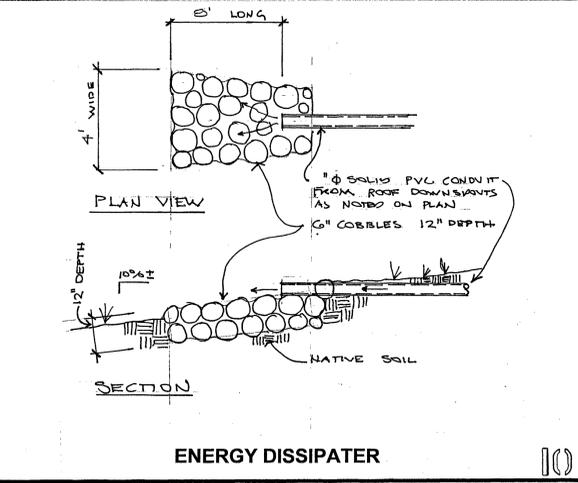
- RETAINING WALL DRAINAGE NOTES**
- SEE PLANS AND SPECIFICATIONS FOR FOOTING AND RETAINING WALL CONSTRUCTION.
 - PROVIDE WATERPROOFING AT ALL RETAINING WALLS AT LIVING SPACES, GARAGES, BASEMENTS AND SIMILAR USES. METHOD AND MATERIALS FOR WATERPROOFING SHALL BE SUBMITTED TO ENGINEER FOR REVIEW AND APPROVAL.
 - THIS DETAIL AND SPECIFICATION SHALL APPLY TO ALL RETAINING WALLS UNLESS SPECIFICALLY DETAILED OTHERWISE.
 - ADHERE TO ALL SPECIFICATIONS OF THE "SOILS REPORT" WHEN SUCH REPORT IS PROVIDED BY OWNER.
 - INSTALL CLEANOUT RISERS ON ALL UPSTREAM ENDS AND 90 DEGREE ANGLE POINTS OF DRAIN PIPE.
 - DRAIN IS DESIGNED TO SUBSTANTIALLY CONFORM WITH CBC 1807.4.2

RETAINING WALL DRAIN 2/0

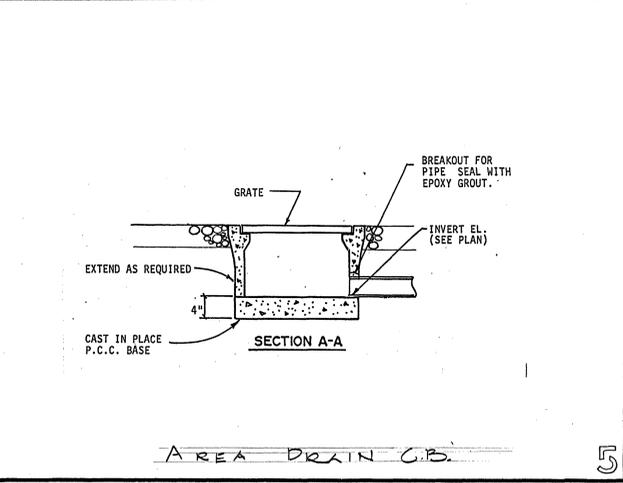


- NOTES**
- ADHERE TO ALL SPECIFICATIONS OF THE "SOILS REPORT" WHEN SUCH REPORT IS PROVIDED BY OWNER.
 - INSTALL CLEANOUT RISERS ON ALL UPSTREAM ENDS AND 90 DEGREE ANGLE POINTS OF DRAIN PIPE.
 - DRAIN IS DESIGNED TO SUBSTANTIALLY CONFORM WITH CPC 1101.5 & CRC R401.3.

FOUNDATION PLAN 1/5

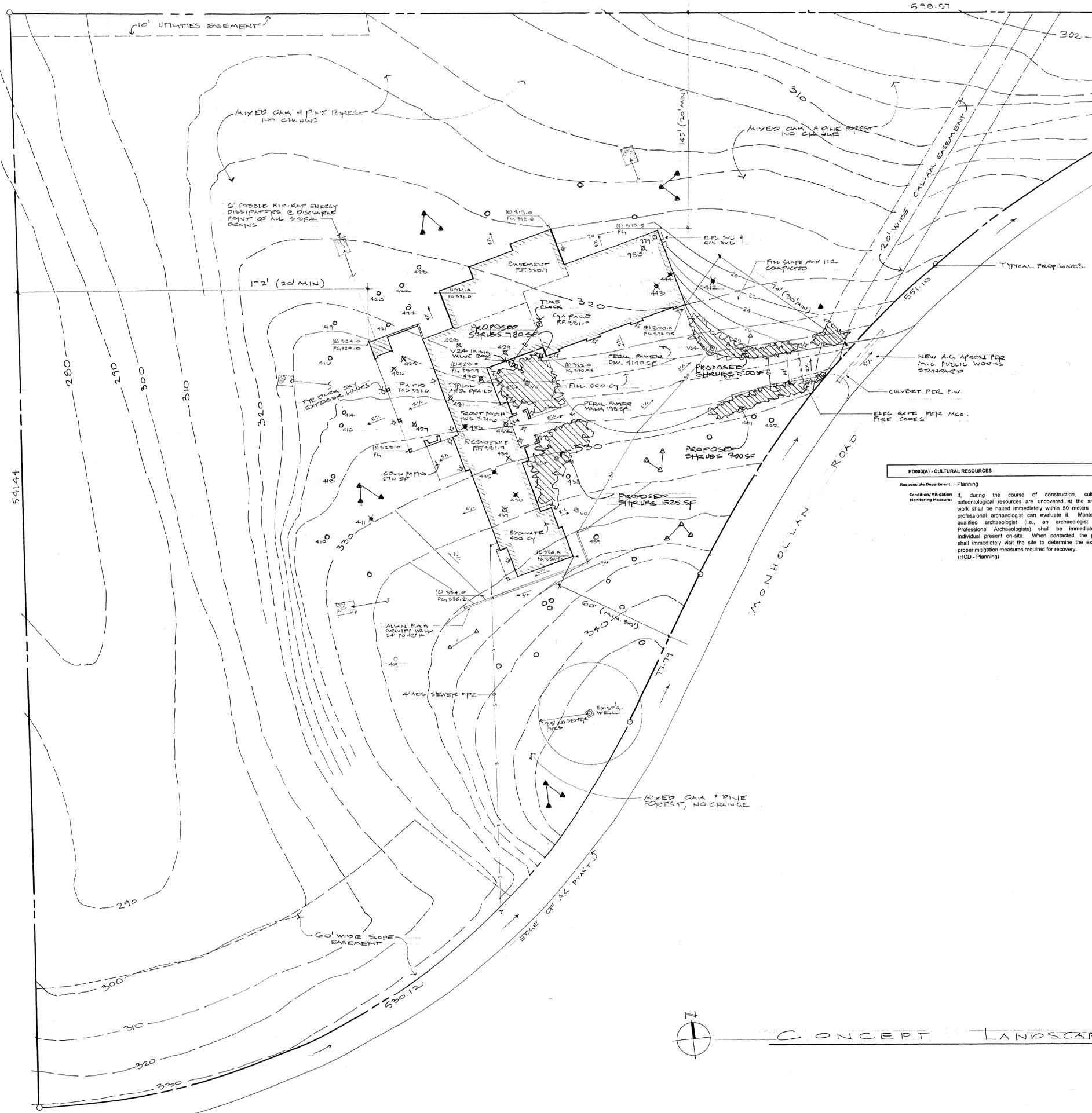
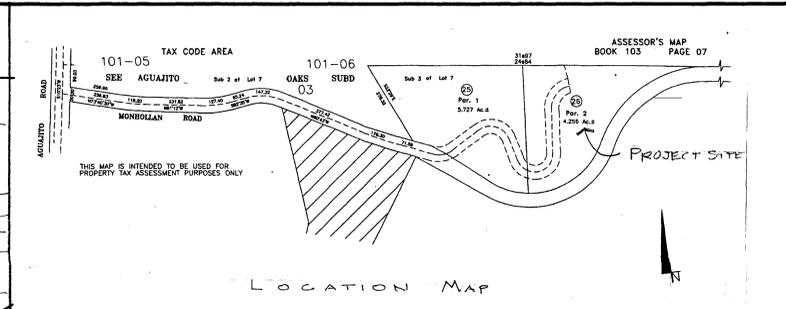


ENERGY DISSIPATER 1/0



AREA DRAIN C.B. 5

REVISIONS	BY
10-20-24	LD
11-6-24	LD
2-11-25	LD



LANDSCAPE NOTES

- All planting areas (except hydroseeded areas) shall incorporate Compost, see requirements from MPWMD Section E.8.3
- All disturbed, unplanted areas to be hydroseeded with a mix of both annual and perennial native grasses and wildflowers. Hydroseeding to be done after the first fall rains of the year construction is completed. Temporary, above-ground irrigation to be installed only if winter rains are insufficient.
- Trash and recycling facilities to be located inside garage.
- Mulch: Apply a 3" layer of mulch on all planting areas, see requirements from MPWMD Section E.8.1
- All landscaping shall be installed in accordance to Monterey County and MPWMD regulations Rule 142.1

PLANTING LIST

Shrub listed below shall be planted in areas noted as "proposed shrubs" on this plan sheet. Owner and landscape contractor shall determine placement and quantity:

ABBR	PLANT NAME	SIZE
ARC	ARCTOSTAPHYLOS EMERALD CARPET	1G
DGL	DOUGLAS IRIS	1G
DIE	DIETES GRANDIFLORA	1G
DIS	DISPLACUS AURANTIA ORANGE BUSH MONKEY FLR	1G
GAR	GARRYELLIPTICA SILK TASSEL	5G
KF	CALAMAGROSTIS KAR FORESTER	5G
LEP	LEPTOSPERMUM DARK SHADOWS	15G
LEPL	LEPTOSPERMUM LAEGATUM	15G
MYA	MYRICA CALIFORNIA PACIFIC WAX MYRTLE	15G
PRI	LIGUSTRUM JAPONICA "TEXANUM" WAXLEAF PRIVET	5G
SMO	COTINUS COGGYGRIA ROYAL PURPLE	15G
WES	WESTRANGIA BLUE GEM COAST ROSEMARY	5G

TOTAL PROPOSED SHRUBS 2105 SF

IRRIGATION NOTES

- All new shrubs shall be irrigated with drip irrigation in accordance with MPWMD and Mtry. County codes.
- Install electric valves with filter and pressure regulator on all drip systems.
- Irrigation valve box location shown on site plan.
- Back flow preventer required on irrigation valves.
- Electronic time clock controller shall be installed in garage.
- Rain gauge / switch is required.
- All shrubs shall be irrigated with a drip system, owner will design and install system.

WATER USAGE FOR IRRIGATION

- Drip Emitters
- 1 Gal - 1 GPH - 1 Em
 - 5 Gal - 1 GPH - 2 Em
 - 15 Gal - 1 GPH - 4 Em
 - 24" - 1 GPH - 5 Em
- Drip Schedule
- Every other day 1" 10 days - 15 min.
 - Every 3 rd day 30 days - 15 min.
 - Every 4" day ever after - 20 min.

NOTES

- TREE LEGEND
 - ✕ MONTEREY PINES TO REMOVE (7)
 - ✕ COASTAL LIVE OAKS TO REMOVE (12)
 - ▲ 5 GAL MONTEREY PINE REPLACEMENTS (13)
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- EXISTING COUITOURS
- PROPOSED COUITOURS
- EXTERIOR DARK SKY LISTED LIGHTS
- PROPOSED SHRUB LANDSCAPE AREA

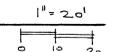
PD003(A) - CULTURAL RESOURCES

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery. (HCD - Planning)



CONCEPT LANDSCAPE PLAN



REVISIONS & CONSULTING
draftact
2150 GARDEN RD., SUITE B3 / MONTEREY, CA 93940 / (831) 466-5966 / FAX 466-5988

FLORES RESIDENCE
577 MONHOLLAN ROAD
CARMEL, CALIFORNIA 93923
APN: 103-071-026-000 831 236-2367

DATE	10-24-24
SCALE	
DRAWN	
JOB	25-2024
SHEET	
OF 1 SHEETS	

Flores Exterior Lighting
Monhollan Road
APN: 103-071-026-000

Wall Sconce: Minca Livary Sage Ridge Dark Sky



Image File Name: 8282-A61.jpg

Sage Ridge™ - 1 Light Outdoor Wall Mount

Item #:	8282-A61
UPC Code:	747396079936
Product Family Name:	Sage Ridge™
Finish:	Vintage Rust™
Category:	WALL MOUNT
Category Type:	
Certification:	6057374
Patents:	
Notes:	



Dark Sky



Wet Location



Intertek
ETL Intertek

Chandeliers: Minca Livary Sage Ridge Dark Sky

Item #	UPC Code:
8284-A61	747396079950
Product Family Name:	Finish:
Sage Ridge™	Vintage Rust™
Category:	Category Type:
CHAIN HUNG LANTERN	
Certification	
3057374	
Patents:	
Notes:	

