

Exhibit A

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**Before the Zoning Administrator
in and for the County of Monterey, State of California**

In the matter of the application of:

ANZOATEGUI ALVARO & JESSICA KAY (PLN260025)

RESOLUTION NO. 26-

Resolution by the County of Monterey Zoning Administrator:

- 1) Finding that the project qualifies as a Class 2 and Class 3 Categorical Exemption pursuant to CEQA Guidelines sections 15302 and 15303 and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Design Approval to allow the demolition of an existing 2,590 square foot one-story residence and construction of a 3,833 square foot two-story single family dwelling inclusive of an attached 650 square foot garage and associated site improvements.

[PLN260025, Anzoategui Alvaro & Jessica Kay, 2975 Cormorant Road, Pebble Beach, Greater Monterey Peninsula Area Plan (Assessor's Parcel Number 007-262-003-000)]

The Anzoategui Alvaro & Jessica Kay application (PLN260025) came on for a public hearing before the County of Monterey Zoning Administrator on May 28, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

RECITALS

WHEREAS, the proposed project [PLN260025], located at 2975 Cormorant Road, Pebble Beach, Greater Monterey Peninsula Area Plan (APN: 007-262-003-000), is consistent with the policies of the Monterey County 2010 General Plan, the Greater Monterey Peninsula Area Plan, and the Monterey County Zoning Ordinance (Title 21);

WHEREAS, the subject parcel is zoned Medium Density Residential, with Building Site – 6, Design Control, and Recreational Equipment Storage zoning overlays (“MDR/B-6-D-RES”), which allows for the construction of the first single family dwelling on a legal lot of record, subject to the granting of a Design Approval pursuant to Chapter 21.44;

WHEREAS, as proposed, the project consists of the demolition of a 2,190 square foot one-story single family dwelling and 400 square foot garage, and construction of a 3,833 square foot single family dwelling, inclusive of an attached 650 square foot garage, and associated site improvements including a driveway, covered patio, a firepit and landscaping. The site plans included in this project illustrate an approximately 791 square foot Accessory Dwelling Unit (ADU). Pursuant to Title 21 section 21.64.030 and Government Code section 65852.2, construction of an ADU shall be processed ministerially. Although a planning entitlement is not

required and approval of the ADU is not a part of this application, the ADU is dependent and accessory to a single-family dwelling. Therefore, the ADU remains in the plans;

WHEREAS, as detailed in the attached plans, the proposed project meets all required development standards established in Monterey County Code (MCC) Sections 21.12.060 and 21.42.F and 2010 General Plan Policy LU-2.33(a);

WHEREAS, the proposed colors and materials include light brown shiplap siding, natural limestone veneer, gray concrete accent siding, and a black metal roof. The proposed colors and materials, and bulk and mass blend with the surrounding environment, are consistent with the surrounding residential neighborhood character, and other dwellings in the neighborhood;

WHEREAS, the proposed project is not located in an area of high visual sensitivity and as sited, designed, and conditioned, will not result in adverse visual impacts. Further, the project is consistent with the applicable scenic resource policies of the 2010 General Plan and the Greater Monterey Peninsula Area Plan;

WHEREAS, in accordance with 2010 General Plan Policy and MCC Section 21.66.050, a Phase 1 Archaeological Report was prepared. The results of the Phase I pedestrian survey were negative and indicated that the proposed project will have no significant effect on archaeological resources. The potential for inadvertent impacts to cultural resources is limited and will be controlled by application of the County's standard project condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction;

WHEREAS, the subject property is identified in its current configuration as Lot 3 of Block 34 on a Final Map entitled "Monterey Peninsula Country Club Subdivision No.1", recorded in March 1925 (Volume 3, Cities & Towns, Page 26). Therefore, the County recognizes the subject property as a legal lot of record;

WHEREAS, Monterey County HCD-Planning and HCD-Building Services records were reviewed, and the County is not aware of any violations existing on subject property;

WHEREAS, this project warrants referral to the Del Monte Forest (DMF) Land Use Advisory Committee (LUAC) because it involves a Design Approval subject to a public hearing. The project went before the Del Monte Forest LUAC on May 7, 2026 where members voted 7-0 to support the project as proposed;

WHEREAS, California Environmental Quality Act (CEQA) Guidelines Section 15302 categorically exempts the replacement of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure being replaced, and section 15303 the construction of a single family dwelling located in a residentially zoned neighborhood. The project involves the demolition of an existing single-family dwelling, construction of a new single-family dwelling on a residentially zoned lot; therefore, the proposed development is consistent with CEQA Guidelines Sections 15302 and 15303. None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no significant effect on the environment due to unusual circumstances. No trees are proposed for removal and the proposed development is not visible from any scenic corridor. There is no cumulative impact without any prior successive projects of the same type in the same place, over time and no new land use is proposed. The site is not

included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered on a hazardous waste site. No known resources of concern, including biological, historical, or archaeological, are present. CEQA Guidelines section 15268(d) declares that “[w]here a project involves an approval that contains elements of both a ministerial action and a discretionary action, the project will be deemed to be discretionary and will be subject to the requirements of CEQA.” In such cases, while the whole project becomes subject to CEQA, it is only those discretionary components of the project – those parts which the reviewing agency (here, the County) has authority to shape, influence, approve, or deny (CEQA Guidelines section 15040; Public Resources Code section 21004), subject to this permit. Accordingly, while the Zoning Administrator’s discretionary authority is limited to consideration of the proposed residence, the proposed residence and the ADU are subject to CEQA. Therefore, the proposed development is consistent with CEQA Guidelines section 15302 and 15303 and none of the exceptions under CEQA Guidelines section 15300.2 apply to this project; and

WHEREAS, pursuant to Title 21 section 21.44.070, the Board of Supervisors shall consider appeals from the discretionary decisions of the Zoning Administrator, and the decision of the Board of Supervisors would be final and may not be appealed.

NOW, THEREFORE BE IT RESOLVED, based on the above recitals, the Monterey County Zoning Administrator does hereby:

1. Find that the project qualifies as a Class 2 and Class 3 Categorical Exemption pursuant to CEQA Guidelines sections 15302 and 15303 and there are no exceptions pursuant to Section 15300.2; and
2. Approve a Design Approval to allow the demolition of an existing 2,590 square foot one-story residence and construction of a 3,833 square foot two-story single family dwelling inclusive of an attached 650 square foot garage and associated site improvements.

PASSED AND ADOPTED this 28th day of May, 2026.

Mike Novo, AICP, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.
2. Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.
3. Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN260025

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Design Approval (PLN260025) allows demolition of an existing 2,590 square foot one-story residence and construction of a 3,833 square foot two-story single family dwelling and associated site improvements. The property is located at 2975 Cormorant Road, Pebble Beach (Assessor's Parcel Number 007-262-003-000), Greater Monterey Peninsula Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Design Approval (Resolution Number _____) was approved by Zoning Administrator for Assessor's Parcel Number 007-262-003-000 on May 28, 2026. The permit was granted subject to 3 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

ANZOATEGUI RESIDENCE

2975 CORMORANT RD., PEBBLE BEACH, CA.

JAMES
NEWHALL
SMITH
ARCHITECT, Inc.

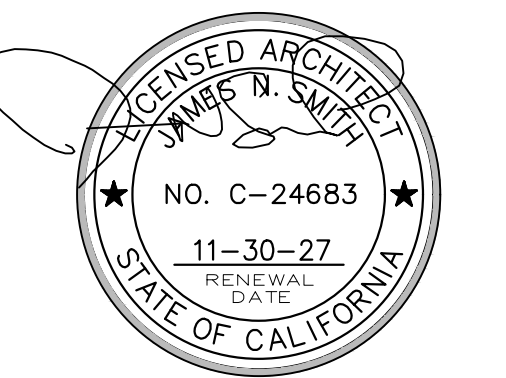
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CARMEL VALLEY, CA.
93923

831-915-9518
JAMES@JNSARCH.COM

PROJECT/CLIENT

ANZOATEGUI
RESIDENCE

2975 CORMORANT RD.
PEBBLE BEACH, CA.



SHEET TITLE

COVER SHEET

ISSUE REVISIONS

- ① 05-06-25 PRELIM. REVIEW
- ② 08-21-25 PEBBLE BEACH ARB
- ③ 01-12-26 P.B. RESUBMITTAL

DATE

PROJECT NUMBER

SHEET NUMBER

A0.0

GENERAL NOTES

- EXAMINATION OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT THIS WORK SHALL BE MADE IMMEDIATELY BY THE CONTRACTOR, WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. HE SHALL AT SUCH TIME ASCERTAIN AND CHECK LOCATIONS OF THE EXISTING STRUCTURES AND EQUIPMENT WHICH MAY AFFECT HIS WORK.
- CONTRACTOR SHALL PROVIDE THE ARCHITECT, JAMES N. SMITH, AND OWNERS, ALVARO ANZOATEGUI AND JESSICA PURCELL, WITH A COMPLETE COST BREAKDOWN AND SCHEDULE OF CONSTRUCTION FOR THIS PROJECT PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS, INSPECTIONS, CERTIFICATES, AND FEES. HE SHALL ALSO BE RESPONSIBLE FOR FILING OF APPLICATION FOR PERMIT AND PLAN CHECK APPROVAL AS NECESSARY. (THIS SECTION SUBJECT TO OWNER'S REVIEW AND APPROVAL.)
- CONTRACTOR SHALL PROTECT OWNER'S PROPERTY AND IMPROVEMENTS, NEW AND/OR EXISTING MATERIALS, AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC., AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC., AS REQUIRED TO PROTECT THE PUBLIC AND OWNER DURING THE PERIOD OF CONSTRUCTION. DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES, AND EQUIPMENT SHALL BE REPAIRED OR REPLACED. CONTRACTOR SHALL COORDINATE TEMPORARY BARRICADES WITH OWNER PRIOR TO COMMENCEMENT OF WORK AS NECESSARY.
- MATERIALS THAT ARE SPECIFIED BY THEIR BRAND NAMES ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. ANY REQUEST FOR SUBSTITUTION SHALL BE SUBMITTED TO THE ARCHITECT AND OWNER FOR REVIEW FOR EQUAL QUALITY AND PRICE AND SHALL NOT BE PURCHASED OR INSTALLED WITHOUT THEIR WRITTEN APPROVAL. ALL NON-SPECIFIED PRODUCTS SHALL CONFORM TO REQUIREMENTS SET FORTH BY CODE COMPLIANCE OR INDUSTRY STANDARDS AND CONTRACTOR SHALL SUBMIT A LIST OF PRODUCTS AND MANUFACTURERS BEING USED FOR REVIEW BY THE ARCHITECT PRIOR TO PURCHASE OR INSTALLATION.
- ALL CONSTRUCTION WORK, ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, ETC., AS MAY BE REQUIRED, SHALL CONFORM TO THE LATEST ADOPTED EDITION OF THE CALIFORNIA BUILDING CODE AND THE LATEST EDITION(S) OF ALL GOVERNING CODES AND REGULATIONS AS ADOPTED BY PEBBLE BEACH AND MONTEREY COUNTY. ALL WORK SHALL BE DONE IN A THOROUGH, WORKMANLIKE MANNER AND EQUAL TO THE BEST STANDARDS OF THE PRACTICE.
- DIMENSIONS ON CONSTRUCTIONS DRAWINGS ARE TO FACE OF PLY SHEATHING, TYP, OR AS OTHERWISE NOTED TO BE FACE OF FINISH (F.O.F.), FACE OF COLUMN (F.O.C.), OR CENTER LINE OF OPENING, MULLION, PARTITION, OR COLUMN, ETC. SEE ALSO CORNER DETAIL ON A8 SHEETS
- ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE. ANY DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT. CONTRACTOR AND/OR SUBCONTRACTORS SHALL NOT SCALE DRAWINGS. QUESTIONS REGARDING DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR OWNER PRIOR TO ANY START OF WORK.
- ALL CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY ANY WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY CONSTRUCTION DOCUMENTS SHALL BE PROVIDED AS THOUGH ON ALL RELATED DOCUMENTS. DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. WORK THAT IS CONTINUED, COVERED UP OR COMPLETED WITHOUT SAID CLARIFICATION SHALL BE AT GENERAL OR SUB- CONTRACTOR'S RISK OF REPAIR, REPLACEMENT OR REWORKING AT HIS OWN EXPENSE.
- ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONSTRUCTION DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR EXCEPT WHERE NOTED. THE CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE WITH MANUFACTURER'S REQUIREMENTS. WORK REQUIRED UNDER THIS CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, ETC. NECESSARY TO COMPLETE THIS PROJECT. ALL MATERIALS SHALL BE NEW AND UNUSED, UNLESS SPECIFICALLY NOTED AND BE A QUALITY ACCEPTABLE BY INDUSTRY STANDARDS.
- THE USE OF THE WORD "PROVIDE" IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN THAT SUCH SHALL BE FURNISHED, INSTALLED, AND CONNECTED WHERE SO REQUIRED, EXCEPT AS NOTED.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FABRICATED ITEMS, CUT SHEETS OF ALL FIXTURES AND EQUIPMENT, AND SAMPLES OF ALL FINISHES CALLED FOR BY THE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION AND/OR INSTALLATION.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS, INCLUDING PERMITTED "JOB COPY" SET(S) AND A COPY OF THE SOILS REPORT BY _____ DATED _____ ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. THE CONTRACTOR, IN ASSUMING RESPONSIBILITY FOR THE WORK INDICATED, SHALL COMPLY WITH THE SPIRIT AS WELL AS WITH THE LETTER IN WHICH THEY WERE DRAWN.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS IN OR OUTSIDE THE JOB SITE.
- THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.
- ALL ELECTRICAL, MECHANICAL, AND PLUMBING WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, THE STATE FIRE MARSHALL, THE SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY, AND ANY APPLICABLE STATE OR LOCAL LAWS AND ORDINANCES. NOTHING ON THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.
- WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED IN ORDER TO PROVIDE A COMPLETELY OPERABLE INSTALLATION WITHIN THE LIMITS AND SCOPE OF WORK, BUT WHICH MAY NOT BE SPECIFICALLY INCLUDED IN THE PLANS, SHALL BE PERFORMED BY CONTRACTOR AND INCLUDED IN HIS BID.
- ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS IN DESIGN, INSTALLATION AND MATERIAL FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF COMPLETION.
- CONTRACTOR SHALL PERSONALLY SUPERVISE AND DIRECT THE WORK OR SHALL KEEP A COMPETENT EMPLOYEE, AUTHORIZED TO RECEIVE INSTRUCTIONS AND ACT ON THE CONTRACTOR'S BEHALF, CONTINUOUSLY ON SITE DURING WORKING HOURS.
- CONSULT WITH FORESTER PRIOR TO ANY TREE TRIMMING OR REMOVAL. TREES ADJACENT TO STRUCTURES AND OVER DRIVEWAYS SHALL BE TRIMMED TO CLEAR STRUCTURES AND PROVIDE 15' CLEARANCE OVER DRIVEWAYS. PROTECT OTHER TREES DURING CONSTRUCTION PER PEBBLE BEACH/COUNTY STANDARDS. TREES TO BE REMOVED SHALL INCLUDE REMOVAL OF ALL ROOT STRUCTURES AND CONTRACTOR SHALL COORDINATE WITH OWNER FOR POSSIBLE STACKING OF CUT WOOD FOR FUTURE FIREPLACE WOOD.
- CONTRACTOR SHALL OBTAIN AN 8-1-1 / DIG ALERT TICKET PRIOR TO PERMIT ISSUANCE AND SHALL MAINTAIN THE TICKET IN ACTIVE STATUS THROUGHOUT THE PROJECT. TICKET SHALL BE KEPT ON SITE FOR INSPECTOR REFERENCE.

ABBREVIATIONS

EXIST'G (E)	EXISTING	G.W.B.	GYPSUM WALLBOARD
A.B.	ANCHOR BOLT	N.I.C.	NOT IN CONTRACT
APPROX.	APPROXIMATE	N.T.S.	NOT TO SCALE
BD.	BOARD	O.C.	ON CENTER
BLK.	BLOCK	O.D.	OUTSIDE DIAMETER
CAB.	CABINET	PLYWD.	PLYWOOD
CLR.	CLEAR	R.O.	ROUGH OPENING
CONC.	CONCRETE	SIM.	SIMILAR
CONT.	CONTINUOUS	S.S.D.	SEE STRUCTURAL DRAWINGS
D.S.	DOWNSPOUT	T&G	TONGUE AND GROOVE
F.O.C.	FACE OF CONCRETE	T.O.P.	TOP OF PLATE
F.O.S.	FACE OF STUDS	TYP.	TYPICAL
F.O.F.	FACE OF FINISH	U.N.O.	UNLESS OTHERWISE NOTED
GALV.	GALVANIZED	V.I.F.	VERIFY IN FIELD (OR WORK SITE)
G.I.	GALVANIZED IRON	V.W.O.	VERIFY WITH OWNER
GP.	GYPSUM	W/O	WITHOUT
		WP	WATERPROOF

SPECIAL INSPECTIONS AND OBSERVATIONS

- THE GEOTECHNICAL ENGINEER SHALL INSPECT THE BUILDING PADS AND FOUNDATION EXCAVATIONS PRIOR TO THE PLACEMENT OF REINFORCING BARS, AND SHALL SUBMIT WRITTEN APPROVAL TO THE BUILDING INSPECTOR BEFORE REQUESTING FOUNDATION INSPECTION AND POURING OF FOOTINGS.
- THE STRUCTURAL ENGINEER OF RECORD SHALL PROVIDE STRUCTURAL OBSERVATION THROUGHOUT THE VARIOUS PHASES OF THE PROJECT AND AS OUTLINED ON STRUCTURAL SHEETS
- ALL STRUCTURAL WELDING SHALL BE CONTINUOUSLY INSPECTED BY AN APPROVED INDEPENDANT INSPECTOR IF REQUIRED BY THE BUILDING CODE.

BUILDING DEPARTMENT NOTES

- NO PERSON MAY TAP INTO ANY FIRE HYDRANT OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT.
- ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A NOZZLE SHUT-OFF. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.
- NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONBLY AVAILABLE SOURCE OF RECLAIMED OR OTHER SUB-POTABLE WATER APPROVED BY THE MONTEREY COUNTY HEALTH DEPARTMENT AND APPROPRIATE FOR SUCH USE.
- THE USE OF SOLDERS CONTAINING MORE THAN 2/10ths OF 1% LEAD IN MAKING JOINTS ON PRIVATE OR PUBLIC WATER SUPPLY SYSTEMS IS PROHIBITED (SB 164).
- PROVIDE NON-REMOVABLE BACKFLOW DEVICES AT ALL HOSEBIBS.
- THE BUILDER/CONTRACTOR SHALL PROVIDE THE OWNER AND THE BUILDING DEPARTMENT WITH A COPY OF THE CF-6R INSTALLATION CERTIFICATE AT THE TIME OF FINAL INSPECTION.
- GRADING PERMIT, IF REQUIRED, IS BY SEPARATE PERMIT.
- SPRINKLER SYSTEM TO BE PER SEPARATE PERMIT.

ARCHAEOLOGICAL NOTE

IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. THE MONTEREY COUNTY RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST (I.E., AN ARCHAEOLOGIST REGISTERED WITH THE REGISTER OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR THE DISCOVERY.

DEFERRED SUBMITTALS

- RESIDENTIAL FIRE SPRINKLER SYSTEM TO BE BY SEPARATE PERMIT BY LICENSED FIRE SPRINKLER COMPANY.
- SOLAR PANEL ARRAY AND WIRING SYSTEM TO BE PER SEPARATE PERMIT BY APPROVED INSTALLER
- TRUSS CALCS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ANY TRUSS INSPECTIONS. CALCS BY MANUFACTURER SHALL INCLUDE TRUSS PROFILES AND LAYOUT PLANS.
- THE MANUFACTURED TRUSS SUBMITTALS SHALL BE REVIEWED (INDICATED BY LETTER OR STAMP, SIGNATURE AND DATE) BY THE ENGINEER OF RECORD FOR DESIGN COMPATIBILITY. A CERTIFICATION LETTER FROM THE ENGINEER SHALL BE SENT TO THE BUILDING DEPARTMENT STATING THIS APPROVAL.
- THE TRUSSES SHALL NOT BE INSTALLED UNTIL AN APPROVED JOB COPY OF THE TRUSS SUBMITTALS IS ISSUED BY THE BUILDING DEPARTMENT.
- GLU-LAM CERTIFICATES SHALL BE COPIED TO THE BUILDING DEPARTMENT.
- NEW SITE RETAINING WALLS HAVE NOT BEEN REVIEWED UNDER THIS PERMIT. A SEPERATE PERMIT APPLICATION IS REQUIRED FOR ALL NEW RETAINING WALLS.

DRAWING INDEX

ARCHITECTURAL

- A0.0 COVER SHEET
- A0.1 RENDERING-FRONT
- A0.2 RENDERING-REAR
- A1.0 SITE PLAN
- A1.1 SITE PLAN-LIGHTING
- A1.D SITE PLAN-EXISTING // DEMO
- A1.OP SITE PLAN-PARKING
- A2.0 FLOOR PLAN-MAIN LEVEL
- A2.1 FLOOR PLAN-UPPER LEVEL
- A5.0 ROOF PLAN
- A6.0 EXTERIOR ELEVATIONS
- A6.1 EXTERIOR ELEVATIONS
- A6.2 EXTERIOR ELEVATIONS-ADU
- A6.3 EXTERIOR ELEVATIONS-FENCES
- A7.0 BUILDING SECTIONS

CIVIL

- C-1 GRADING AND DRAINAGE PLAN
- C-2 GRADING SECTIONS
- C-3 EROSION CONTROL PLAN
- C-4 CMP

STRUCTURAL

- S1.1 STANDARD DETAILS
- S1.2 STANDARD DETAILS
- S2 FND & FIRST FLOOR FRAM'G PLAN
- S3 UPPER FLOOR FRAMING PLAN
- S4 UPPER ROOF FRAMING PLAN
- S5 STRUCTURAL DETAILS
- S6 STRUCTURAL DETAILS
- S7 STRUCTURAL DETAILS
- S8 STRUCTURAL DETAILS
- S9 STRUCTURAL DETAILS

MECHANICAL

- M0.1 NOTES
- M0.2 ENERGY COMPLIANCE
- M2.1 MAIN LEVEL HEATING PLAN
- M2.2 UPPER LEVEL HEATING PLAN
- M6.1 DETAILS
- M6.2 DETAILS
- M6.3 HEAT SOURCE VENTING

LANDSCAPE

- L-1.1 LANDSCAPE PLAN
- L-1.2 IRRIGATION PLAN

PROJECT DIRECTORY

PROPERTY OWNERS:

ALVARO ANZOATEGUI
AND JESSICA PURCELL
2975 CORMORANT RD
PEBBLE BEACH, CA. 93953
CONTACT: JESSICA PURCELL
(408)502-2608
EMAIL: JESSICA@GRANADA-CONSTRUCTION.COM

ARCHITECT:

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CARMEL, CA. 93923
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TEL. (831) 915-9518
EMAIL: JAMES@JNSARCH.COM

STRUCTURAL ENGINEER:

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CIVIL / SURVEYOR:

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520 B CRAZY HORSE CANYON RD.
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CONTACT PERSON: GUY GIRAUDO
TEL. (831) 443-6970

SOILS ENGINEER:

GRICE ENGINEERING
561A BRUNKEN AVE.
SALINAS, CA. 93901
CONTACT PERSON: SAM GRICE
TEL. (831) 422-9619
SAM'S CELL (831) 594-7699
SAM'S EMAIL: SAMG@SBCGLOBAL.NET
JEFF QLMS (831) 594-4664 (FIELD TECH)

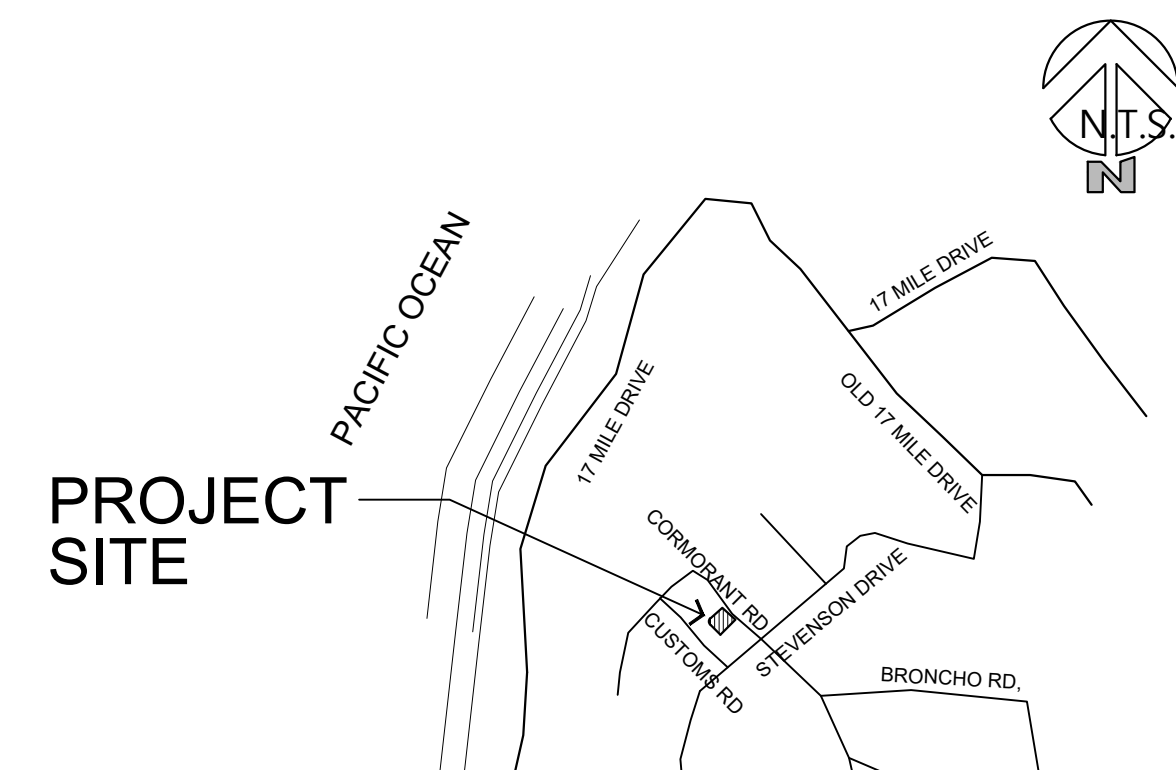
TITLE 24 / MECHANICAL ENGINEER:

MONTEREY ENERGY GROUP
26465 CARMEL RANCHO BLVD. #B
CARMEL VALLEY, CA. 93923
CONTACT PERSON: DAVID KNIGHT
TEL. (831) 372-8328
FAX (831)372-4613
EMAIL: DAVE@MEG4.COM

LANDSCAPE:

FLORAVISTA
DINAH IRING
982 PHOENIX
VENTURA, CA. 93004
CELL (831)261-4840
EMAIL: FLORA.VISTA@SBCGLOBAL.NET

VICINITY MAP



PROJECT SITE

PROJECT INFORMATION

- PROJECT DESCRIPTION:
DEMOLISH (E) ONE STORY RESIDENCE AND CONSTRUCT NEW TWO STORY SINGLE FAMILY RESIDENCE WITH ATTACHED 2 CAR GARAGE AND TRELLISES. NEW DETACHED ADU AT REAR. NEW WOOD FENCES AT ALL FOUR PROPERTY LINES

- PROJECT ADDRESS:
2975 CORMORANT RD
PEBBLE BEACH, CA. 93953

PLANNING INFORMATION

- A.P.N. 007-262-003
- LEGAL DESCRIPTION LOT 3 BLOCK _____
- COUNTY OF MONTEREY ZONING: MDR / B-6-D-RES
- TITLE 21 (INLAND) ZONING ORDINANCE FOR MONTEREY COUNTY ARCHAEOLOGICAL SENSITIVITY: HIGH
- ASSS: N/A
- SCHOOL DISTRICT: PACIFIC GROVE UNIFIED
- COASTAL ZONE: NO
- SEISMIC ZONE: III
- LUAC: DEL MONTE FOREST LUAC
- HISTORIC: NO
- FLOOD HAZARD: MINIMAL

- MAX. ALLOWABLE BUILDING HEIGHT: 27' DETACHED: 15' / ADU: 16'

- TREE REMOVAL: NONE

- APPROX. GRADING: 20 CY CUT, 5 CY FILL
- PARKING REQUIRED: COVERED: 1 UNCOVERED: 1
- PARKING PROVIDED: COVERED: 2 UNCOVERED: 2

BUILDING INFORMATION

- PROJECT CODE COMPLIANCE-CODE EDITIONS USED:
2025 CAL. BUILDING CODE-CBC 2025 CAL. RESIDENTIAL CODE-CRC
2025 CAL. ELEC. CODE-CEC 2025 CAL. MECH. CODE-OMC
2025 CAL. PLUMB. CODE-CPC 2025 CAL. ENERGY CODE-CEC
2025 CAL. CALGreen BLDG STNDS-CGBCS
2025 CAL. FIRE CODE-CFC

- CONSTRUCTION TYPE: VB
- BUILDING OCCUPANCY: R-3 / U

- FIRE DEPARTMENT:
FIRE DISTRICT: P.B.C.S.D.
AUTOMATIC SPRINKLERS REQUIRED: YES NFPA 13D PER 903.3.1.3
W/LD/LAND URBAN INTERFACE CODES REQ'D: YES
W.U.I. ZONE: S.R.A.-MODERATE

- UTILITY PROVIDERS
SEWER: P.B.C.S.D.
WATER: CAL AM-MPMD
ELEC / GAS: PG&E

- HVAC SYSTEMS
MAIN FLOOR
RADIANT HEATING-GYPCRETE
UPPER FLOOR
MINI-SPLIT HEATING AND COOLING-DUCTED WITH LINEAR DIFFUSERS PREFERRED

PROJECT SQUARE FOOTAGE INFORMATION

- TOTAL SITE AREA: = 10,972 S.F. (.25 Ac.)

PROPOSED LOT COVERAGE	
MAIN LEVEL	= 1,882 S.F.
GARAGE	= 650 S.F.
FIREPT	= 82 S.F.
LIVING RM TRELIS	= 217 S.F.
DINING RM TRELIS	= 183 S.F.
GUEST RM TRELIS	= 70 S.F.

PROPOSED COVERAGE	= 3,084 S.F. (28.1%)
MAX. ALLOWABLE COVERAGE	= 3,840 S.F. (35%)

PROPOSED FLOOR AREA RATIO (FAR)

MAIN LEVEL	= 1,882 S.F.
UPPER LEVEL	= 1,301 S.F.
TOTAL LIVABLE AREA	= 3,183 S.F.
GARAGE	= 650 S.F.

PROPOSED FLOOR AREA RATIO	= 3,833 S.F. (34.9%)
MAX. ALLOWABLE FAR	= 3,840 S.F. (35%)

ADU	= 791 S.F.
-----	------------

EXISTING FLOOR AREA	
EXISTING HOUSE	= 2,190 S.F.
EXISTING GARAGE	= 400 S.F.
EXISTING FLOOR AREA	= 2,590 S.F.

PROGRESS SET - NOT FOR CONSTRUCTION

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ARCHITECT, Inc.

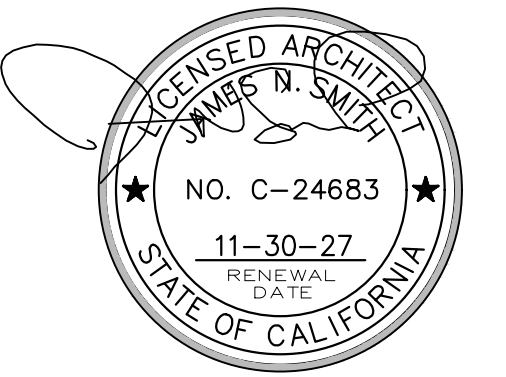
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93923

831-915-9518
JAMES@JNSARCH.COM

PROJECT/CLIENT

ANZOATEGUI
RESIDENCE

2975 CORMORANT RD.
PEBBLE BEACH, CA.



SHEET TITLE

RENDERING
FRONT

ISSUE REVISIONS

- 1 05-06-25 PRELIM. REVIEW
- 2 08-21-25 PEBBLE BEACH ARB
- 3 01-12-26 P.B. RESUBMITTAL

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△

DATE

PROJECT NUMBER

SHEET NUMBER

A0.1

PROGRESS SET -- NOT FOR CONSTRUCTION

RENDERING - FRONT

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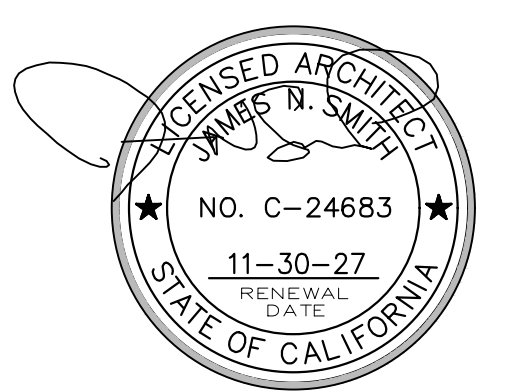
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RESIDENCE**

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PEBBLE BEACH, CA.



SHEET TITLE

**RENDERING
REAR**

ISSUE REVISIONS

- 1 05-06-25 PRELIM. REVIEW
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- 3 01-12-26 P.B. RESUBMITTAL

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DATE

PROJECT NUMBER

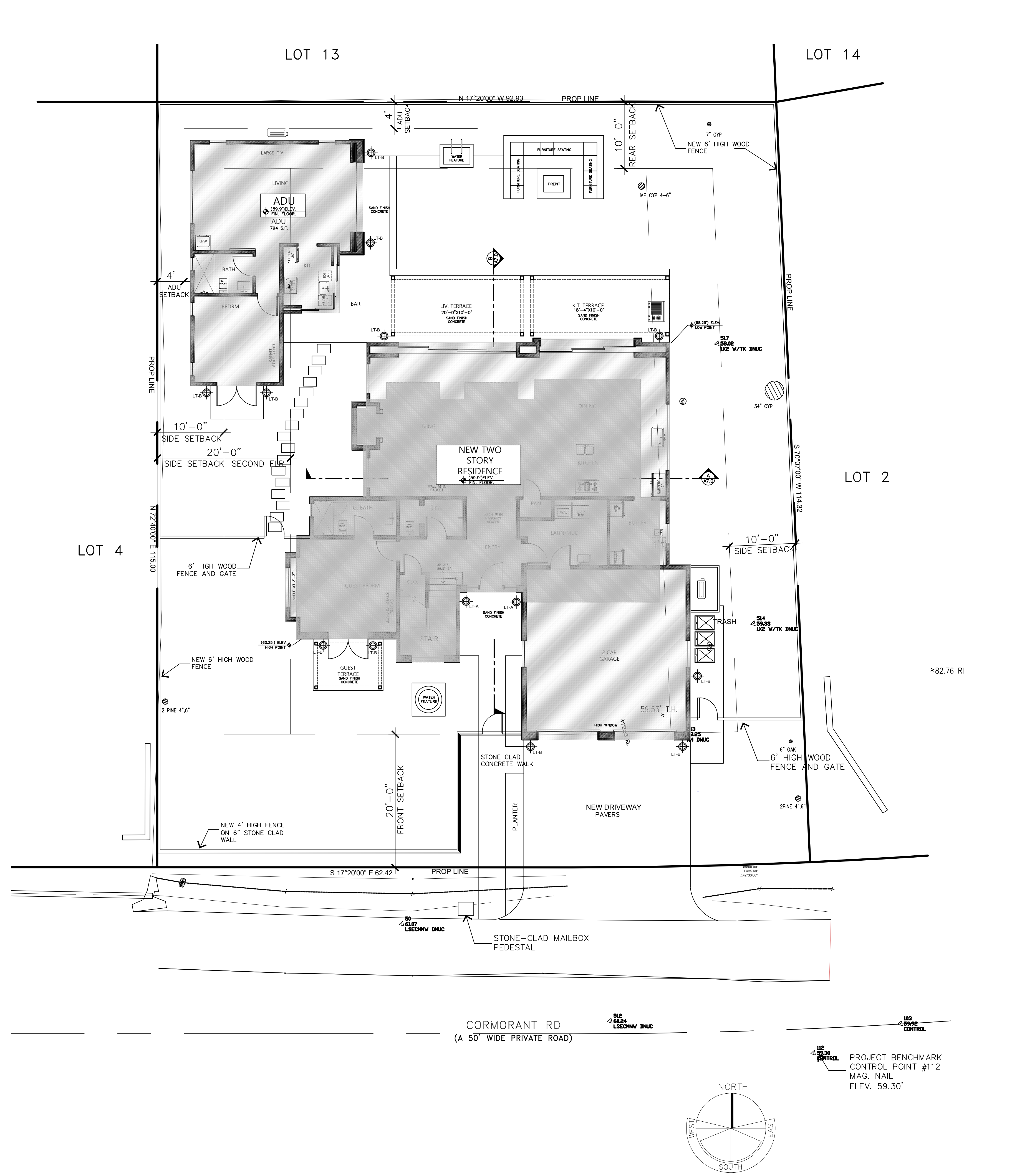
SHEET NUMBER

A0.2

PROGRESS SET -- NOT FOR CONSTRUCTION

RENDERING - REAR

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- ### LIGHTING NOTES
1. EXTERIOR LIGHTING SHALL BE LIMITED TO 40 WATTS OF LESS PER FIXTURE.
 2. ALL FIXTURES SHALL BE SHIELDED AND DOWNWARD FACING. LIGHTING SHALL NOT PRODUCE GLARE TO ADJOINING PROPERTIES
 3. SEE LANDSCAPE PLAN FOR LANDSCAPE LIGHTING SPECIFICATIONS AND LOCATIONS
 - 4.

LT-A
 WALL LIGHT
 MODEL ALBERMARLE LARGE GAS WALL LANTERN
 FINISH: DARK BRONZE
 WATTS: 1350 BTU

TEAR SHEET

Albermarle Large Bracketed Gas Wall Lantern
 Item # CHO 2437BLK-CG

Designer: Chapman & Myers

Height: 39.75"
 Width: 18"
 Extension: 19"
 Backplate: 4.5" x 6" Decorative
 Finishes: BLK, SC
 Glass Options: CG
 Lightsource: Gas Burner
 Wattage: 1350 - 1650 BTU
 Weight: 30 Pounds

Note: Powder-Coated Aluminum | Brass Details and Iron Hardware | Natural Gas Only | Professional Installation Only | Limited Lifetime Warranty | Brass Wall Patina

VISUAL COMFORT & Co.

LT-B
 WALL LIGHT
 MODEL HALLE LARGE NARROW WALL LANTERN
 FINISH: DARK BRONZE
 WATTS: LED 8

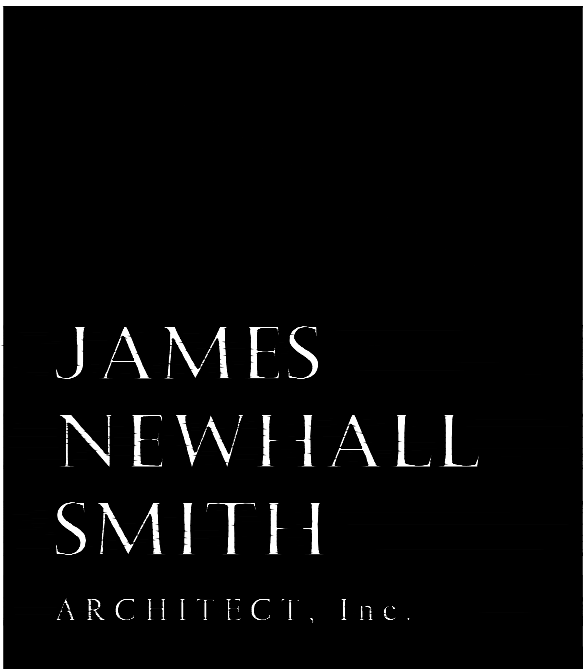
TEAR SHEET

Halle Large Narrow Wall Lantern
 Item # S 2197AI-CG

Designer: Ian K. Fowler

Height: 26"
 Width: 8.5"
 Extension: 7.25"
 Backplate: 7" x 19.5" Rectangle
 Finishes: AI
 Glass Options: CG
 Socket: E26 Keyless
 Wattage: 8 LED T10
 Weight: 21 Pounds

VISUAL COMFORT & Co.



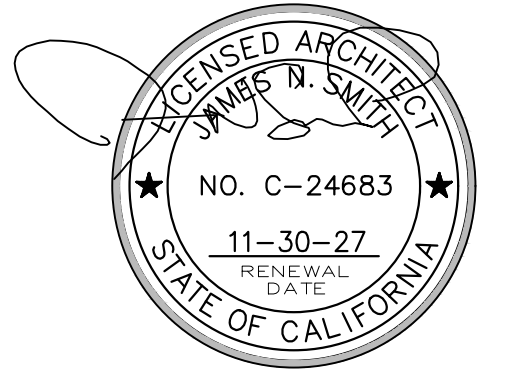
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 PEBBLE BEACH, CA.



SHEET TITLE

LIGHTING PLAN

- ISSUE
- REVISIONS

- 05-06-25 PRELIM. REVIEW
- 08-21-25 PEBBLE BEACH ARB
- 01-12-26 P.B. RESUBMITTAL

- DATE
- PROJECT NUMBER
- SHEET NUMBER

PROGRESS SET - NOT FOR CONSTRUCTION

A1.0L

LIGHTING PLAN - BUILDINGS ONLY

SCALE: 1/8" = 1'-0"

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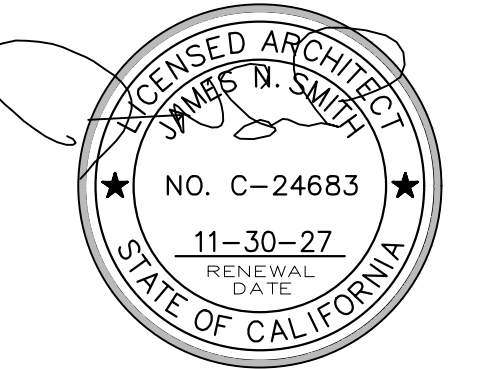
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RESIDENCE**

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PEBBLE BEACH, CA.



SHEET TITLE

DEMO PLAN

ISSUE REVISIONS

- ① 05-06-25
PRELIM. REVIEW
- ② 08-21-25
PEBBLE BEACH ARB
- ③ 01-12-26
P.B. RESUBMITTAL

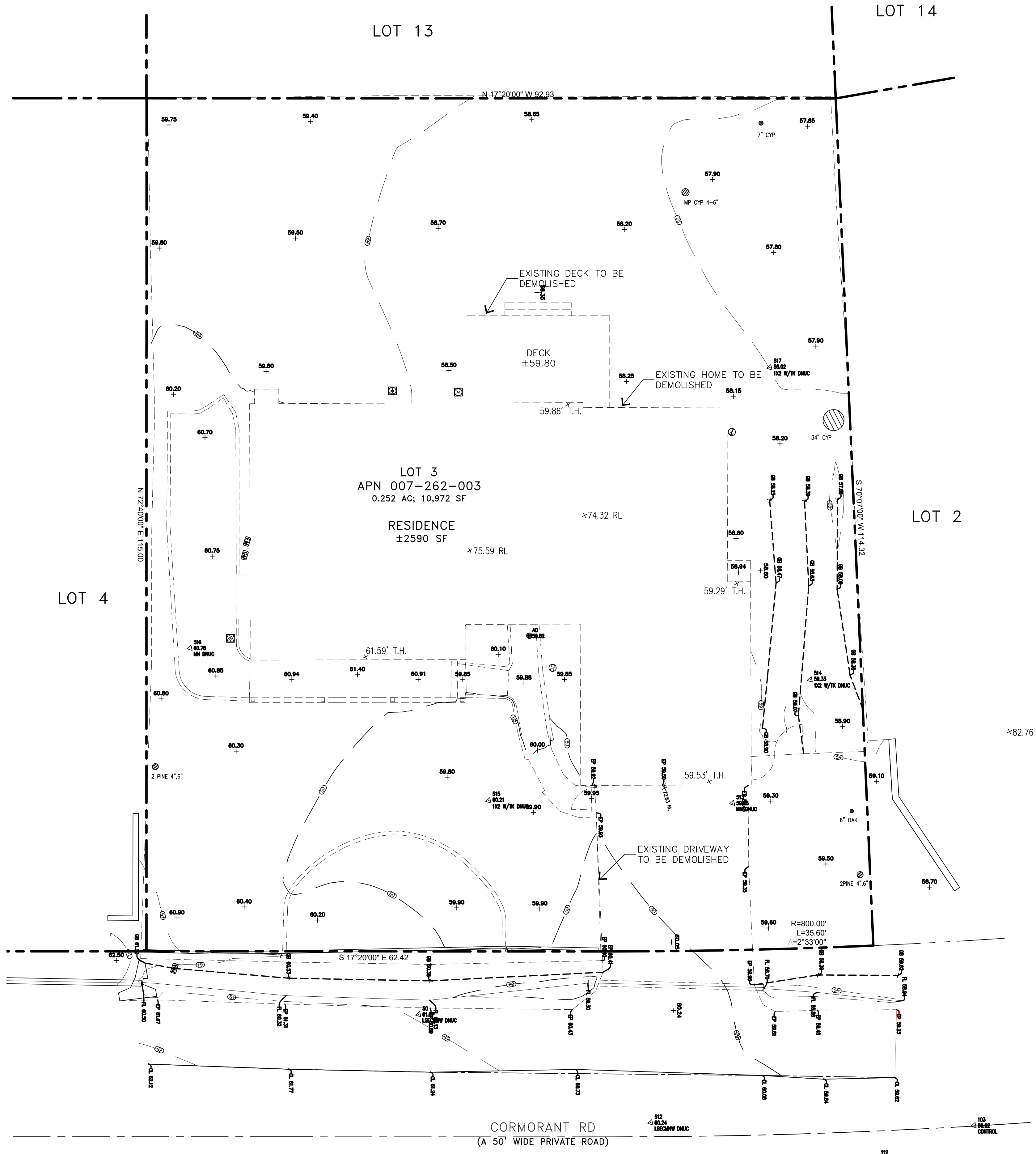
DATE _____

PROJECT NUMBER _____

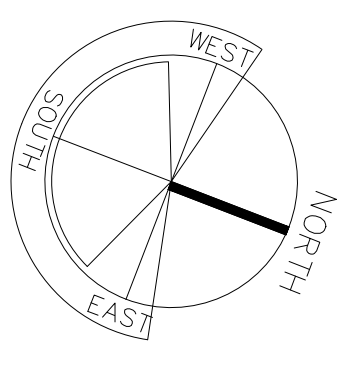
SHEET NUMBER _____

PROGRESS SET - NOT FOR CONSTRUCTION

A1.D



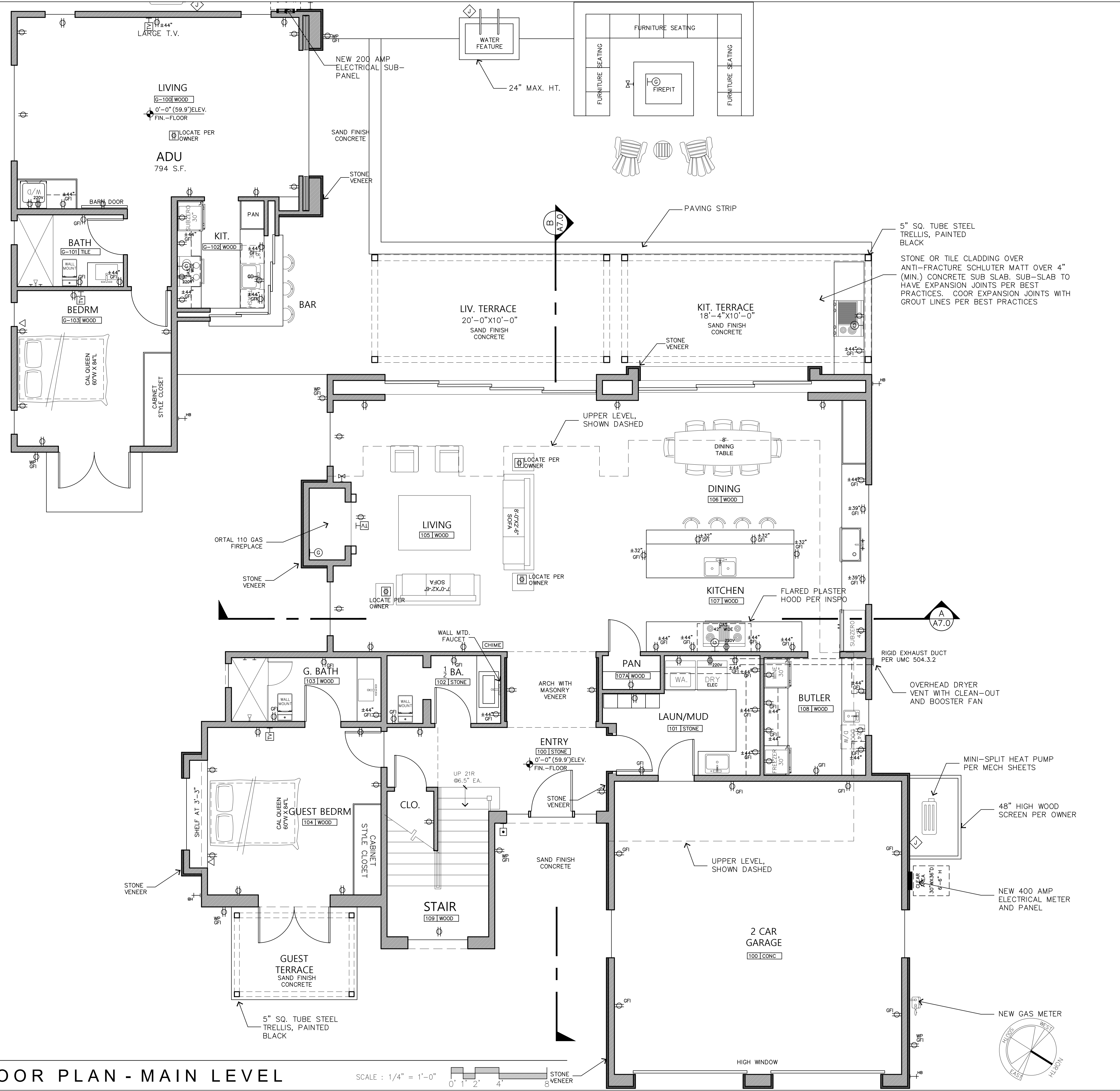
PROJECT BENCHMARK
CONTROL POINT #112
MAG. NAIL
ELEV. 59.30'



SCALE : 1/8" = 1'-0"
0' 2' 4' 8' 16'

DEMO PLAN

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FLOOR PLAN NOTES

ALL DIMENSIONS ARE TO THE FACE OF STUD, OR TO CENTER OF OPENING, UNLESS OTHERWISE NOTED.

CONTRACTOR TO VERIFY EXISTING CONDITIONS AND ALL DIMENSIONS AND NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING.

ATTIC ACCESS SHALL BE A MINIMUM SIZE OF 22"x30", LOCATED WHERE AT LEAST 30" OF UNOBSTRUCTED HEADROOM OCCURS. (CRC R807.1) ADD LIGHT FIXTURE WITH SWITCH IN VICINITY OF OPENING.

EXCEPTION: ATTICS WITH LESS THAN 30" MAX. HEIGHT NEED NOT PROVIDE ACCESS.

JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION.

ALL PROJECTS WITH WATERPROOF ROOF DECKS WILL REQUIRE PERIODIC MAINTENANCE. OWNER SHALL BE RESPONSIBLE TO SEAL, CAULK, OR OTHERWISE MAINTAIN OR REPLACE SEALANT AS RECOMMENDED BY MANUFACTURER OF WATERPROOFING SURFACE.

SEE DETAIL SHEETS A8.0 ELECTRICAL / A8.1 MECHANICAL AND A8.2 PLUMBING FOR STANDARD DETAILS AND NOTES

WALL LEGEND

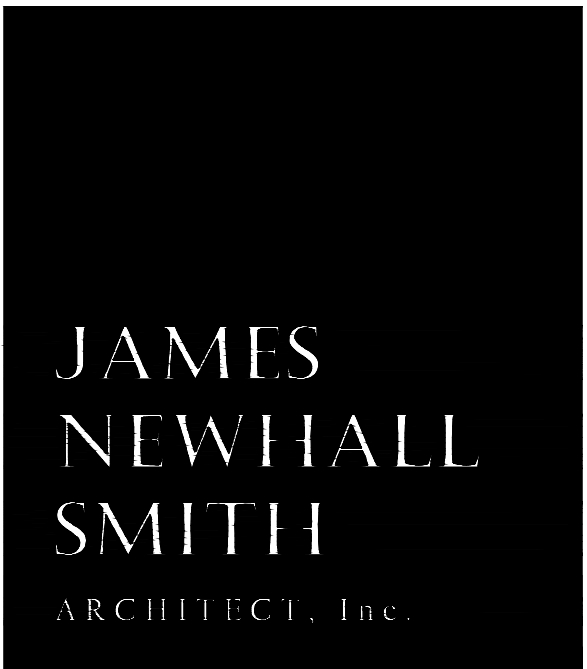
- NEW 2X WOOD STUD FRAMED WALL. SEE PLAN FOR WALL THICKNESS. EXTERIOR WALLS TO HAVE SHEAR PLY, HOUSE WRAP AND INSULATION PER TITLE 24 CODES. INTERIOR WALLS TO HAVE SOUND BATT INSULATION, TYP.
- NEW NON-STRUCTURAL STONE VENEER, 3" MAX. THICKNESS
- NEW CMU/CONCRETE WALL

ELECTRICAL SYMBOLS

- DUPLEX OUTLET
- DUPLEX OUTLET RECESSED INTO WALL
- HALF SWITCHED OUTLET
- DEDICATED CIRCUIT (20 amps)
- 220 VOLT OUTLET
- 4 PLEX OUTLET
- GROUND FAULT INTERRUPT (GFI)
- WATERPROOF OUTLET (EXTERIOR)
- RECESSED FLOOR MOUNTED OUTLET
- TELEPHONE JACK
- HIGH SPEED DATA LINE
- RECESSED FLOOR MOUNTED TELEPHONE JACK, BRASS
- THERMOSTAT CONTROL
- TELEVISION CABLE
- DOORBELL
- CENTRAL VACUUM OUTLET
- GAS OUTLET
- GAS KEY VALVE, VERIFY MOUNT LOCATION WITH OWNER
- HOSE BIB VALVE (WITH NON-REMOVABLE BACKFLOW PREVENTION DEVICE. (CPC 603.4.7, TYP.))
- WALL MOUNTED AIR SUPPLY REGISTER
- RETURN AIR REGISTER
- FLOOR MOUNTED SUPPLY AIR REGISTER
- ELECTRICAL MAIN PANEL—SEE PLAN FOR LOCATION/SIZE
- ELECTRICAL SUB-PANEL—SEE PLAN FOR LOCATION(S) AND SIZE(S)

ELECTRICAL LEGEND NOTES

1. NOT ALL OF THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS PROJECT.
2. THE ELECTRICIAN IS REQUIRED TO CONDUCT AN ON-SITE WALK THROUGH WITH THE OWNERS TO DETERMINE FINAL LOCATIONS AND HEIGHTS FOR ALL RECEPTACLES, FIXTURES, PHONES, CABLE, STEREO, SECURITY, DATA LINES, ETC. PRIOR TO ROUGH-IN.
3. POLESWITCH AND SWITCHPLATE STYLE, COLOUR AND EXACT LOCATION AND ORIENTATION TO BE DETERMINED/VERIFIED BY OWNER.
4. FOR JACUZZI-TYPE TUBS SEE DETAIL SHEETS FOR ADDITIONAL REQUIREMENTS AND CODE RESTRICTIONS.
5. PERMANENTLY LABEL EACH DISCONNECT (CIRCUIT BREAKER) ON THE MAIN AND ALL SUB ELECTRICAL PANEL(S) WITH THE APPLIANCE OR ROOM(S) SERVED BY THE CIRCUIT.
6. SEE NOTES ON DETAIL SHEETS A8.0, A8.1, A8.2 FOR MORE INFORMATION
7. SEE A4.0 FOR LIGHTING NOTES



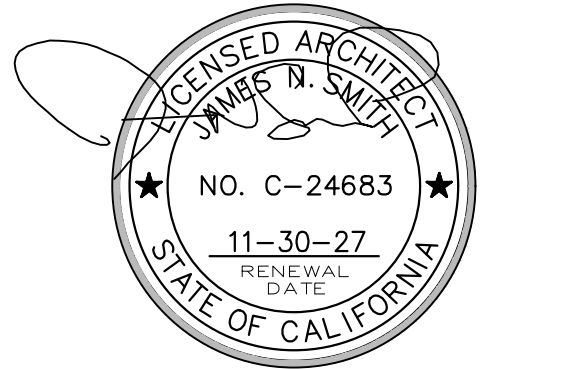
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PROJECT/CLIENT

ANZOATEGUI
RESIDENCE

2975 CORMORANT RD.
PEBBLE BEACH, CA.



SHEET TITLE

FLOOR PLAN
MAIN LEVEL

ISSUE REVISIONS

- 1 05-06-25 PRELIM. REVIEW
- 2 08-21-25 PEBBLE BEACH ARB
- 3 01-12-26 P.B. RESUBMITTAL

DATE

PROJECT NUMBER

SHEET NUMBER

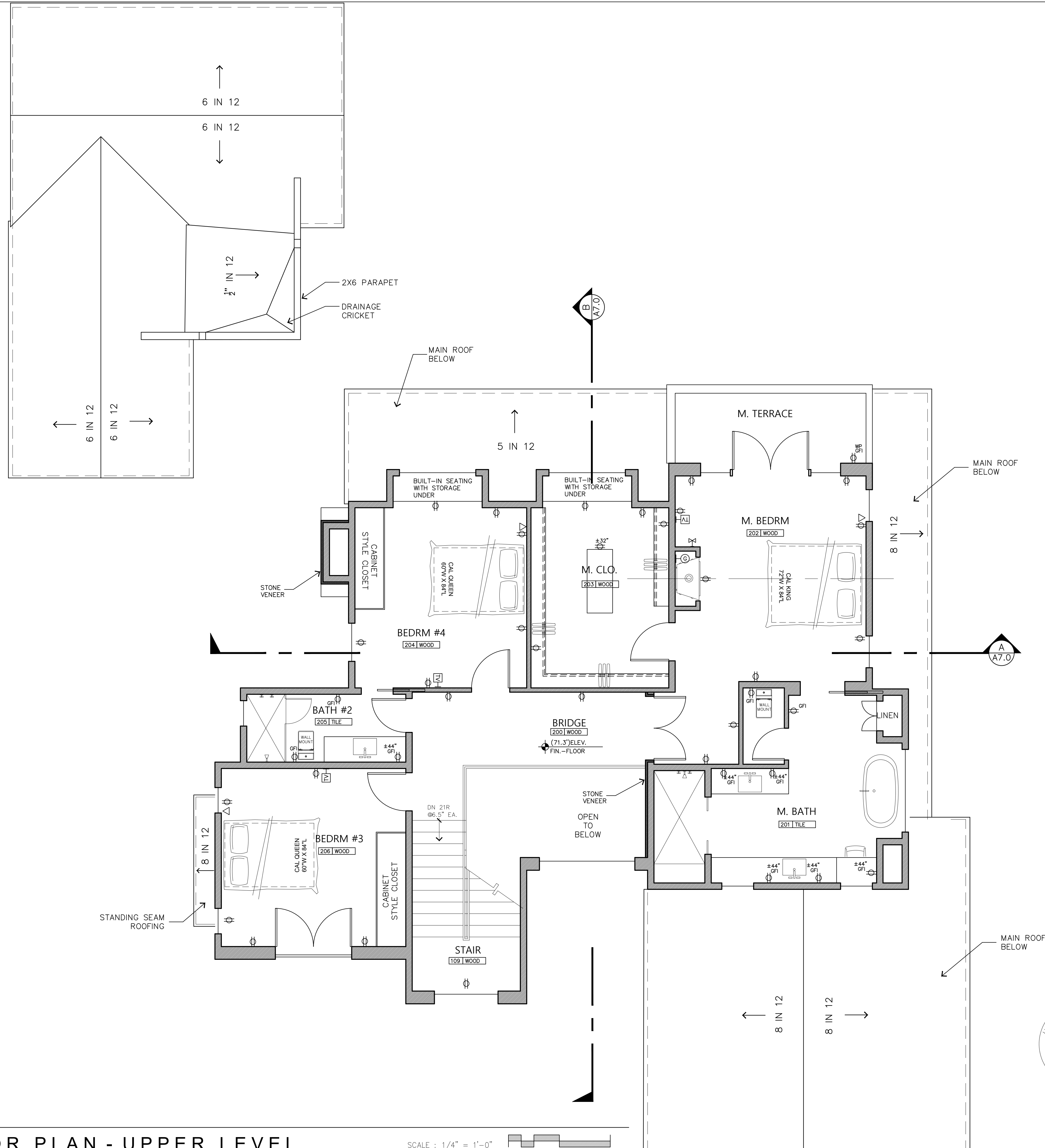
A2.0

PROGRESS SET - NOT FOR CONSTRUCTION

FLOOR PLAN - MAIN LEVEL

SCALE: 1/4" = 1'-0"

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FLOOR PLAN - UPPER LEVEL

SCALE : 1/4" = 1'-0"

FLOOR PLAN NOTES

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SEE DETAIL SHEETS A8.0 ELECTRICAL / A8.1 MECHANICAL AND A8.2 PLUMBING FOR STANDARD DETAILS AND NOTES

WALL LEGEND

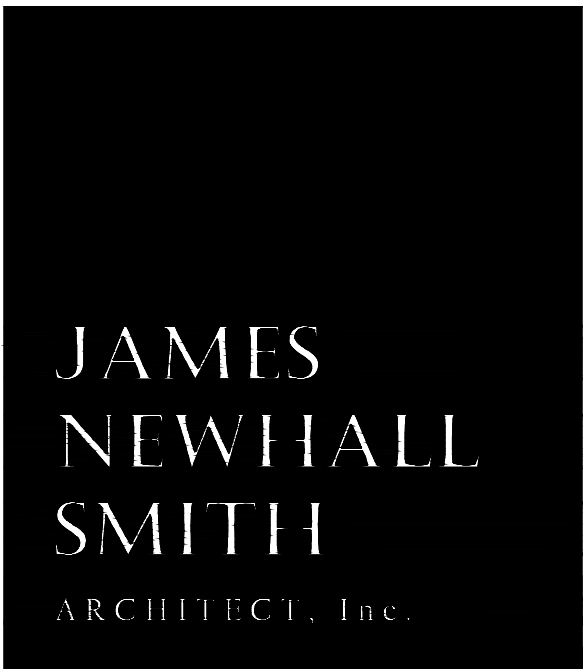
- NEW 2X WOOD STUD FRAMED WALL
SEE PLAN FOR WALL THICKNESS. EXTERIOR WALLS TO HAVE SHEAR PLY, HOUSE WRAP AND INSULATION PER TITLE 24 DOCS, INTERIOR WALLS TO HAVE SOUND BATT INSULATION, TYP.
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- NEW CMU/CONCRETE WALL

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7. SEE A4.0 FOR LIGHTING NOTES



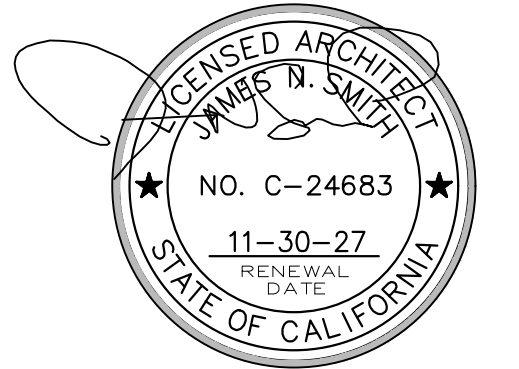
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PROJECT/CLIENT

**ANZOATEGUI
RESIDENCE**

2975 CORMORANT RD.
PEBBLE BEACH, CA.



SHEET TITLE

**FLOOR PLAN
UPPER LEVEL**

ISSUE REVISIONS

- 1 05-06-25 PRELIM. REVIEW
- 2 08-21-25 PEBBLE BEACH ARB
- 3 01-12-26 P.B. RESUBMITTAL

DATE

PROJECT NUMBER

SHEET NUMBER

A2.1

PROGRESS SET - NOT FOR CONSTRUCTION

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NORTHEAST ELEVATION - FRONT ENTRY

SCALE : 1/4" = 1'-0"
0' 1' 2' 4' 8'

ELEVATION MATERIALS LEGEND

- 1 SLATE TILE ROOFING, CLASS 'A'. COLOR TO BE LIGHT GREY
- 2 STANDING SEAM METAL ROOFING BY MBLI, MODEL CRAFTSMAN SB-12 OR EQ., CLASS 'A', COLOR: BURNISHED SLATE, SMOOTH FINISH
- 3 3 COAT EXTERIOR PLASTER WITH LEVEL 4 SMOOTH FINISH. COLOR: SEE ELEVATIONS
- 4 EXTERIOR VERTICAL STONE—"GOLD STONE" 2" THIN VENEER FLATS, BY GRANITE ROCK. LAY IS TRADITIONAL HORIZONTAL WITH SOME PIECES CHIPPED FOR IRREGULARITY. GROUT JOINTS AT 3/8" TO 1/2" WITH OVER-SPREAD MORTAR. COLOR OF GROUT IS "WHITE CEMENT" WITH HALF CUP DAVIS COLOR #5447 (LT. BROWN) PER 94 LB. BAG AND MIRACLE LIME
- 5 DOORS AND WINDOWS TO BE THERMALLY BROKEN ALUMINUM BY ARCADIA, OR EQ. COLOR: DARK BRONZE ANODIZED
- 6 FASCIA BOARD PRE-PRIMED RADIATA PINE "ADVANTAGE PLUS" BY KELLEHER, OR EQ. COLOR: PER ELEVATION
- 7 STONE AND COPPER CHIMNEY SHROUD
- 8 GALV. STEEL RAILING BY CR LAWRENCE, OR EQUAL, WITH 2 PART EPOXY PAINT, TYP.
- 9 VERTICAL WOOD SIDING COLOR: DARK BROWN
- 10 GALV. STEEL TRELLIS PAINTED WITH 2 PART EPOXY PAINT, COLOR: MATTE BLACK

ELEVATION NOTES

THIS PROJECT IS LOCATED WITHIN WILDLAND URBAN INTERFACE, REFER TO WALL SECTION DETAIL 1 / A0.1 FIRE NOTES SHEET FOR COMPLIANCE REQUIREMENTS

ROOF COVERINGS AND FLASHINGS AND WALL COVERINGS SHALL COMPLY WITH ALL REQUIRED W.U.I. SPECIFICATIONS

ROOF GUTTERS, IF ANY, SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS

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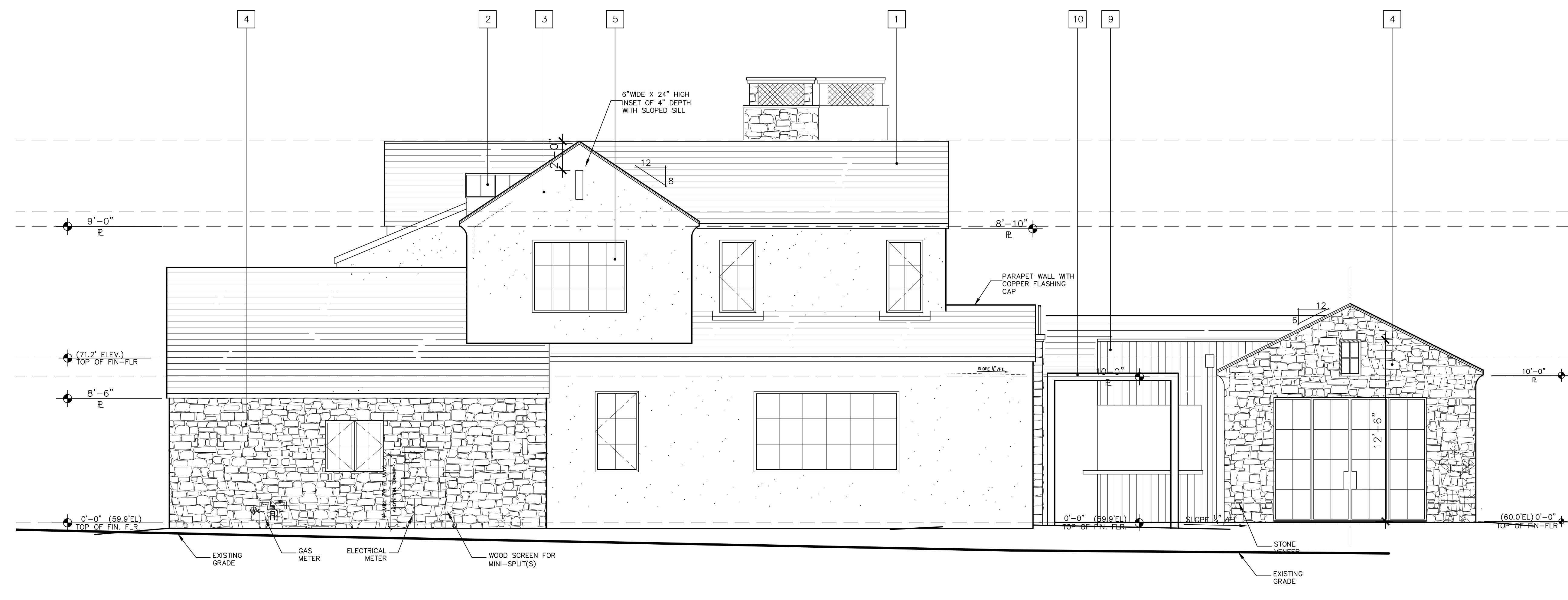
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WOOD SIDING INSTALLATION SHALL COMPLY WITH CRC R703.5

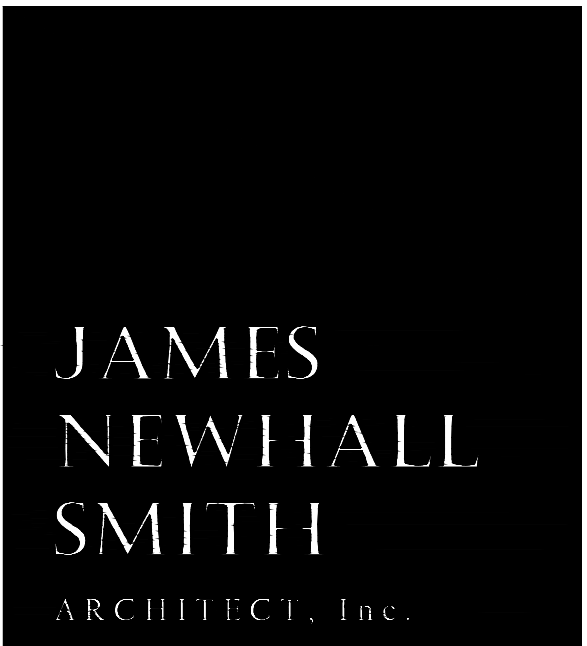
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ANCHORED STONE VENEER SHALL BE INSTALLED IN ACCORDANCE WITH CRC R703.8 AND R703.12



NORTHWEST ELEVATION - SIDE

SCALE : 1/4" = 1'-0"
0' 1' 2' 4' 8'



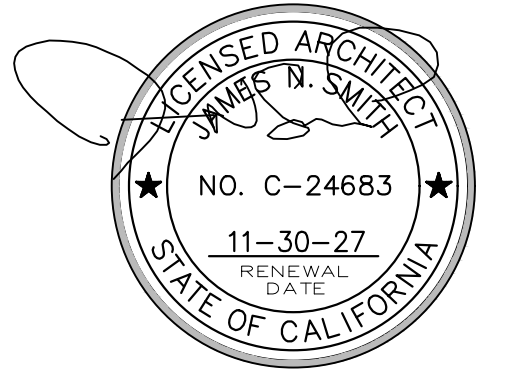
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PROJECT/CLIENT

**ANZOATEGUI
RESIDENCE**

2975 CORMORANT RD.
PEBBLE BEACH, CA.



SHEET TITLE

**EXTERIOR
ELEVATIONS**

ISSUE REVISIONS

- 1 05-06-25 PRELIM. REVIEW
- 2 08-21-25 PEBBLE BEACH ARB
- 3 01-12-26 P.B. RESUBMITTAL

DATE

PROJECT NUMBER

SHEET NUMBER

A6.0

PROGRESS SET - NOT FOR CONSTRUCTION

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SOUTHWEST ELEVATION - REAR

SCALE : 1/4" = 1'-0"

ELEVATION MATERIALS LEGEND

- 1 SLATE TILE ROOFING, CLASS 'A'. COLOR TO BE LIGHT GREY
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ELEVATION NOTES

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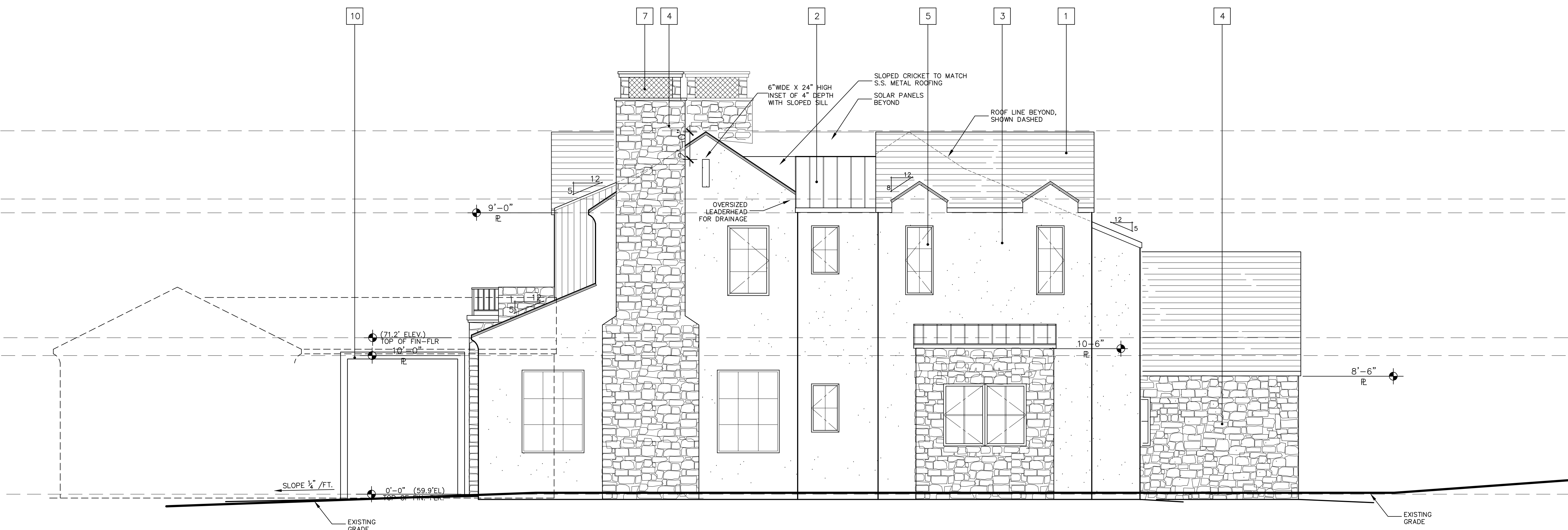
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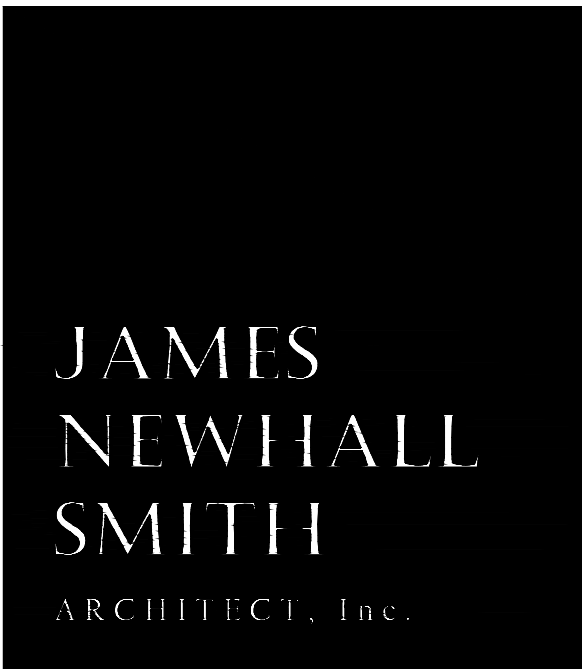
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SOUTHEAST ELEVATION - SIDE

SCALE : 1/4" = 1'-0"



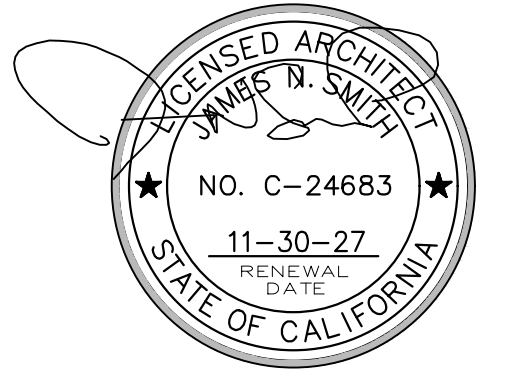
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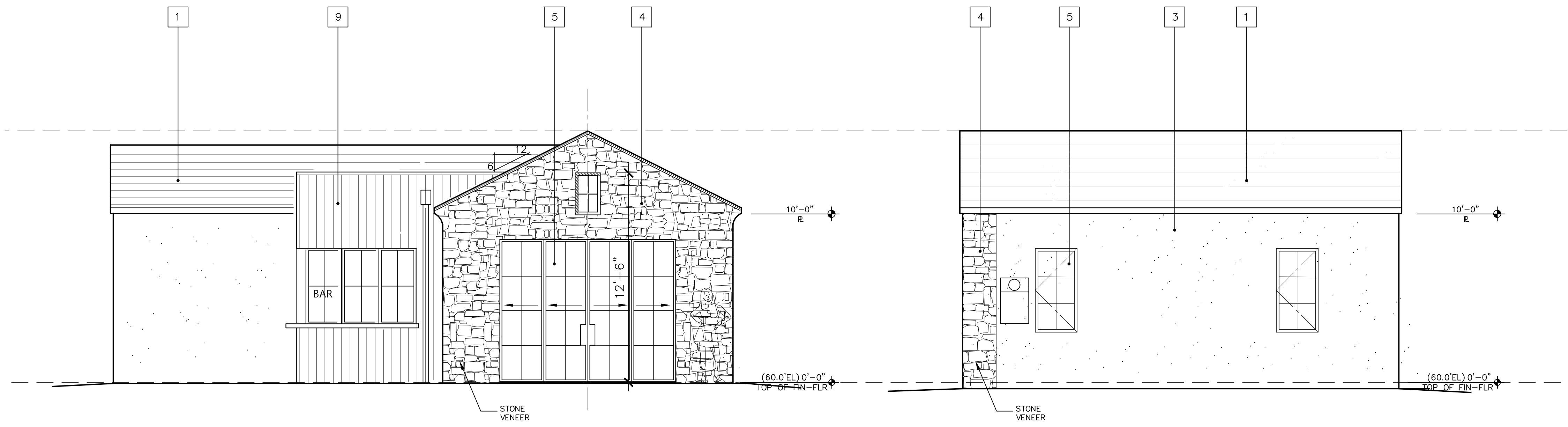
PROJECT NUMBER

SHEET NUMBER

PROGRESS SET -- NOT FOR CONSTRUCTION

A6.1

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NORTHWEST ELEV - ADU

SOUTHWEST ELEV - ADU SCALE : 1/4" = 1'-0" 0' 1' 2' 4' 8'

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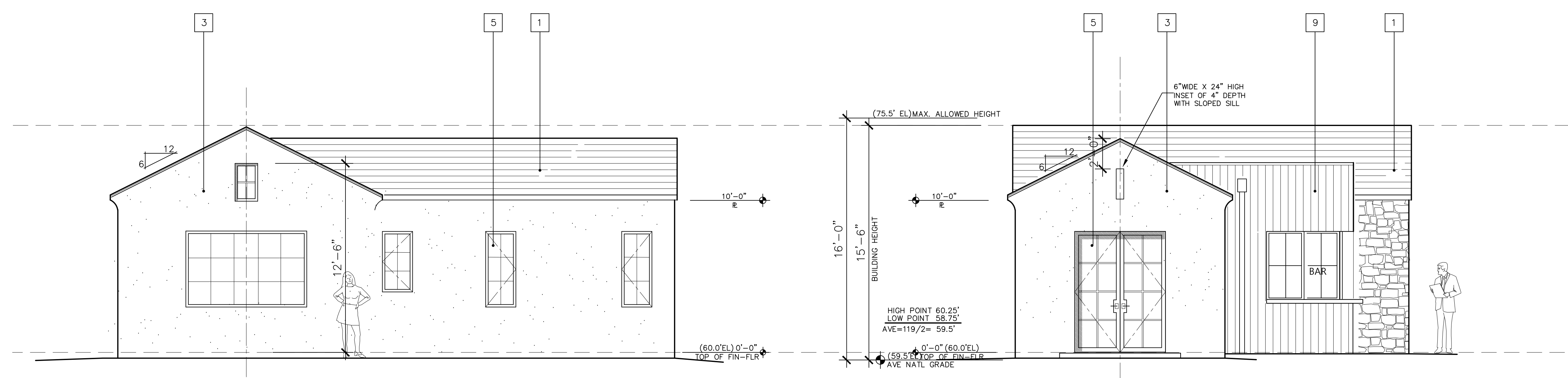
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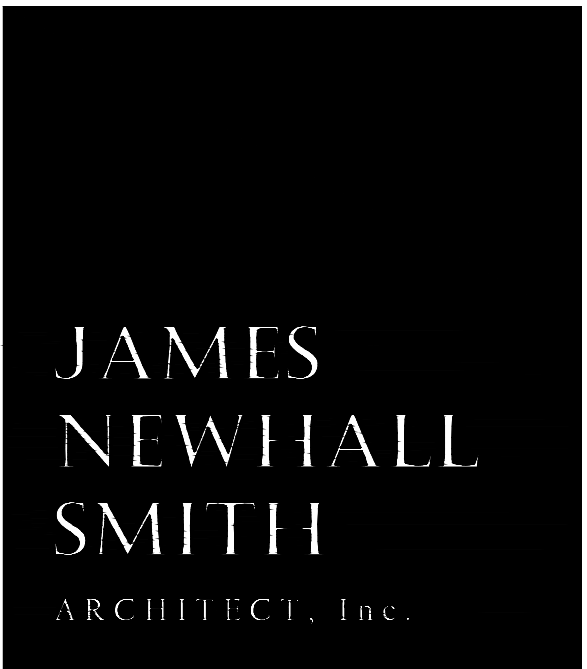
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SOUTHEAST ELEV - ADU

NORTHEAST ELEV - ADU SCALE : 1/4" = 1'-0" 0' 1' 2' 4' 8'



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SHEET TITLE

EXTERIOR ELEVATIONS

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A6.2

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NORTHEAST ELEV - FENCES

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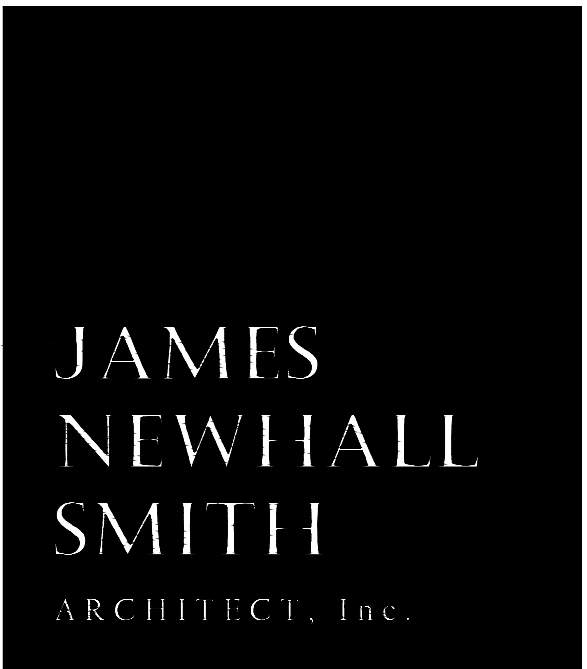
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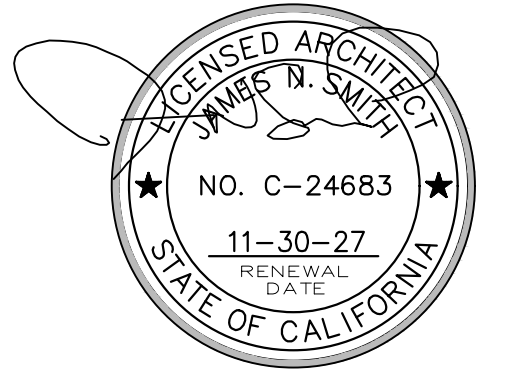
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SHEET TITLE

**EXTERIOR
 ELEVATIONS**

ISSUE REVISIONS

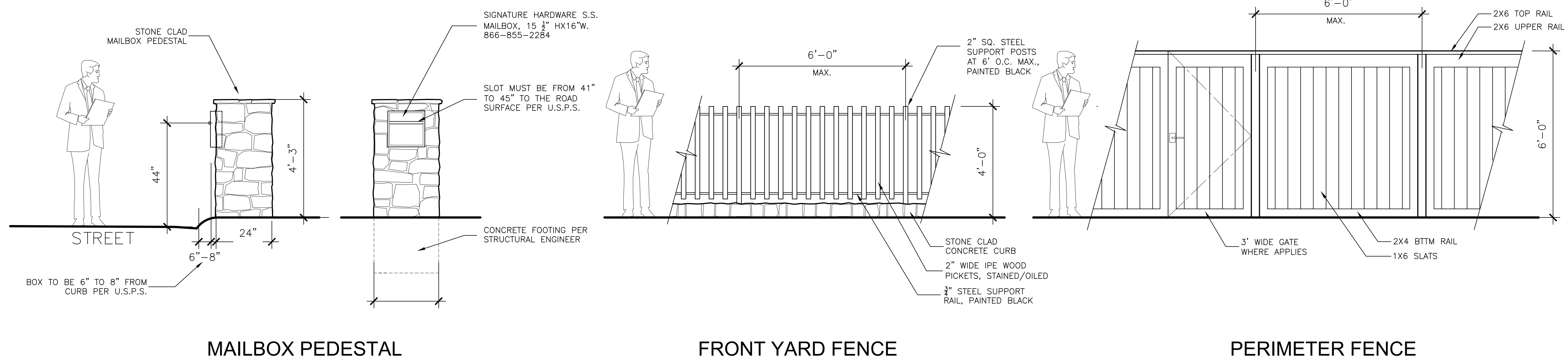
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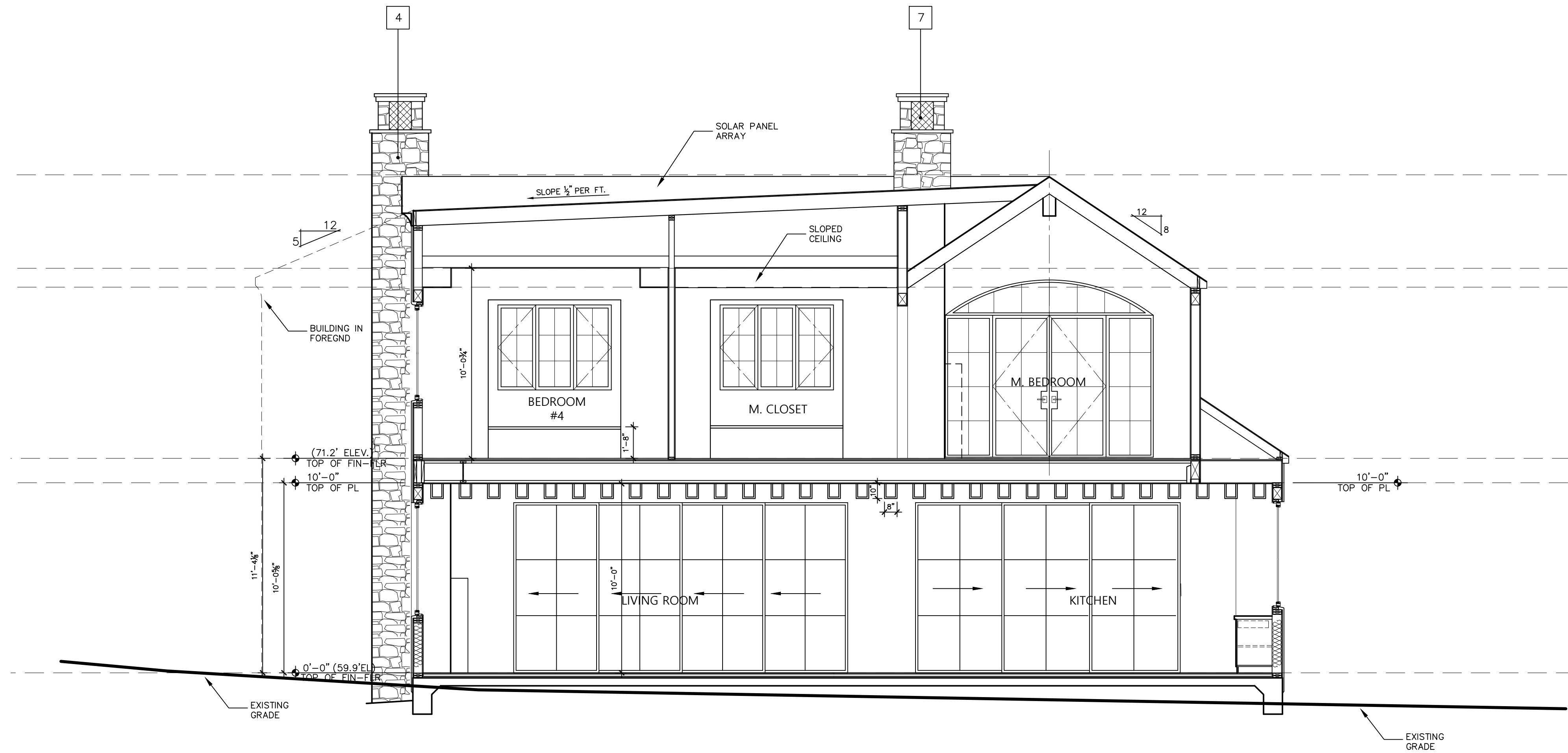


FENCES

SCALE : 1/2" = 1'-0"

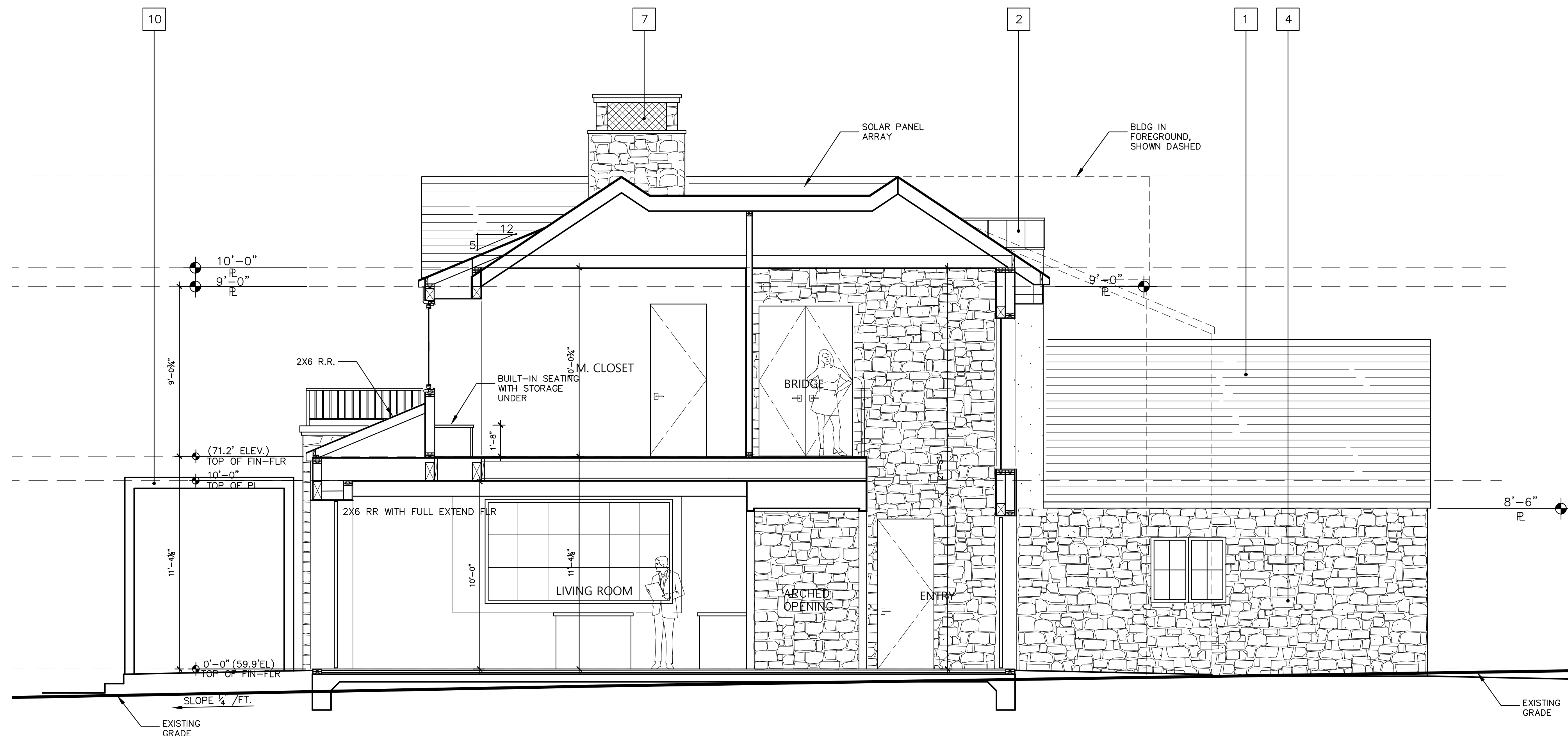
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SECTION 'A'

SCALE : 1/4" = 1'-0"



SECTION 'B'

SCALE : 1/4" = 1'-0"

ELEVATION MATERIALS LEGEND

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ANCHORED STONE VENEER SHALL BE INSTALLED IN ACCORDANCE WITH CRC R703.8 AND R703.12

SECTION NOTES

- 1. CONDITIONED BUILDING ENVELOPE IS CREATED AT UNDERSIDE OF ROOF PLY SHEATHING BY CLOSED CELL FOAM. ATTIC VENTS ARE THEREFORE NOT REQUIRED. CLOSED CELL FOAM OF 3" MINIMUM BUILD-UP FOR R-14 VALUE WITH R-19 FIBERGLASS BATT INSUL APPLIED TO UNDERSIDE OF FOAM FOR MIN. R-30 VALUE
- 2. EXTERIOR WALLS WITH R-21 VALUE BY FIBERGLASS BATTS OR SPIDER (SPRAY APPLIED FIBERGLASS INSULATION) MUST FILL ALL NON-VENTED FRAMING CAVITIES
- 3. INTERIOR WALLS TO HAVE UNFACED SOUND BATT INSULATION
- 4. SEE SHEET A0.1 FIRE PROTECTION NOTES FOR FIREBLOCKING AT FRAMING CAVITIES
- 5. SEE STRUCTURAL DWGS FOR SIZES, LOCATIONS AND CONNECTIONS OF STRUCTURAL MEMBERS. STRUCTURAL DWGS SHALL PREVAIL

JAMES NEWHALL SMITH
ARCHITECT, Inc.

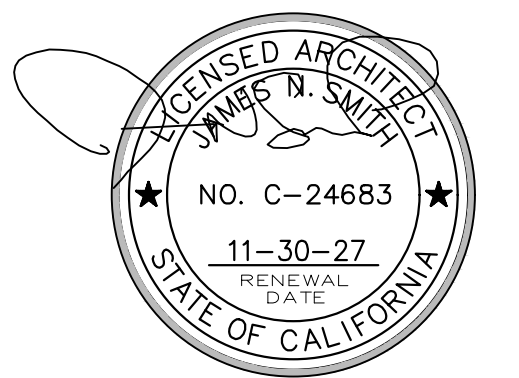
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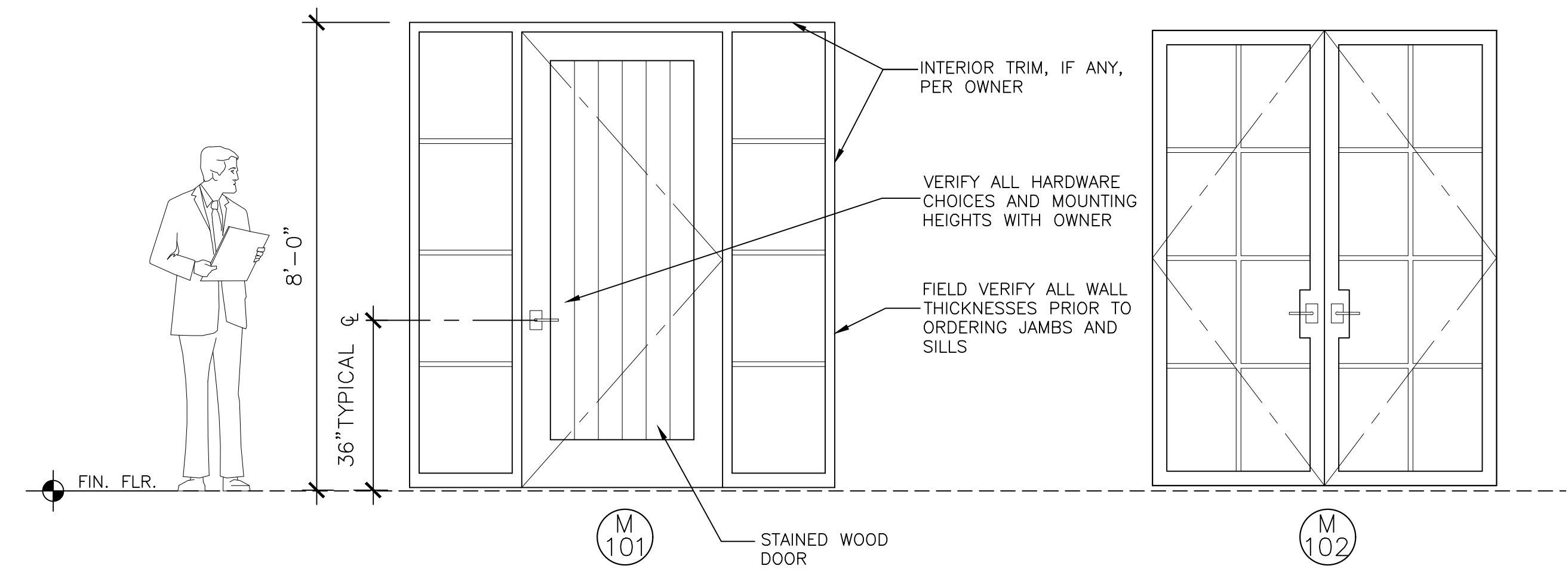
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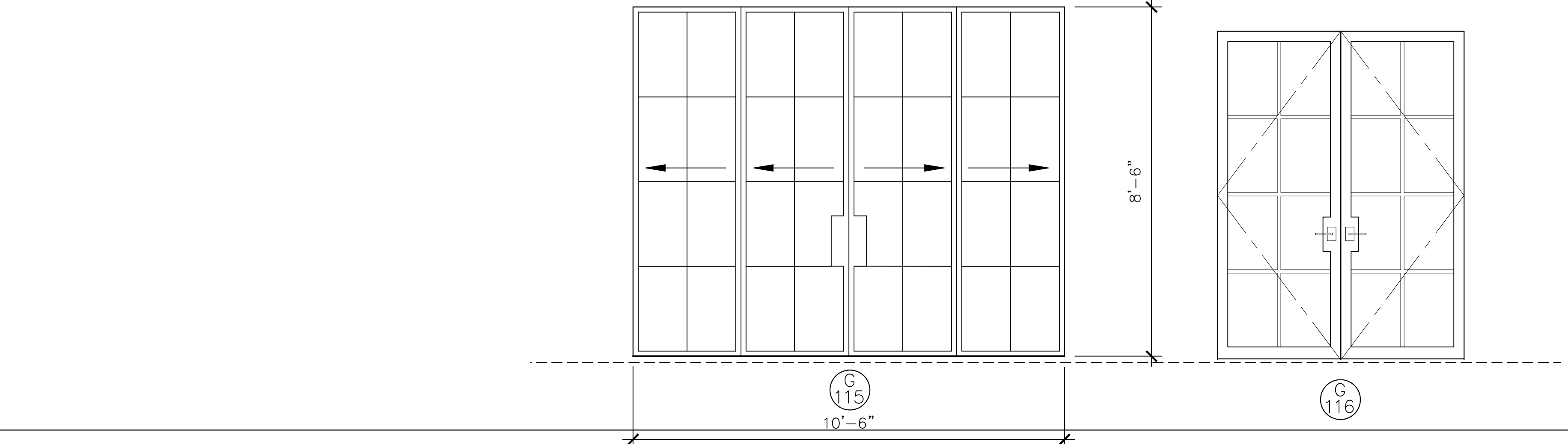
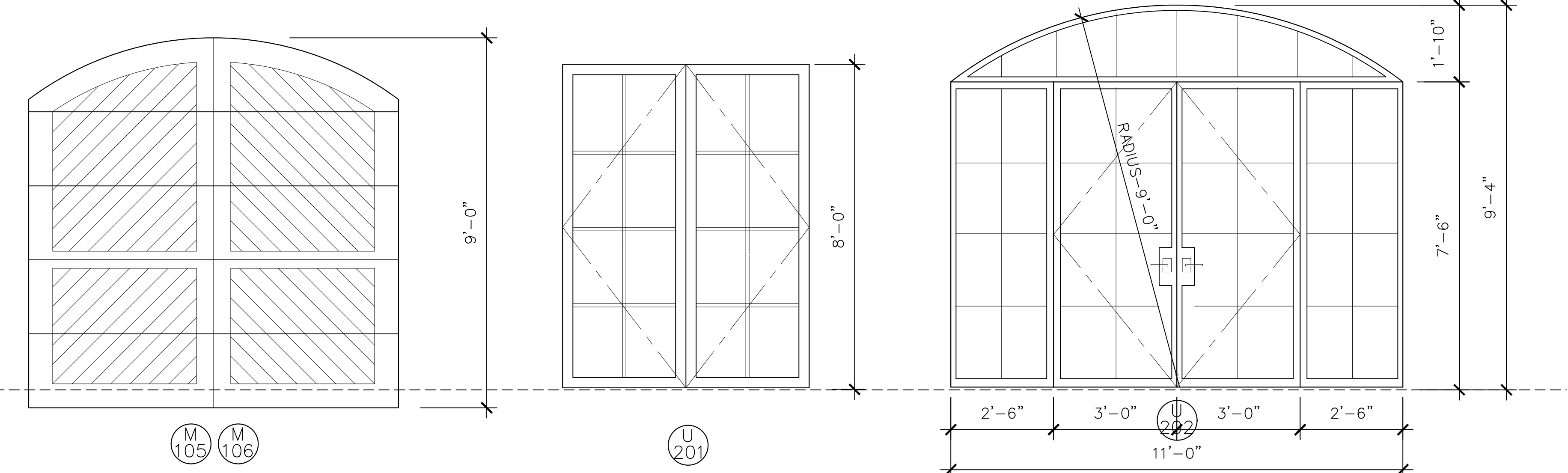
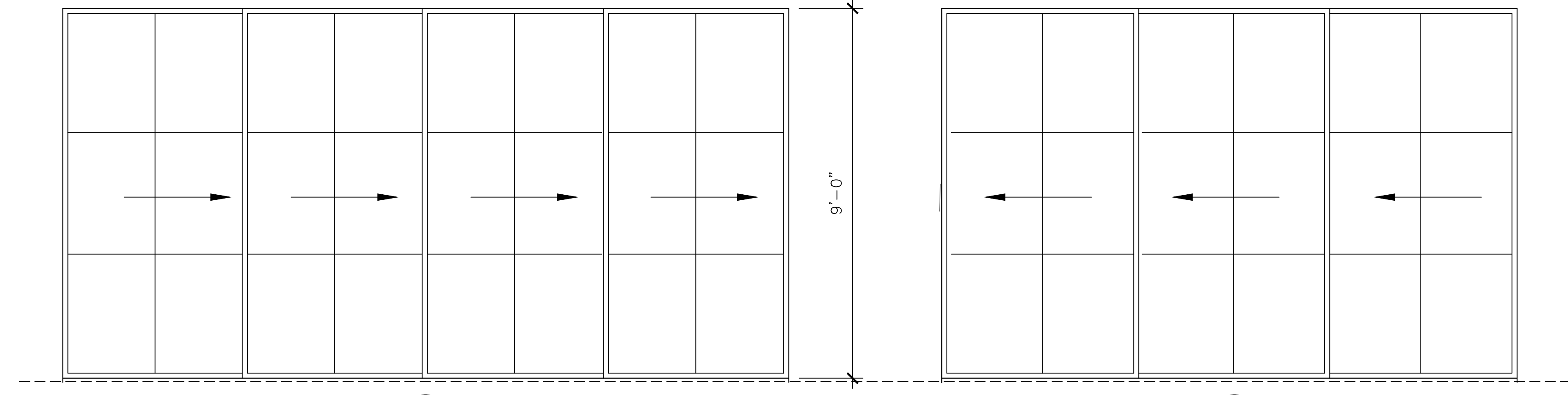


DOOR SCHEDULE

DOOR MARK	DOOR SIZE			FINISH MATL	CORE	FINISH	ACTION	REMARKS
	WIDTH	HEIGHT	THICK.					
MAIN-EXTERIOR								
M101	3'-6"	8'-0"	1-3/4"	WD	SC	STAINED	IN-SWING	SEE WINDOW SCHEDULE FOR SIDELITES
M102	3'-0"	8'-0"	1-3/4"	ALUM	SC	ANOD	OUT-SWING	PAIR, T.G., 8 LITES
M103	17'-8"	9'-0"	1-3/4"	ALUM	SC	ANOD	SLIDING	4 EQ. PANELS, T.G., 6 LITES, POCKET
M104	14'-0"	9'-0"	1-3/4"	ALUM	SC	ANOD	SLIDING	3 EQ. PANELS, T.G., 6 LITES, POCKET
M105	9'-0"	9'-0"	-	ALUM-WD	SC	STAINED	ROLL UP	5 EQ. PANELS, WOOD CLAD
M106	9'-0"	9'-0"	-	ALUM-WD	SC	STAINED	ROLL UP	5 EQ. PANELS, WOOD CLAD
MAIN-INTERIOR								
M107	3'-0"	8'-0"	1-3/4"	WD	SC	PAINT	IN-SWING	20 MIN RATED, WITH SMOKE SEAL, SELF-CLOSING
M108	3'-0"	8'-0"	1-3/8"	WD	SC	PAINT	SWING	
M109	2'-8"	8'-0"	1-3/8"	WD	SC	PAINT	SLIDING	POCKET
M110	2'-8"	8'-0"	1-3/8"	WD	SC	PAINT	SWING	
M111	3'-0"	8'-0"	1-3/8"	WD	SC	PAINT	SWING	
M112	2'-8"	8'-0"	1-3/8"	WD	SC	PAINT	SWING	
M113	3'-0"	8'-0"	1-3/8"	WD	SC	PAINT	SWING	
M114	3'-0"	8'-0"	1-3/8"	WD	SC	PAINT	SWING	
UPPER-EXTERIOR								
U201	3'-0"	8'-0"	1-3/4"	ALUM	SC	ANOD	IN-SWING	PAIR, T.G., 8 LITES
U202	3'-0"	8'-0"	1-3/4"	ALUM	SC	ANOD	OUT-SWING	PAIR, T.G., 8 LITES, SYSTEM SEE ELEVS
UPPER-INTERIOR								
U203	3'-0"	8'-0"	1-3/8"	WD	SC	PAINT	SLIDING	POCKET
U204	2'-6"	8'-0"	1-3/8"	WD	SC	PAINT	SWING	
U205	3'-0"	8'-0"	1-3/8"	WD	SC	PAINT	SLIDING	
U206	2'-6"	8'-0"	1-3/8"	WD	SC	PAINT	SWING	PAIR
U207	3'-0"	8'-0"	1-3/8"	WD	SC	PAINT	SWING	
U208	2'-6"	8'-0"	1-3/8"	WD	SC	PAINT	SLIDING	POCKET
U209	2'-8"	8'-0"	1-3/8"	WD	SC	PAINT	SWING	
U210	3'-0"	8'-0"	1-3/8"	WD	SC	PAINT	SWING	
ADU-EXTERIOR								
G115	10'-6"	8'-6"	1-3/4"	ALUM	SC	ANOD	SLIDING	4 EQ. PANELS, T.G., 8 LITES, POCKET
G116	3'-0"	8'-0"	1-3/8"	ALUM	SC	ANOD	SWING	PAIR, T.G., 8 LITES
ADU-EXTERIOR								
G117	3'-0"	8'-0"	1-3/8"	WD	SC	PAINT	SWING	
G118	3'-0"	8'-0"	1-3/8"	WD	SC	PAINT	SWING	
G119	3'-8"	8'-0"	1-3/8"	WD	SC	PAINT	SLIDING	BARN DOOR

DOOR SCHEDULE NOTES

- DOOR SCHEDULE PROVIDED ABOVE IS PRELIMINARY IN NATURE. CONTRACTOR AND DOOR SUPPLIER SHALL REVIEW AND COMPILE A COMPLETE AND ACCURATE SCHEDULE BASED UPON FRAMED FIELD CONDITIONS AND OWNER PREFERENCES. CONTRACTOR TO VERIFY ALL ASPECTS OF DOORS WITH OWNER PRIOR TO ORDERING.
- CONTRACTOR SHALL REVIEW ALL FIELD CONDITIONS TO ENSURE THAT THE PROPOSED DOOR SIZES AND SWINGS WILL FUNCTION PROPERLY. IF THERE ARE ANY DISCREPANCIES OR CONFLICTS THE CONTRACTOR IS TO NOTIFY THE ARCHITECT IMMEDIATELY THROUGH A REQUEST FOR INFORMATION (R.F.I.)
- DOOR SIZES SHOWN ARE THE PROPOSED DOOR WIDTH AND HEIGHT DIMENSION, NOT THE ROUGH OPENING SIZE. GENERAL CONTRACTOR TO VERIFY MANUFACTURER'S NEAREST STOCK SIZES FOR ARCHITECT/OWNER TO REVIEW AND APPROVE.
- ALL GLAZING IN DOORS SHALL BE TEMPERED GLASS. EXCEPTION IS FOR SMALL DECORATIVE GLASS OR PANE SANDWICHED BETWEEN TEMPERED LAYERS. INSTALLATION IS PER C.B.C. GLAZING TYPE AND STYLE SHALL MATCH WINDOWS, U.N.O.
- SPECIALTY DOORS SHALL BE COORDINATED WITH GENERAL CONTRACTOR FOR SITE VERIFICATION AND INSTALLATION.
- ALL EXTERIOR DOORS SHALL HAVE A COPPER PAN, MIN. 20 OZ., OR OTHER NON-CORROSIVE METAL, HINGES. OUTSWING DOORS SHALL HAVE A 1/2" MAX CHANGE IN ELEVATION TO THE EXTERIOR FINISH SURFACE.
- PER CRC R311.3.1 LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1/2" LOWER THAN THE TOP OF THE THRESHOLD IF OUT-SWING DOOR. IF IN-SWING, EXCEPTION ALLOWS MAX. 7/8" DROP IN SURFACE (R311.3.1) DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 7/8" BELOW TOP OF THE THRESHOLD (R311.3.2)
- ALL EXPOSED EDGES OF DOOR(S) INCLUDING TOP TO BE SEALED TO PREVENT MOISTURE PENETRATION AND WARPING. DOORS ARE TO BE STORED VERTICALLY AT JOB SITE AND OUT OF ALL INCLEMENT WEATHER CONDITIONS AND TO BE HUNG AS QUICKLY AS POSSIBLE, ONCE REACHING THE JOB SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MINIMIZE THE AMOUNT OF TIME FOR ON-SITE STORAGE OF DOORS AND WINDOWS PRIOR TO INSTALL.
- ALL FRENCH DOORS ARE TO HAVE DEAD BOLTS AND THREE WAY CONNECTING HARDWARE TO MAXIMIZE CONTINUOUS SEAL AGAINST WIND/WEATHER.
- DOORS REQUIRED TO HAVE 20 MINUTE RATING TO BE MIN. 1 3/8" SOLID WOOD AND SHALL BEAR THE U.L. LABEL NO RAISED PANELS OR OTHER FEATURES MAY REDUCE THIS MINIMUM THICKNESS. SHOULD VENEERS BE APPLIED TO PRE-MANUFACTURED 20 MIN. RATED DOORS, CARE IS TO BE TAKEN NOT TO VIOLATE THE RATING DURING APPLICATION.
- WEATHER-STRIPING OF EXTERIOR DOORS SHALL BE CONTINUOUS ON ALL SIDES OF EACH DOOR AND SHALL BE SIZED, DESIGNED, AND FITTED TO PROVIDE FULL WATER-TIGHTNESS AGAINST WATER AND DRIVING RAIN. CONTRACTOR SHALL WATER TEST A MINIMUM OF ONE DOOR AFTER INSTALLATION ON SIDE OF RESIDENCE WHERE EXPOSURE TO WEATHER IS GREATEST, AND REPORT FINDINGS TO OWNER AND ARCHITECT.
- AT LEAST ONE EGRESS DOOR SHALL BE PROVIDED FOR ALL DWELLING UNITS. THE DOOR SHALL BE SIDE-HINGED, AND SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32" WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WHEN OPEN TO 90 DEGREES. THE MINIMUM CLEAR HEIGHT SHALL BE 78" WHEN MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP. ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE INSIDE OF THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT, PER CRC R311.2.
- AT ALL STATE RESPONSIBILITY AREAS (SRA) EXTERIOR DOOR ASSEMBLIES SHALL BE APPROVED NON-COMBUSTIBLE CONSTRUCTION, OR SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8" THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1 1/4" THICK, OR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252, OR MEET THE REQUIREMENTS OF SFM-7A-1. (SEE ALSO CRC 327 WILDLAND URBAN INTERFACE)



DOOR ELEVATIONS

SCALE : 1/2" = 1'-0"

JAMES NEWHALL SMITH
ARCHITECT, Inc.

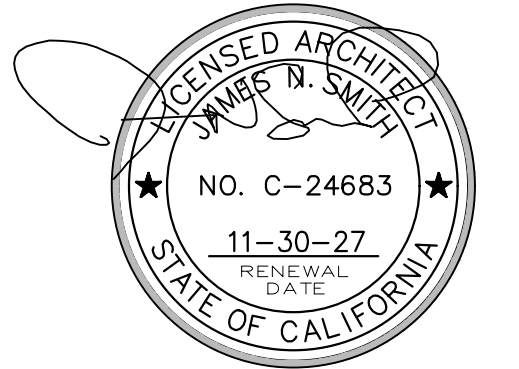
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PROJECT/CLIENT

ANZOATEGUI RESIDENCE

2975 CORMORANT RD.
PEBBLE BEACH, CA.



SHEET TITLE

DOOR SCHEDULE

ISSUE REVISIONS

- 1 05-06-25 PRELIM. REVIEW
- 2 08-21-25 PEBBLE BEACH ARB
- 3 01-12-26 P.B. RESUBMITTAL

DATE

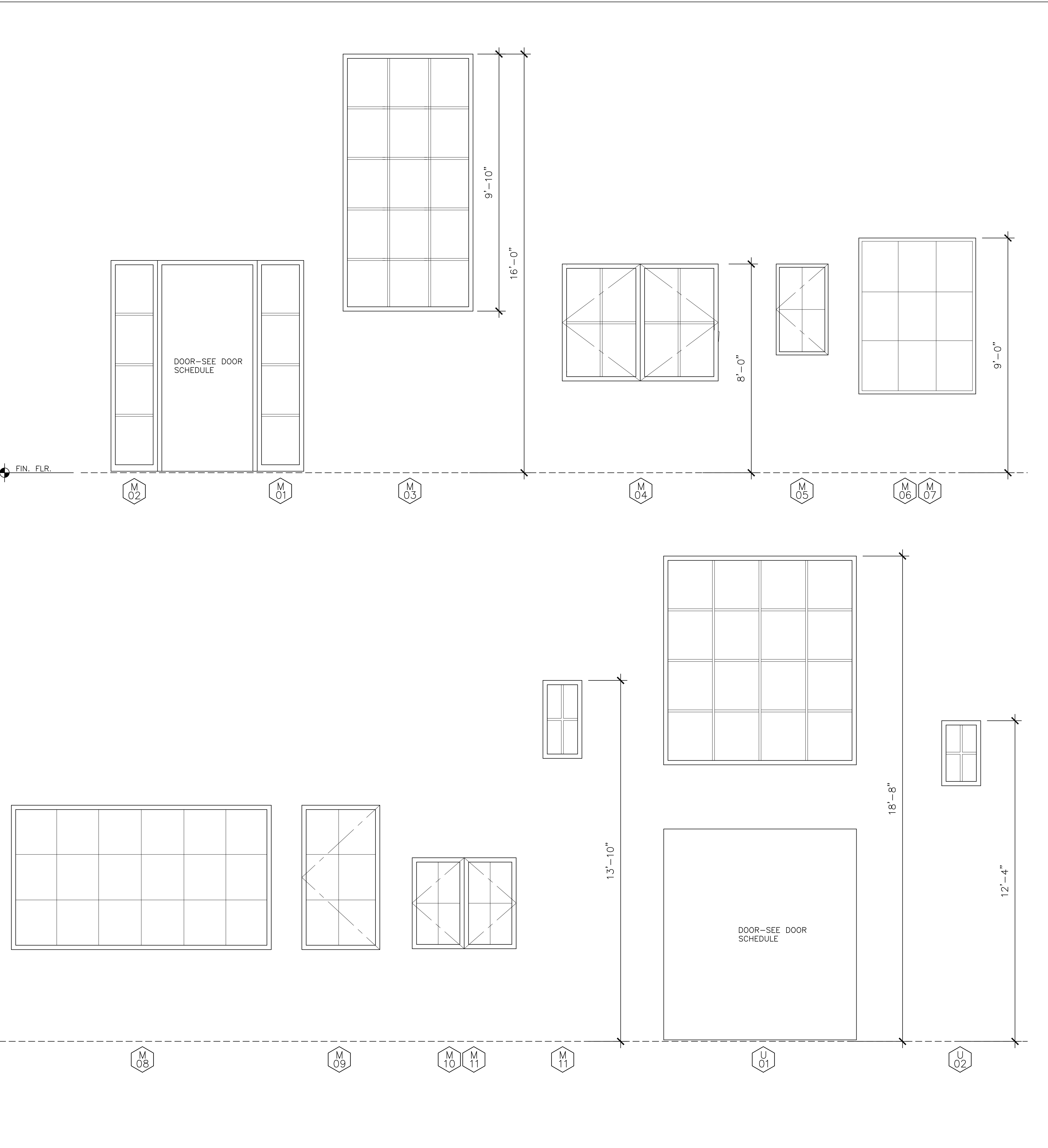
PROJECT NUMBER

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A9.0

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WINDOW ELEVATIONS

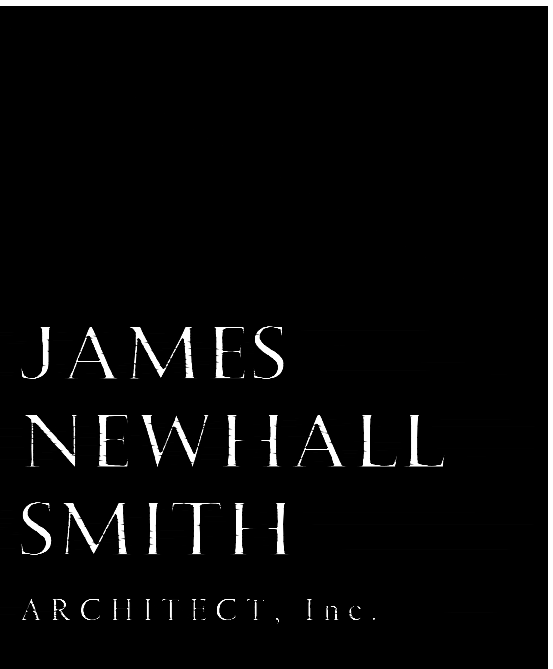
SCALE : 1/2" = 1'-0"

WINDOW SCHEDULE

MARK	UNIT SIZE WIDTH X HEIGHT	HEAD HEIGHT ABOVE FIN. FLR.	TYPE OF OPERABILITY	FRAME MATERIAL	REMARKS
					WINDOW REP TO VERIFY TYPE OF GLASS AND TINT/FILM WITH OWNER RE ALL WINDOWS. SEE ALL NOTES AND "GENERAL" NOTE #4 BELOW
MAIN RESIDENCE					
M01	1'-10"X8'-0"	8'-0"	FIXED	ALUM	T.G., 4 LITE
M02	1'-10"X8'-0"	8'-0"	FIXED	ALUM	T.G., 4 LITE
M03	5'-0"X9'-10"	16'-0"	FIXED	ALUM	T.G., 15 LITES
M04	6'-0"X4'-6"	8'-0"	DBL CASE	ALUM	4 LITES
M05	2'-0"X3'-6"	8'-0"	CASE	ALUM	4 LITES
M06	4'-6"X6'-0"	9'-0"	FIXED	ALUM	9 LITES
M07	4'-6"X6'-0"	9'-0"	FIXED	ALUM	9 LITES
M08	10'-0"X5'-6"	9'-0"	FIXED	ALUM	18 LITES
M09	3'-0"X5'-6"	9'-0"	CASE	ALUM	6 LITES
M10	4'-0"X3'-6"	7'-0"	DBL CASE	ALUM	4 LITES
M11	4'-0"X3'-6"	7'-0"	DBL CASE	ALUM	4 LITES
M12	1'-6"X3'-0"	13'-10"	FIXED	ALUM	4 LITES
UPPER LEVEL					
U01	7'-6"X3'-6"	18'-8"	FIXED	ALUM	16 LITES
U02	1'-6"X2'-6"	12'-4"	FIXED	ALUM	4 LITES
U03	2'-0"X5'-0"	8'-0"	CASE	ALUM	6 LITES
U04	2'-0"X5'-0"	8'-0"	CASE	ALUM	6 LITES
U05	2'-0"X3'-6"	8'-0"	CASE	ALUM	4 LITES T.G.
U06	3'-0"X5'-0"	8'-0"	CASE	ALUM	6 LITES
U07	6'-0"X5'-0"	8'-0"	CASE-FIX-CASE	ALUM	6 LITES
U08	6'-0"X5'-0"	8'-0"	CASE-FIX-CASE	ALUM	6 LITES
U09	2'-6"X5'-0"	8'-0"	CASE	ALUM	6 LITES
U10	2'-6"X5'-0"	8'-0"	CASE	ALUM	6 LITES
U11	6'-6"X5'-0"	8'-0"	CASE	ALUM	6 LITES LOWER TO 30" SILL?
U12	2'-6"X5'-0"	10'-0"	CASE	ALUM	6 LITES
U13	2'-6"X5'-0"	10'-0"	CASE	ALUM	6 LITES
ADU					
G01	1'-6"X2'-6"	12'-10"	FIXED	ALUM	4 LITES
G02	2'-0"X5'-0"	8'-0"	CASE	ALUM	6 LITES
G03	2'-0"X5'-0"	8'-0"	CASE	ALUM	6 LITES
G04	2'-0"X4'-0"	8'-0"	CASE	ALUM	T.G., 6 LITES
G05	8'-0"X5'-0"	8'-0"	FIXED	ALUM	15 LITES
G06	1'-6"X2'-6"	12'-10"	FIXED	ALUM	4 LITES
G07	2'-6"X5'-0"	8'-0"	CASE	ALUM	6 LITES
G08	2'-6"X5'-0"	8'-0"	CASE	ALUM	6 LITES
G09	5'-2"X4'-6"	8'-0"	SLIDER	ALUM	2 PANELS, 4 LITES
G10	7'-0"X4'-6"	8'-0"	SLIDER	ALUM	3 PANELS, 4 LITES

WINDOW SCHEDULE NOTES

- GENERAL**
- WINDOW SCHEDULE PROVIDED ABOVE IS PRELIMINARY IN NATURE. CONTRACTOR AND WINDOW SUPPLIER SHALL COMPILE A COMPLETE AND ACCURATE SCHEDULE BASED UPON FRAMED FIELD CONDITIONS OF PROJECT AND OWNER CHANGES/PREFERENCES. SPECIALTY WINDOWS MUST BE COORDINATED WITH THE GENERAL CONTRACTOR.
 - WINDOW DIMENSIONS ARE PROPOSED UNIT SIZES. GENERAL CONTRACTOR IS TO VERIFY ALL PROPOSED WINDOW SIZES WITH SITE CONDITIONS AND FOR MANUFACTURER'S NEAREST STOCK SIZES, WHEN APPLICABLE. ALL WINDOW SIZES, SHAPES, COLORS, HARDWARE, SCREENS, GLAZING, ETC. MUST BE APPROVED BY OWNER PRIOR TO ORDERING. CONTRACTOR SHALL PROVIDE ARCHITECT COMPLETE STRUCTURAL WINDOW SHOP DRAWINGS FOR REVIEW.
 - ALL WINDOWS ARE TO BE DOUBLE GLAZED UNLESS OTHERWISE NOTED, SEE TITLE 24 CALCS FOR REQUIRED MIN. VALUES
 - DUAL GLAZING IS TO BE LOW-E CARDINAL "270" GLAZING. OWNERS TO VERIFY WITH WINDOW REP WHICH, IF ANY, WINDOWS ARE TO BE "366" GLASS OR HAVE TINT WITHIN GLAZING, DUE TO SUN EXPOSURE. FILM IS NOT RECOMMENDED FOR DUAL GLAZED UNITS
 - ALL WINDOWS SHALL HAVE A SOLDERED COPPER PAN, MINIMUM 20 OZ., WITH MOISTSTOP OR EQUIVALENT WATERPROOFING SYSTEM. GALVANIZED IRON IS ACCEPTABLE IN NON-COASTAL ENVIRONMENTS. SEE DETAIL.
 - WEATHER-STRIPING OF ALL WINDOWS SHALL BE CONTINUOUS ON ALL SIDES OF EACH WINDOW AND SHALL BE SIZED, DESIGNED, AND FITTED TO PROVIDE FULL WATER-TIGHTNESS AGAINST WATER AND DRIVING RAIN. CONTRACTOR SHALL WATER TEST A MINIMUM OF ONE WINDOW AFTER INSTALLATION ON SIDE OF RESIDENCE WHERE EXPOSURE TO WEATHER IS GREATEST, AND REPORT FINDINGS TO OWNER AND ARCHITECT.
 - WINDOWS WHICH EXCEED STANDARD SIZES SHALL BE VERIFIED BY WINDOW SUPPLIER FOR ENGINEERING AND WIND LOAD AT GIVEN PROJECT LOCATION AND PLACEMENT OF WINDOW(S) ON RESIDENCE (EXPOSURE)
 - REQUIRED NATURAL LIGHT FOR EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL HAVE GLAZED OPENINGS WITH AN AREA OF NOT LESS THAN 8% OF ROOM FLOOR AREA. (CRC R303.1).
 - REQUIRED NATURAL VENTILATION IN OCCUPIED SPACES THROUGH OPENABLE EXTERIOR WALL OPENINGS SHALL BE AN AREA NOT LESS THAN 4% OF THE AREA BEING VENTILATED. (CRC R303.1).
- SAFETY**
- BASEMENTS AND EACH SLEEPING ROOM SHALL HAVE MIN. ONE EGRESS WINDOW WITH A NET CLEAR OPENABLE AREA OF 5.7 S.F., WITH THE MIN. NET CLEAR OPENABLE HEIGHT OF 24" AND THE MIN. NET CLEAR WIDTH SHALL BE 20" (R310.2.1). THE SILL HEIGHT SHALL BE MAX. 44" A.F.F. (R310.2.2). EXCEPTIONS: BASEMENTS WITH A CEILING OF LESS THAN 80" OR LESS THAN 20 S.F. IN FLOOR AREA SHALL NOT BE REQUIRED TO HAVE AN EMERGENCY ESCAPE AND RESCUE WINDOWS (CRC R310.1). (NOTE: TYPICALLY A 25" WIDE CASEMENT WITH BUTT HINGES WILL MEET CODE MINIMUM WIDTH, VERIFY WITH WINDOW REP)
 - ALL CASEMENT WINDOWS USED IN BEDROOMS AS EMERGENCY EGRESS MUST BE "BREAK AWAY" TYPE TO ENSURE COMPLETE OPENABLE AREA FOR ACCESS.
 - ALL GLAZING SUBJECT TO HUMAN IMPACT IN HAZARDOUS LOCATIONS AS DEFINED IN CRC R308.4 SHALL MEET MINIMUM REQUIREMENTS OF CRC R308.3.1, INCLUDING GLASS MIRRORS, SHALL BE TEMPERED GLASS OR WIRE SAFETY GLASS (CBC 2406)
 - GLAZING IN AN INDIVIDUAL, FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE SHALL BE SAFETY GLASS (CRC 308.4.2)
 - ALL OPERABLE WINDOWS ABOVE ADJACENT GRADE BY 6" OR MORE AND LOCATED WITHIN 36" OF THE FINISHED FLOOR, OR OTHERWISE VULNERABLE TO A PERSON FALLING OUT, SHALL HAVE SUITABLE RESTRAINT BAR(S) INSTALLED. THE BUILDING OWNER CAN ELECT NOT TO INSTALL RESTRAINTS AT THEIR SOLE DISCRETION. INSECT SCREENS DO NOT OFFER PROTECTION AGAINST PERSONS FALLING OUT OF A WINDOW.
 - WINDOWS THAT MEET ALL CONDITIONS SHALL BE TEMPERED PER CRC R308.4.3. WHERE EXPOSED AREA OF INDIVIDUAL PANE IS GREATER THAN 9 SQUARE FEET, EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR, EXPOSED TOP EDGE IS GREATER THAN 36" ABOVE THE FLOOR, AND ONE OR MORE WALKING SURFACES ARE WITHIN 36", MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING, SHALL BE TEMPERED GLAZING.(R308.4.3)
 - GLAZING IN WET AREAS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE TEMPERED.
- W.U.I.**
- FOR PROJECTS LOCATED WITHIN WILDLAND URBAN INTERFACE (W.U.I.) ZONES, ADDITIONAL REQUIREMENTS SHALL APPLY. THE TEMPERING OF THE OUTER-MOST PANE OF GLASS OF EVERY WINDOW IS REQUIRED PER CRC R337.8. WINDOWS SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET THE REQUIREMENTS OF SFM 12-7A-2 (R337.8.2.1)



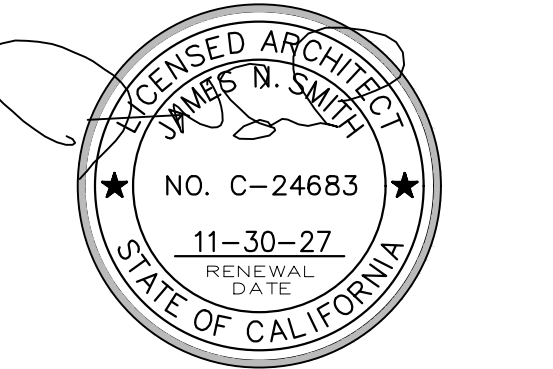
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PROJECT/CLIENT

ANZOATEGUI
RESIDENCE

2975 CORMORANT RD.
PEBBLE BEACH, CA.



SHEET TITLE

WINDOW SCHEDULE

ISSUE REVISIONS

- 1 05-06-25 PRELIM. REVIEW
- 2 08-21-25 PEBBLE BEACH ARB
- 3 01-12-26 P.B. RESUBMITTAL

DATE

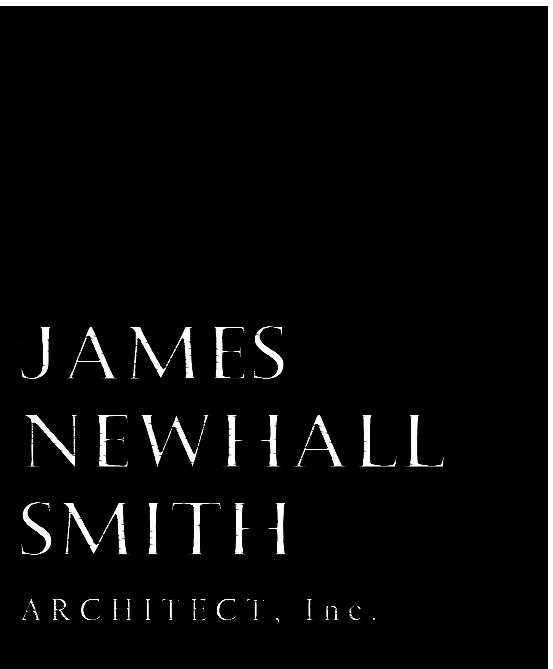
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A9.1

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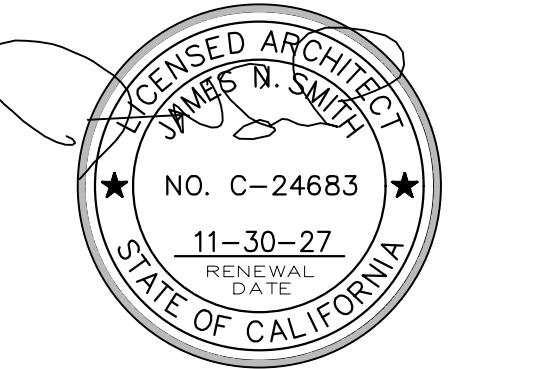
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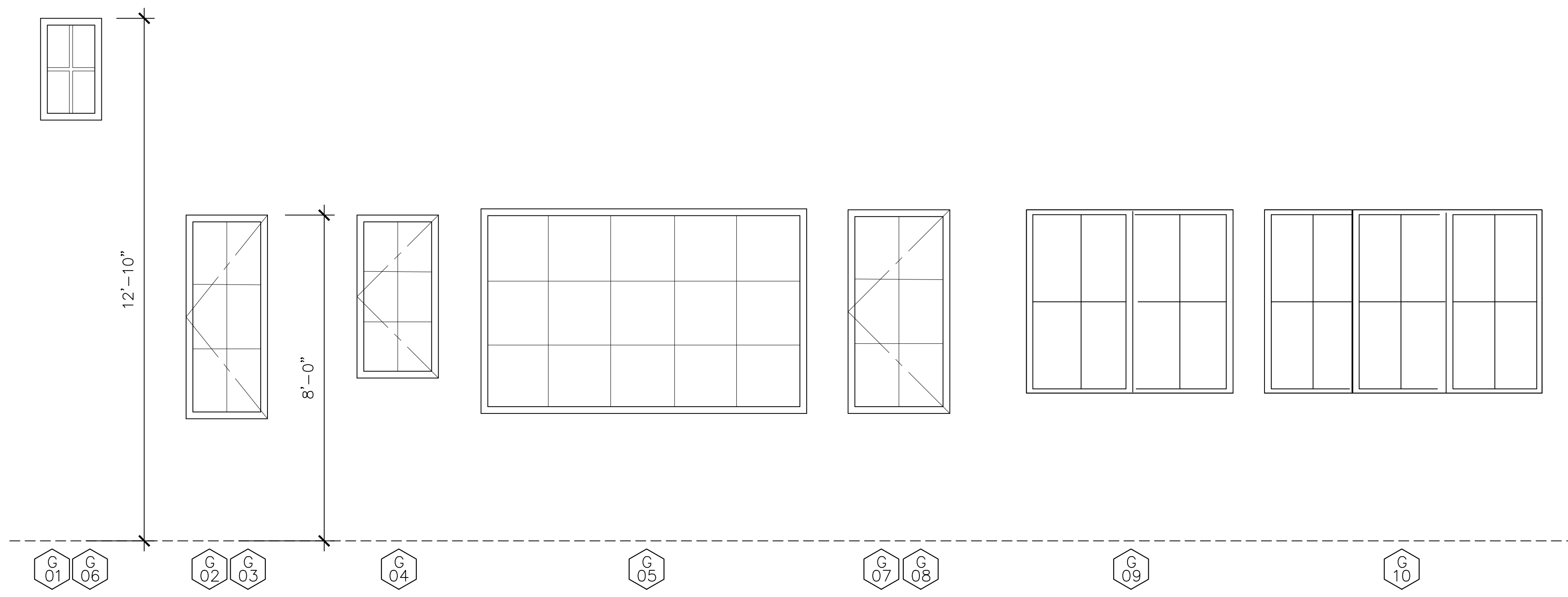
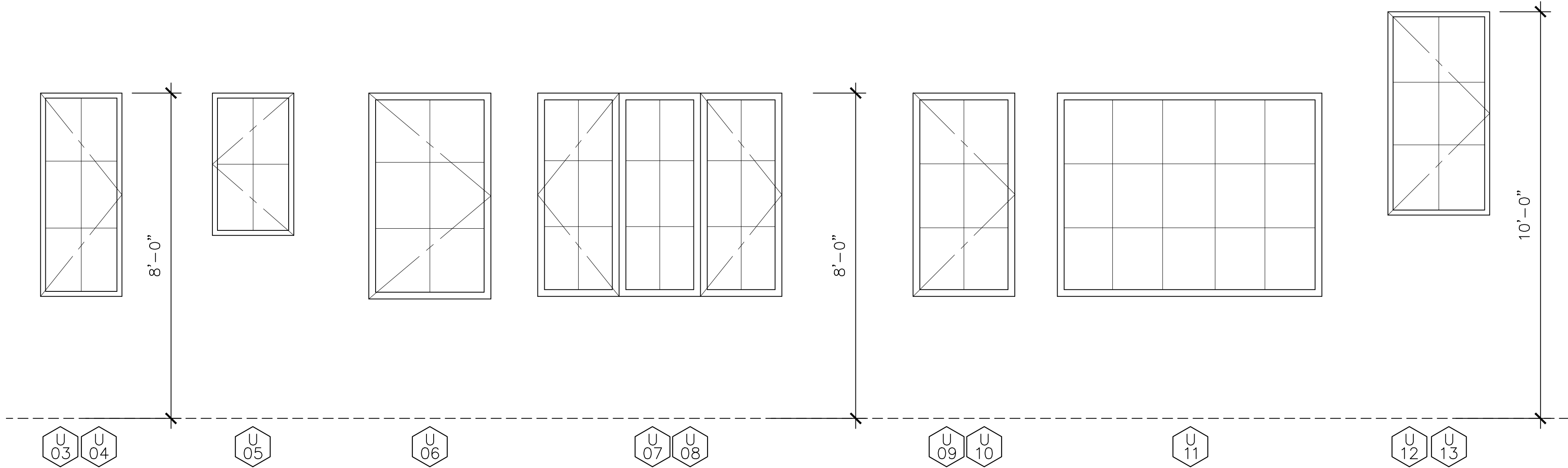
DATE

PROJECT NUMBER

SHEET NUMBER

A9.2

PROGRESS SET - NOT FOR CONSTRUCTION



WINDOW ELEVATIONS

SCALE : 1/2" = 1'-0"

WINDOW SCHEDULE NOTES

GENERAL

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- WINDOWS THAT MEET ALL CONDITIONS SHALL BE TEMPERED PER CRC R308.4.3. WHERE EXPOSED AREA OF INDIVIDUAL PANE IS GREATER THAN 9 SQUARE FEET, EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR, EXPOSED TOP EDGE IS GREATER THAN 36" ABOVE THE FLOOR, AND ONE OR MORE WALKING SURFACES ARE WITHIN 36", MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING, SHALL BE TEMPERED GLAZING.(R308.4.3)
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W.U.I.

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