

## PROJECT DESCRIPTION

Rev 2-6-2025

**OCCUPANCY GROUP:** R-3/U  
**CONSTRUCTION TYPE:** V-B SPRINKLERED  
**STORIES:** 1 plus daylight basement **HEIGHT:** 30' maximum above average grade  
**CODES:** 2022 CALIFORNIA CODES  
**SCOPE OF WORK:** Construction of a new one story single family residence w/ daylight basement, attached garage, covered patio, covered front porch, Grading, Excavate 400 c.y., fill 400 c.y., 12" compacted fill, 12" compacted fill, Tree Removal: Remove 19 trees, (12 Coastal Live Oaks 9' to 21" diameter, and (7) Monterey Pines 19' to 45' diameter. Note: 11 trees are in the fair category, 7 trees are in the poor category, 1 tree is dead. Due to the topography of the site and heavily wooded areas, in order to keep development off slopes that exceed 25%, it is necessary to remove these trees.

**GROUND DISTURBANCE:** 16,500 s.f.  
**SEWER SYSTEM:** Monterey One Water  
**WATER SYSTEM:** Existing Private shared Well  
**ZONING:** RDR/10-UR-D

**FLOOR AREA:**

PROPOSED RESIDENCE	5382 S.F.
DAYLIGHT BASEMENT	1414 S.F.
ATTACHED GARAGE	2580 S.F.
COVERED FRONT PORCH	162 S.F.
COVERED BACK PATIO	1505 S.F.
COVERED BACK PORCH	96 S.F.

<b><u>BUILDING SITE COVERAGE</u></b>			
RESIDENCE	5382 S.F.		
ATTACHED GARAGE	2580 S.F.		
COVERED FRONT PORCH	162 S.F.		
COVERED BACK PATIO	1505 S.F.		
COVERED BACK PORCH	96 S.F.		
TOTAL	9735 S.F.		
LOT AREA	186,436 S.F.	=	5 %

<b><u>PAVED COVERAGE</u></b>				
DESCRIPTION	PERVIOUS	IMPERVIOUS		
PAVER D.W.	4140 S.F.			
PAVER WALK	198 S.F.			
CONC. PATIO		<u>270 S.F.</u>		
TOTAL	4338 S.F.	270 S.F.	=	4608 S.F.

### DRAINAGE NOTES

1. Roof drain downspouts shall be installed on all roof overhangs & flat roofs, and shall discharge onto concrete splash blocks or pavement, or connect to a 4 inch dia solid NDS underground conduit. The conduit shall slope at a 1% gradient minimum and discharge at stone cobble riprap energy dissipaters shown on site plan.
2. All roof drains shall be installed to collect surface water, and shall connect to a 4 inch dia solid NDS underground conduit. The conduit shall slope at a 1% gradient minimum and at stone cobble riprap energy dissipaters shown on site plan.
3. All finish grades including patios, and driveways shall be contoured to slope away from proposed structures:
  - Site Grading (CRC 401.3): Surface Drainage shall be diverted to a storm sewer conveyance or other approved point of collection that does not create a hazard. Lots shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches within the first 10 feet. **Exception:** Where lot lines, water, slopes, or other site characteristics make it impractical to fall within 10 feet, drains or swales shall be constructed to ensure drainage away from the structure. Impervious surface (pavers, etc.) within 10 feet of the building foundation shall slope a minimum of 2 percent away from the building.
4. All drainage facilities shall be checked and maintained periodically to remove all fill material shall comply with geotechnical report.
5. Excavate 400 cubic yards  
Fill 600 cubic yards  
Import 200 cubic yards
6. See sheet #C1-C2 for Grading and Drainage Plan
7. See sheet #EC1 for Erosion Control Plan and BMP's
8. Refer to soils report prior to construction.

MATERIALS AND CONSTRUCTION METHODS FOR  
EXTERIOR WILDFIRE EXPOSURE CRC R337 WUI

BUILDING MATERIALS, SYSTEMS AND OR ASSEMBLIES USED IN THE EXTERIOR CONSTRUCTION OF THIS BUILDING SHALL BE IN ACCORDANCE WITH R337.3

## FIRE SAFETY FUEL MANAGEMENT PLAN

**“GREEN ZONE”:** Grassland within 30 feet of house and garage shall be mowed at least once annually in late spring, or more as needed to control fuel hazard.

- All annual grassland should be mowed in late spring to a minimum height of 4 inches during the summer.
- To promote native perennial grasses and wildflower stands which are less flammable, it is best to avoid mowing more frequently than 60 days. Ideal mowing time is shortly after they have set seed.

Flammable shrubs within 30 feet of house and garage shall be removed.

**"MANAGEMENT ZONE"** : Grassland 30 feet to 100 feet from house and garage shall be mowed as follows:

- All grass growing under trees, out to 6 feet beyond the driplines of the trees, should be mowed in early summer to a height of four inches.
- Within 30-100 feet of structures away from trees need not be mowed unless determined by owner or fire marshal.

**"TREE PRUNING"** Coastal Live Oak Trees within 100 feet of house and garage shall be pruned or maintained to reduce fire hazards as follows:

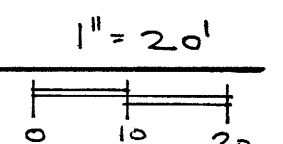
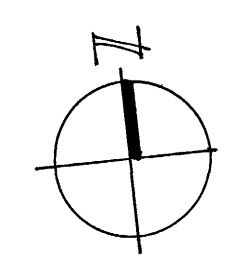
- All branches, living or dead, less than 3 inches diameter in width and less than eight feet from the ground or three times the height of any understory shrubs whichever is greater, shall be removed.
- Dead limbs less than 8 feet in height shall be removed.
- Healthy tree branches less than 3 inches in diameter or 8 inches diameter if split or diseased, should be removed to 8 feet above understory plants.
- Tree Service Co. shall determine additional pruning or trimming during maintenance.

**Note:** Fuel Management requirements are limited to project site within the property lines. No fuel management work is required outside project property lines.

**“EMERGENCY VEHICLE ACCESS”** Existing A.C. paved public roadway Monhollan Road, and proposed paver driveway will accommodate fire apparatus in accordance with Monterey County Fire Marshal.

PLAN INDEX	
SHEET	DESCRIPTION
A1	SITE PLAN
A2	WEST WING FLOOR PLAN
A3	NORTH & SOUTH WING FLOOR PLANS
A4	LOWER FLOOR (DAYLIGHT BASEMENT) FLOOR PLAN
A5	EXTERIOR ELEVATIONS
A6	ROOF PLAN
EC1	EROSION CONTROL PLAN & BMP'S
C1	GRADING AND DRAINAGE PLAN
C2	GRADING SECTIONS AND DETAILS

S I T E P L A N



REVISIONS	BY
10-30-24	U
11-6-24	U
2-7-25	U

**FLORES RESIDENCE**  
**577 MONHOLLAN ROAD**  
**CARMEL, CALIFORNIA 93923**  
**APN: 103-071-026-000 831 236-2367**

**2150 GARDEN RD., SUITE B3 / MONTEREY, CA 93940 / (831) 646-5966 / FAX 646-5968**

**BUILDING DESIGN & CONSULTING**

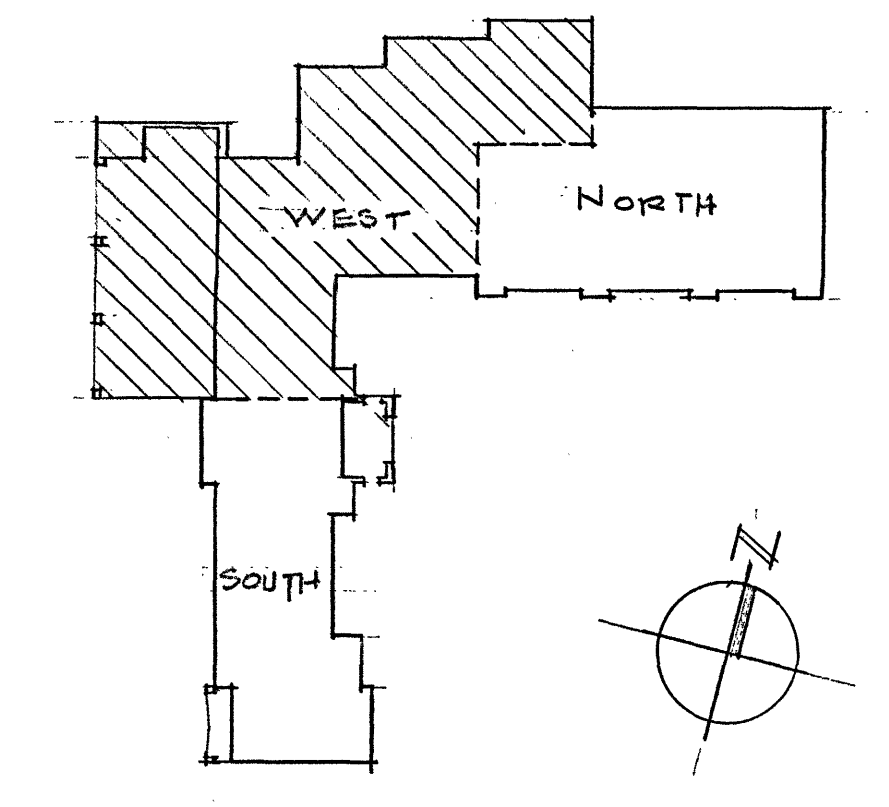
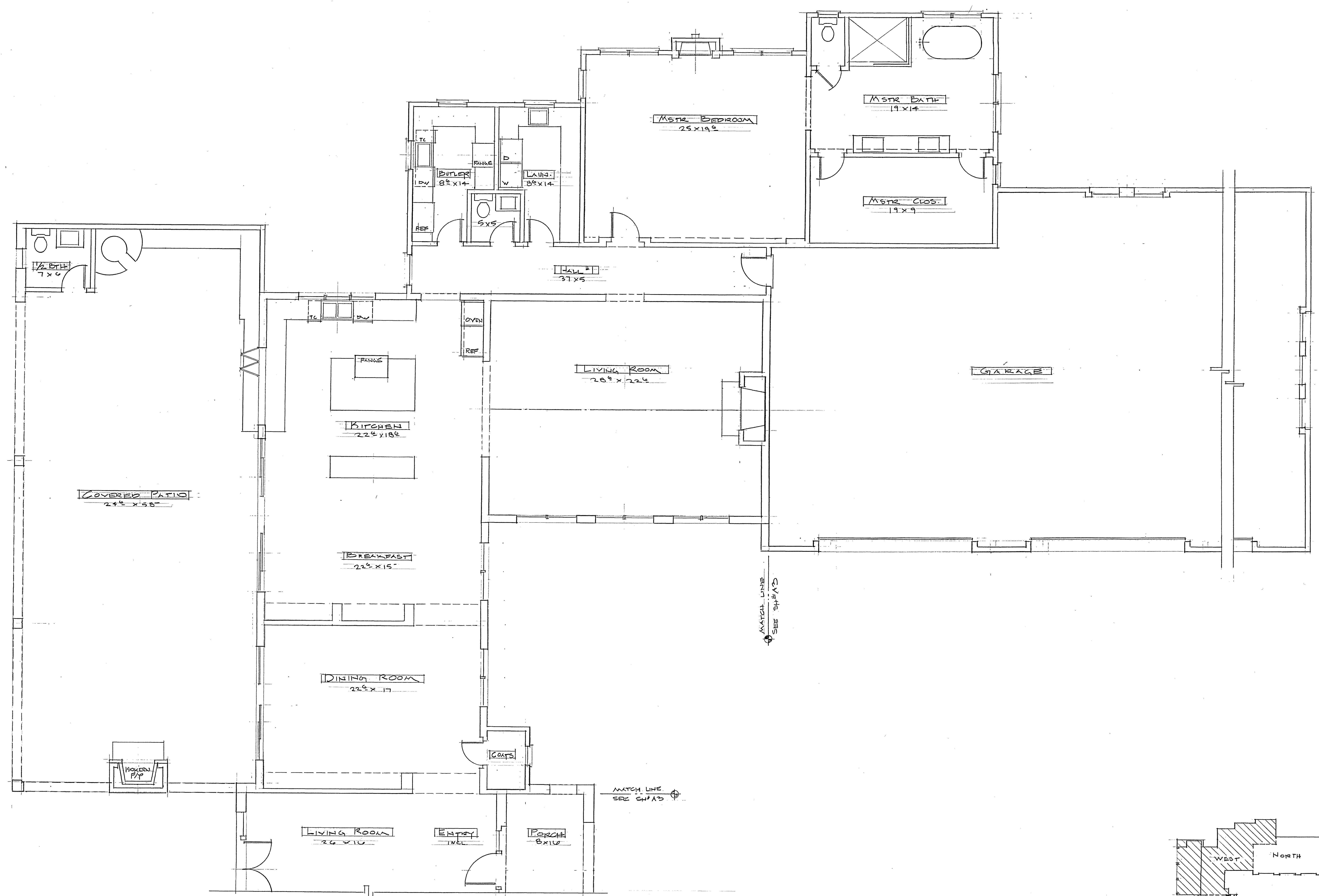
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DATE	10-24-24
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JOB	25-2024
SHEET	
OF 9 SHEETS	

**FLORES RESIDENCE  
577 MONHOLLAN ROAD  
CARMEL, CALIFORNIA 93923  
APN: 103-071-026-000 831 236-2367**





WEST WING MAIN FLOOR

1/4"=1'-0"

KEY

REVISIONS	BY

BUILDING DESIGN  
& CONSULTING

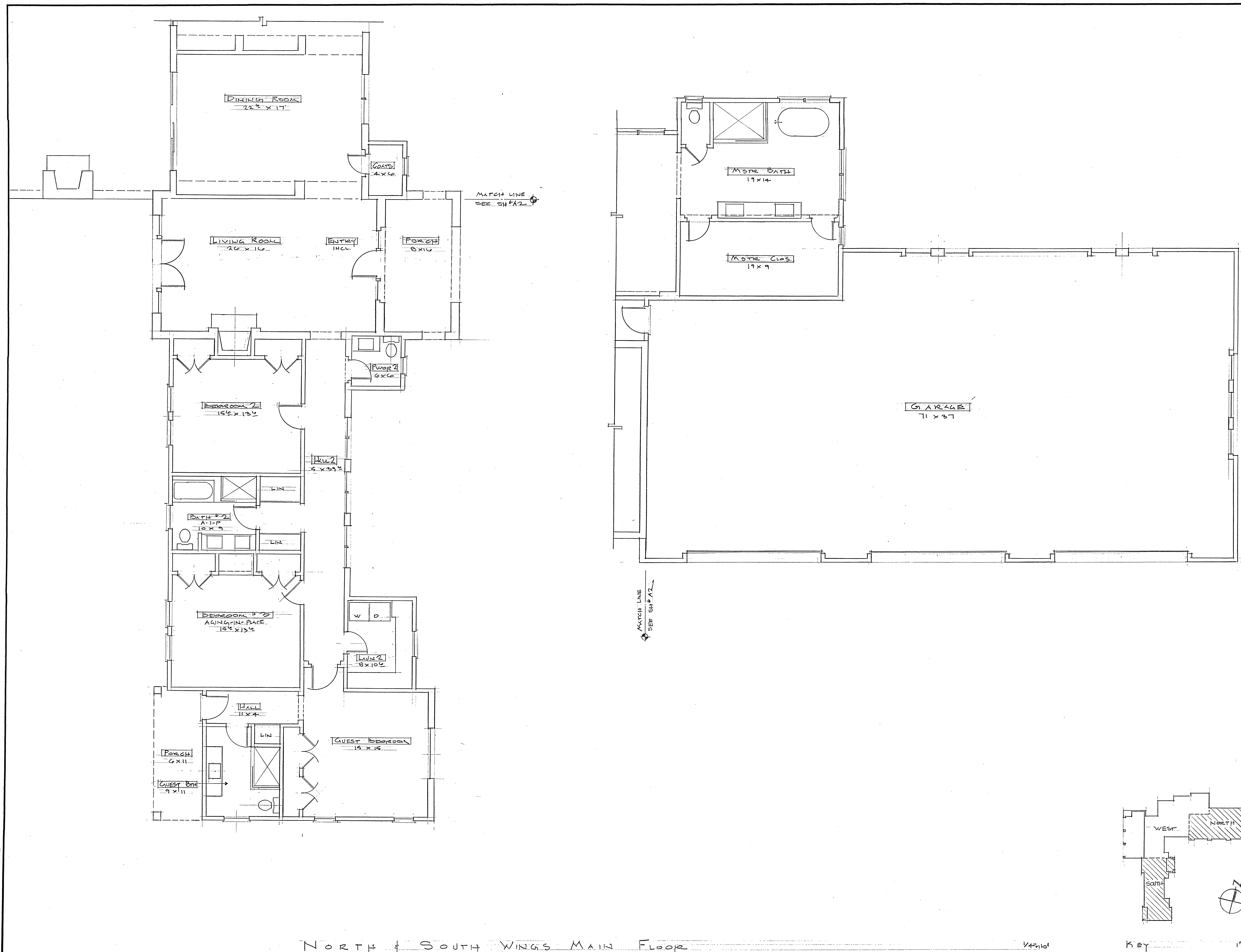
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2150 GARDEN RD., SUITE B3 / MONTEREY, CA 93940 / (831) 466-5986 / FAX 466-5988

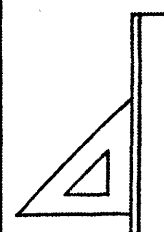
FLORES RESIDENCE  
577 MONHOLLAN ROAD  
CARMEL, CALIFORNIA 93923  
APN: 103-071-026-000 831 236-2367

DATE 2-7-25  
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JOB 25-2024  
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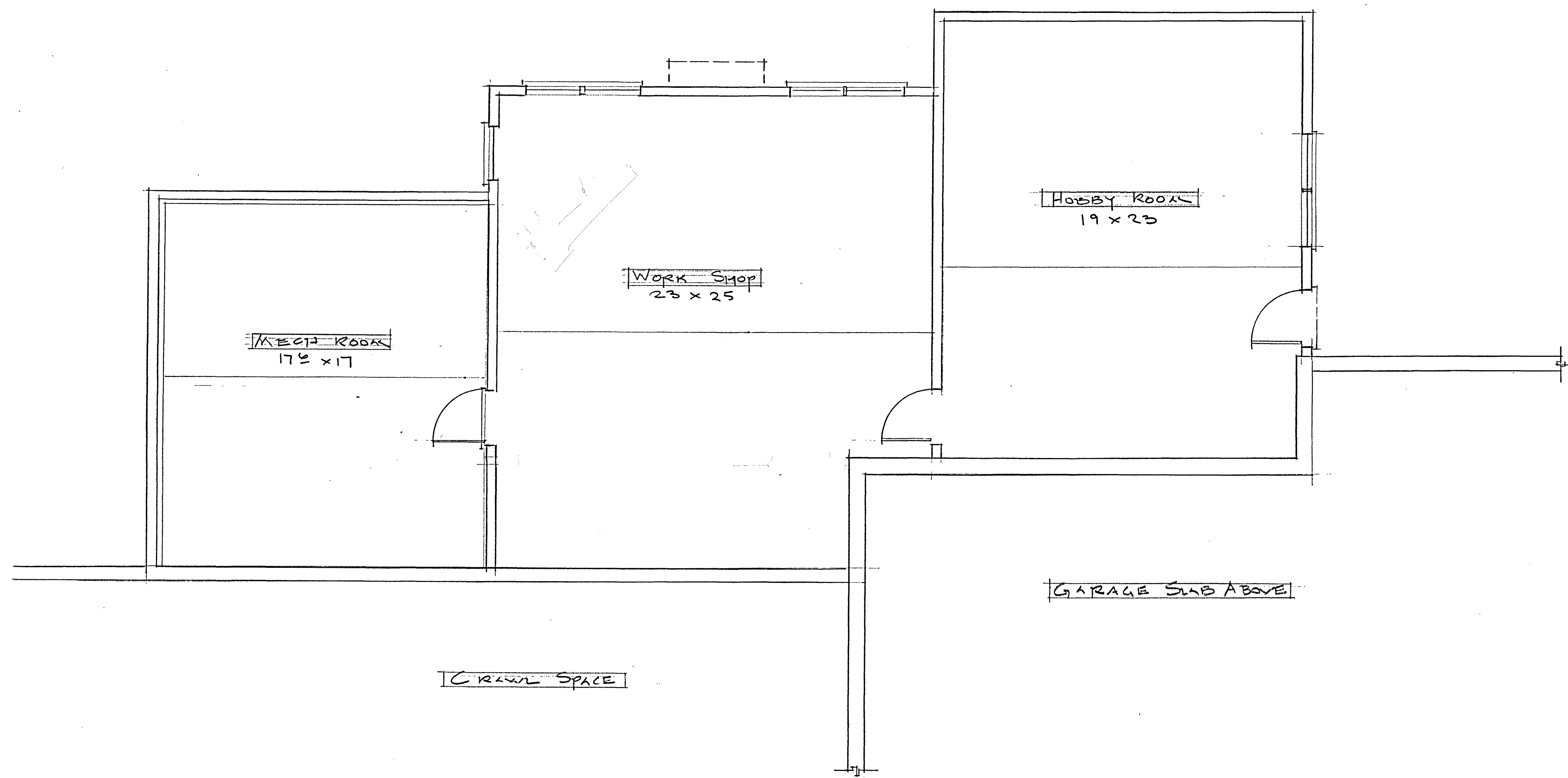
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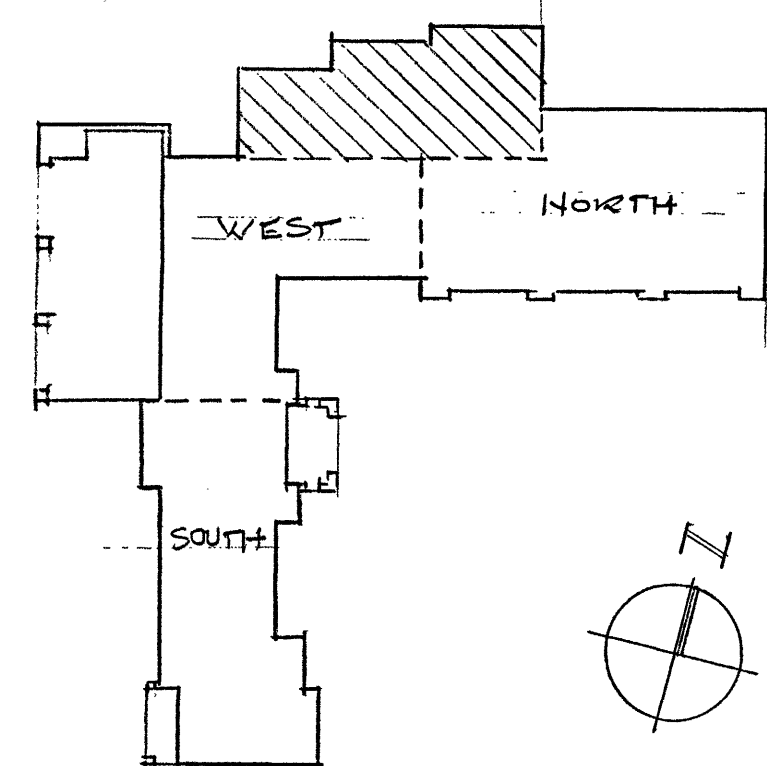
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 RESIDENTIAL  
 & COMMERCIAL  
 2150 GARDEN RD., SUITE 103 / MONTEREY, CA 93940 / (831) 466-5996 / FAX 466-5998



WEST WING LOWER FLOOR



KEY 1/8"=1'-0"

FLORES RESIDENCE  
 577 MONHOLLAN ROAD  
 CARMEL, CALIFORNIA 93923  
 APN: 103-071-026-000 831 236-2367

DATE	2.7.25
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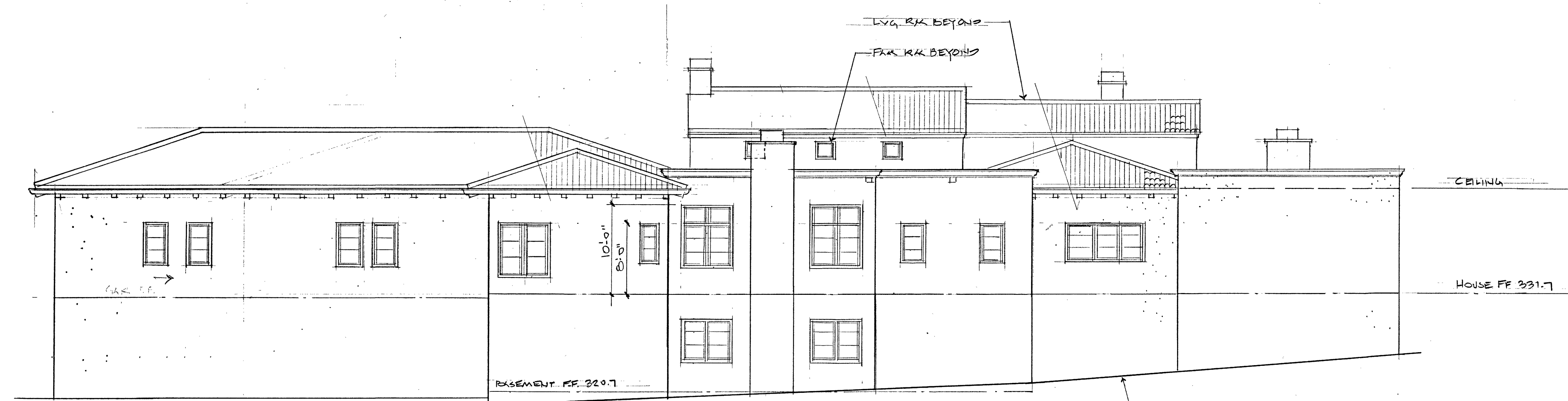


MATERIALS AND CONSTRUCTION METHODS FOR  
EXTERIOR WILDFIRE EXPOSURE - CRC R337 WUI  
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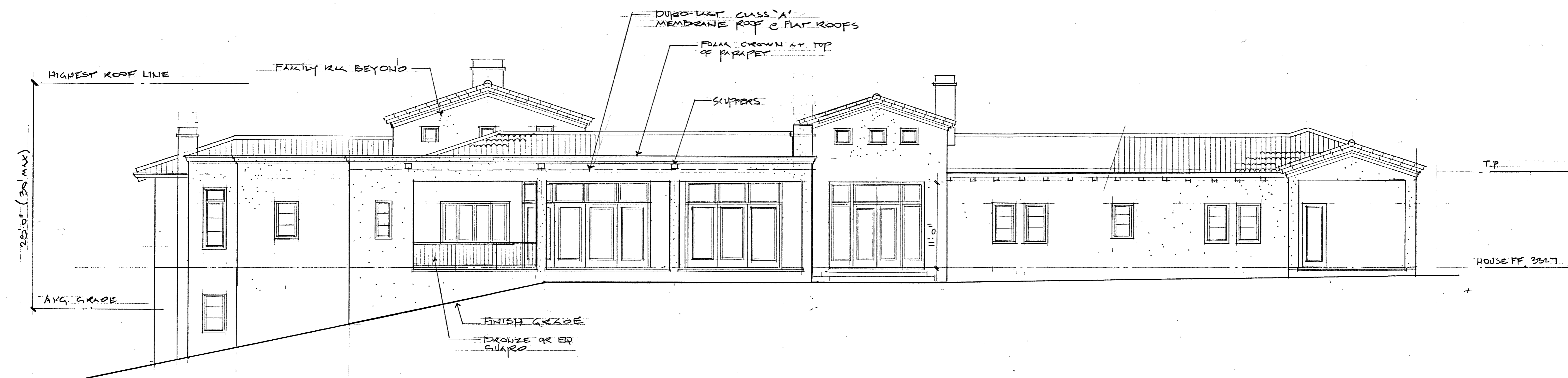
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SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION

FLORES RESIDENCE  
577 MONHOLLAN ROAD  
CARMEL, CALIFORNIA 93923  
APN: 103-071-026-000 831 236-2367

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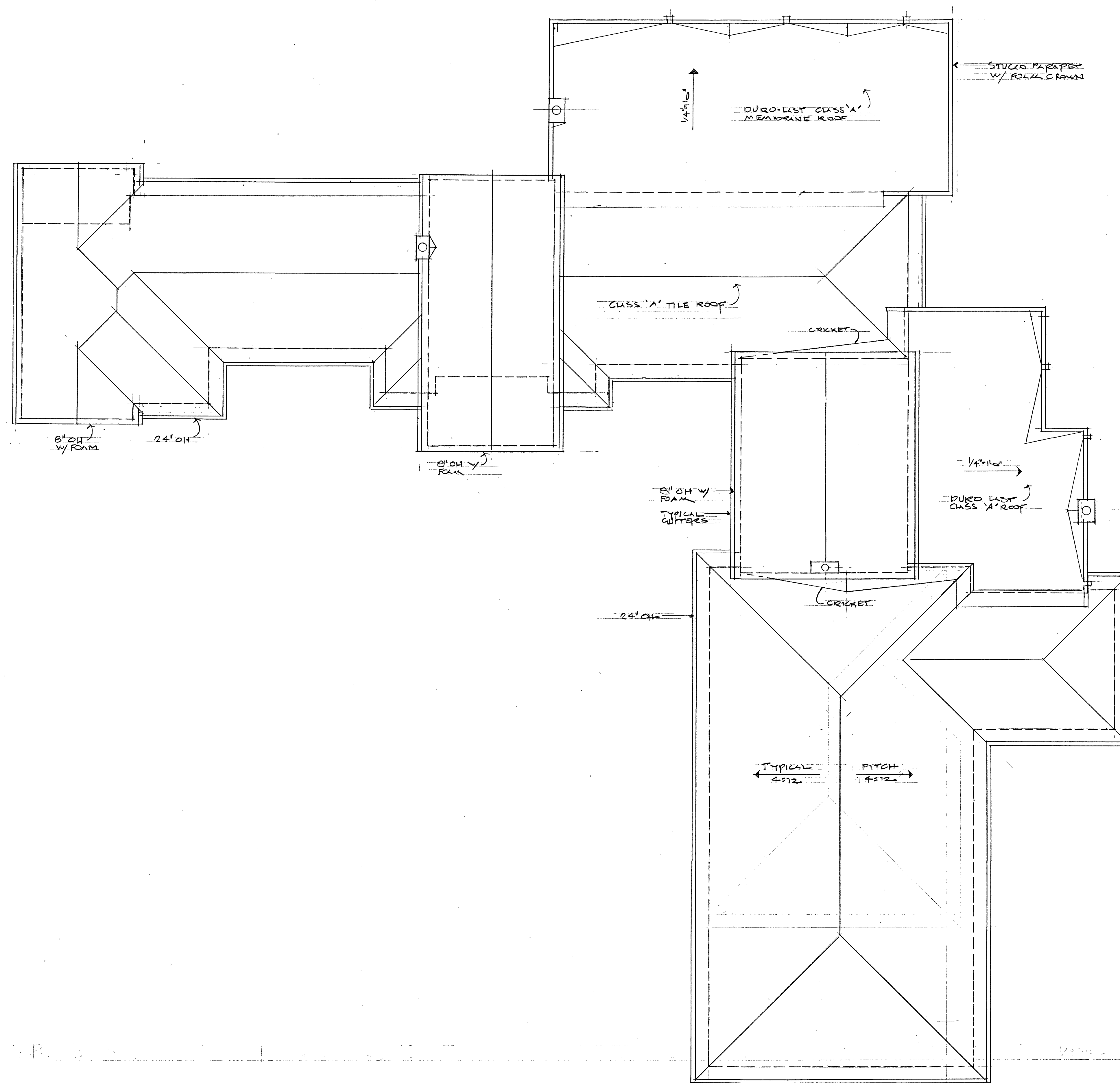
**BUILDING DESIGN  
& CONSULTING**

**draftact**

2150 GARDEN RD., SUITE B3 / MONTEREY, CA 93940 / (831) 646-5986 / FAX 646-5988

**FLORES RESIDENCE**  
577 MONHOLLAN ROAD  
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APN: 103-071-026-000 831 236-2367

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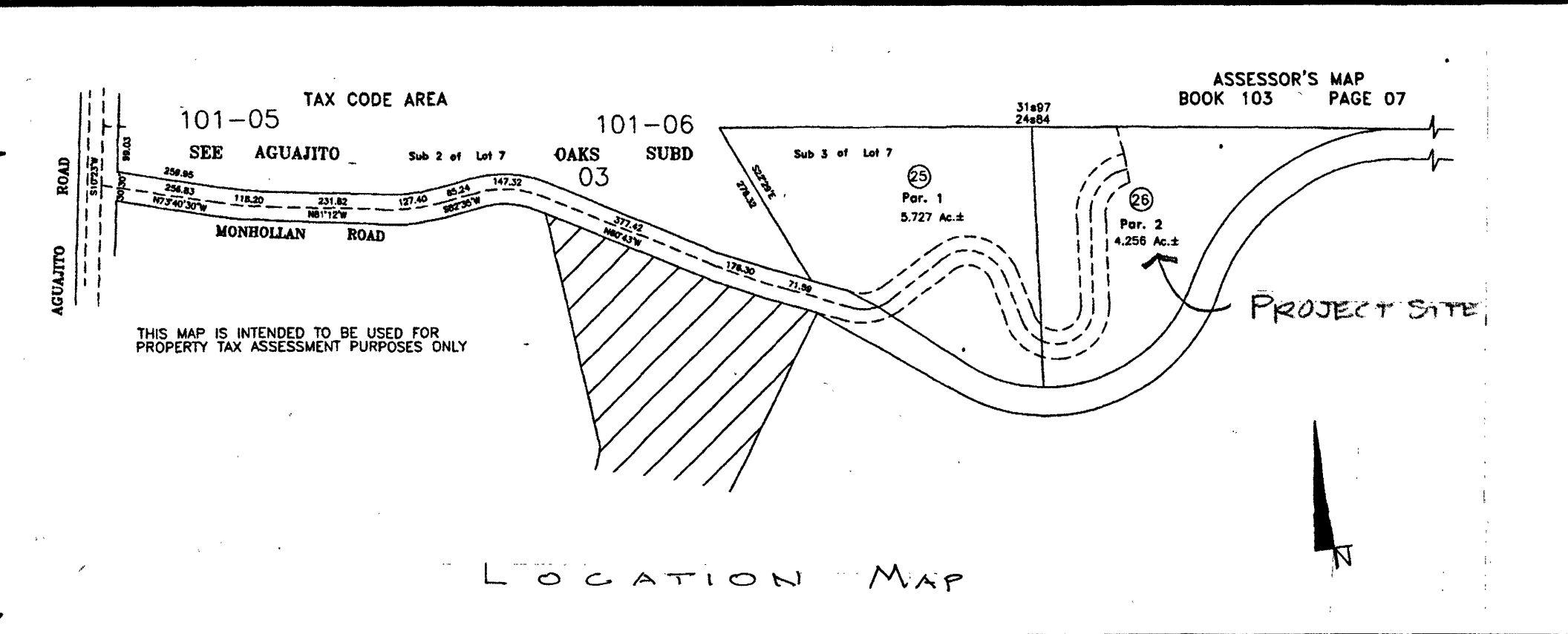
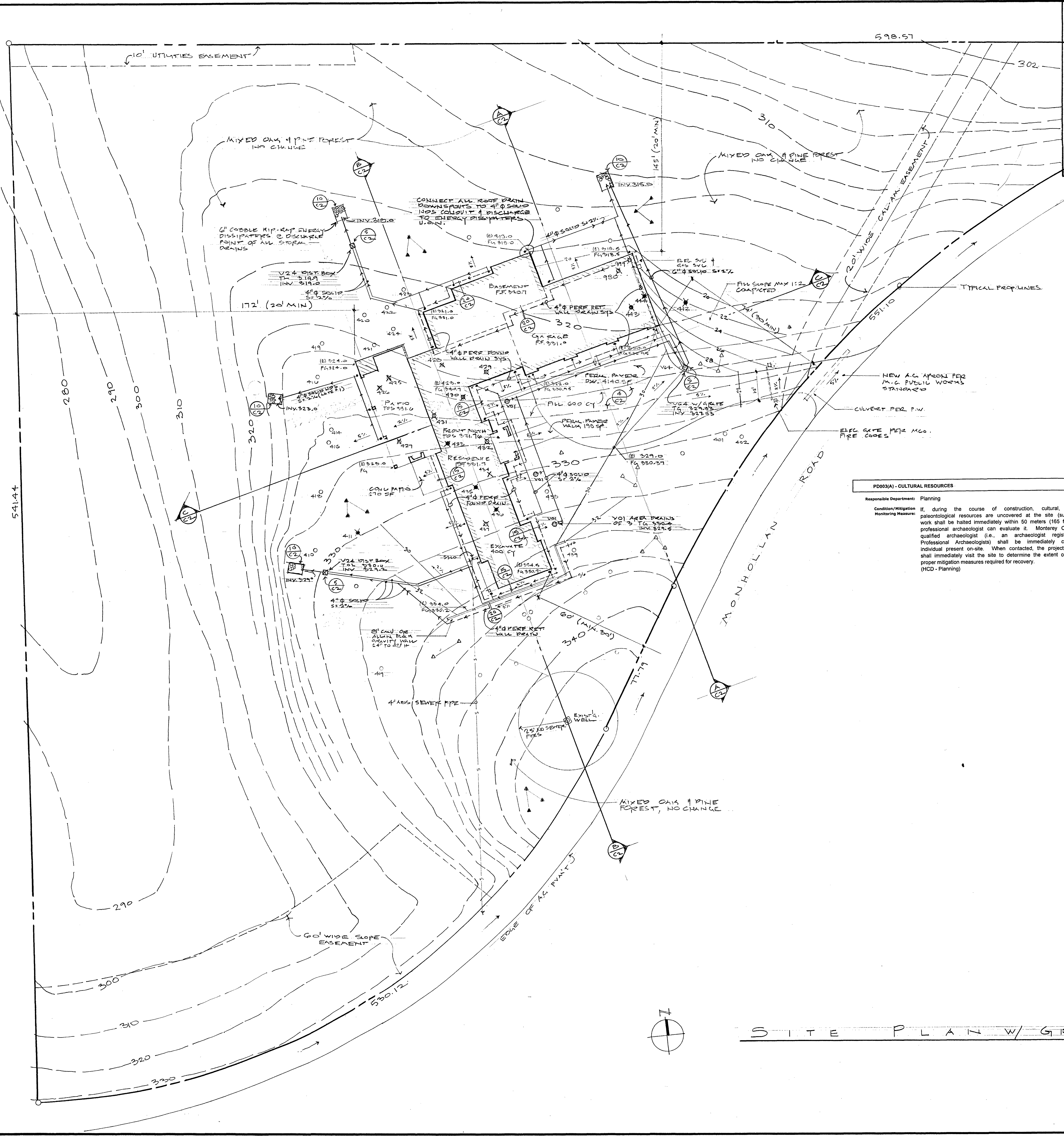
ROOF PLAN

 $\frac{1}{8}'' \times 16$









**DRAINAGE & GRADING NOTES**

- Roof drain downspouts shall be installed on all roof overhangs & flat roofs, and shall discharge onto concrete splash blocks or pavement, or connect to a 4 inch dia solid NDS underground conduit. The conduit shall slope at a 1% gradient minimum and discharge at stone cobble riprap energy dissipaters shown on site plan.
  - Area drains shall be installed to collect surface water, and shall connect to a 4 inch dia solid NDS underground conduit. The conduit shall slope at a 1% gradient minimum and at stone cobble riprap energy dissipaters shown on site plan.
  - All finish grades including patios, and driveways shall be contoured to slope away from proposed structures.
- Site Grading (CRC 401.3):** Surface Drainage shall be diverted to a storm sewer conveyance or other approved point of collection that does not create a hazard. Lots shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches within the first 10 feet. **Exception:** Where lot lines, walls, slopes, or other physical barriers prohibit 6 inches of fall within 10 feet, drains or swales shall be constructed to ensure drainage away from the structure. Impervious surface (pavers, etc.) within 10 feet of the building foundation shall slope a minimum of 2 percent away from the building. All drainage facilities should be checked and maintained periodically to remove obstructions and assure proper function.
- Cut and fill slopes shall have a maximum slope of 2' horizontal to 1' vertical.
  - Toe of all cut and fill slopes to be 3'-0" minimum from property line or per HOA whichever is greater.
  - All grading shall conform with the county of Monterey Grading Ordinance No. 2535, and erosion control ordinance No. 2806.
  - Ultimate purpose of grading: Construct new S.F.D.
  - Estimated Start Date: May 1, 2025
  - Estimated Complete date: May 1, 2026
  - Actual grading shall begin within 30 days of vegetation removal or the area shall be planted to control erosion.
  - All fill material shall comply with geotechnical report.
  - Excavate 400 cubic yards
  - Fill 600 cubic yards
  - Import 200 cubic yards
  - Pad elevation shall be certified to 0.1 feet by a licensed surveyor or civil engineer, prior to digging any footings or scheduling any inspections.
  - Soils report requires foundation excavations to be reviewed by soils engineer. Prior to requesting a building division foundation inspection, the soils engineer shall inspect and approve in writing the foundation excavations.
  - When a grading permit is required, prior to calling for building division foundation inspection, preliminary grading and compaction reports shall be submitted to and approved by the building division grading inspector. Any revisions from the original soils report shall be incorporated into the plans and specifications.
  - A soils geotechnical report has been prepared by:  
Grice Engineering, Inc.  
File # 15664-24-05  
561A Brunken Avenue  
Salinas, CA 93901  
831 422-9619

**SPECIAL TESTS AND INSPECTION SCHEDULE**

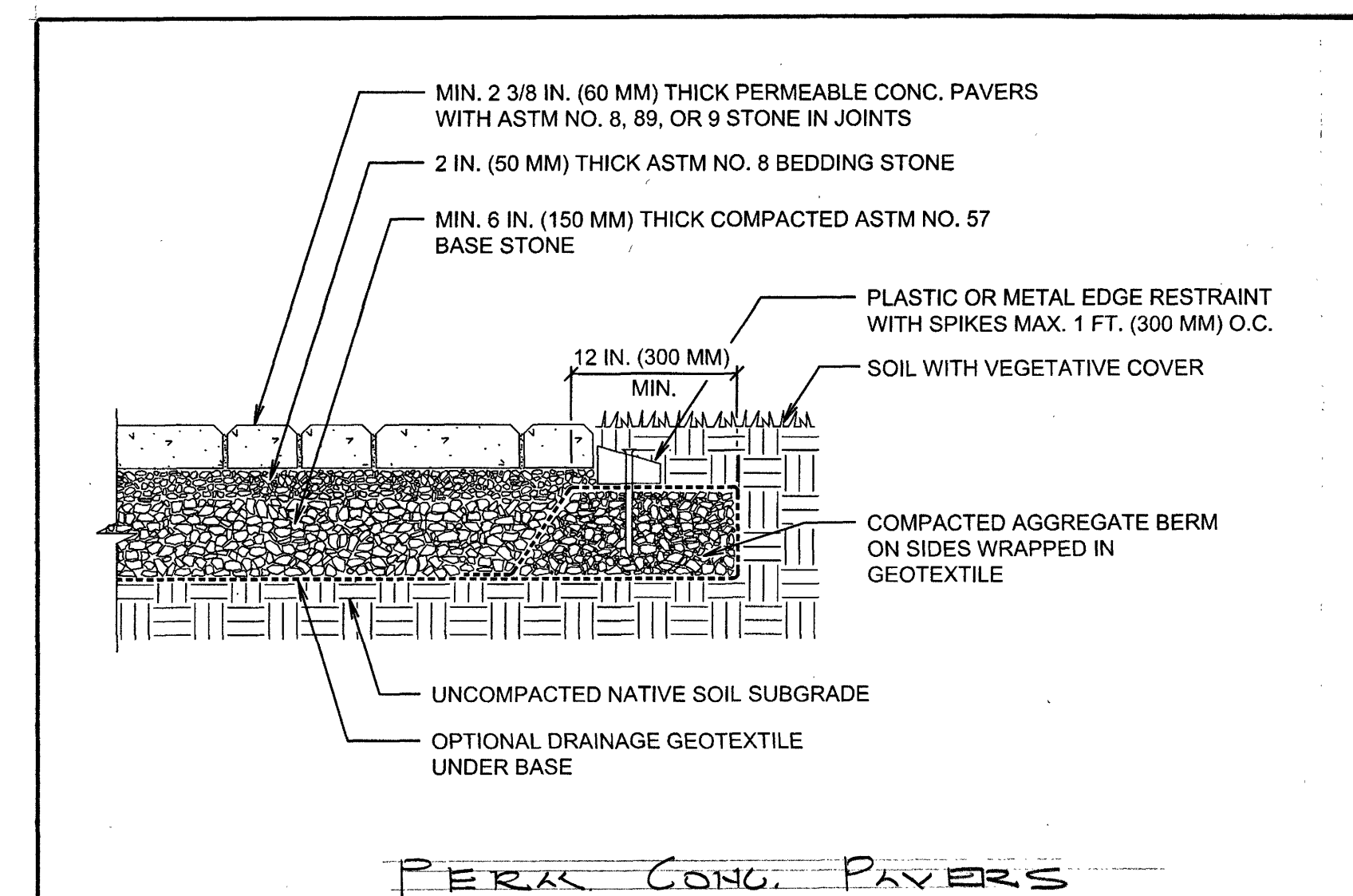
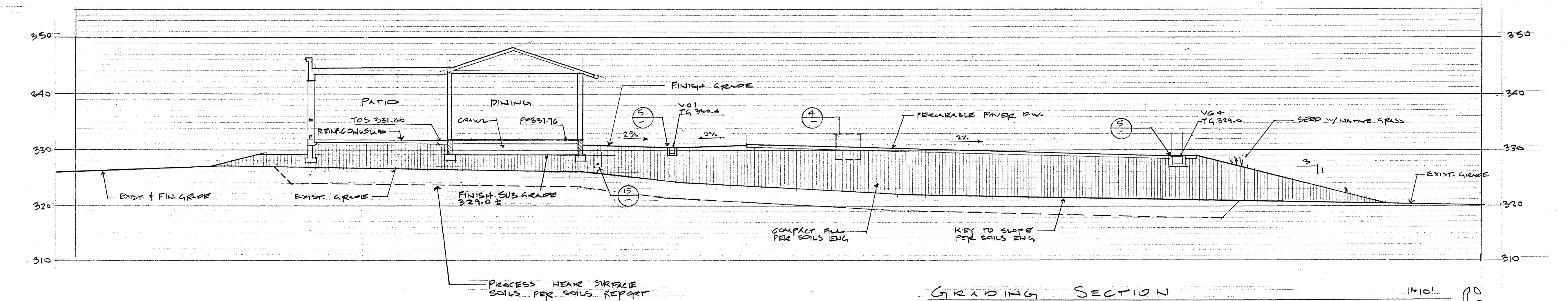
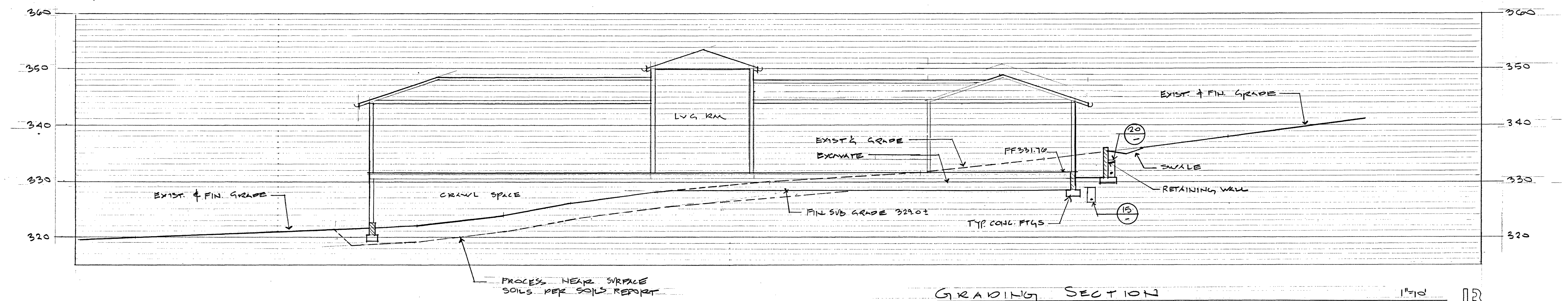
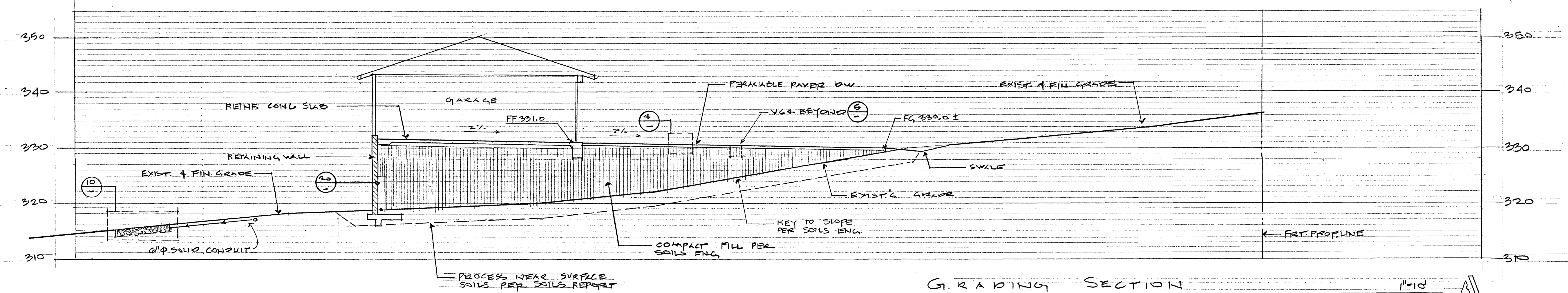
THE FOLLOWING ITEMS SHALL BE INSPECTED. "SPECIAL INSPECTION" SHALL CONFORM TO 2022 CBC 1704.7. SPECIAL INSPECTION AGENCIES AND/OR INDIVIDUALS SHALL BE RETAINED BY THE OWNER AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO ANY WORK. FOR MATERIAL TESTING REQUIREMENTS, SEE SPECIFICATIONS AND/OR GENERAL NOTES. TESTING AGENCY SHALL SEND COPIES OF ALL STRUCTURAL TESTING AND INSPECTION REPORTS DIRECTLY TO THE BUILDING OFFICIAL AND ENGINEER.		
ITEM	REQ.	REMARKS
FOUNDATION EXCAVATIONS	YES	BY SOIL ENGINEER / PERIODIC
SUBGRADE PREPARATION	YES	BY SOIL ENGINEER / PERIODIC
CLASSIFICATION/TESTING FILL MATERIAL	YES	BY SOIL ENGINEER / PERIODIC
OBSERVATION OF FILL MATERIAL/COMPACTION	YES	BY SOIL ENGINEER / CONTINUOUS
FOUNDATION	YES	BY SOIL ENGINEER / PERIODIC VERIFICATION - MATERIALS BUL FOOTING/ACHEVE BEARING CAPACITY TO BE DETERMINED / PERIODIC
MASONRY & CONCRETE CONSTRUCTION	YES	TO BE DETERMINED / PERIODIC
REINFORCING STEEL CONSTRUCTION	YES	TO BE DETERMINED / PERIODIC
SOILS ENGINEER TO PROVIDE OBSERVATION DURING GRADING AND FOUNDATION PHASE OF CONSTRUCTION.		

**NOTES**

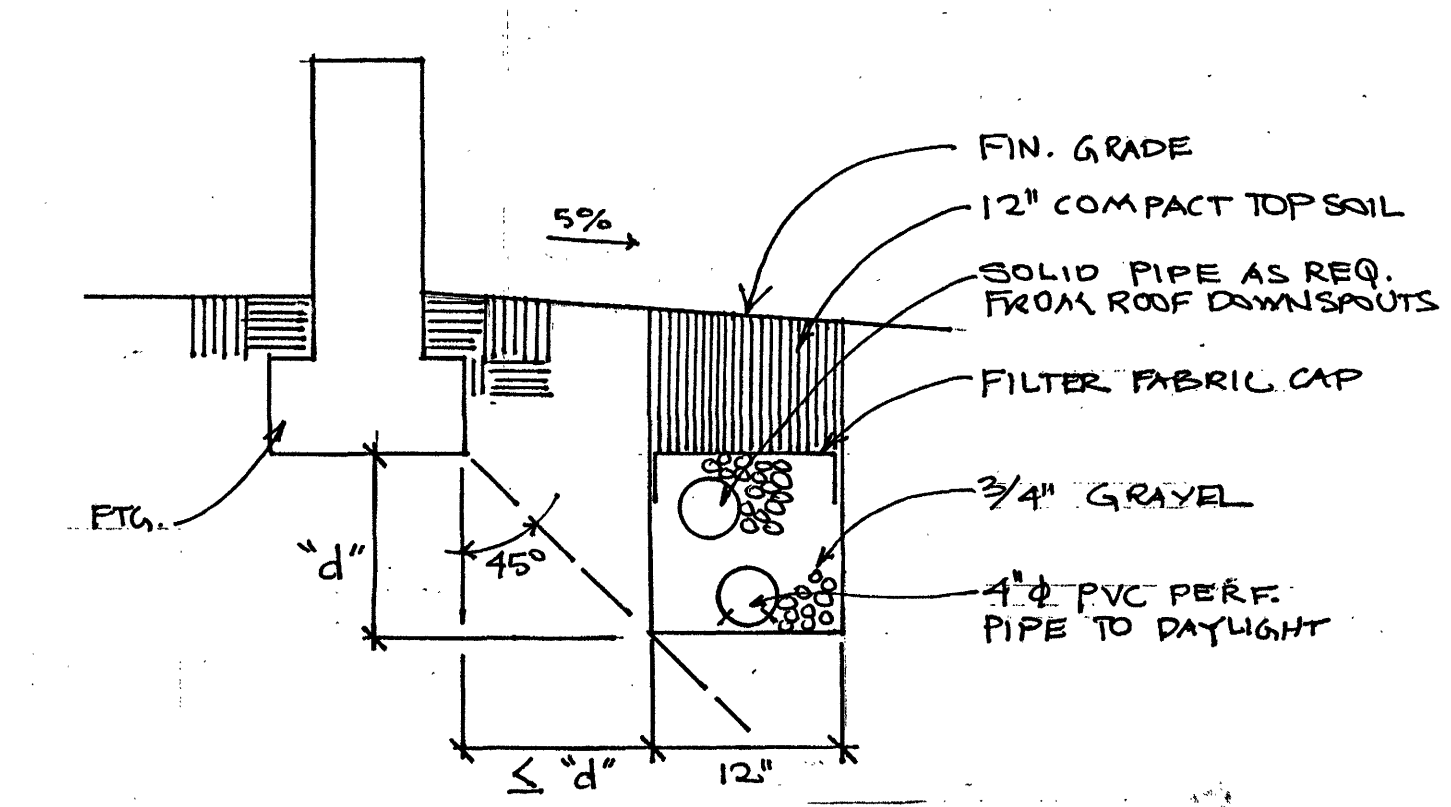
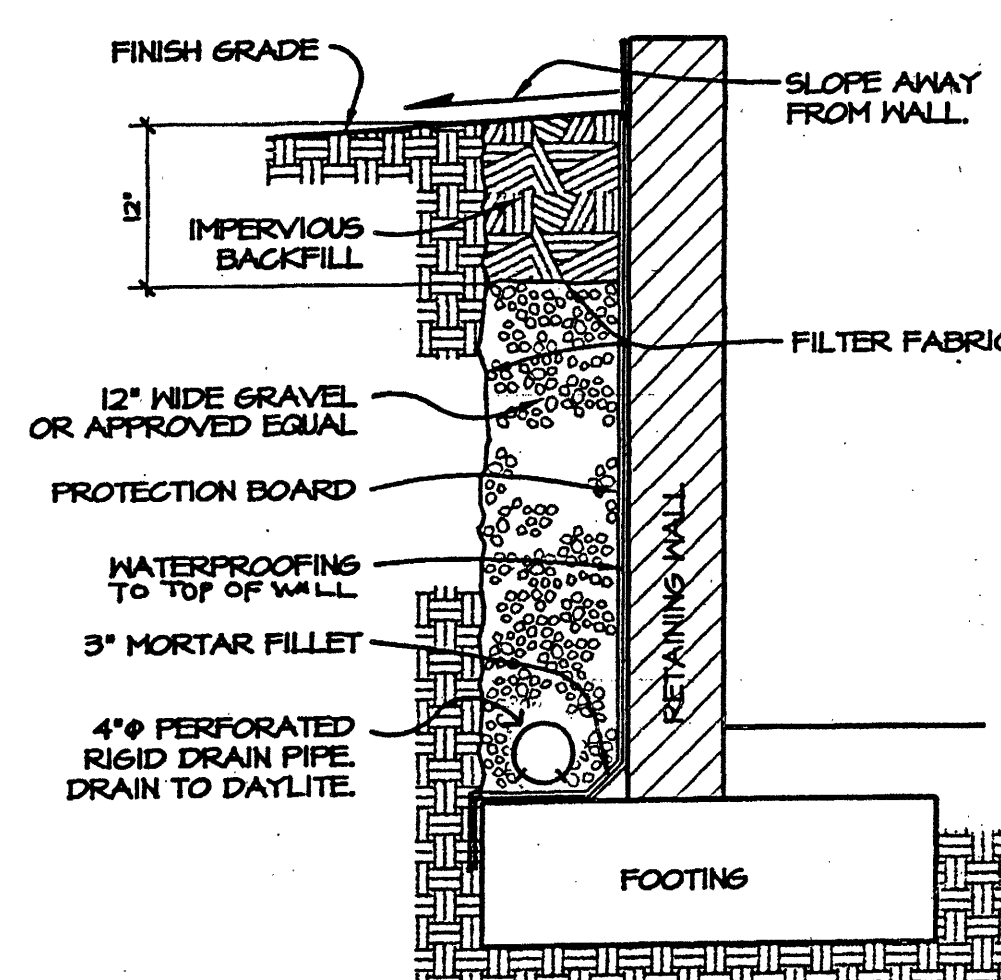
- TREE LEGEND
  - MONTEREY PINES TO REMOVE (7)
  - COASTAL LIVE OAKS TO REMOVE (12)
  - 5 GAL MONTEREY PINE REPLACEMENTS (13)
  - 5 GAL COASTAL LIVE OAK REPLACEMENTS (12)
- SEE ATTACHED ARBORIST REPORT BY ALBERT WEISFUSS ISA#1388
- EXISTING COUTOURS
- PROPOSED COUTOURS
- EXTERIOR DARK SKY LISTED LIGHTS

**SITE PLAN W/ GRADING & DRAINAGE**

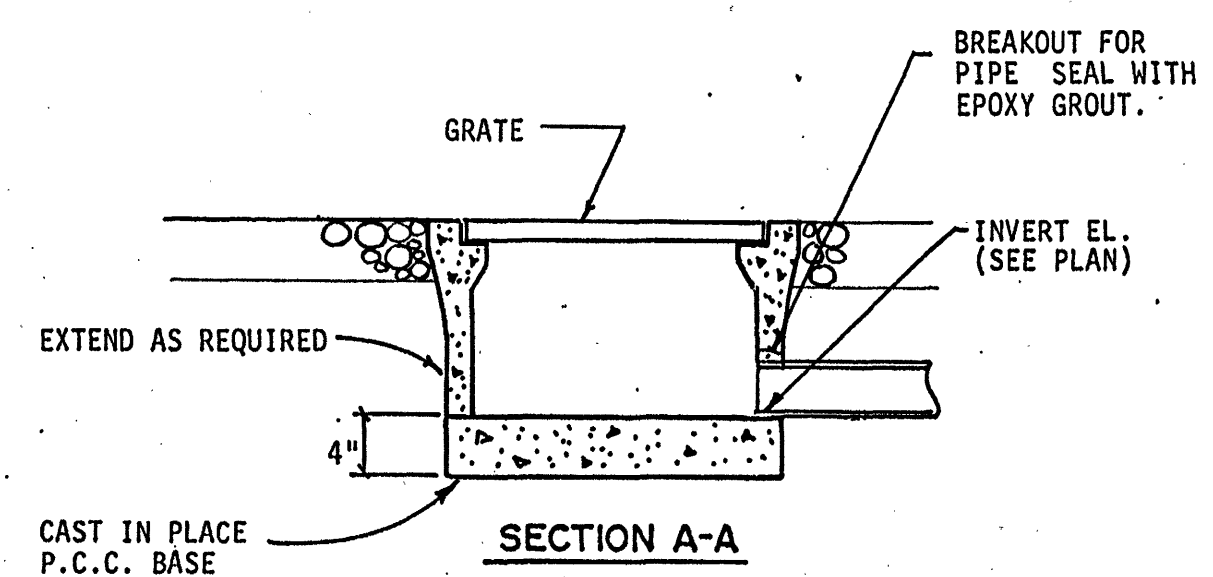
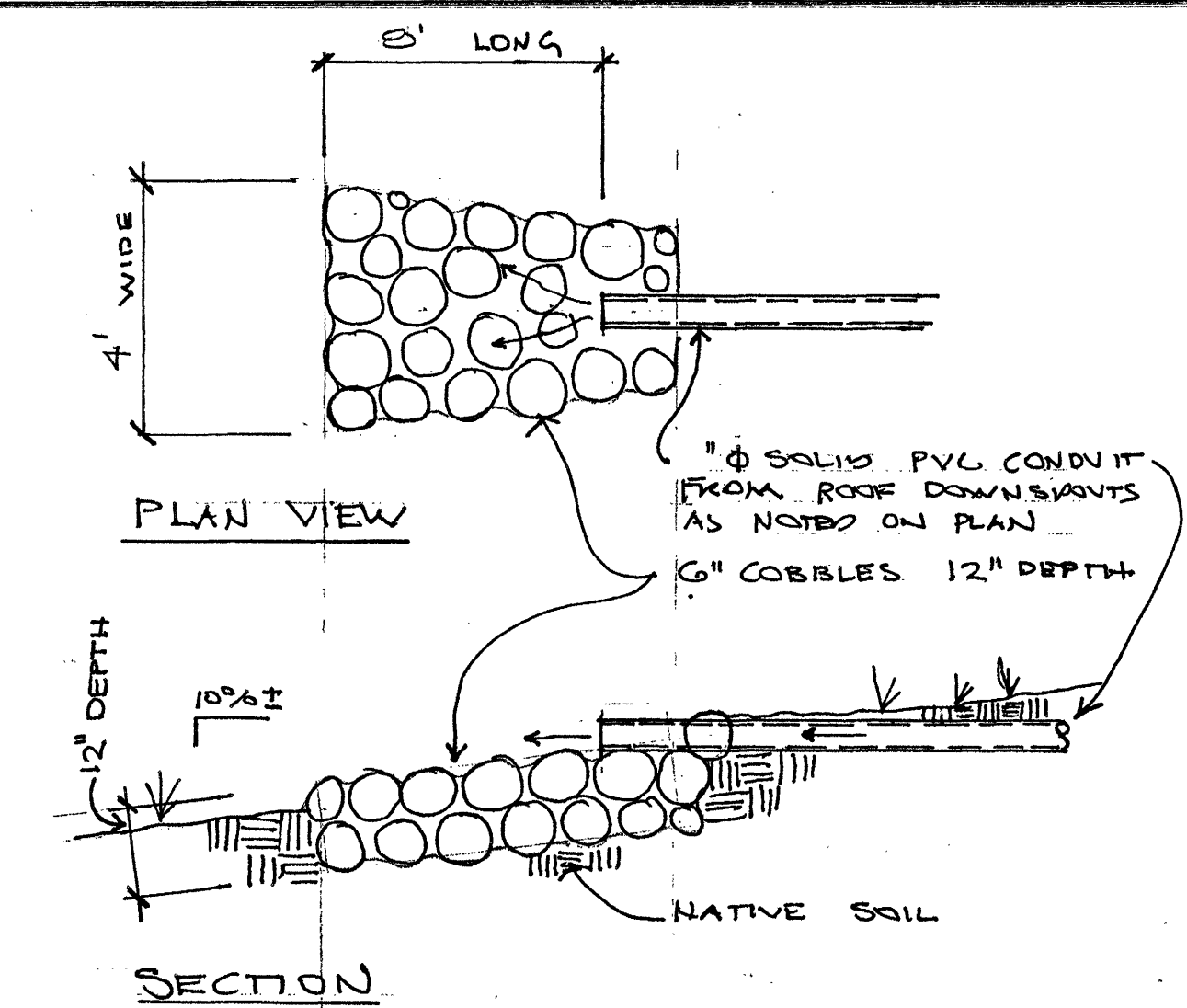




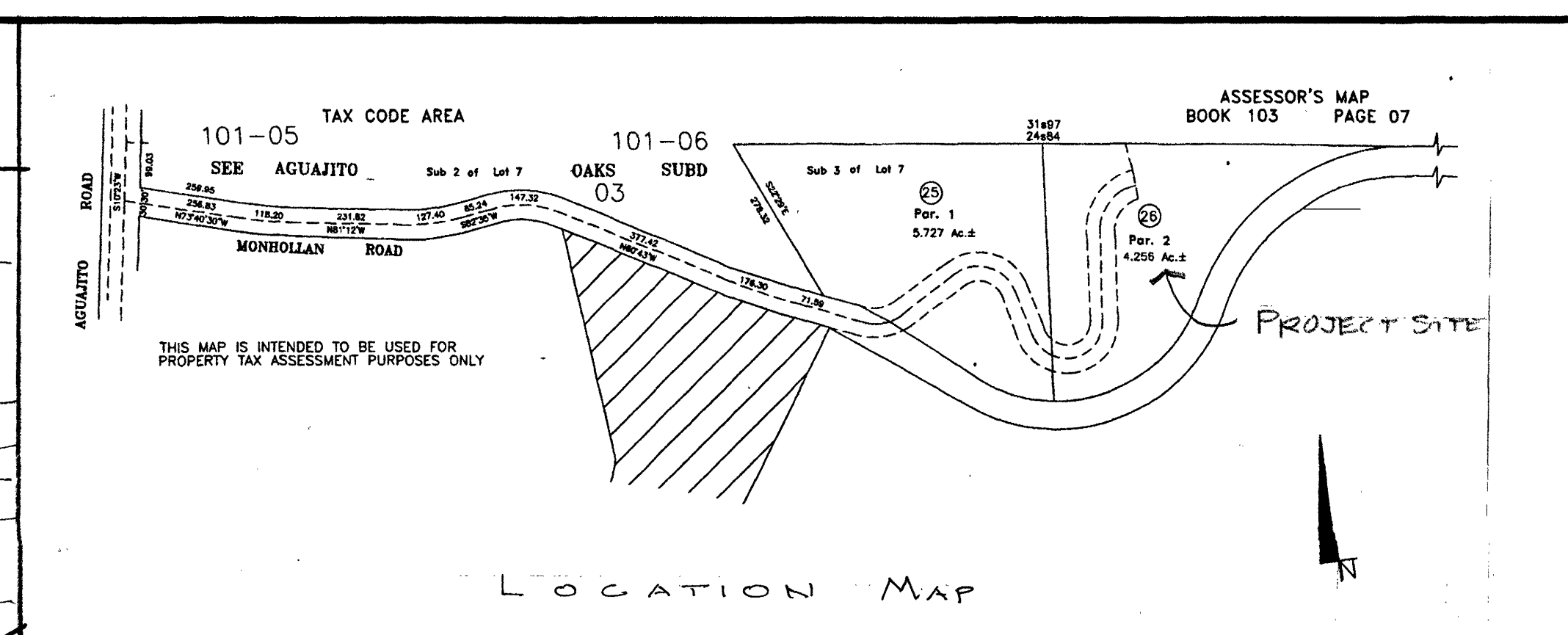
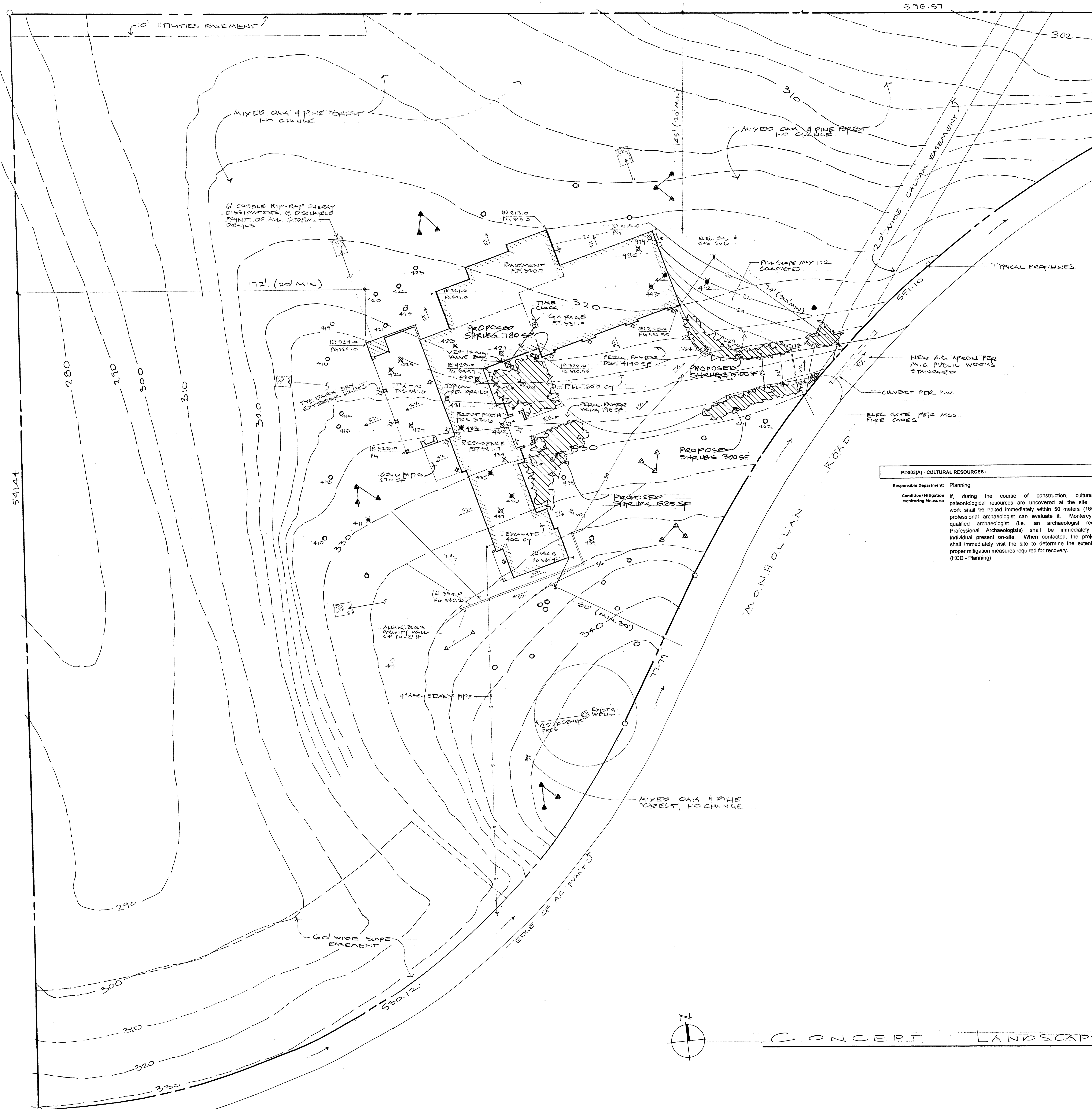
- RETAINING WALL DRAINAGE NOTES
- SEE PLANS AND SPECIFICATIONS FOR FOOTING AND RETAINING WALL CONSTRUCTION.
  - PROVIDE WATERPROOFING AT ALL RETAINING WALLS AT LIVING SPACES, GARAGES, BASEMENTS AND SIMILAR USES. METHOD AND MATERIALS FOR WATERPROOFING SHALL BE SUBMITTED TO ENGINEER FOR REVIEW AND APPROVAL.
  - THIS DETAIL AND SPECIFICATION SHALL APPLY TO ALL RETAINING WALLS UNLESS SPECIFICALLY DETAILED OTHERWISE.
  - ADHERE TO ALL SPECIFICATIONS OF THE "SOILS REPORT" WHEN SUCH REPORT IS PROVIDED BY OWNER.
  - INSTALL CLEANOUT RISERS ON ALL UPSTREAM ENDS AND 90 DEGREE ANGLE POINTS OF DRAIN PIPE.
  - DRAIN IS DESIGNED TO SUBSTANTIALLY CONFORM WITH CBC 1807.4.2.



- NOTES
- ADHERE TO ALL SPECIFICATIONS OF THE "SOILS REPORT" WHEN SUCH REPORT IS PROVIDED BY OWNER.
  - INSTALL CLEANOUT RISERS ON ALL UPSTREAM ENDS AND 90 DEGREE ANGLE POINTS OF DRAIN PIPE.
  - DRAIN IS DESIGNED TO SUBSTANTIALLY CONFORM WITH CPC 1101.5 & CRC R401.3.







LANDSCAPE NOTES

- All planting areas (except hydroseed areas) shall incorporate Compost, see requirements from MPWMD Section E.8.8.
- All disturbed, unplanted areas to be hydroseeded with a mix of both annual and perennial native grasses and wildflowers. Hydroseeding to be done after the first fall rains of the year construction is completed. Temporary, above-ground irrigation to be installed only if winter rains are insufficient.
- Trash and recycling facilities to be located inside garage.
- Mulch: Apply a 3" layer of mulch on all planting areas, see requirements from MPWMD Section E.8.1.
- All landscaping shall be installed in accordance to Monterey County and MPWMD regulations Rule 142.1.

PLANTING LIST

Shrub listed below shall be planted in areas noted as "proposed shrubs" on this plan sheet. Owner and landscape contractor shall determine placement and quantity:

ABBR	PLANT NAME	SIZE
ARC	ARCTOSTAPHYLOS EMERALD CARPET	1G
DGL	DOUGLAS IRIS	1G
DIE	DIETES GRANDIFLORA	5G
DIS	DISPLACUS AURANTIA ORANGE BUSH MONKEY FLR	1G
GAR	GARRYELLIPTICA SILK TASSEL	15G
KF	CALAMAGROSTIS KAR FORESTER	5G
LEP	LEPTOSPERMUM DARK SHADOWS	15G
LEPL	LEPTOSPERMUM LAEGATUM	15G
MYA	MYRICA CALIFORNIA PACIFIC WAX MYRTLE	15G
PRI	LIGUSTRUM JAPONICA "TEXANUM" WAXLEAF PRIVET	5G
SMO	COTINUS COGGYGRIA ROYAL PURPLE	15G
WES	WESTRANGIA BLUE GEM COAST ROSEMARY	5G

TOTAL PROPOSED SHRUBS 2105 SF

IRRIGATION NOTES

- All new shrubs shall be irrigated with drip irrigation in accordance with MPWMD and Mtry. County codes.
- Install electric valves with filter and pressure regulator on all drip systems.
- Irrigation valve box location shown on site plan.
- Back flow preventer required on irrigation valves.
- Electronic time clock controller shall be installed in garage.
- Rain gauge / switch is required.
- All shrubs shall be irrigated with a drip system, owner will design and install system.

WATER USAGE FOR IRRIGATION

- Drip Emitters
- 1 Gal - 1 GPH - 1 Em
  - 5 Gal - 1 GPH - 2 Em
  - 15 Gal - 1 GPH - 4 Em
  - 24" - 1 GPH - 5 Em
- Drip Schedule
- Every other day 1" 10 days - 15 min.
  - Every 3 rd day 30 days - 15 min.
  - Every 4" day ever after - 20 min.

NOTES

- TREE LEGEND
  - MONTEREY PINES TO REMOVE (7)
  - COASTAL LIVE OAKS TO REMOVE (12)
  - 5 GAL MONTEREY PINE REPLACEMENTS (13)
  - 5 GAL COASTAL LIVE OAK REPLACEMENTS (12)
- SEE ATTACHED ARBORIST REPORT BY ALBERT WEISFUSS ISA#1388
- EXISTING COUTOURS
- PROPOSED COUTOURS
- EXTERIOR DARK SKY LISTED LIGHTS
- PROPOSED SHRUB LANDSCAPE AREA



Flores Exterior Lighting  
Monhollan Road  
APN: 103-071-026-000

Wall Sconce: Minca Livary Sage Ridge Dark Sky



Image File Name: 8282-A61.jpg

Sage Ridge™ - 1 Light Outdoor Wall Mount

Item #:	8282-A61
UPC Code:	747396079936
Product Family Name:	Sage Ridge™
Finish:	Vintage Rust™
Category:	WALL MOUNT
Category Type:	
Certification:	6057374
Patents:	
Notes:	



Dark Sky



Wet Location



Intertek  
ETL Intertek

Chandeliers: Minca Livary Sage Ridge Dark Sky

Item #	UPC Code:
8284-A61	747396079950
Product Family Name:	Finish:
Sage Ridge™	Vintage Rust™
Category:	Category Type:
CHAIN HUNG LANTERN	
Certification	
3057374	
Patents:	
Notes:	

