

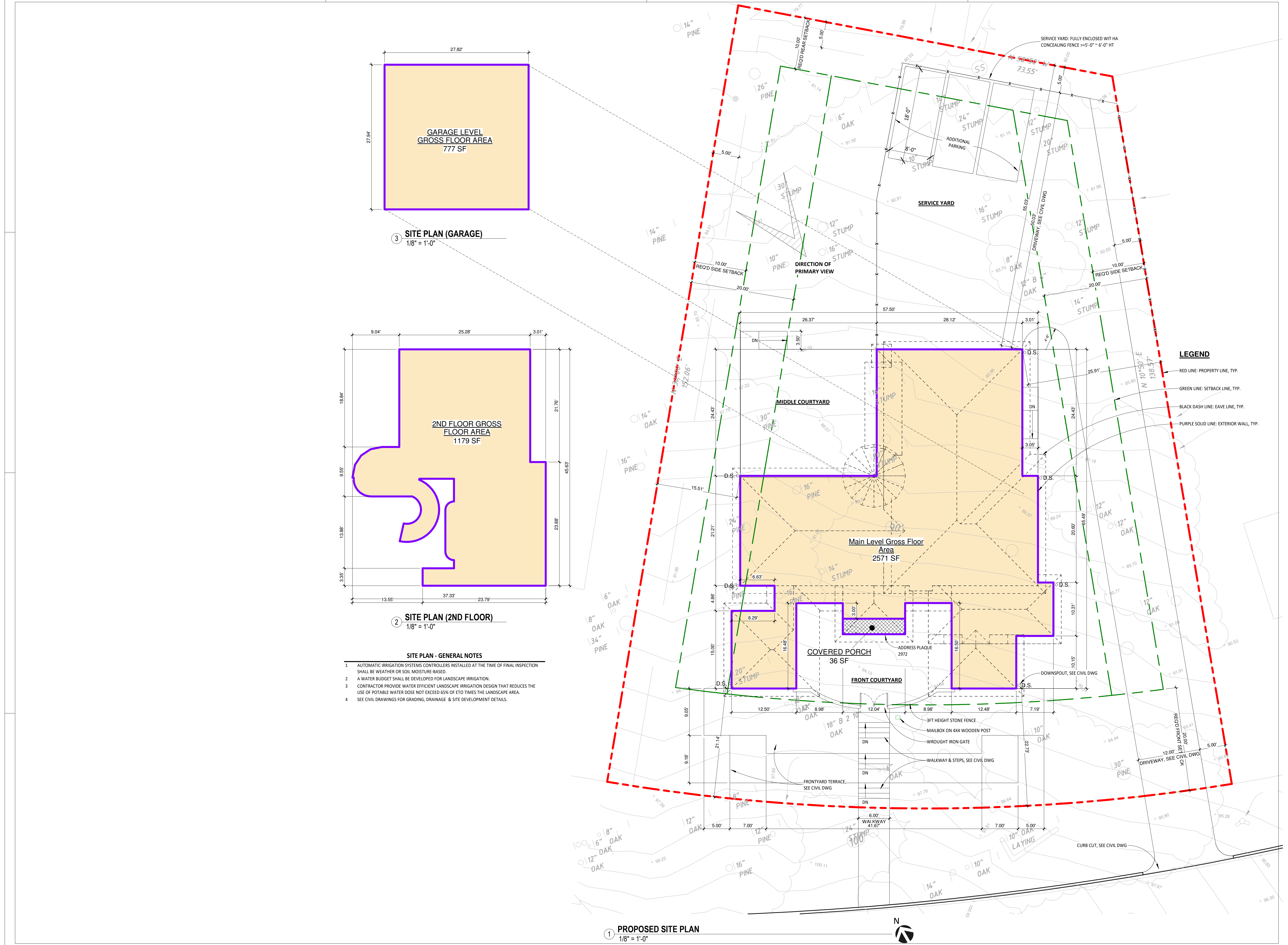
ASHKAR NEW RESIDENCE

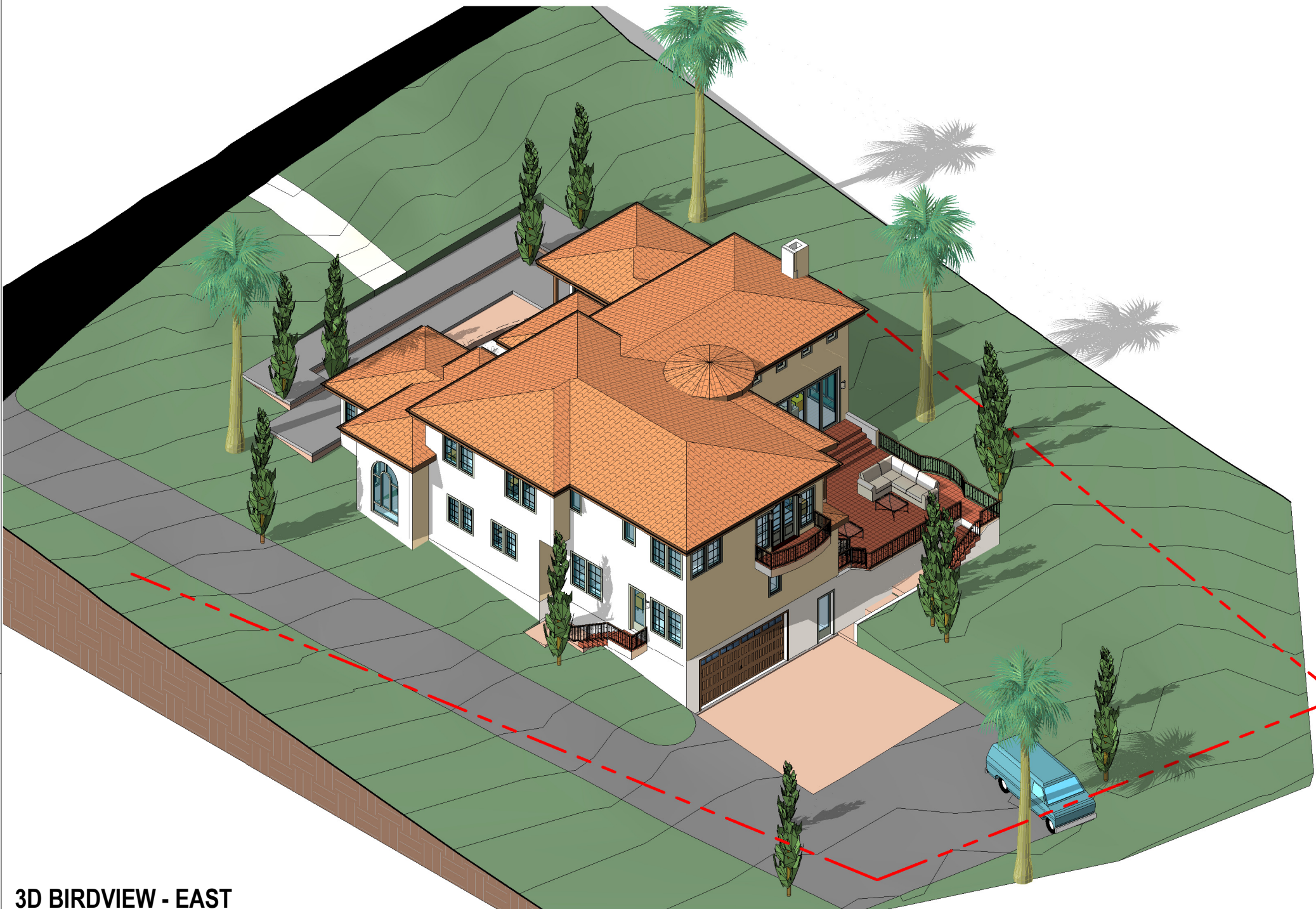
Kamran Ashkar
2972 Colton Rd, Pebble Beach, CA 93953

No.	Description	Date
	CLIENT REVIEW v9	05.07.24
	ISSUED FOR ARB REVIEW	11.14.24
	ISSUED FOR PLN REVIEW	11.15.24

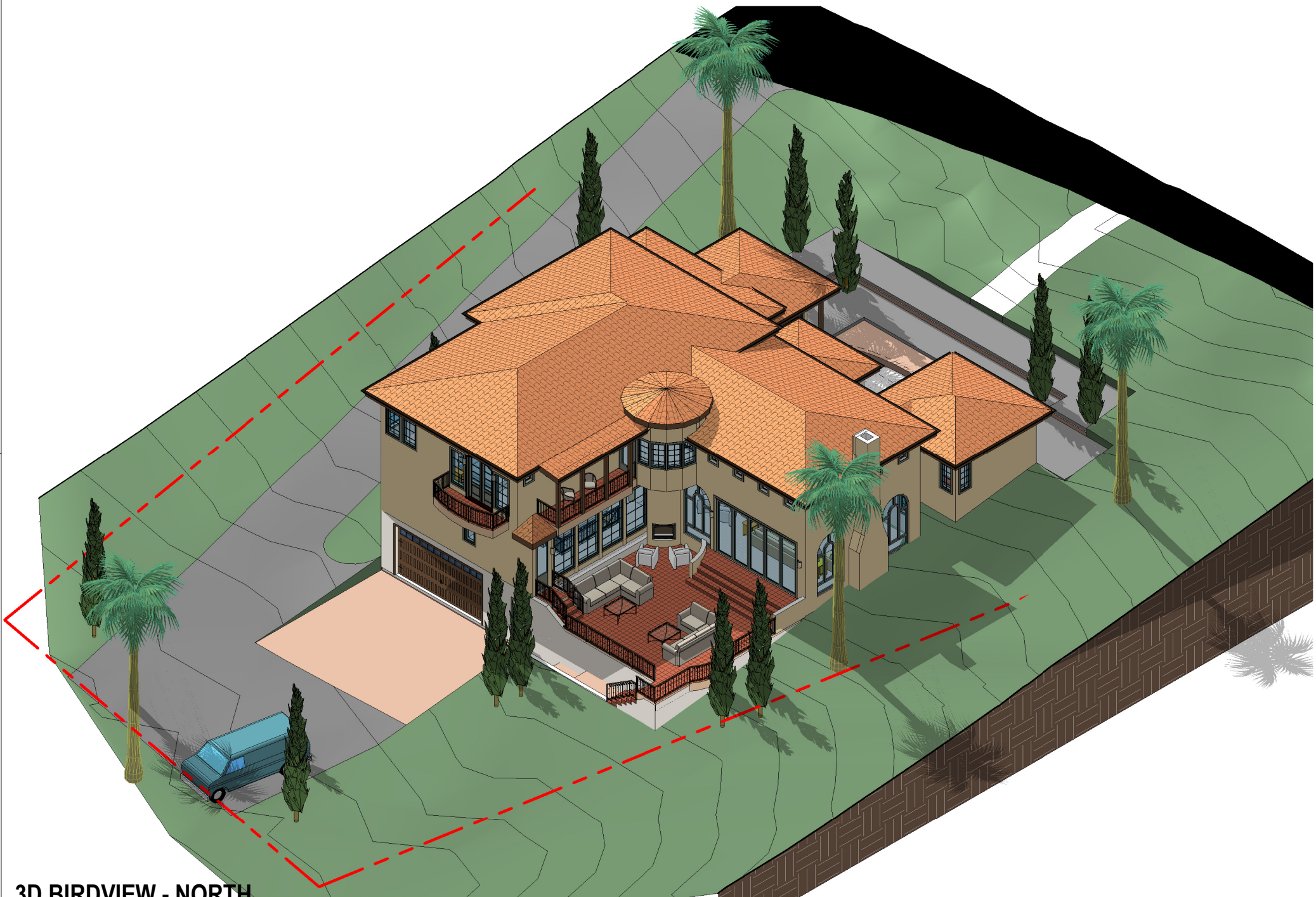
PROPOSED SITE PLAN

SCALE	1/8" = 1'-0"
PROJECT NO	KD240317
SHEET NUMBER	A1.0





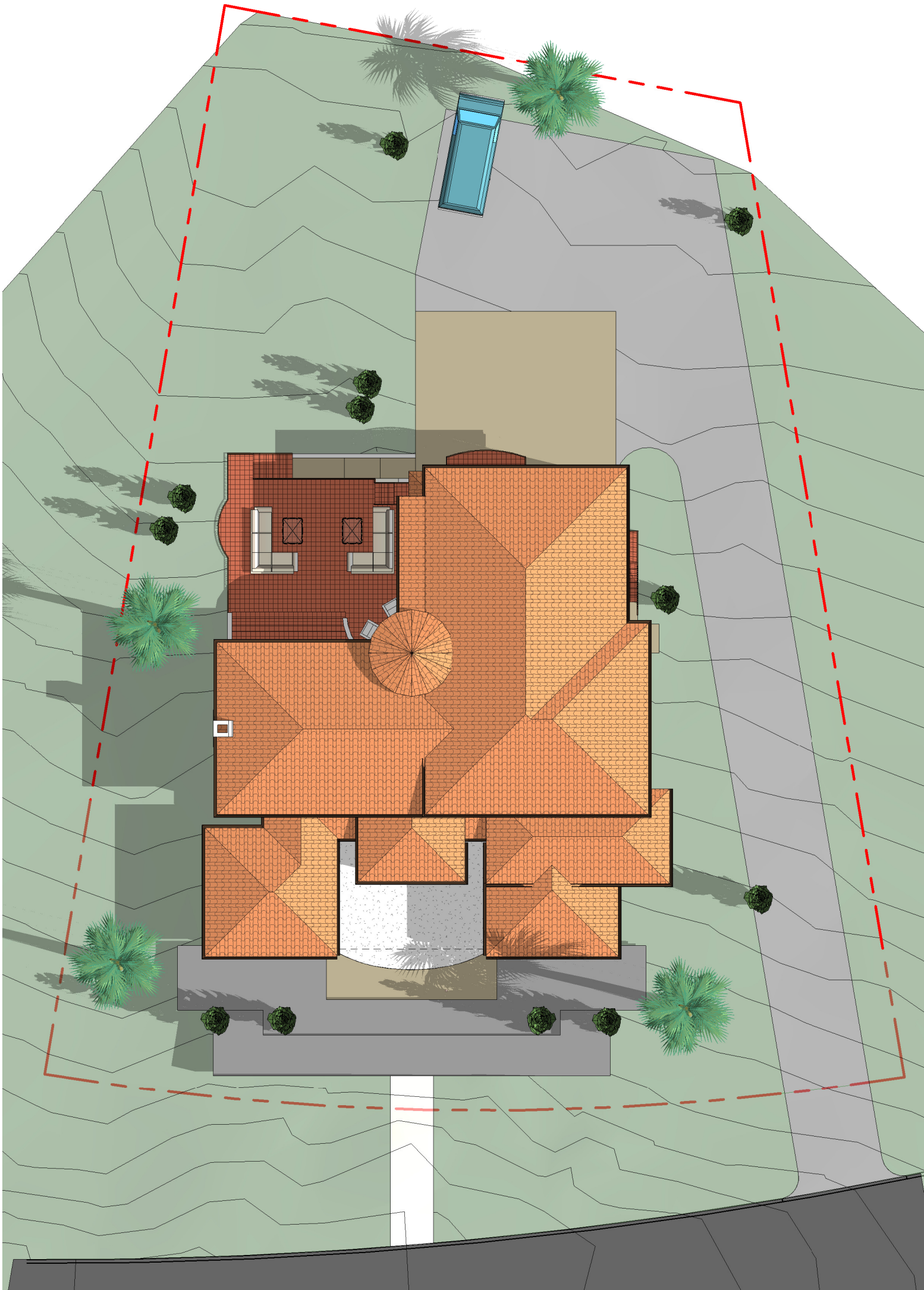
3D BIRDVIEW - EAST



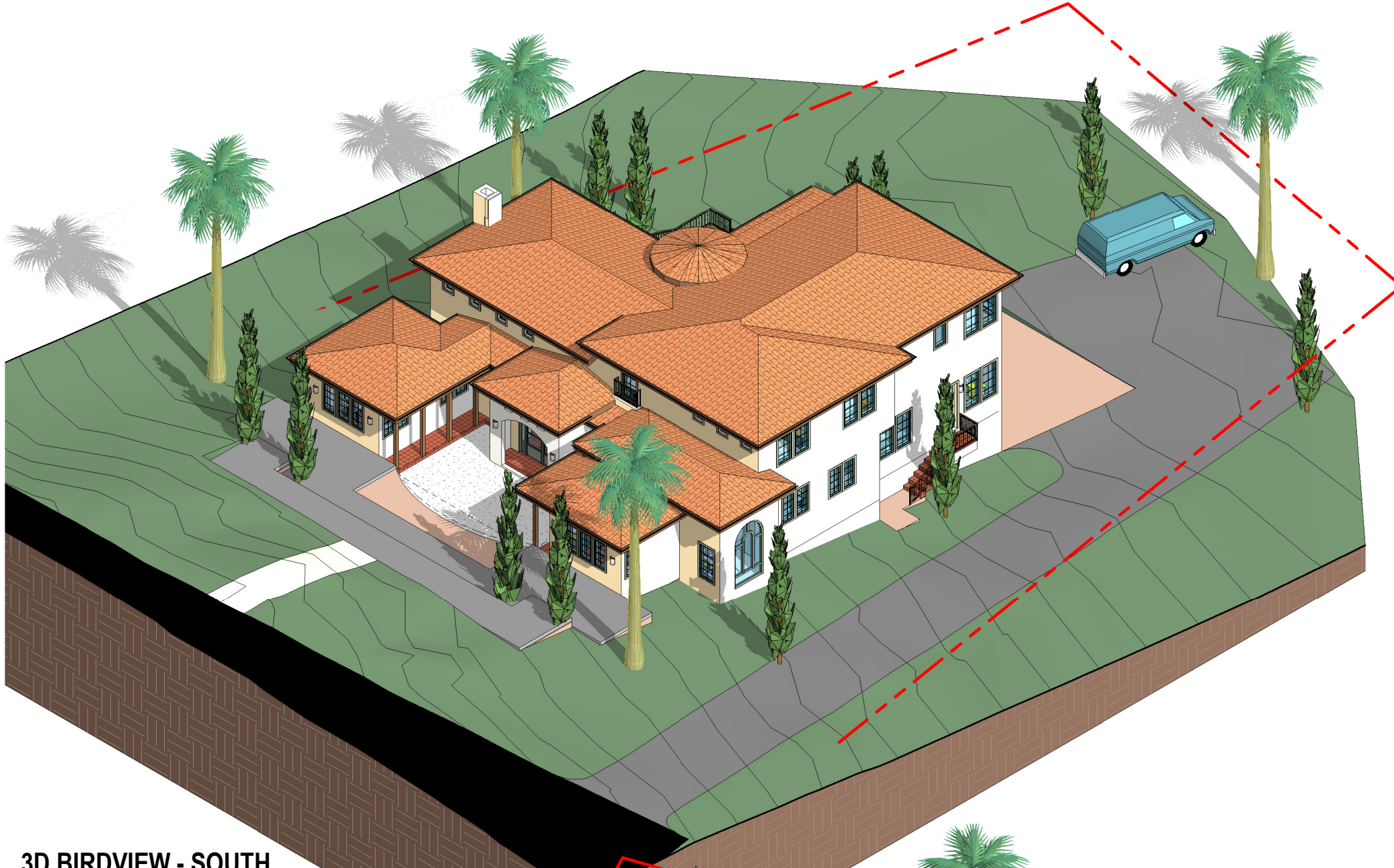
3D BIRDVIEW - NORTH



3D BIRDVIEW - NORTH WEST



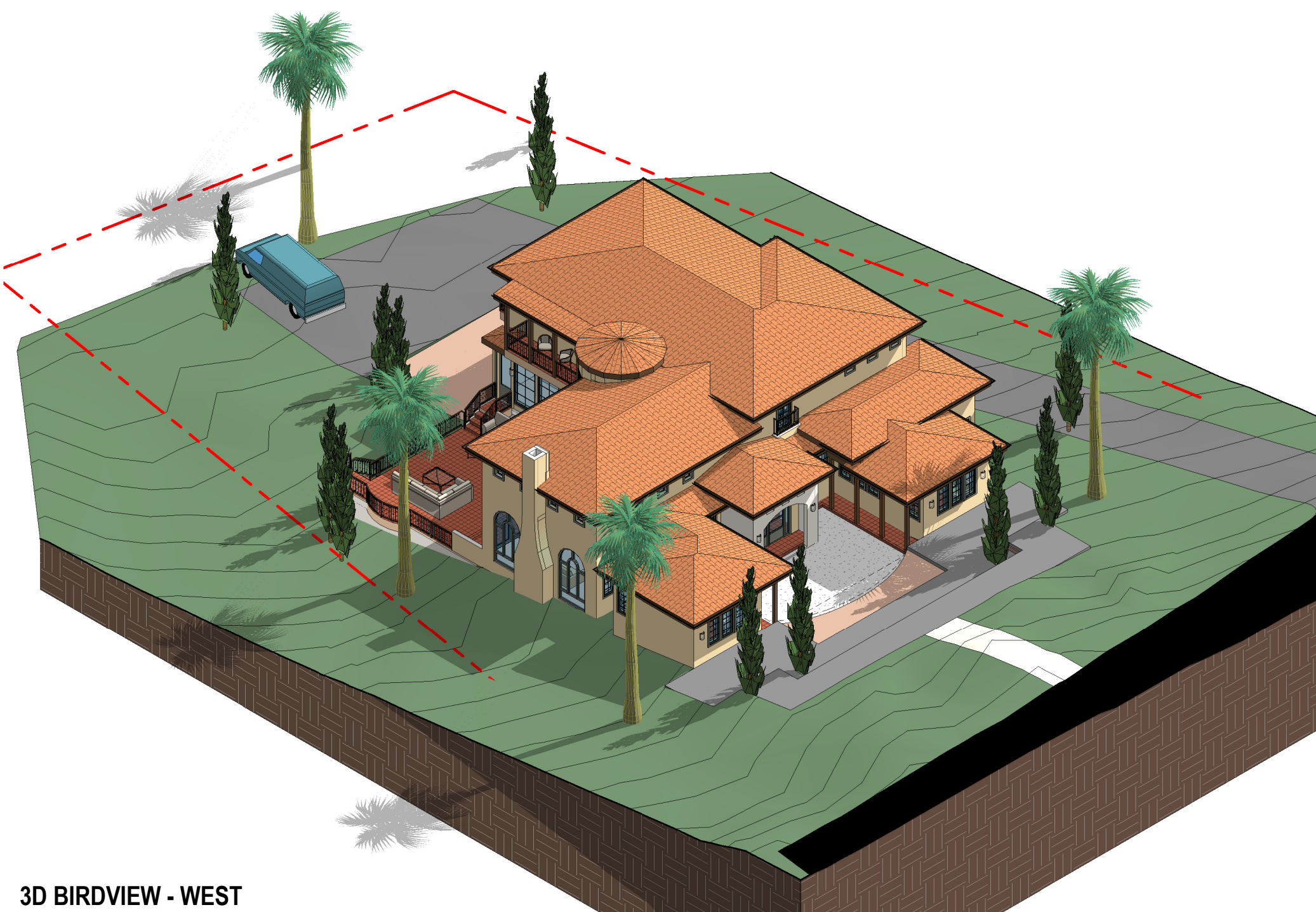
3D BIRDVIEW - TOP



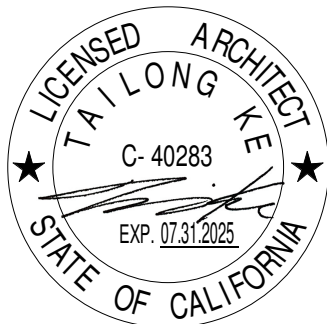
3D BIRDVIEW - SOUTH



3D BIRDVIEW - SOUTH WEST



3D BIRDVIEW - WEST



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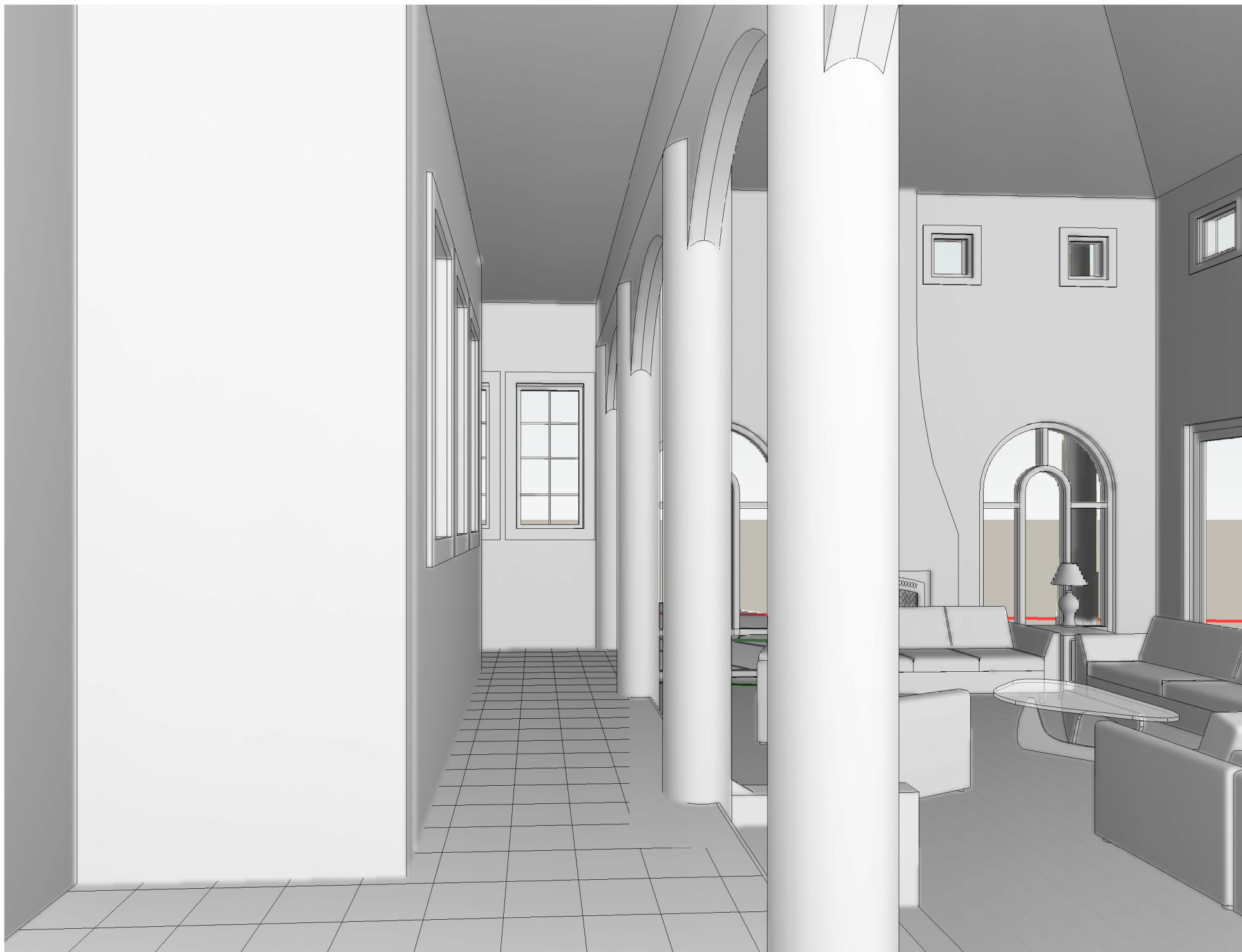
No.	Description	Date
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3D VIEWS -EXTERIOR

SCALE	
PROJECT NO	KD240317
SHEET NUMBER	A1.1



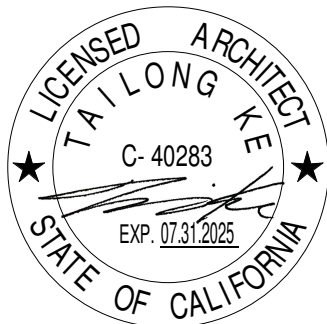
2 INT6-MainFlr,2StairsDown2Garage



3 INT7-FrontCourtyard,Enrance2HallAtLeft



1 INT5-FrontCourtyard,Entrance2GrandStairs



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3D VIEWS -INTERIOR-2
(FOR REFERENCE ONLY)

SCALE	
PROJECT NO	KD240317
SHEET NUMBER	A1.3



4 INT11-MainFlr,2Kitchen1



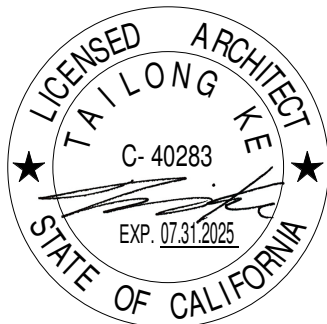
2 INT9-MainFlr,BkfstNook2Dining



3 INT10-MainFlr,2Kitchen2



1 INT8-MainFlr,2Dining



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3D VIEWS -INTERIOR-3
(FOR REFERENCE ONLY)

SCALE	
PROJECT NO	KD240317
SHEET NUMBER	A1.4



③ INT14-2ndFlrHall2Entrance



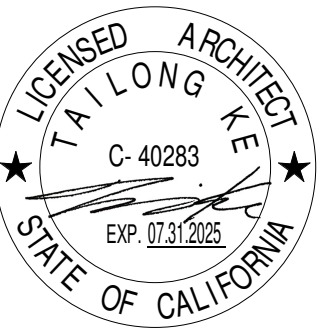
④ INT15-2ndFlr,MBedroom2Balcony



② INT13-2ndFlrHall2GrandStairs



① INT12-2ndFlrHall2Fireplace



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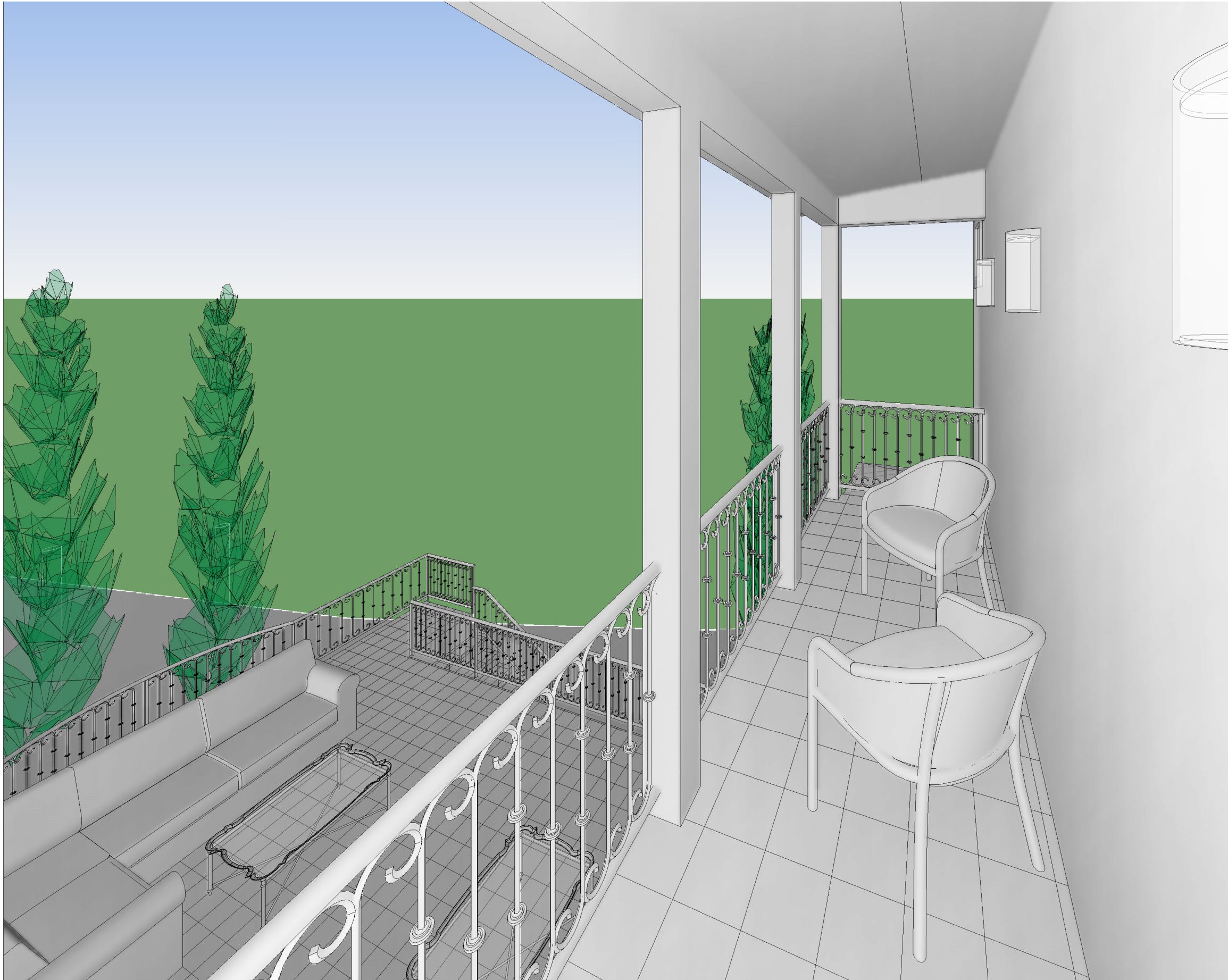
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3D VIEWS -INTERIOR-4
(FOR REFERENCE ONLY)

SCALE	
PROJECT NO	KD240317
SHEET NUMBER	A1.5



3 EXT-Backyard2MidCourtyard



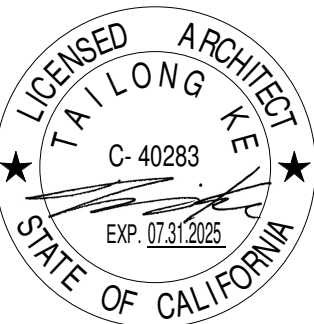
4 EXT-2ndFlr,2Balcony



2 EXT-Driveway2Garage



1 EXT-FrontCourtyard2Entrance



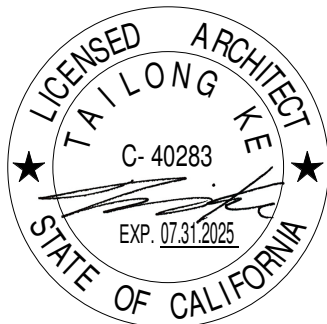
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3D VIEWS - EXTERIOR-1
(FOR REFERENCE ONLY)

SCALE	
PROJECT NO	KD240317
SHEET NUMBER	A1.6



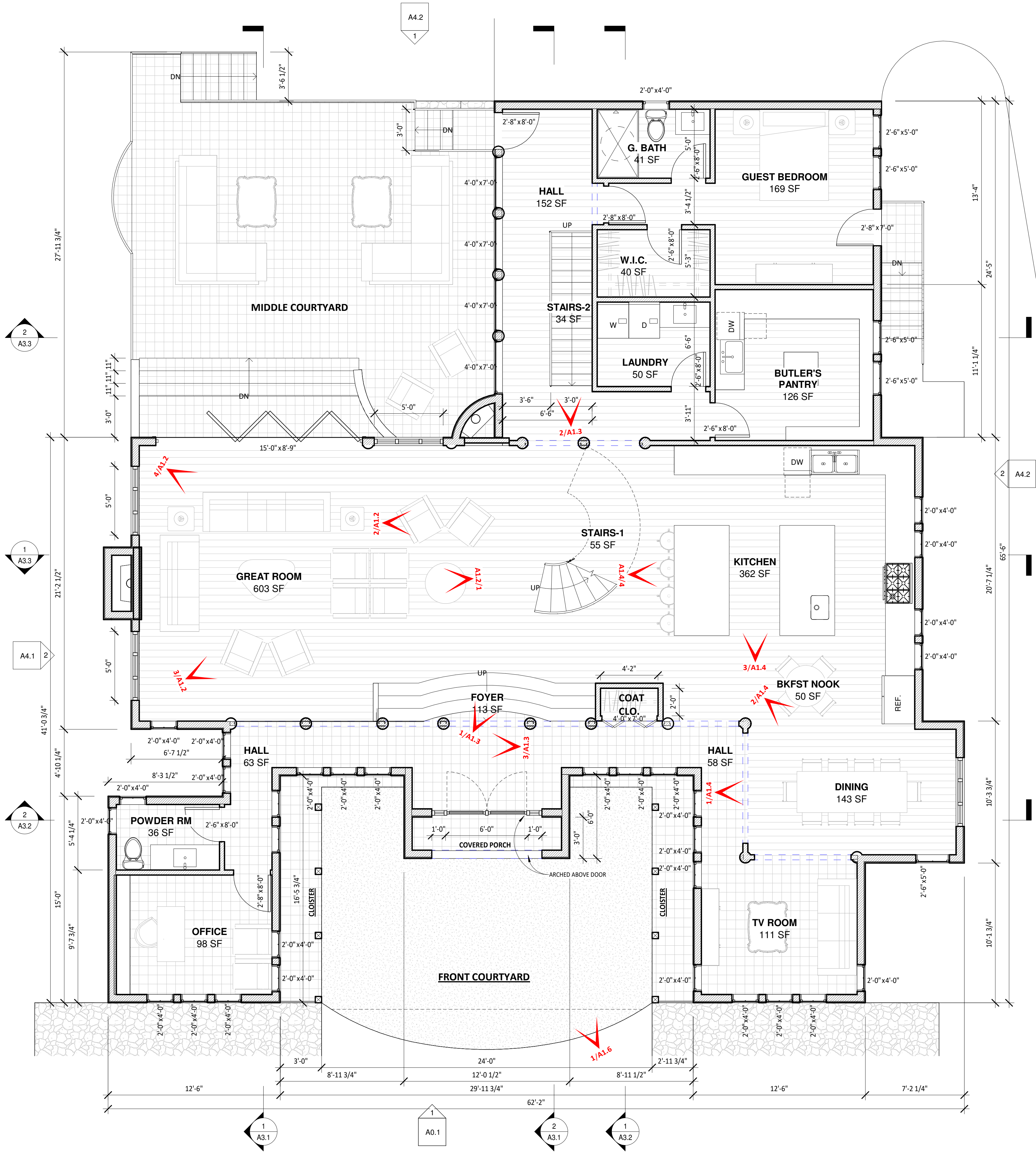
ASHKAR NEW RESIDENCE

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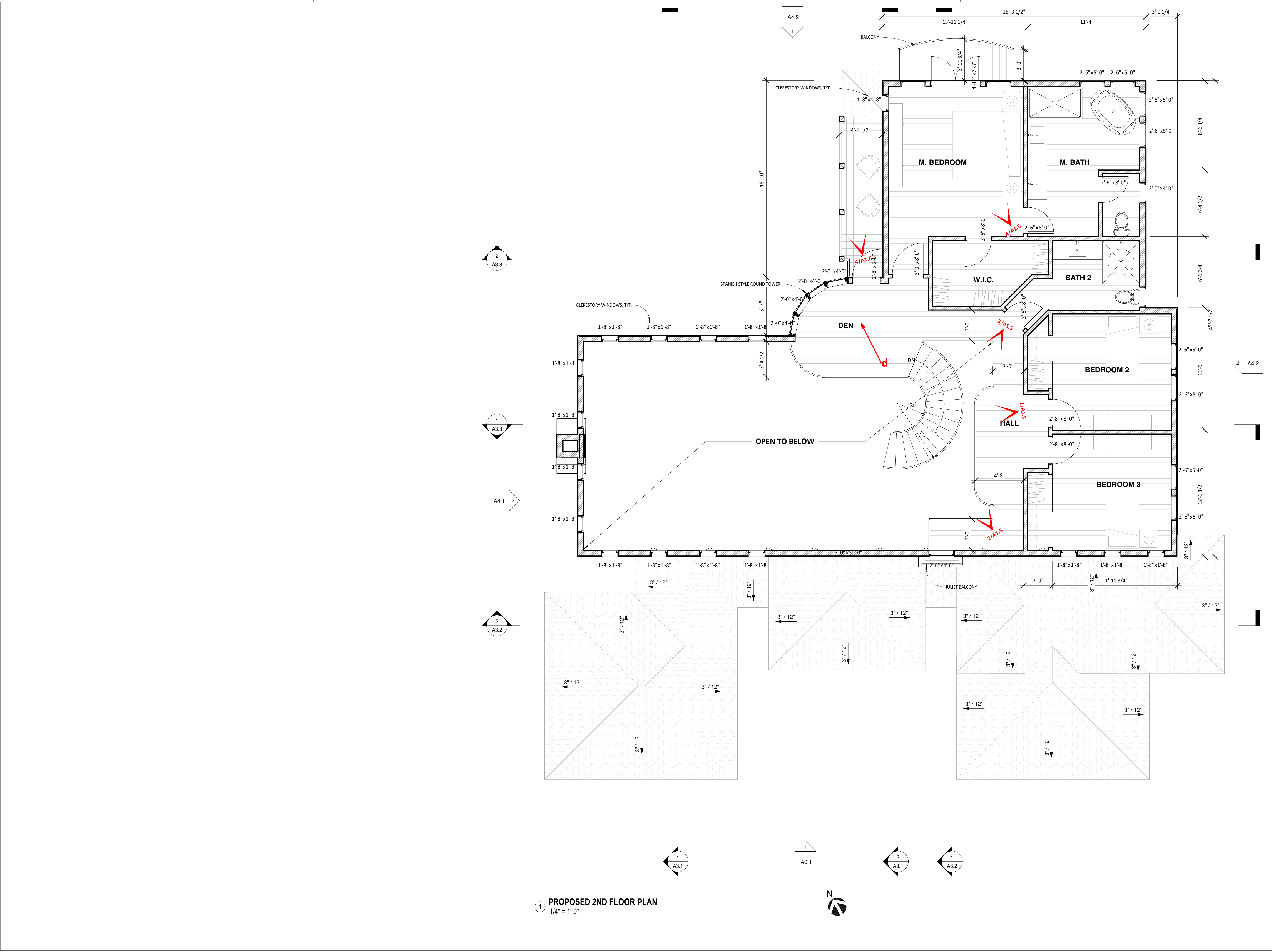
No.	Description	Date
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PROPOSED MAIN
FLOOR PLAN

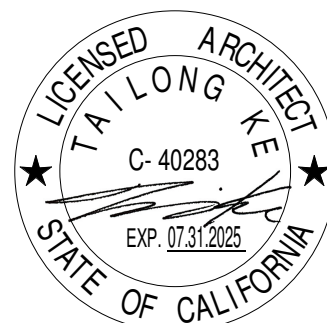
SCALE	1/4" = 1'-0"
PROJECT NO	KD240317
SHEET NUMBER	A2.1



1 PROPOSED MAIN FLOOR PLAN
1/4" = 1'-0"



1 PROPOSED 2ND FLOOR PLAN
1/4" = 1'-0"



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	ISSUED FOR PLN REVIEW	11.15.24
PROPOSED 2ND FLOOR PLAN		
SCALE	1/4" = 1'-0"	
PROJECT NO	KD240317	
SHEET NUMBER	A2.2	

Kamran Ashkar
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PROPOSED ROOF PLAN

SCALE	1/4" = 1'-0"
PROJECT NO	KD240317
SHEET NUMBER	A2.4



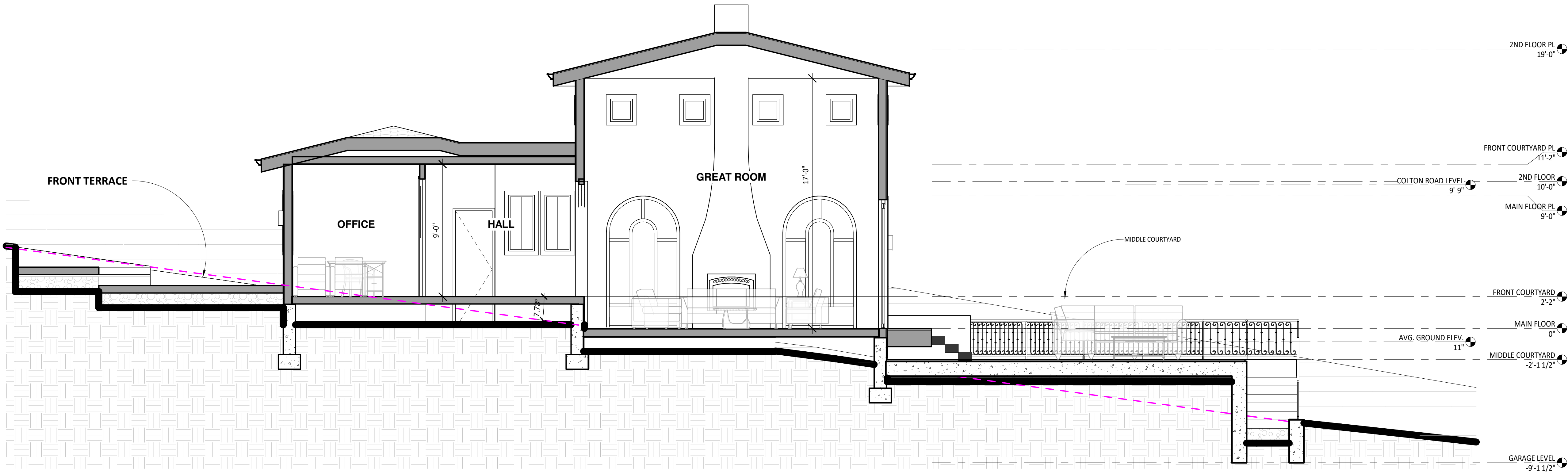
ASHKAR NEW RESIDENCE

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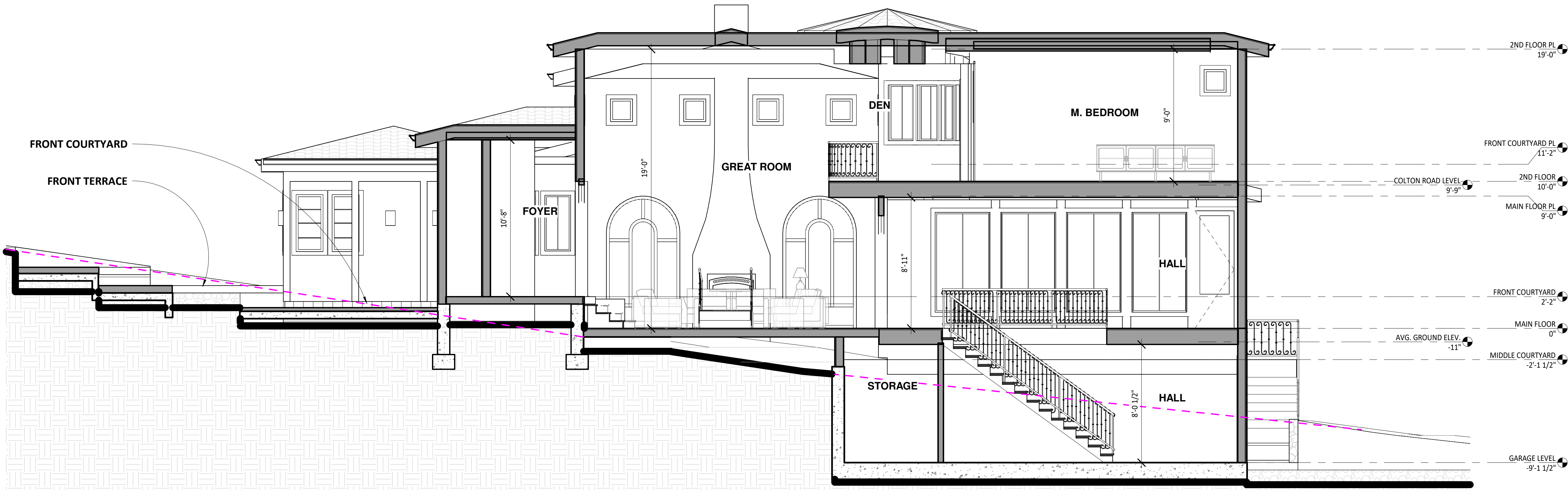
No.	Description	Date
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BUILDING SECTIONS

SCALE	1/4" = 1'-0"
PROJECT NO	KD240317
SHEET NUMBER	A3.1



SECTION-1
1/4" = 1'-0"



SECTION-2
1/4" = 1'-0"

ELEVATION KEYED NOTES:

- 1

STONE FENCE & IRON GATE

NATURAL STONE COLOR, METAL PAINTED BLACK
- 2

WOOD COLUMN/BEAM AT CLOISTER

WOOD, STAINED LIGHT BROWN
- 3

STUCCO

SMOOTH FINISH, PAINTED LIGHT YELLOW
- 4

STONE VENEER

LIGHT GRAY YELLOW
- 5

WINDOW FRAM/TRIM

ALUMINUM-CLAD WOOD, PAINTED SAGE GREEN
- 6

EXTERIOR STAIRS & RAILING

WHITE W/ WHITE TRIM
- 7

IRON RAILING AT JULIET BALCONY

METAL, PAINTED BLACK
- 8

WOOD AT REGULAR BALCONY

WOOD, STAINED LIGHT BROWN
- 9

FOUNTAIN AT FRONT COURTYARD

NATURAL STONE COLOR
- 10

ROOF TILE

SPANISH TERRA-COTTA
- 11

PAVING AT FRONT COURTYARD

RED SANDSTONE
- 12

PAVING AT THE MIDDLE COURTYARD

WHITE W/ WHITE TRIM
- 13

CHIMNEY, STUCCO

SMOOTH FINISH, PAINTED LIGHT YELLOW
- 14

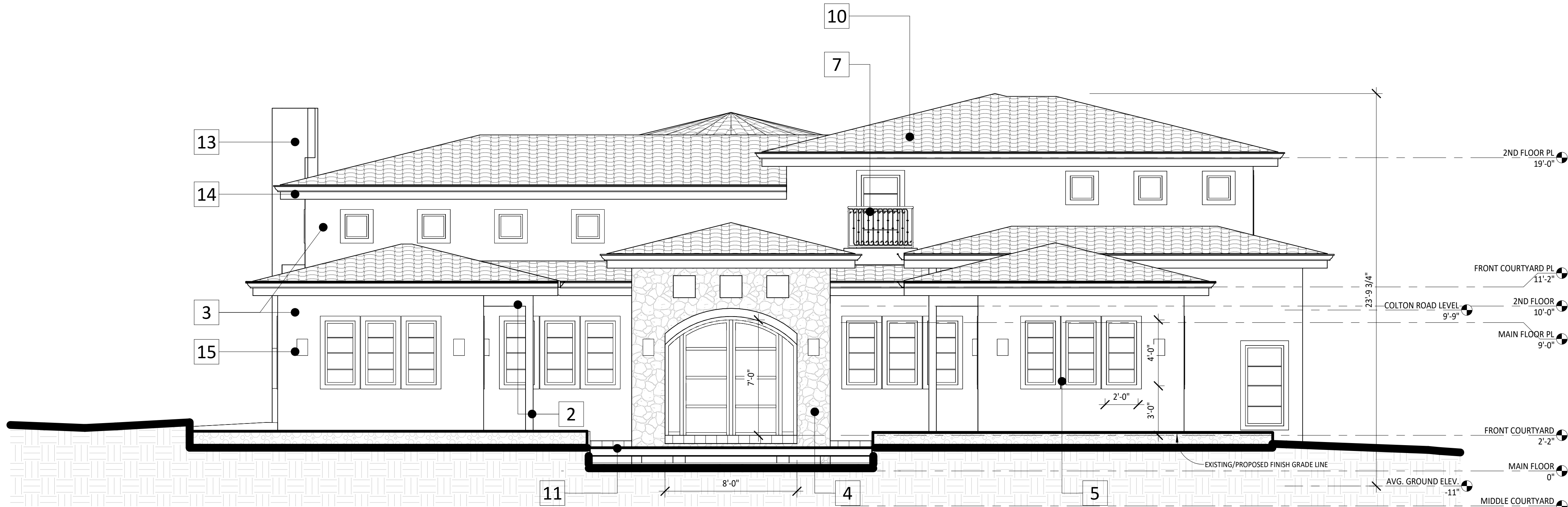
RAIN GUTTER

COPPER, CURVED
- 15

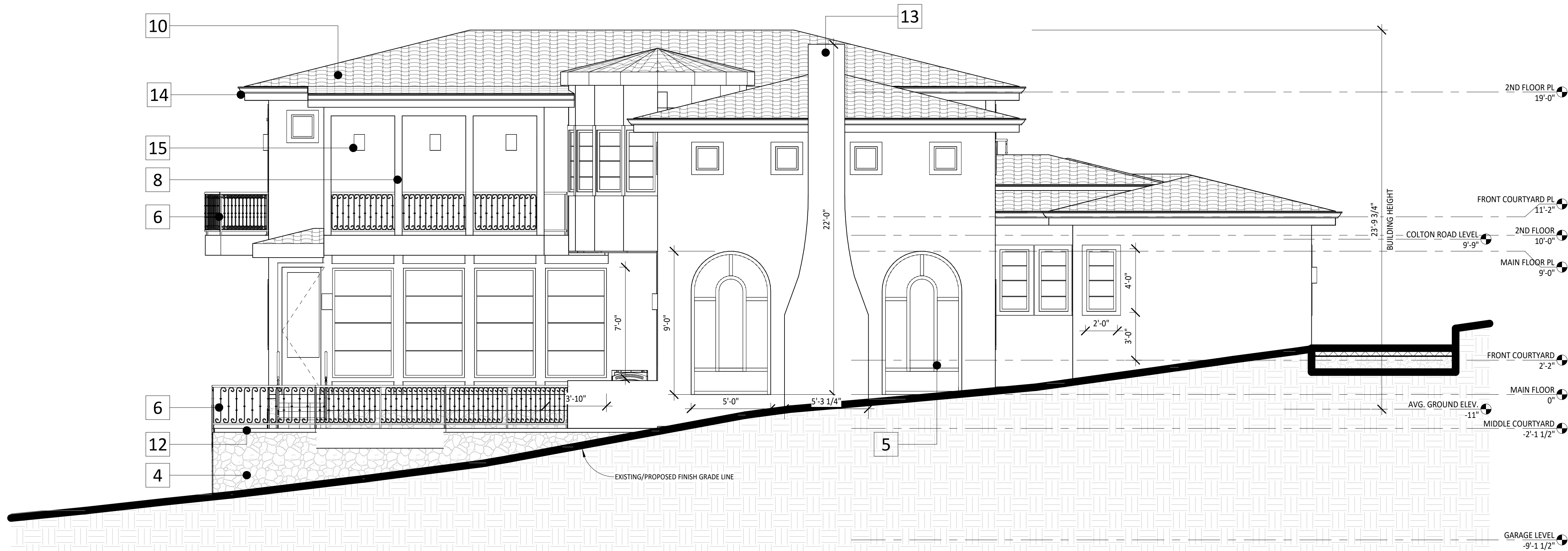
EXTERIOR LIGHT

BRONZE, MODERN STYLE

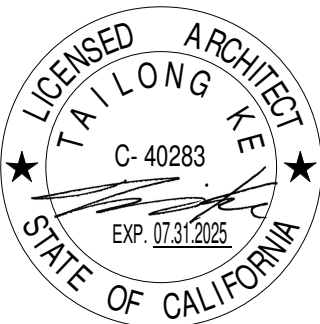
* SEE SJHEET A12 FOR MATERIAL & COLOR BOARD



① FRONT ELEVATION (SOUTH-WEST)
1/4" = 1'-0"



② LEFT ELEVATION (NORTH-WEST)
1/4" = 1'-0"



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	ISSUED FOR PLN REVIEW	11.15.24

EXTERIOR ELEVATIONS

SCALE	1/4" = 1'-0"
PROJECT NO	KD240317
SHEET NUMBER	A4.1

ELEVATION KEYED NOTES:

- 1

STONE FENCE & IRON GATE

NATURAL STONE COLOR, METAL PAINTED BLACK
- 2

WOOD COLUMN/BEAM AT CLOISTER

WOOD, STAINED LIGHT BROWN
- 3

STUCCO

SMOOTH FINISH, PAINTED LIGHT YELLOW
- 4

STONE VENEER

LIGHT GRAY YELLOW
- 5

WINDOW FRAM/TRIM

ALUMINUM-CLAD WOOD, PAINTED SAGE GREEN
- 6

EXTERIOR STAIRS & RAILING

WHITE W/ WHITE TRIM
- 7

IRON RAILING AT JULIET BALCONY

METAL, PAINTED BLACK
- 8

WOOD AT REGULAR BALCONY

WOOD, STAINED LIGHT BROWN
- 9

FOUNTAIN AT FRONT COURTYARD

NATURAL STONE COLOR
- 10

ROOF TILE

SPANISH TERRA-COTTA
- 11

PAVING AT FRONT COURTYARD

RED SANDSTONE
- 12

PAVING AT THE MIDDLE COURTYARD

WHITE W/ WHITE TRIM
- 13

CHIMNEY, STUCCO

SMOOTH FINISH, PAINTED LIGHT YELLOW
- 14

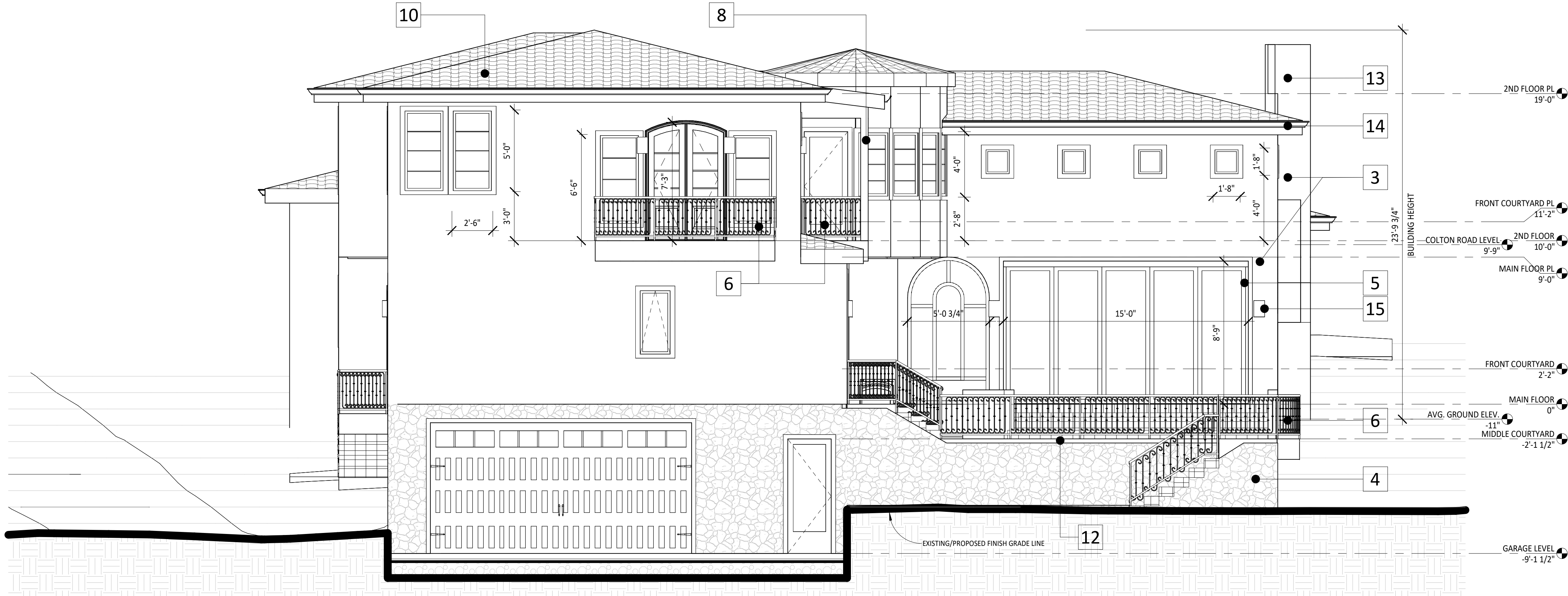
RAIN GUTTER

COPPER, CURVED
- 15

EXTERIOR LIGHT

BRONZE, MODERN STYLE

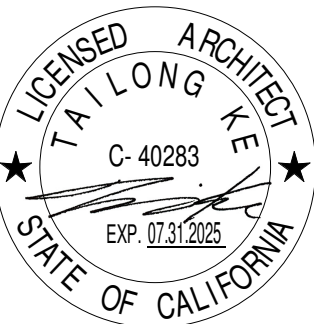
* SEE SIHEET A12 FOR MATERIAL & COLOR BOARD



1 REAR ELEVATION (NORTH-EAST)
1/4" = 1'-0"



2 RIGHT ELEVATION (SOUTH-EAST)
1/4" = 1'-0"



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EXTERIOR ELEVATIONS

SCALE	1/4" = 1'-0"
PROJECT NO	KD240317
SHEET NUMBER	A4.2



14 RAIN GUTTER
COPPER, CURVED



13 CHIMNEY, STUCCO
SMOOTH FINISH, PAINTED LIGHT YELLOW



12 PAVING AT THE MIDDLE COURTYARD
WHITE W/ WHITE TRIM



11 PAVING AT FRONT COURTYARD
RED SANDSTONE



10 ROOF TILE
SPANISH TERRA-COTTA



9 FOUNTAIN AT FRONT COURTYARD
NATURAL STONE COLOR



8 WOOD AT REGULAR BALCONY
WOOD, STAINED LIGHT BROWN



7 IRON RAILING AT JULIET BALCONY
METAL, PAINTED BLACK



6 EXTERIOR STAIRS & RAILING
WHITE W/ WHITE TRIM



5 WINDOW FRAM/TRIM
ALUMINUM-CLAD WOOD, PAINTED SAGE GREEN



4 STONE VENEER
LIGHT GRAY YELLOW



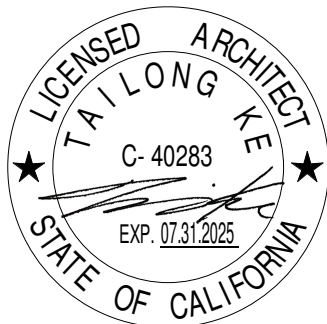
3 STUCCO
SMOOTH FINISH, PAINTED LIGHT YELLOW



2 WOOD COLUMN/BEAM AT CLOISTER
WOOD, STAINED LIGHT BROWN



1 STONE FENCE & IRON GATE
NATURAL STONE COLOR, METAL PAINTED BLACK



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MATERIAL & COLOR BOARD

SCALE	
PROJECT NO	KD240317
SHEET NUMBER	A12

GENERAL NOTES

1. THE CONTRACTOR SHALL MAKE A DETAILED AND THOROUGH STUDY OF THESE PLANS IN THEIR ENTIRETY PRIOR TO ANY WORK ON THE JOBSITE. THE CONTRACTOR IS TO VERIFY ALL EXISTING CONSTRUCTION CONDITIONS AND IS TO COORDINATE THESE DRAWINGS WITH ALL OTHER TRADE DISCIPLINES FOR THE COMPLETED WORK. THE CONTRACTOR IS ALSO TO UNDERSTAND THAT ANY FEATURE OF CONSTRUCTION NOT FULLY SHOWN OR DETAILED SHALL BE OF THE SAME TYPE AS SHOWN FOR SIMILAR CONDITIONS.
2. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ENGINEER ANY DISCREPANCY OCCURRING ON THE DRAWINGS OR FOUND IN HIS COORDINATION WORK. NO CHANGES IN APPROVED PLANS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE PROJECT ENGINEER AND THE COUNTY OF MONTEREY DEPARTMENT OF PUBLIC WORKS.
3. ANY REQUEST FOR ALTERATIONS OR SUBSTITUTIONS MUST BE PRESENTED DIRECTLY TO THE PROJECT ENGINEER, ACCOMPANIED BY A DETAILED SKETCH, FOR REVIEW. BEFORE ANY APPROVAL WILL BE GIVEN AND BEFORE PROCEEDING WITH THE WORK. ABSOLUTELY NO ALTERATIONS OF THESE DOCUMENTS OF ANY KIND WILL BE APPROVED ON ANY SHOP DRAWINGS.
4. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS (CALTRANS), LATEST EDITION, THE COUNTY OF MONTEREY DESIGN CRITERIA AND ALL APPLICABLE CODES AND ORDINANCES.
5. THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THE PLANS WERE OBTAINED FROM RECORD DRAWINGS AND MAY NOT REPRESENT TRUE LOCATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF THESE UTILITIES PRIOR TO CONSTRUCTION, AND TO NOTIFY THE PROJECT ENGINEER IN CASE OF CONFLICT.
6. THE CONTRACTOR SHALL SECURE ALL REQUIRED CONSTRUCTION PERMITS FROM THE COUNTY OF MONTEREY PRIOR TO THE START OF WORK.
7. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD PROJECT ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE PROJECT ENGINEER.
8. GRADING SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATIONS AND THE REQUIREMENTS OF THE COUNTY OF MONTEREY.
9. THE CONTRACTOR SHALL NOTIFY THE COUNTY GRADING INSPECTOR, GEOTECHNICAL ENGINEER, THE CIVIL ENGINEER, & THE COUNTY CONSTRUCTION ENGINEER AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
10. WORK SHALL BE LIMITED TO 8:00 A.M. TO 5:00 P.M. WEEKDAYS. NON-NOISE PRODUCING ACTIVITIES, SUCH AS INTERIOR PAINTING, SHALL NOT BE SUBJECT TO THIS RESTRICTION.
11. NO LAND CLEARING, GRADING OR EXCAVATING SHALL TAKE PLACE BETWEEN OCTOBER 15 AND APRIL 15 UNLESS THE PLANNING DIRECTOR APPROVES A SEPARATE WINTER EROSION CONTROL PLAN.
12. BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY. BEFORE COMPLETION OF THE PROJECT, ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
13. THE CONTRACTOR SHALL APPLY WATER TO ALL EXPOSED EARTH SURFACES AT INTERVALS SUFFICIENT TO PREVENT AIRBORNE DUST FROM LEAVING THE PROJECT SITE. ALL EXPOSED EARTH SHALL BE WATERED DOWN AT THE END OF THE WORK DAY.
14. WHILE IN TRANSIT TO AND FROM THE PROJECT SITE, ALL TRUCKS TRANSPORTING FILL SHALL BE EQUIPPED WITH TARPS.
15. IF AT ANY TIME DURING SITE PREPARATION, EXCAVATION, OR OTHER GROUND DISTURBANCE ASSOCIATED WITH THIS DEVELOPMENT, ANY ARTIFACT OR OTHER EVIDENCE OF AN HISTORIC ARCHEOLOGICAL RESOURCE OR A NATIVE AMERICAN CULTURAL SITE IS DISCOVERED, THE RESPONSIBLE PERSONS SHALL IMMEDIATELY CEASE AND DESIST FROM ALL FURTHER SITE EXCAVATION AND NOTIFY THE SHERIFF-CORONER IF THE DISCOVERY CONTAINS HUMAN REMAINS, OR THE PLANNING DIRECTOR IF THE DISCOVERY CONTAINS NO HUMAN REMAINS.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF CONSTRUCTION QUANTITIES PRIOR TO BIDDING ON ANY ITEM. QUANTITY REFERENCES SHOWN ON THESE PLANS, OR ENGINEER'S ESTIMATES ARE FOR ESTIMATING PURPOSES ONLY AND SHALL NOT BE CONSIDERED AS A BASIS FOR CONTRACTOR PAYMENT. CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY FLUCTUATIONS IN SUCH QUANTITIES AND ESTIMATES.
17. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO, OR USES OF, THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
18. UNDERGROUND UTILITY LOCATIONS SHOWN ARE COMPILED FROM INFORMATION SUPPLIED BY UTILITY AGENCIES, AND ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY LOCATIONS OF AFFECTED UTILITY LINES PRIOR TO ANY TRENCHING OR EXCAVATING AND POTHOLE THOSE AREAS WHERE POTENTIAL CONFLICTS EXIST OR WHERE DATA IS OTHERWISE INCOMPLETE. FOR LOCATION, CALL USA 1-800-624-1444.
19. ANY EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED AS A PART OF THIS CONSTRUCTION SHALL BE RELOCATED AT THE OWNER'S EXPENSE.

EARTHWORK AND GRADING

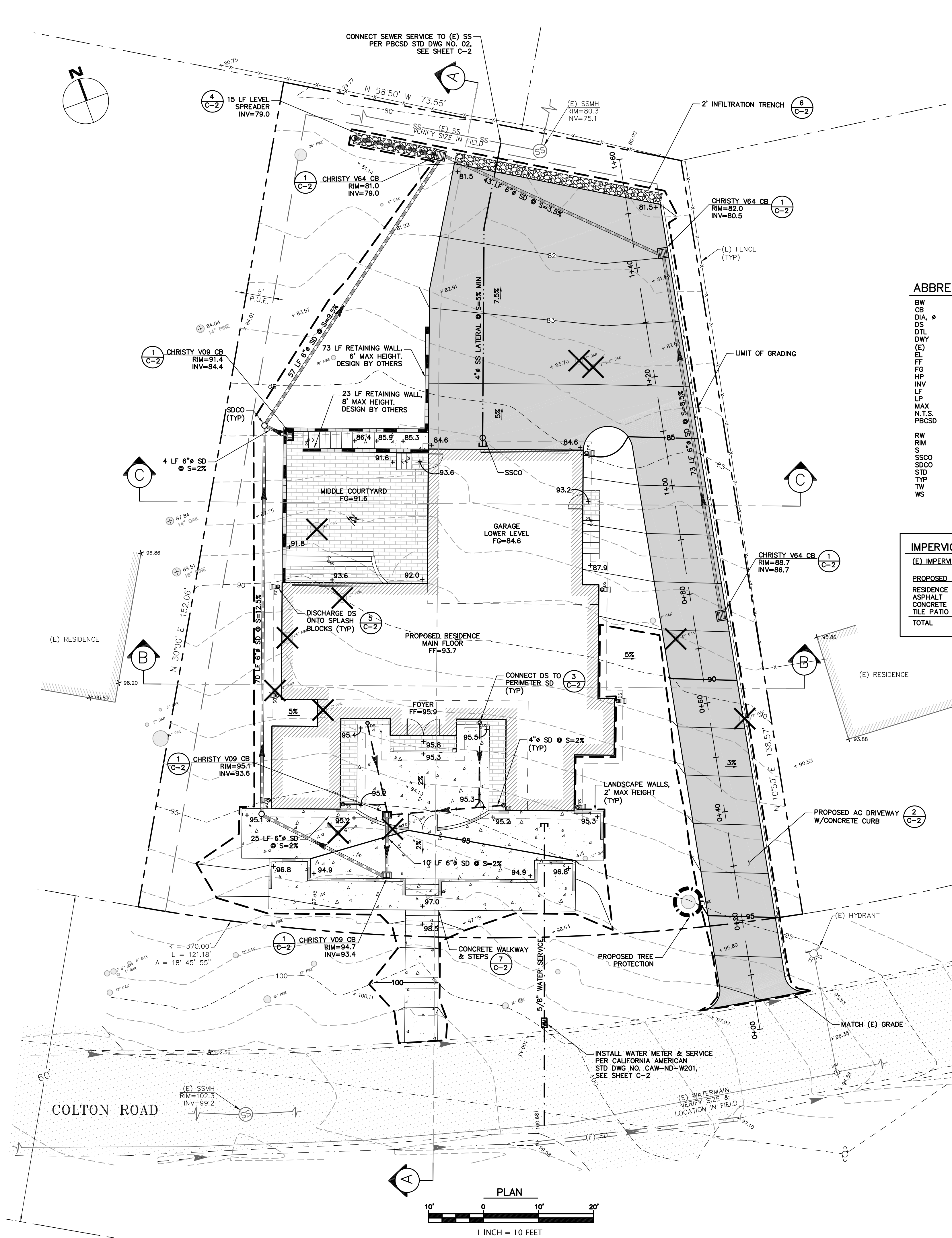
1. WORK SHALL CONSIST OF ALL CLEARING, GRUBBING, STRIPPING, PREPARATION OF LAND TO BE FILLED, EXCAVATION, SPREADING, COMPACTION AND CONTROL OF FILL, AND ALL SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADING TO CONFORM TO THE LINES, GRADES, AND SLOPES, AS SHOWN ON THE APPROVED PLANS.
2. ALL GRADING OPERATIONS SHALL CONFORM TO SECTION 19 OF THE CALTRANS STANDARD SPECIFICATIONS, AND SHALL ALSO BE DONE IN CONFORMANCE WITH THE REQUIREMENTS OF THE COUNTY OF MONTEREY. THE MOST STRINGENT GUIDELINE SHALL PREVAIL.
3. REFERENCE IS MADE TO THE GEOTECHNICAL INVESTIGATIONS BY BUTANO GEOTECHNICAL ENGINEERING, ENTITLED "GEOTECHNICAL INVESTIGATION DESIGN PHASE," DATED AUGUST 2024. THE CONTRACTOR SHALL MAKE A THOROUGH REVIEW OF THIS REPORT AND SHALL FOLLOW ALL RECOMMENDATIONS THEREIN. THE CONTRACTOR SHALL CONTACT BUTANO GEOTECHNICAL ENGINEERING, FOR ANY CLARIFICATIONS NECESSARY PRIOR TO PROCEEDING WITH THE WORK.
4. THE CONTRACTOR SHALL GRADE TO THE LINE AND ELEVATIONS SHOWN ON THE PLAN AND SHALL SECURE THE SERVICES OF A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER TO PROVIDE STAKES FOR LINE AND GRADE.
5. THE GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED AT LEAST FOUR (4) DAYS PRIOR TO ANY SITE CLEARING AND GRADING OPERATIONS.
6. STRIPPED AREAS SHOULD BE SCARIFIED TO A DEPTH OF ABOUT 6", WATER-CONDITIONED TO BRING THE SOILS WATER CONTENT TO ABOUT 2% ABOVE THE OPTIMUM, AND COMPACTED TO A DENSITY EQUIVALENT TO AT LEAST 90% OF THE MAXIMUM DRY DENSITY OF THE SOIL ACCORDING TO ASTM D1557 (LATEST EDITION). SUBGRADES AND AGGREGATE BASE ROCK FOR PAVEMENTS SHOULD BE COMPACTED TO A MINIMUM OF 95%.
7. ENGINEERED FILL SHOULD BE PLACED IN THIN LIFTS NOT EXCEEDING 8" IN LOOSE THICKNESS, MOISTURE CONDITIONED, AND COMPACTED TO AT LEAST 90% RELATIVE COMPACTION.
8. MATERIAL USED FOR ENGINEERED FILL SHALL MEET THE REQUIREMENTS OF THE AFOREMENTIONED REPORTS BY BUTANO GEOTECHNICAL ENGINEERING..
9. IMPORTED FILL MATERIAL USED AS ENGINEERED FILL FOR THE PROJECT SHALL MEET THE REQUIREMENTS OF THE AFOREMENTIONED GEOTECHNICAL INVESTIGATION.
10. ALL FILL MATERIAL SHALL BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER PRIOR TO JOBSITE DELIVERY AND PLACEMENT. NO EARTHWORK OPERATIONS SHALL BE PERFORMED WITHOUT THE DIRECT OBSERVATION AND APPROVAL OF THE GEOTECHNICAL ENGINEER.
11. BARE GROUND WITHIN 10' OF FOUNDATIONS SHALL BE SLOPED AWAY @ 5% MINIMUM OR 2% MINIMUM FOR PAVED SURFACES.

SEWER LATERAL NOTES

1. SEWER LATERALS SHALL BE POLYVINYL CHLORIDE (PVC SDR26) AND SHALL HAVE A SMOOTH INTERIOR AND CONFORM TO PEBBLE BEACH COMMUNITY SERVICE DISTRICT (PBCSD) STANDARD SPECIFICATIONS
2. SEWER LATERALS SHALL BE SLOPED AT A MINIMUM 2%.

STORM DRAINAGE NOTES

1. CULVERTS SHALL BE POLYVINYL CHLORIDE (PVC SDR35), HIGH DENSITY POLYETHYLENE (HDPE ADS N12 OR EQUAL), OR REINFORCED CONCRETE PIPE (RCP), AND SHALL HAVE A SMOOTH INTERIOR.
2. INLETS SHALL BE CHRISTY CONCRETE PRODUCTS OR APPROVED EQUAL WITH SMOOTH CONCRETE BOTTOM.
3. DISCHARGE DOWNSPOUTS ONTO SPLASH BLOCKS OR CONNECTION TO PERIMETER STORM DRAIN AS SHOWN ON THE PLANS.



ABBREVIATIONS

BW	BOTTOM OF WALL
CB	CATCH BASIN
DIA, Ø	DIAMETER
DS	DOWNSPOUT
DTL	DETAIL
DWY	DRIVEWAY
(E)	EXISTING
EL	ELEVATION
FF	FINISH FLOOR
FG	FINISH GRADE
HP	HIGH POINT
INV	INVERT
LF	LINEAR FEET
LP	LOW POINT
MAX	MAXIMUM
N.T.S.	NOT TO SCALE
PBCSD	PEBBLE BEACH COMMUNITY SERVICE DISTRICT
RW	RETAINING WALL
RIM	RIM ELEVATION
S	SLOPE
SSCO	SANITARY SEWER CLEANOUT
SDCO	STORM DRAIN CLEANOUT
STD	STANDARD
TYP	TYPICAL
TW	TOP OF WALL
WS	WATER SERVICE

IMPERVIOUS AREAS

(E) IMPERVIOUS AREA	= 0 SF
PROPOSED IMPERVIOUS AREA	
RESIDENCE	2,570
ASPHALT	3,340
CONCRETE	1,582
TILE PATIO	780
TOTAL	=8,272 SF

LEGEND

	(E) AB
	(E) AC
	PROPOSED AC
	PROPOSED CONCRETE
	PROPOSED TILE PATIO
	(E) FLOWLINE
	PROPERTY LINE
	PROPOSED LIMIT OF GRADING
	PROPOSED RETAINING WALL
	PROPOSED RETAINING WALL
	PROPOSED CONCRETE CURB
	PROPOSED SD
	PROPOSED PERIMETER SD
	PROPOSED SDCO
	PROPOSED CB
	MAJOR MINOR (E) GRADE CONTOUR LINES
	MAJOR MINOR PROPOSED CONTOUR LINES
	REMOVE (E) TREE

TOPOGRAPHIC SURVEY

THE TOPOGRAPHIC SURVEY AND BOUNDARY INFORMATION PROVIDED HEREON WAS COMPLETED BY HANAGAN LAND SURVEYING. RI ENGINEERING INC. MAKES NO GUARANTEE AS TO THE ACCURACY OF BOTH. THE CONTRACTOR SHALL VERIFY THE BOUNDARY LOCATION AND TOPOGRAPHIC INFORMATION PRIOR TO COMMENCING WORK.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS MAP HAS BEEN ESTABLISHED BETWEEN IRON PIPE MONUMENTS FOUND ALONG COLTON ROAD PER THAT CERTAIN TRACT MAP FOUND IN VOLUME 8 OF "CITIES AND TOWNS" AT PAGE 87, OF MONTEREY COUNTY RECORDS.

BASIS OF ELEVATION

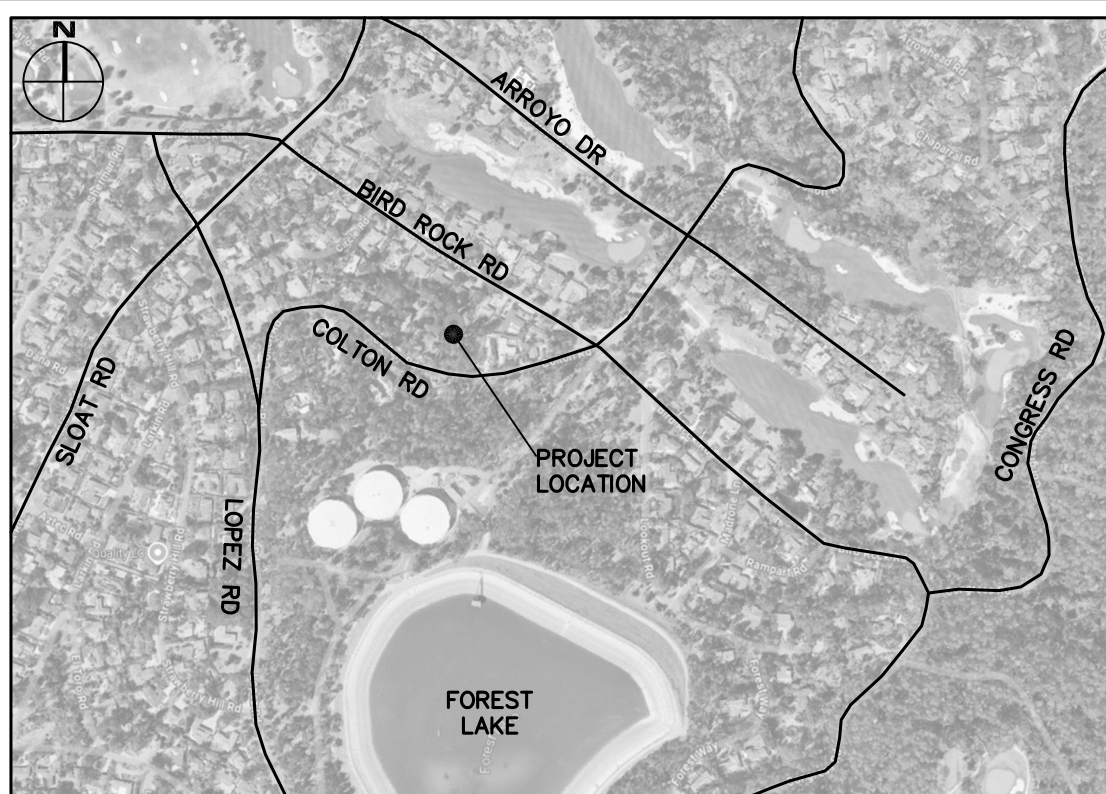
AN ASSUMED ELEVATION OF 100.00' WAS USED ON A SET SPIKE. THE CONTOUR INTERVAL IS 1 FOOT.

APPROXIMATE EARTHWORK QUANTITIES

	CUT	CUBIC YARDS FILL	NET
SITE GRADING	57	115	58
FOUNDATION GRADING	103	86	17

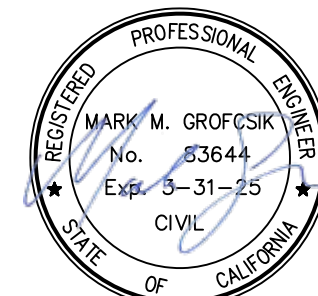
NOTES:

1. EARTHWORK QUANTITIES ARE APPROXIMATE AND SHALL BE INDEPENDENTLY VERIFIED BY THE CONTRACTOR FOR BIDDING PURPOSES.
2. EARTHWORK VOLUMES FOR RESIDENCE GRADING INCLUDE EXCAVATION TO ROUGH GRADE FOR CONSTRUCTION OF THE PROPOSED RESIDENCE. EARTHWORK VOLUMES REQUIRED TO CONSTRUCT THE FOUNDATIONS HAVE NOT BEEN INCLUDED.
3. EXCESS SOIL SHALL BE HAULED OR PLACED IN A COUNTY APPROVED LOCATION.



VICINITY MAP

NTS



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NEW RESIDENCE
FOR
KAMRAN ASHKAR
2072 COLTON ROAD
PEBBLE BEACH, CA 93953
APN 007-612-026

GRADING & DRAINAGE PLAN

project no.
24-073-1

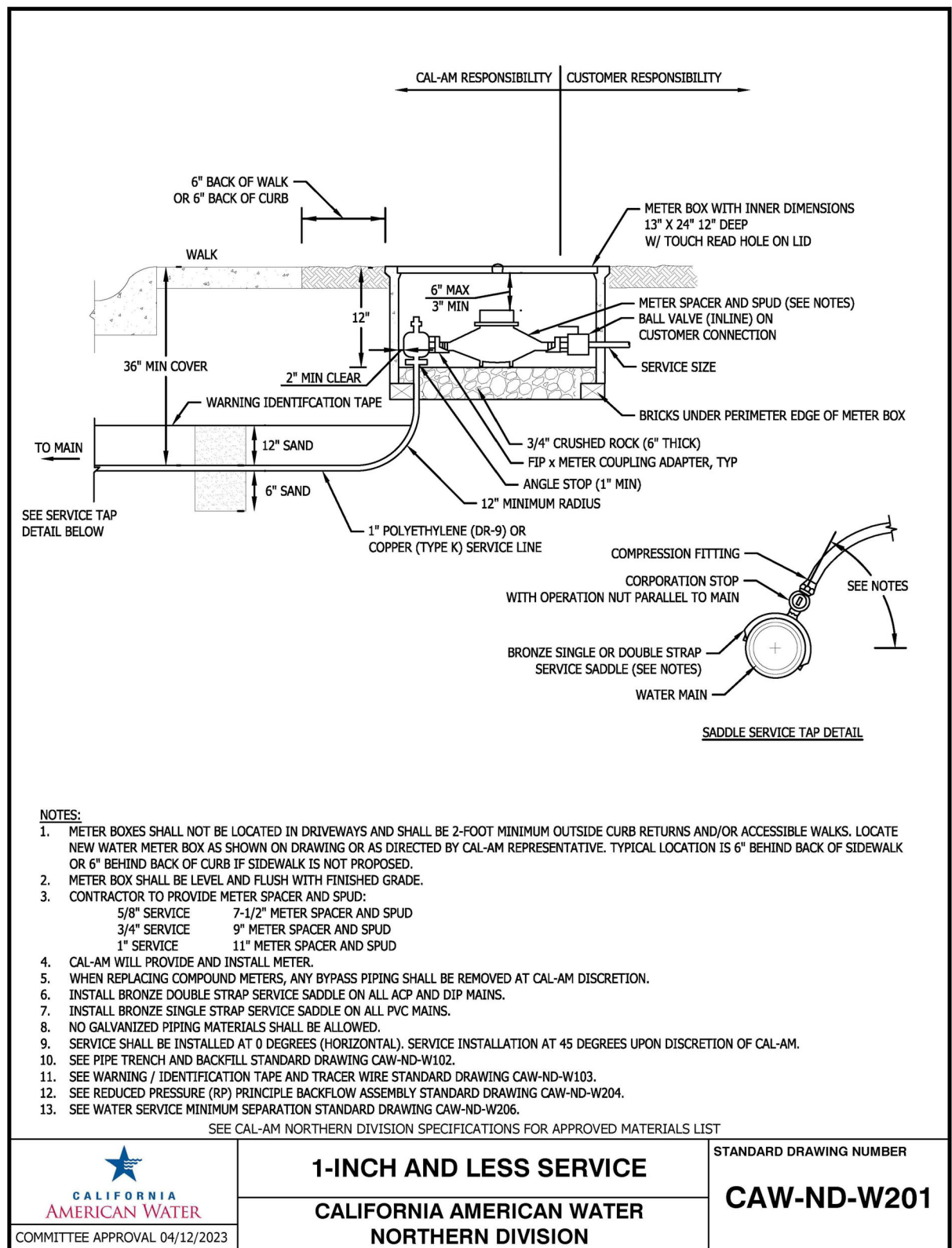
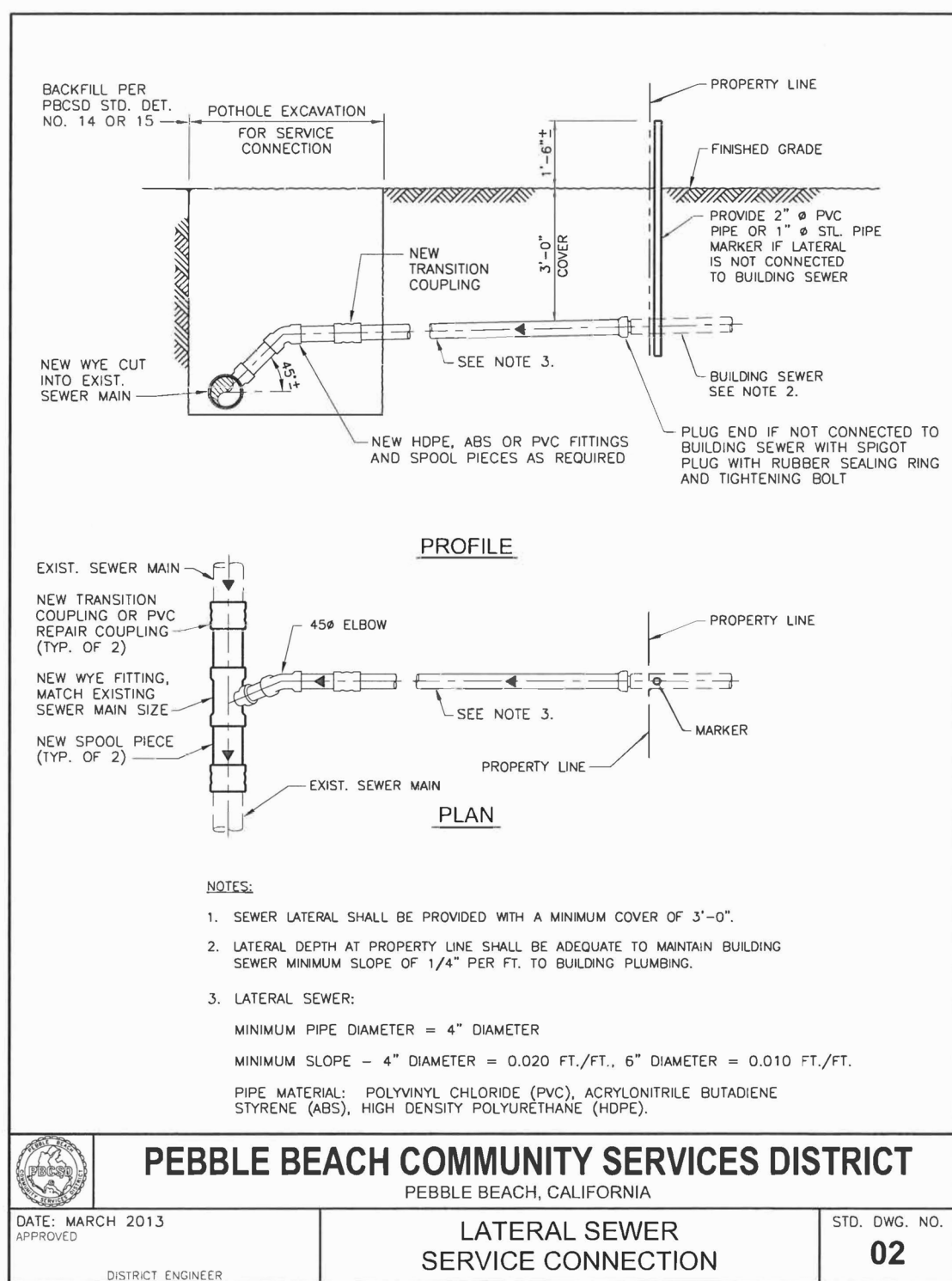
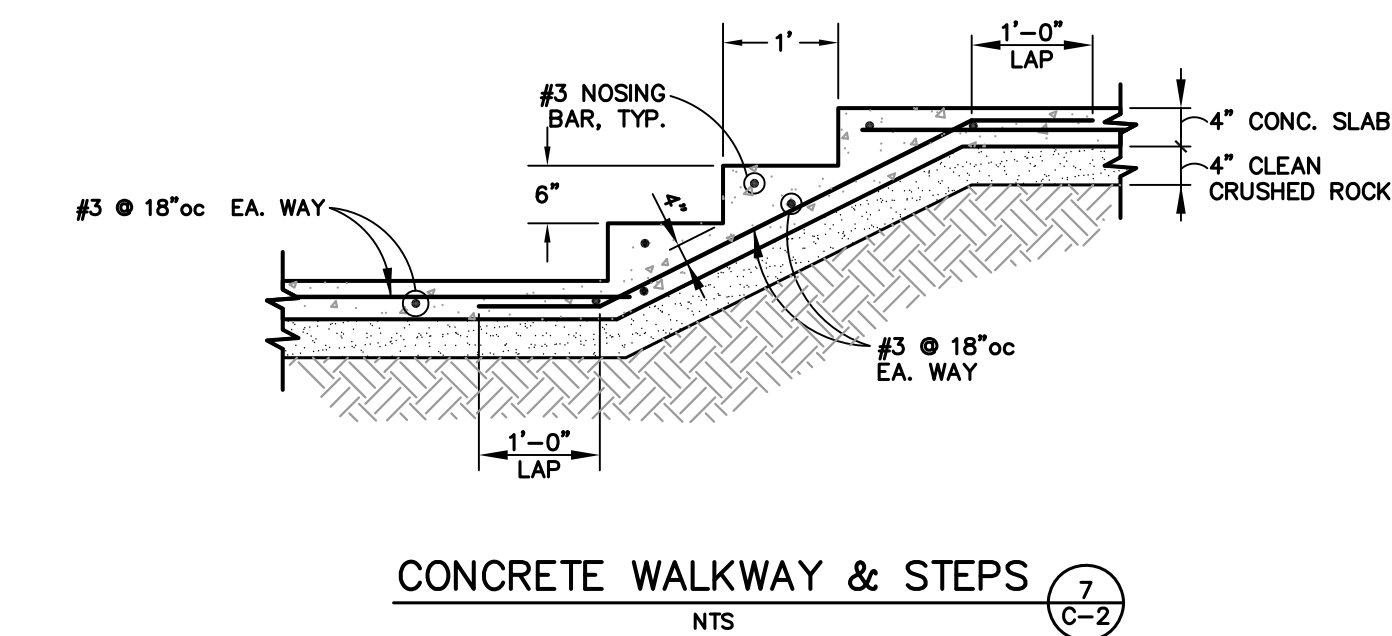
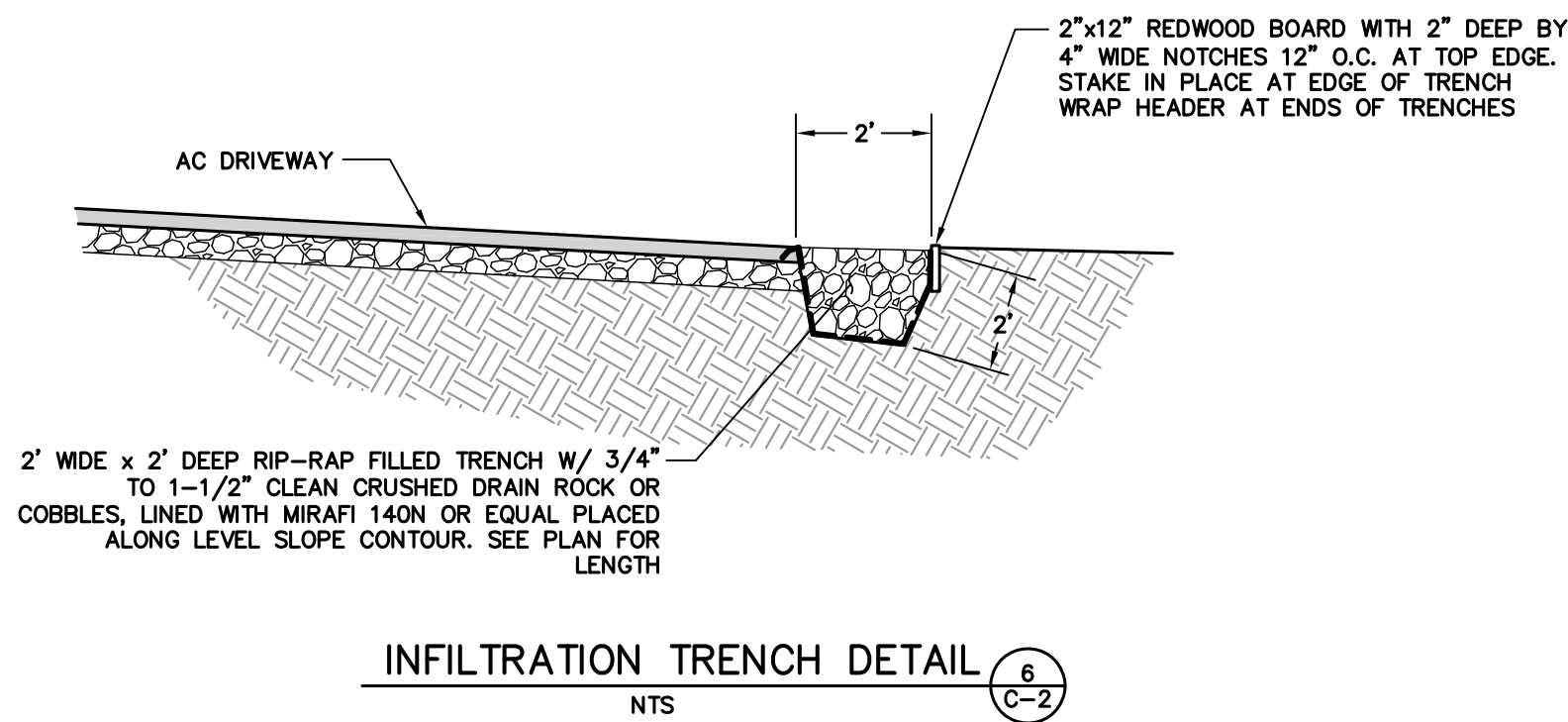
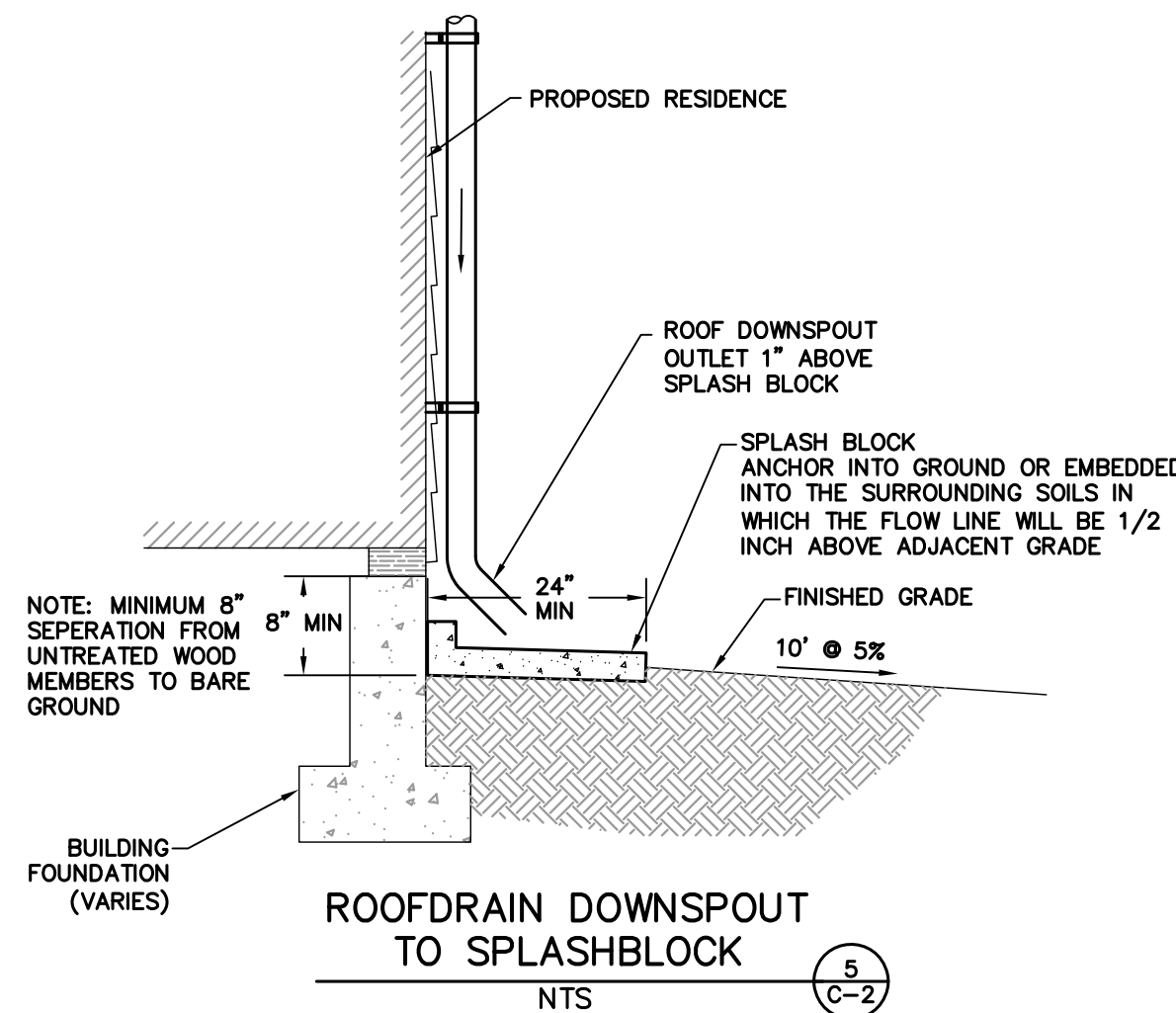
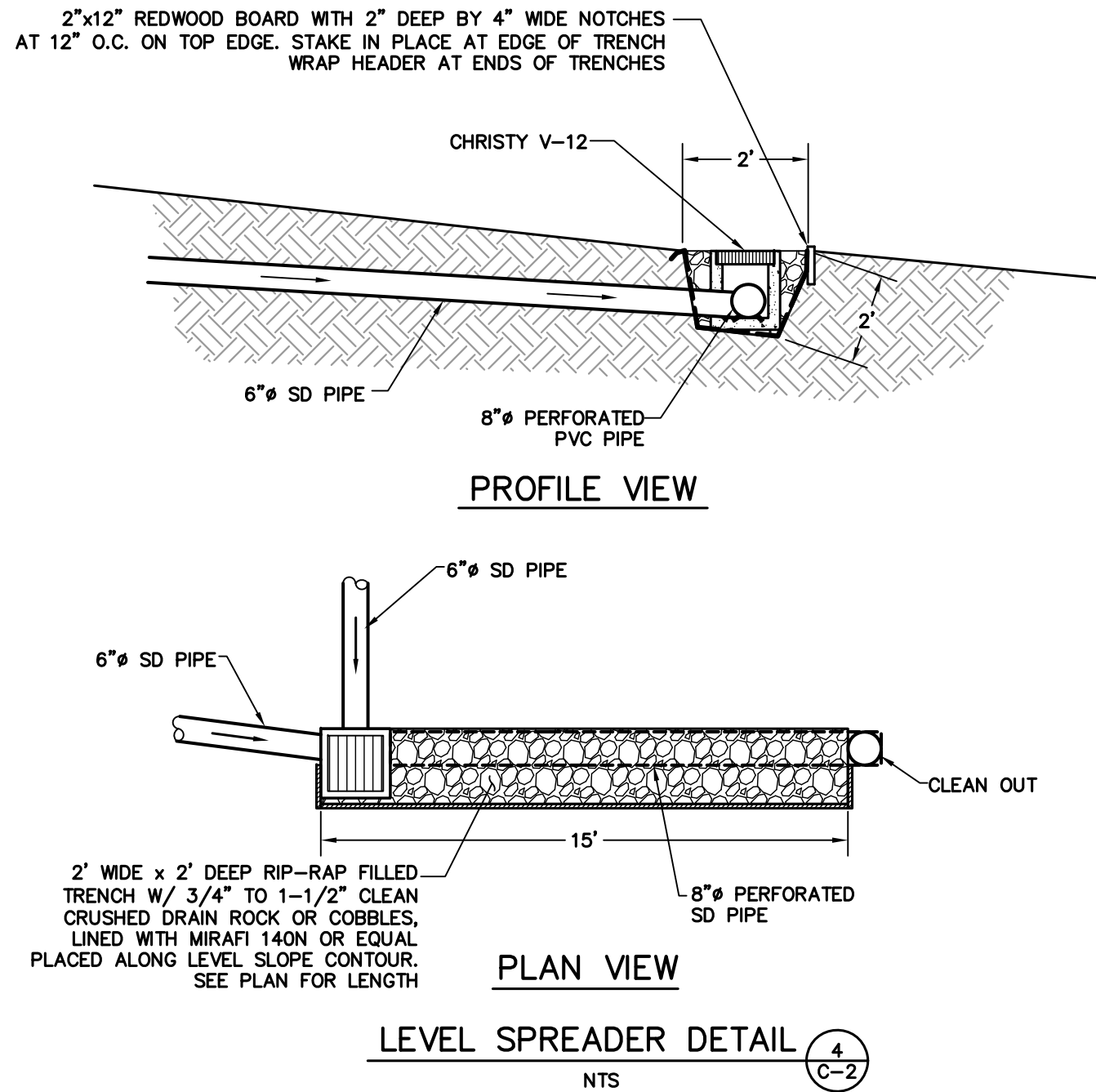
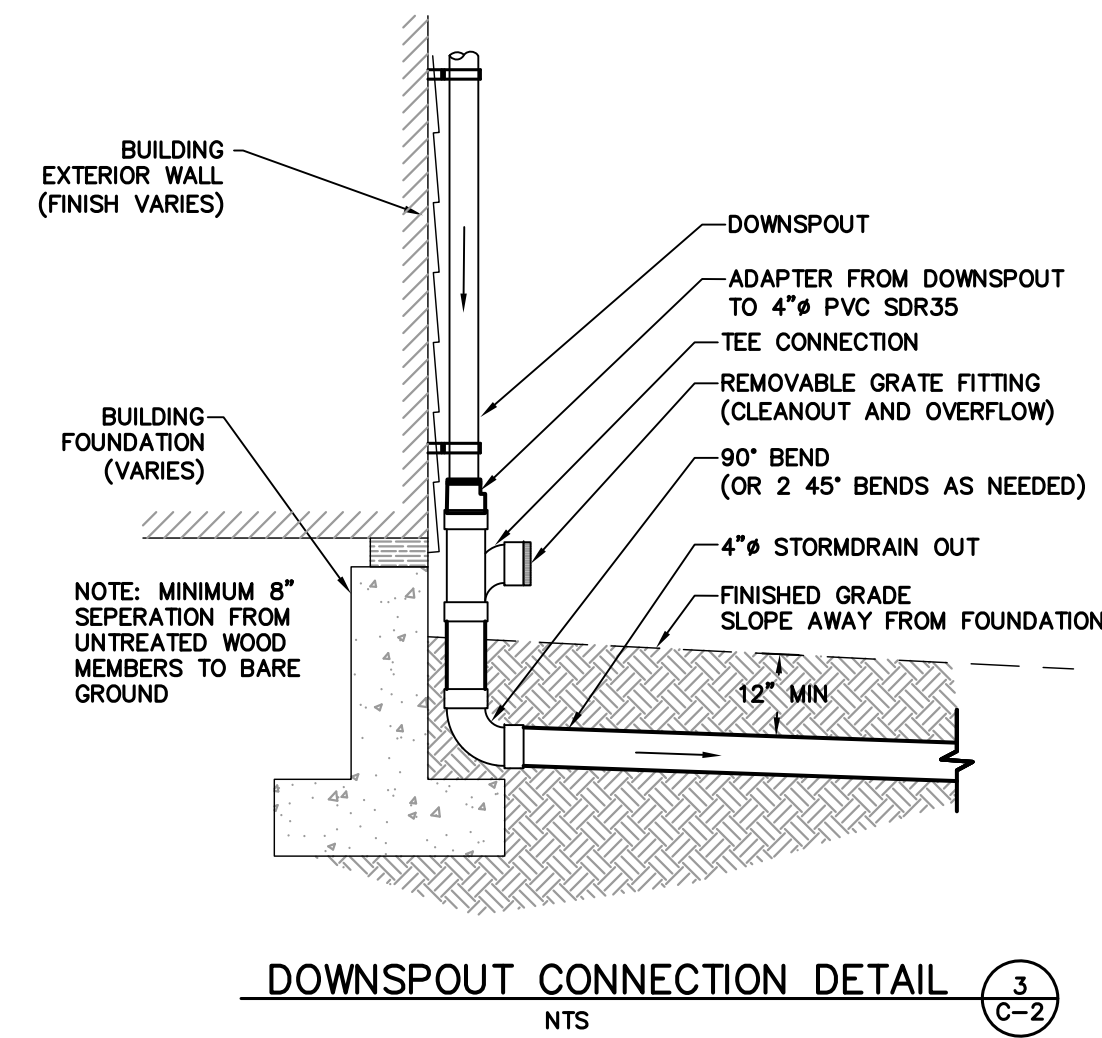
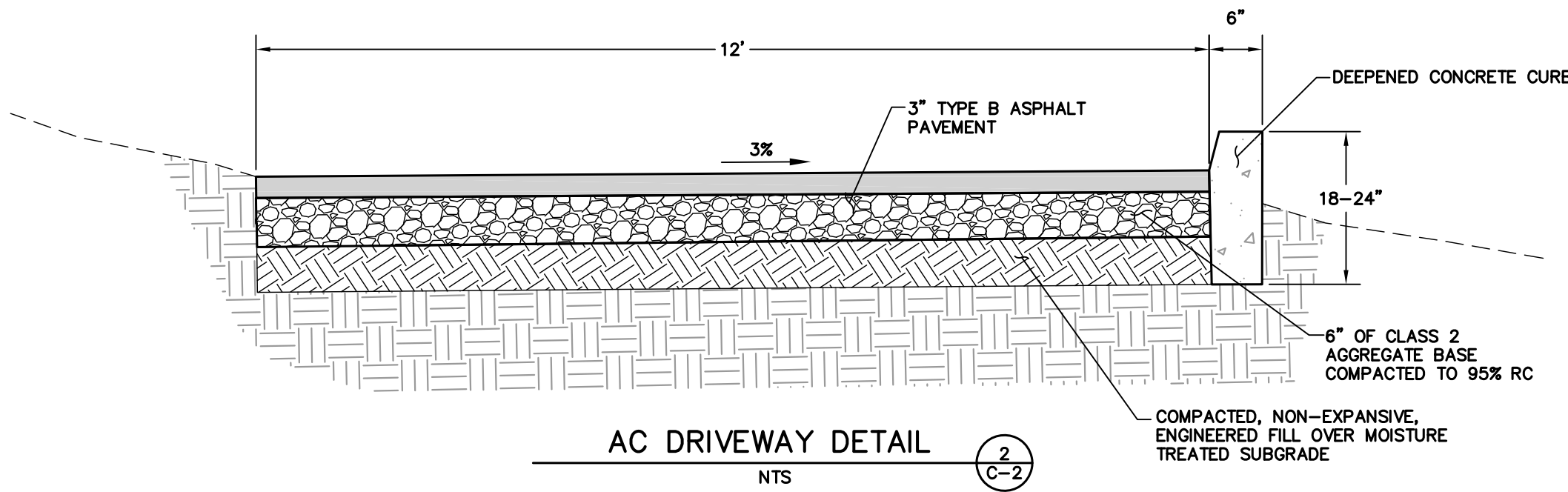
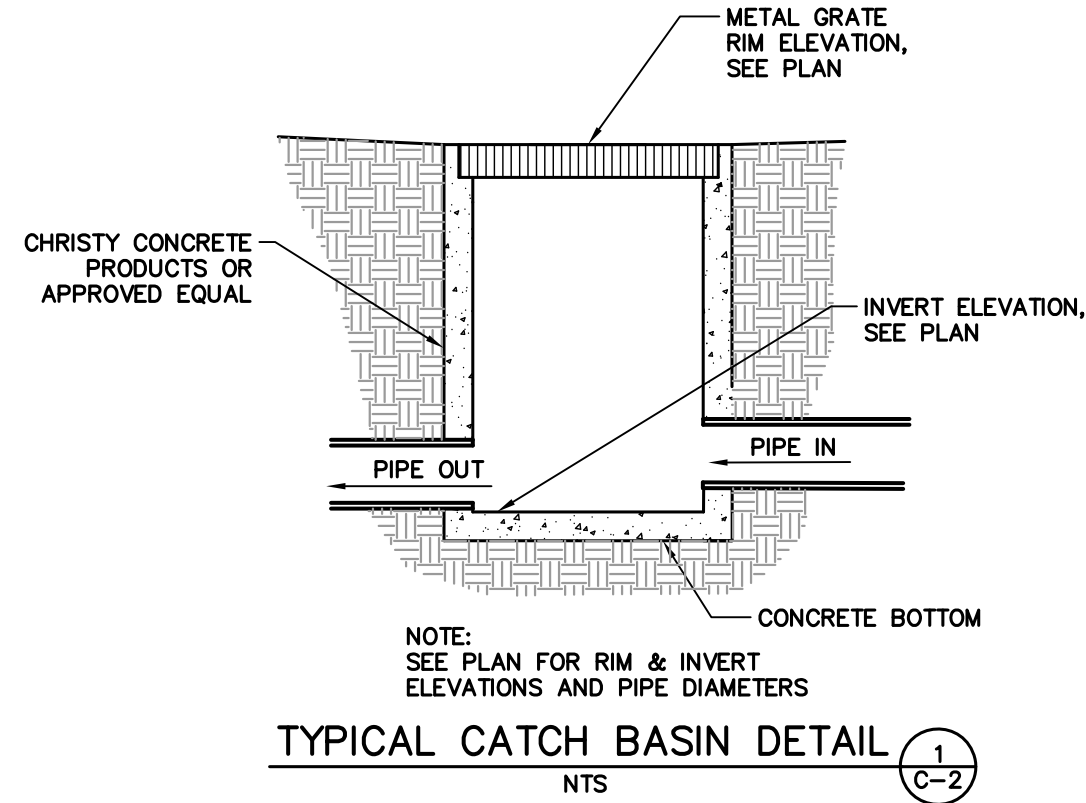
date
SEPTEMBER 2024

scale
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dwg name
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C-1

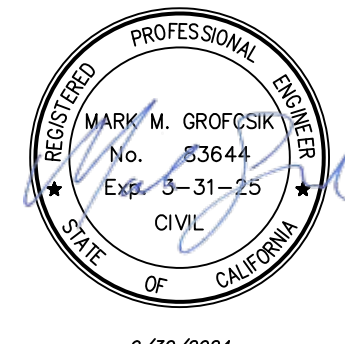
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POST CONSTRUCTION STORM DRAIN SYSTEM MAINTENANCE SCHEDULE			
ITEM	INTERVAL	INSPECTION	REPAIR
CATCH BASINS	ANNUAL	1. SEDIMENT BUILD UP 2. TRASH & DEBRIS	1. REMOVE SEDIMENT 2. REMOVE TRASH & DEBRIS
SWALES	ANNUAL	1. WASHOUTS 2. MISPLACED ROCK 3. ACCUMULATION OF TRASH & DEBRIS	1. REPLACE TRANSPORTED ROCK 2. REMOVE TRASH & DEBRIS
GRAVEL RETENTION PIT	ANNUAL	1. DISPLACEMENT OF GRAVEL 2. SCOUR AROUND PERIMETER 3. ACCUMULATION OF TRASH & DEBRIS	1. REPLACE GRAVEL 2. REPAIR DAMAGED SLOPES & FABRIC. 3. REMOVE TRASH & LOOSE DEBRIS

STORM DRAIN SYSTEM MAINTENANCE

THE HOME OWNER IS RESPONSIBLE FOR MAINTAINING THE STORM DRAINAGE SYSTEM AND ALL COMPONENTS. EVERY YEAR, PRIOR TO THE WET WEATHER SEASON (OCTOBER 15TH) ALL THE CATCH BASINS AND STORM DRAIN CLEANOUTS SHALL BE INSPECTED AND CLEANED OF ANY DEBRIS, SILT, TRASH AND SEDIMENT.



R.I. Engineering, Inc.

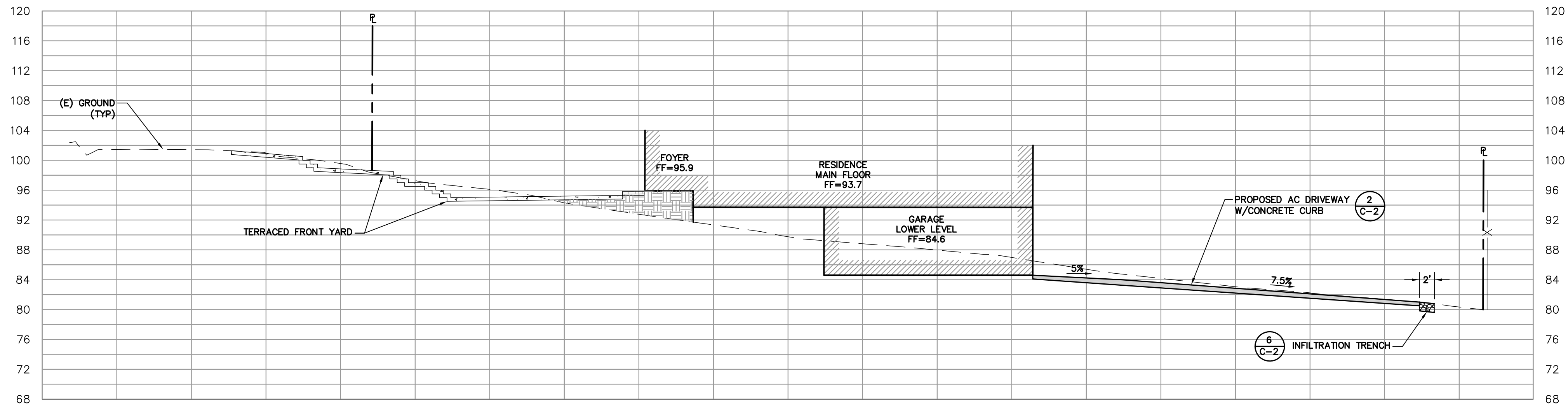
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NEW RESIDENCE
FOR
KAMRAN ASHKAR
2972 COLTON ROAD
PEBBLE BEACH, CA 93953
APN 007-812-028

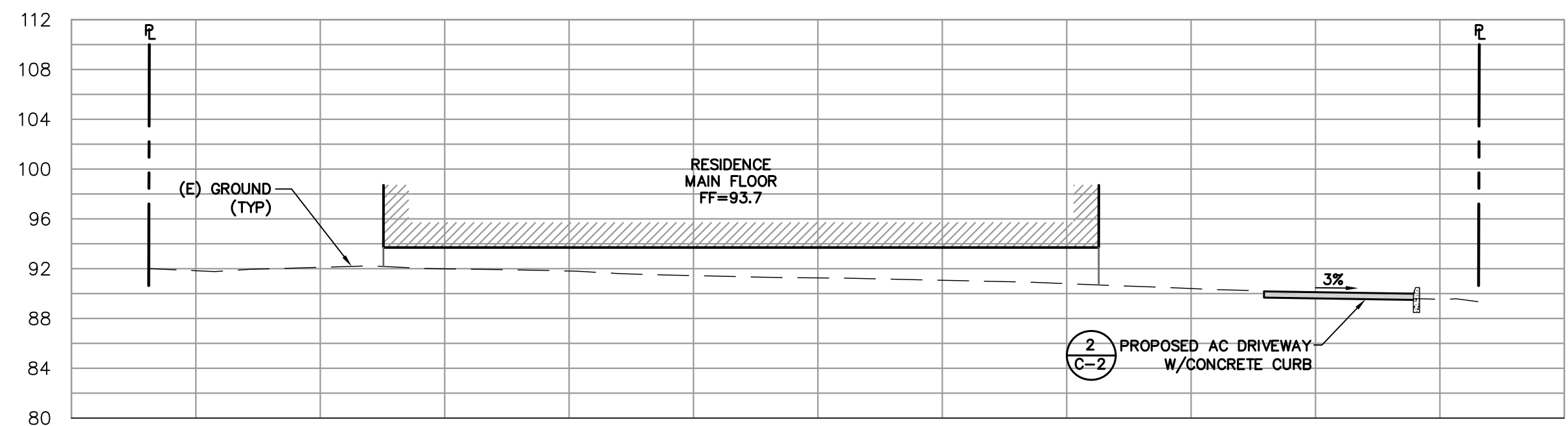
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project no.
24-073-1
date
SEPTEMBER 2024
scale
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dwg name
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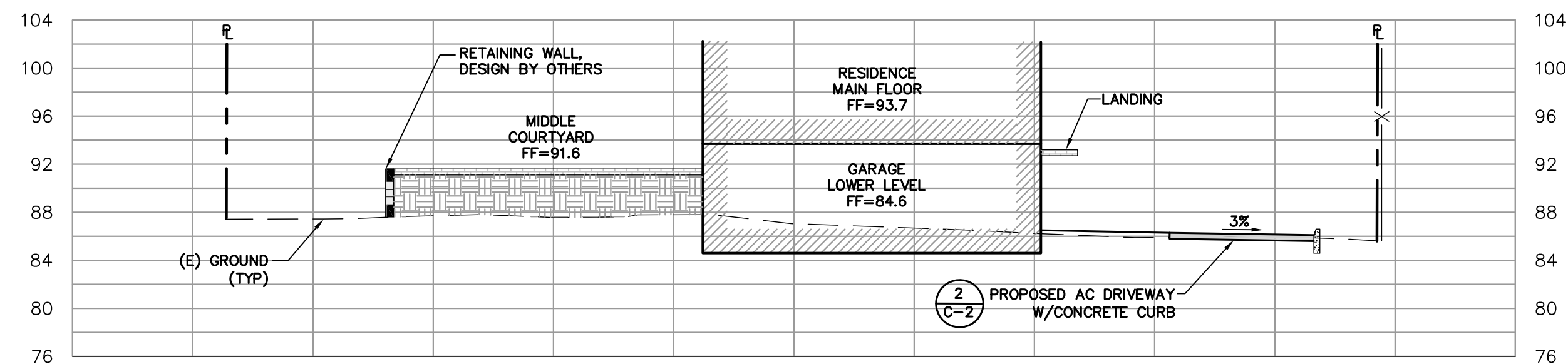
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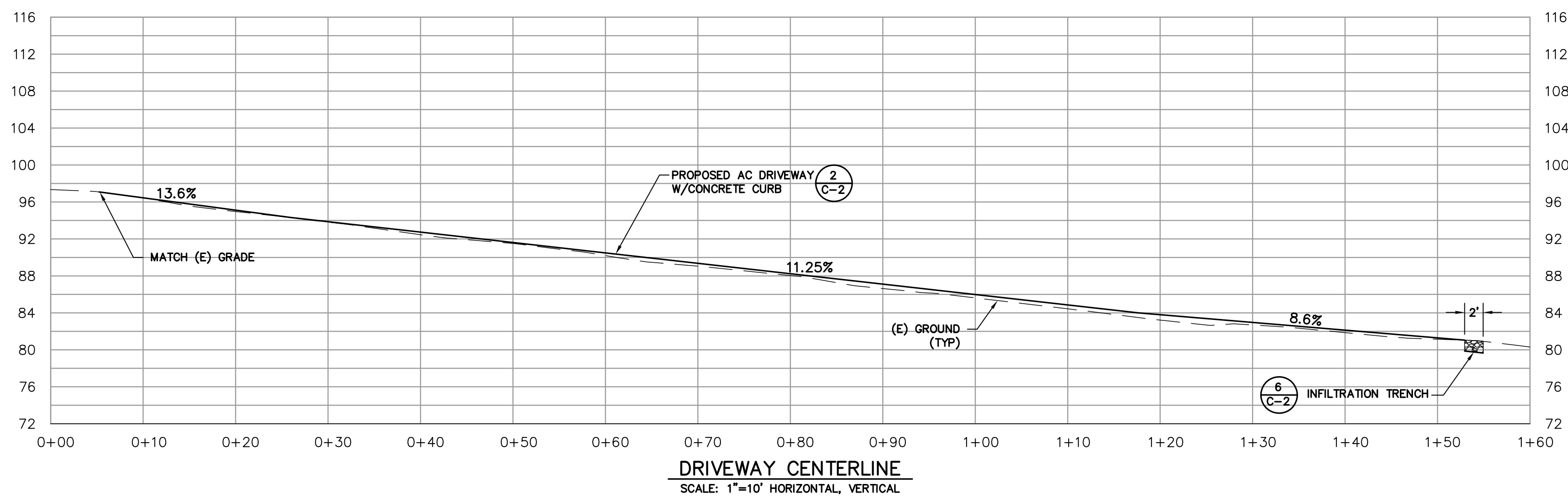
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SECTION B-B
SCALE: 1"=10' HORIZONTAL, VERTICAL



SECTION C-C
SCALE: 1"=10' HORIZONTAL, VERTICAL



DRIVEWAY CENTERLINE
SCALE: 1"=10' HORIZONTAL, VERTICAL



9/30/2024



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NEW RESIDENCE
FOR
KAMRAN ASHKAR
2972 COLTON ROAD
PEBBLE BEACH, CA 93953
APN 007-512-028

CROSS SECTIONS

project no.
24-073-1
date
SEPTEMBER 2024
scale
AS SHOWN
dwg name
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C-3

SITE HOUSEKEEPING REQUIREMENTS

CONSTRUCTION MATERIALS

1. ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, REBAR, LIME, ETC.) SHALL BE STOCKPILED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
2. ALL STOCKPILES OF CONSTRUCTION MATERIALS SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. CONCRETE CURB CURBMENT PAIRS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
3. BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

LANDSCAPE MATERIALS

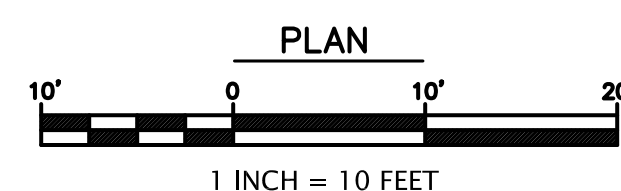
1. CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
2. CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
3. DISCONTINUE THE APPLICATION OF ANY ERODABLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIOD OF HIGH WINDS OR DROUGHT.
4. APPLY ERODABLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
5. STACK ERODABLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.

VEHICLE STORAGE AND MAINTENANCE

1. MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACES WATERS.
2. ALL EQUIPMENT OR VEHICLES, WHICH ARE THE BE FUELED, MAINTAINED AND STORED ONSITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMP'S.
3. LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

WASTE MANAGEMENT

1. DISPOSAL OF ANY RINSE OR WASH WATER OR MATERIALS ON IMPERVIOUS OR PEROUSIVE SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
2. SANITATION FACILITIES SHALL BE CONTAINED (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, AND FROM RIPARIAN AREA USES SUCH AS DRAINAGE UTILITY.
3. SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
4. COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING THE NIGHT.
5. DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
6. STOKPIPPLED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
7. PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
8. EQUIPMENT AND MATERIALS THAT ARE NOT FOR SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OR PROPERLY; AND
9. CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY BE USED IN ADDITION TO SPILL AREAS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.



EROSION CONTROL LEGEND

-
- INSTALL FIBER ROLL PER DETAILS THIS SHEET
- INSTALL CATCH BASIN PROTECTION PER DETAIL THIS SHEET
- INSTALL STABILIZED CONSTRUCTION ENTRANCE PER DETAIL THIS SHEET
- PROPOSED SLOPE PROTECTION

EROSION CONTROL MEASURES

1. EROSION IS TO BE CONTROLLED AT ALL TIMES ALTHOUGH SPECIFIC MEASURES SHOWN ARE TO BE IMPLEMENTED AT A MINIMUM BY OCTOBER 15.
 2. UNLESS SPECIFIC MEASURES ARE SHOWN OR NOTED ON THIS PLAN, ALL COLLECTED RUNOFF SHALL BE CARRIED TO DRAINAGE COURSES IN LINED CONDUITS, DISCHARGE SHALL BE IN THE LOCATIONS SHOWN ON THE PLANS.
 3. THE DESIRED END RESULT OF THESE MEASURES IS TO CONTROL EROSION AND PREVENT SEDIMENT TRANSPORT OFF THE SITE. IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ANY ADDITIONAL MEASURES NECESSARY TO MEET THIS GOAL ARE IMPLEMENTED. IF FAILED INSPECTIONS BY COUNTY STAFF SHOW THIS GOAL IS NOT BEING MET, ADDITIONAL MEASURES MAY BE REQUIRED.
 4. ALL DISTURBED AREAS NOT CURRENTLY BEING USED FOR CONSTRUCTION SHALL BE SEEDDED WITH THE FOLLOWING SEED MIXTURE:

WINTER BARLEY	25#/ACRE
---------------	----------
 5. AFTER SEEDING, STRAW MULCH WILL BE APPLIED IN 4" (AVG.) LAYERS.
 6. AMMONIUM PHOSPHATE FERTILIZER, 6-3-3, SHALL BE APPLIED AT A RATE OF 50 LBS. PER ACRE, ON SLOPED GRASSLAND WITH 20% EROSION CONTROL BLANKET (NORTH AMERICAN GREEN) SHALL BE APPLIED.
 7. SILT BARRIERS SHALL BE PLACED END TO END AND STAKED DOWN ALONG THE BOTTOM OF ALL GRADED SLOPES.
- ALL EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO SILT FENCES, FIBER ROLLS AND SLOPE PROTECTION SHALL BE IN PLACE BY OCTOBER 15TH. THE ENGINEER OF RECORD SHALL BE NOTICED ONCE EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

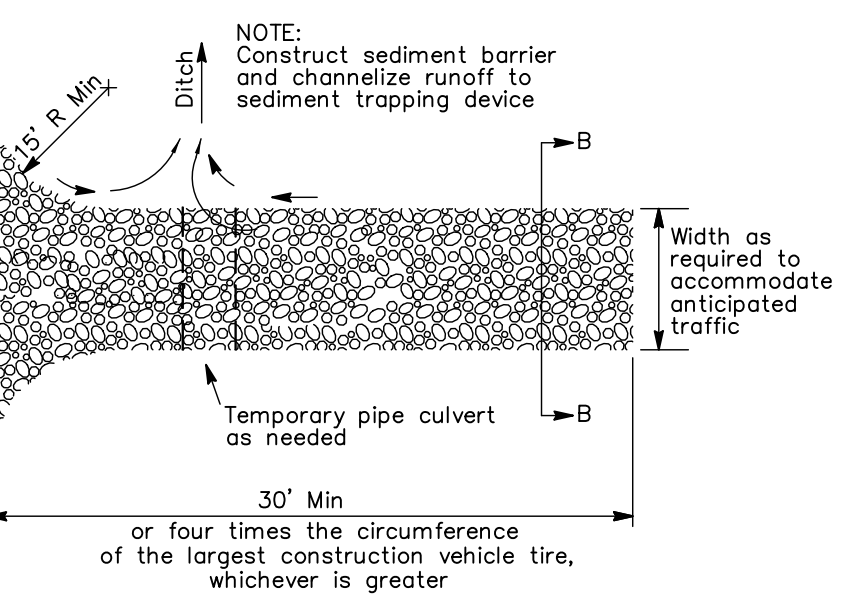
EXPOSED SLOPE MEASURES

1. COVER ALL EXPOSED SLOPES
2. STRAW 2 TONS/ACRE ON SLOPES $\leq 20\%$ WITH SOIL BINDER
3. USE NORTH AMERICAN GREEN C125 OR EQUAL ON SLOPES $>20\%$.



GRAVEL BAG CATCH BASIN PROTECTION

NTS



CONSTRUCTION ENTRANCE DETAIL

NTS

BUILDING PERMIT SUBMITTAL



0/30/2024



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NEW RESIDENCE
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scale
AS SHOWN

dwg name

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