

FUEL MANAGEMENT PLAN NOTES:

ALL NEW PLANT MATERIAL ON PROPERTY WILL BE IRRIGATED WITH DRIP IRRIGATION. ONLY EXISTING VEGETATION ON SITE ARE MATURE TREES. ALL TREES ONSITE TO BE KEPT FREE OF DEAD WOOD.

GREEN ZONE: 0'-30' AWAY FROM HOUSE.

- GUIDELINES AS FOLLOWS:
- ALL DRY AND DEAD GRASS KEPT TO A HEIGHT OF 4".
  - MAINTAIN THE ROOF AND GUTTERS OF STRUCTURE FREE OF LEAVES, NEEDLES, OR OTHER DEAD VEGETATIVE GROWTH.
  - MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD WOOD.
  - TRIM TREE LIMBS THAT EXTEND WITHIN 10' OF THE OUTLET OF A CHIMNEY.
  - TRIM DEAD PORTIONS OF TREE LIMBS WITHIN 10' FROM THE GROUND.
  - REMOVE ALL DEAD FALLEN MATERIAL UNLESS IT IS EMBEDDED IN THE SOIL.
  - REMOVE ALL CUT MATERIAL FROM THE AREA.
  - MAINTAIN SCREEN OVER CHIMNEY OUTLET.

MANAGEMENT ZONE: 30' - 100' AWAY FROM HOUSE.

- GUIDELINES AS FOLLOWS:
- KEEP ANY NON IRRIGATED VEGETATION LOW TO THE GROUND.

EMERGENCY VEHICLE ACCESS:  
VEHICLE ACCESS FROM HIGHWAY 1.

PLANNING INFO.

- PROPERTY OWNER:  
JEFF & DONNA TEDFORD  
2272 E. KYNZLEE AVENUE  
FRESNO, CA 93730
- PROJECT ADDRESS:  
31525 HIGHWAY 1  
CARMEL, CA 93923
- PROJECT SCOPE:
  - 3,868 S.F. ADDITION TO & REMODEL OF EXISTING 2,645 S.F. SINGLE FAMILY RESIDENCE.
  - NEW 189 S.F. STORAGE AT EXISTING GARAGE.
  - NEW EXTERIOR DOORS AND WINDOWS.
  - NEW 173 S.F. COVERED TERRACES WITH BALCONIES ABOVE, NEW 310 S.F. COVERED LOGGIA WITH UPPER TERRACE ABOVE, & NEW 225 S.F. OUTDOOR KITCHEN.
  - RELOCATE EXISTING POOL UTILITY SHED.
  - NEW 91 S.F. OUTDOOR STEPS AND BUILT-IN FURNITURE.
  - EXISTING MOTOR COURT TO BE RECONFIGURED, AND NEW GUEST PARKING.
- OCCUPANCY: R-3, U
- CONST. TYPE: V-B
- A.P.N. 243-221-030
- ZONE: WSC/40-D(CZ)
- STORIES: TWO
- MAX BLDG. HT: 24 FT
- GRADING: 130 CY CUT | 105 CY FILL (25 CY NET CUT), SEE CIVIL PLANS
- TREE REMOVAL: NONE
- TOPOGRAPHY: SLOPED
- PROJECT CODE COMPLIANCE:  
2022 CBC, CMC, CPC, CFC, CEC, CALIFORNIA RESIDENTIAL CODE,  
CALIFORNIA GREEN BUILDING CODE & CALIFORNIA ENERGY CODE
- LOT AREA: 216,190.52 SF (4.963 Ac.)
- LOT COVERAGE CALCULATIONS:

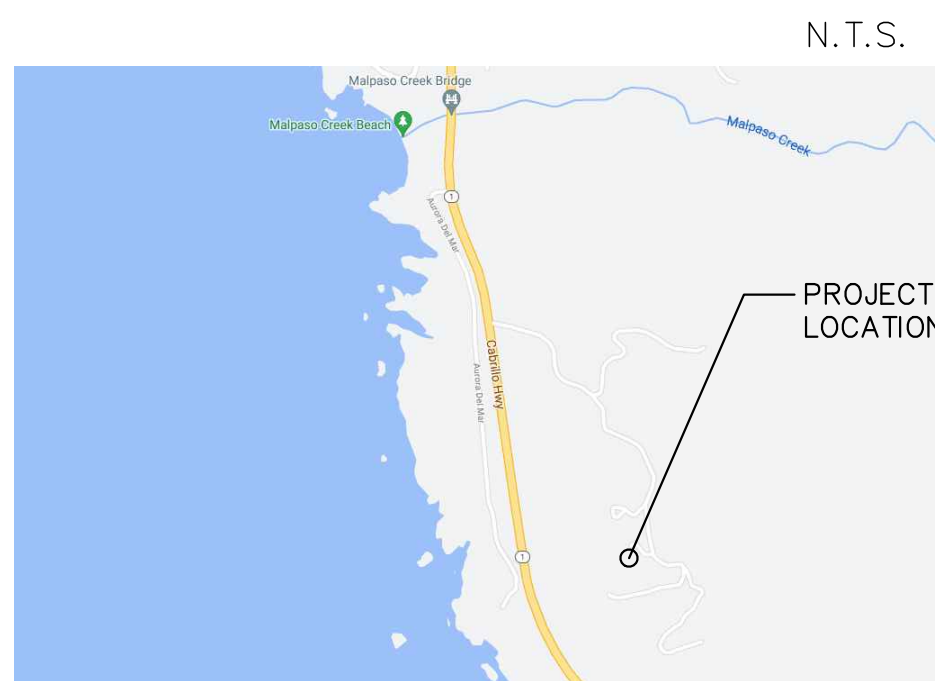
	EXISTING	PROPOSED REMOVAL	PROPOSED ADDITION	PROPOSED TOTAL
MAIN RESIDENCE	1520	-120	1843	3243
GARAGE	462	0	0	462
GUESTHOUSE	999	0	0	999
SHEDS	234	-103	0	131
TREE HOUSE	61	0	0	61
COVERED LOGGIAS	289	-289	310	310
COVERED TERRACE	0	0	173	173
COVERED ENTRY	239	-239	0	0
MECH./STORAGE	36	0	189	225
UTILITY SHEDS	37	0	0	37
OUTDOOR KITCHEN	0	0	225	225
OUTDOOR STEP/FURNITURE	0	0	91	91
TOTAL	3877	-751	2831	5957

- LOT COVERAGE ALLOWED: 21,619 SF (10%)
- LOT COVERAGE PROPOSED: 5,957 SF (2.76%)
- F.A.R. CALCULATIONS:

	EXISTING	PROPOSED REMOVAL	PROPOSED ADDITION	PROPOSED TOTAL
MAIN BUILDING	1520	-120	1843	3243
MAIN FLOOR	1125	-26	2171	3270
UPPER FLOOR	462	0	0	462
GARAGE	999	0	0	999
QUESTHOUSE	4106	-146	4014	7974

- F.A.R. PROPOSED: 7,974 SF (3.69%)

VICINITY MAP

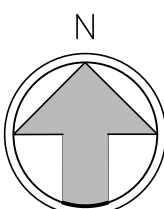


PLOT PLAN

N.T.S.

PROPOSED SITE PLAN

1/16"=1'-0"



JUN A. SILLANO, AIA



ARCHITECTURE • PLANNING • INTERIOR DESIGN

721 LIGHTHOUSE AVE  
PACIFIC GROVE CA.  
93950

PH: (931) 646-1261  
FAX: (931) 646-1290  
EMAIL: info@idg-inc.net  
WEB: idg-inc.net

DISCLAIMER:

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THIS OFFICE AND HAVE BEEN CREATED, DEVELOPED AND ENGINEERED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR COLORED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF THIS OFFICE. ANY REUSE OF ANY PART OF THESE DRAWINGS SHALL BE AT THE USER'S SOLE RISK AND RESPONSIBILITY. THE USER SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE USER MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL, BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

TEDFORD  
RESIDENCE

PROJECT ADDRESS:

31525 HIGHWAY 1  
CARMEL, CA  
93923

APN: 243-221-030

DATE: NOVEMBER 12, 2024  
APPLICATION REQUEST

REVISIONS:

- JANUARY 8TH
- MEETING WITH PLANNER
- MARCH 27, 2025
- PLANNING SUBMITTAL
- JULY 28, 2025
- PLANNING RESUBMITTAL

SITE  
PLAN

SHEET NO.

A1.0



DISCLAIMER:  
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THIS OFFICE AND HAVE BEEN CREATED, INVENTED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OFFICE MUST BE ADVISED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

TEDFORD  
RESIDENCE

PROJECT ADDRESS:

31525 HIGHWAY 1  
CARMEL, CA  
93923

APN: 243-221-030

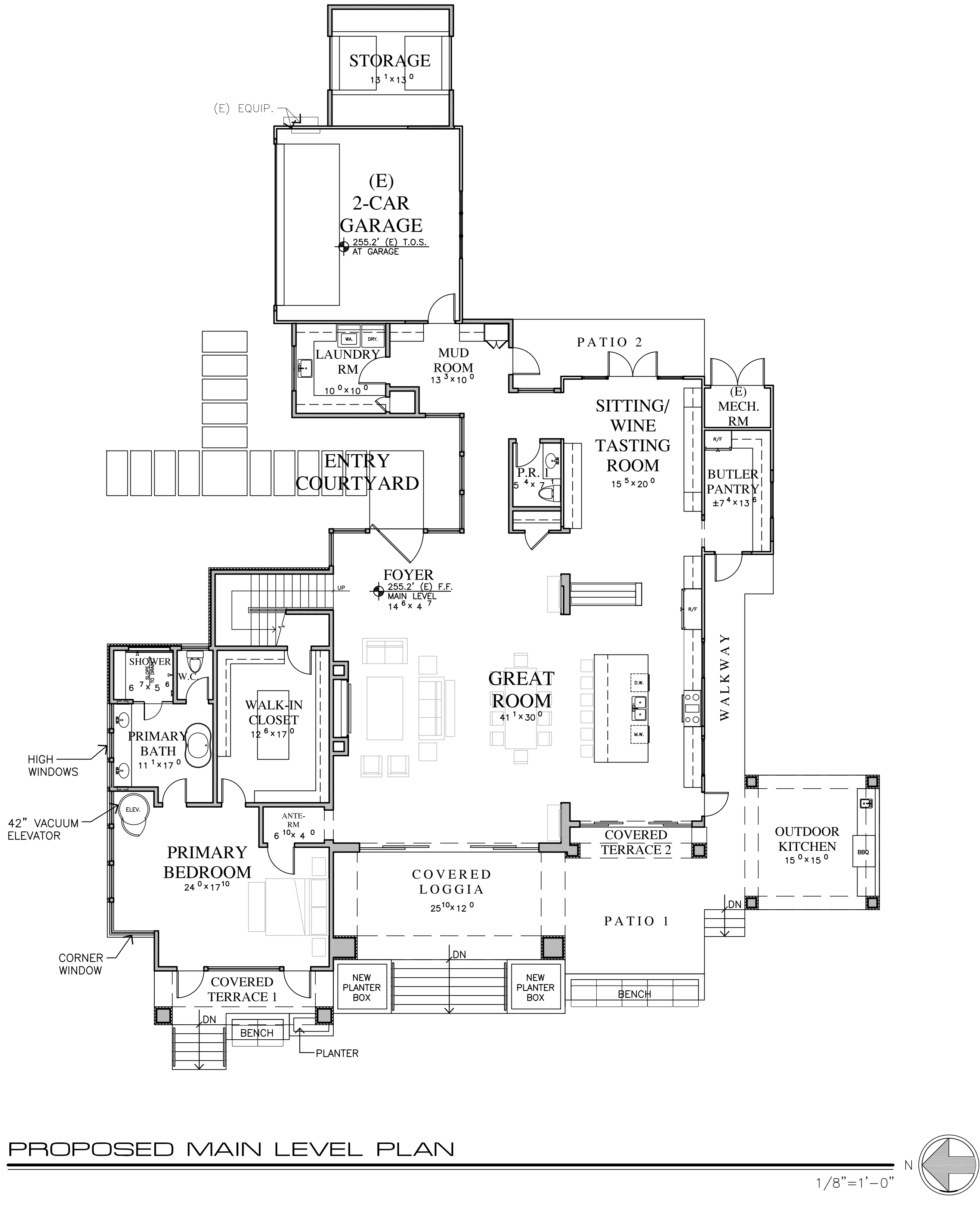
DATE: NOVEMBER 12, 2024  
APPLICATION REQUEST

REVISIONS:	
△	JANUARY 8TH
△	MEETING WITH PLANNER
△	MARCH 27, 2025
△	PLANNING SUBMITTAL
△	JULY 28, 2025
△	PLANNING RESUBMITTAL
△	
△	
△	

PROPOSED MAIN  
LEVEL PLAN

SHEET NO.

A2.0



DISCLAIMER:

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THIS OFFICE AND HAVE BEEN CREATED, INVENTED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

TEDFORD  
RESIDENCE

PROJECT ADDRESS:

31525 HIGHWAY 1  
CARMEL, CA  
93923

APN: 243-221-030

DATE: NOVEMBER 12, 2024

APPLICATION REQUEST

REVISIONS:

△	JANUARY 8TH	
△	MEETING WITH PLANNER	
△	MARCH 27, 2025	
△	PLANNING SUBMITTAL	
△	JULY 28, 2025	
△	PLANNING RESUBMITTAL	
△		
△		
△		

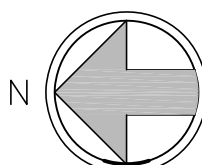
PROPOSED UPPER  
LEVEL PLAN

SHEET NO.

A3.0

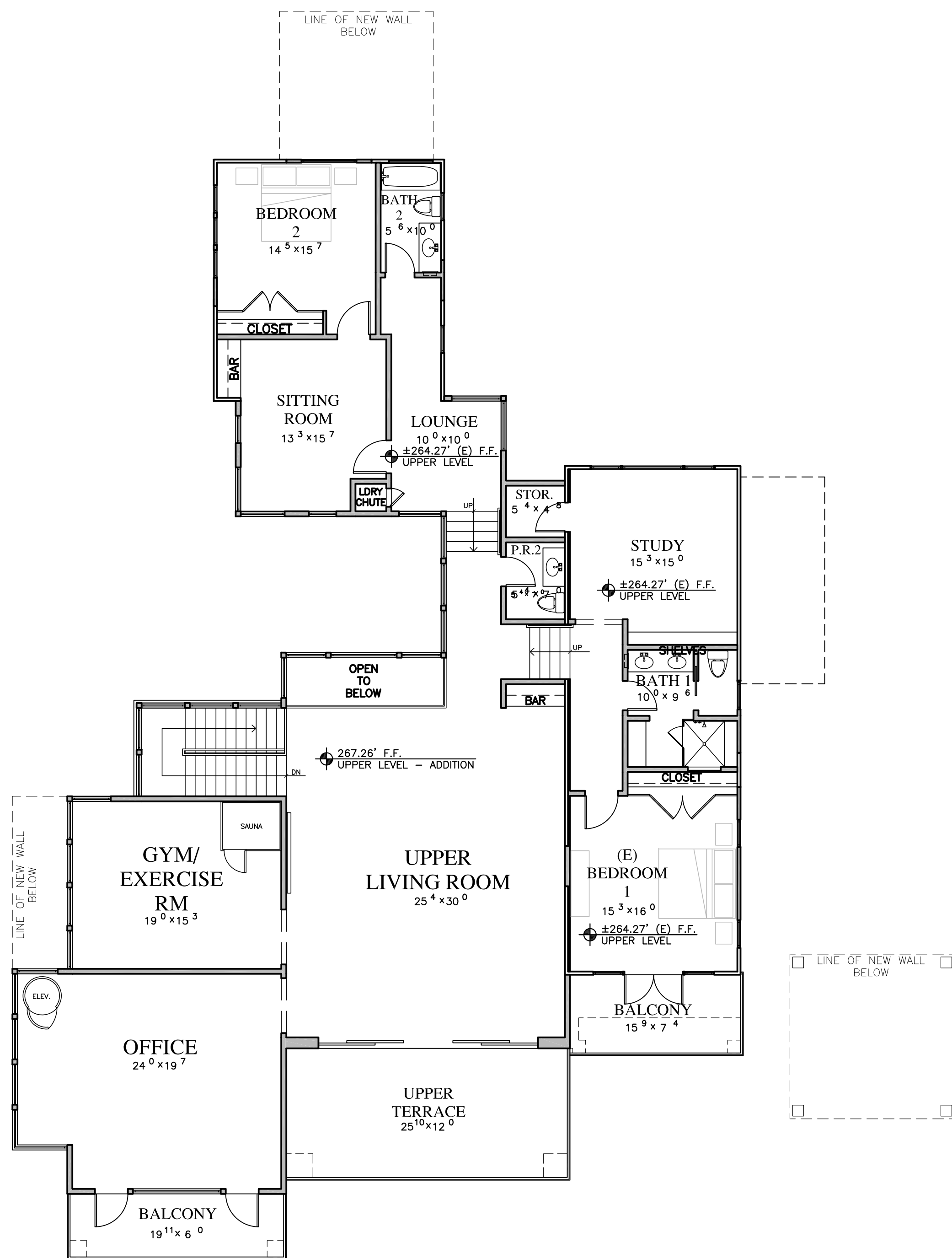
PROPOSED UPPER LEVEL PLAN

1/8"=1'-0"



WALL LEGEND

—	2X EXISTING WALL TO REMAIN
—	2X6 EXTERIOR STUD FRAMED WALL
—	2X4 INTERIOR STUD FRAMED WALL, U.O.N.



DISCLAIMER:

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THIS OFFICE AND HAVE BEEN CREATED, DEVELOPED AND OBTAINED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OFFICE WILL BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

TEDFORD  
RESIDENCE

PROJECT ADDRESS:

31525 HIGHWAY 1  
CARMEL, CA  
93923

APN: 243-221-030

DATE: NOVEMBER 12, 2024

APPLICATION REQUEST

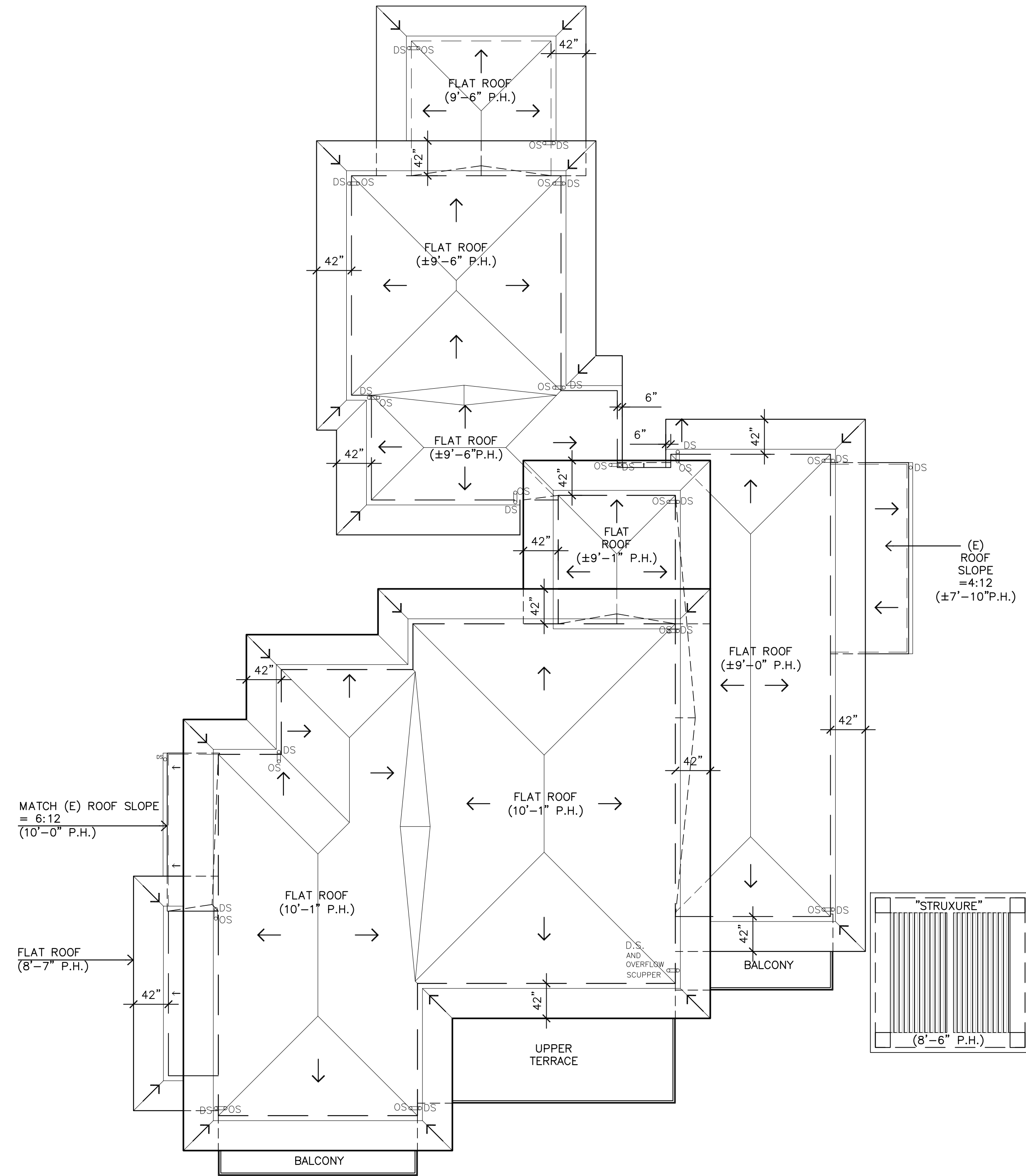
REVISIONS:

△	JANUARY 8TH	
△	MEETING WITH PLANNER	
△	MARCH 27, 2025	
△	PLANNING SUBMITTAL	
△	JULY 28, 2025	
△	PLANNING RESUBMITTAL	
△		
△		
△		

PROPOSED  
ROOF PLAN

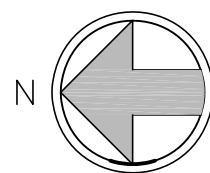
SHEET NO.

A5.0



PROPOSED ROOF PLAN

1/8"=1'-0"





## DISCLAIMER:

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THIS OFFICE AND HAVE BEEN CREATED, DEVELOPED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR FOR ANY OTHER PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF THIS OFFICE. WRITTEN PERMISSION SHALL BE OBTAINED FROM THE ARCHITECT BEFORE ANY SUCH REUSE OF THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

## STAMPS:

## PROJECT/CLIENT:

TEDFORD  
RESIDENCE

## PROJECT ADDRESS:

31525 HIGHWAY 1  
CARMEL, CA  
93923

APN: 243-221-030

DATE: NOVEMBER 12, 2024

APPLICATION REQUEST

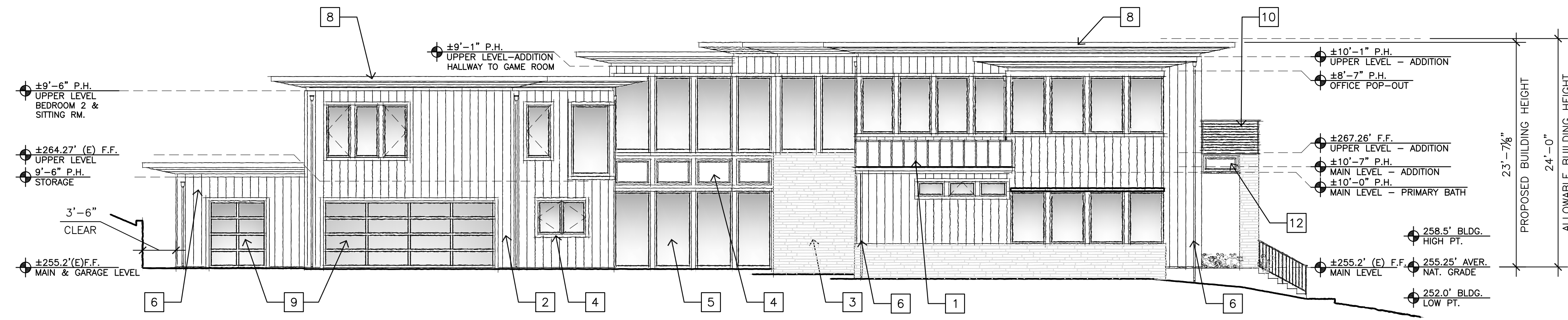
## REVISIONS:

△ JANUARY 8TH  
MEETING WITH PLANNER  
△ MARCH 27, 2025  
PLANNING SUBMITTAL  
△ JULY 28, 2025  
PLANNING RESUBMITTAL  
△  
△  
△

## ELEVATIONS

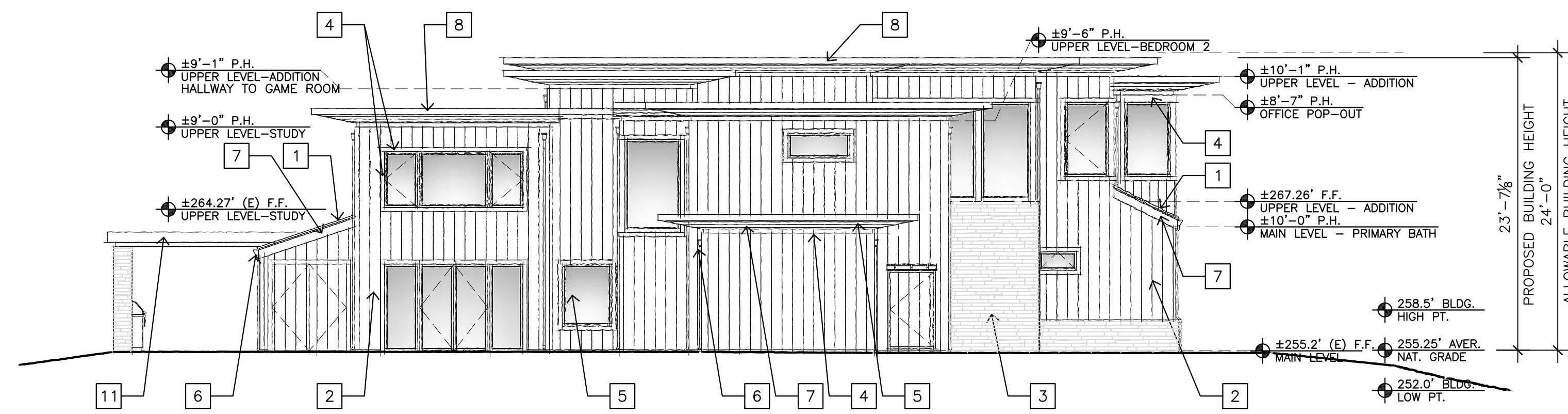
SHEET NO.

A6.0



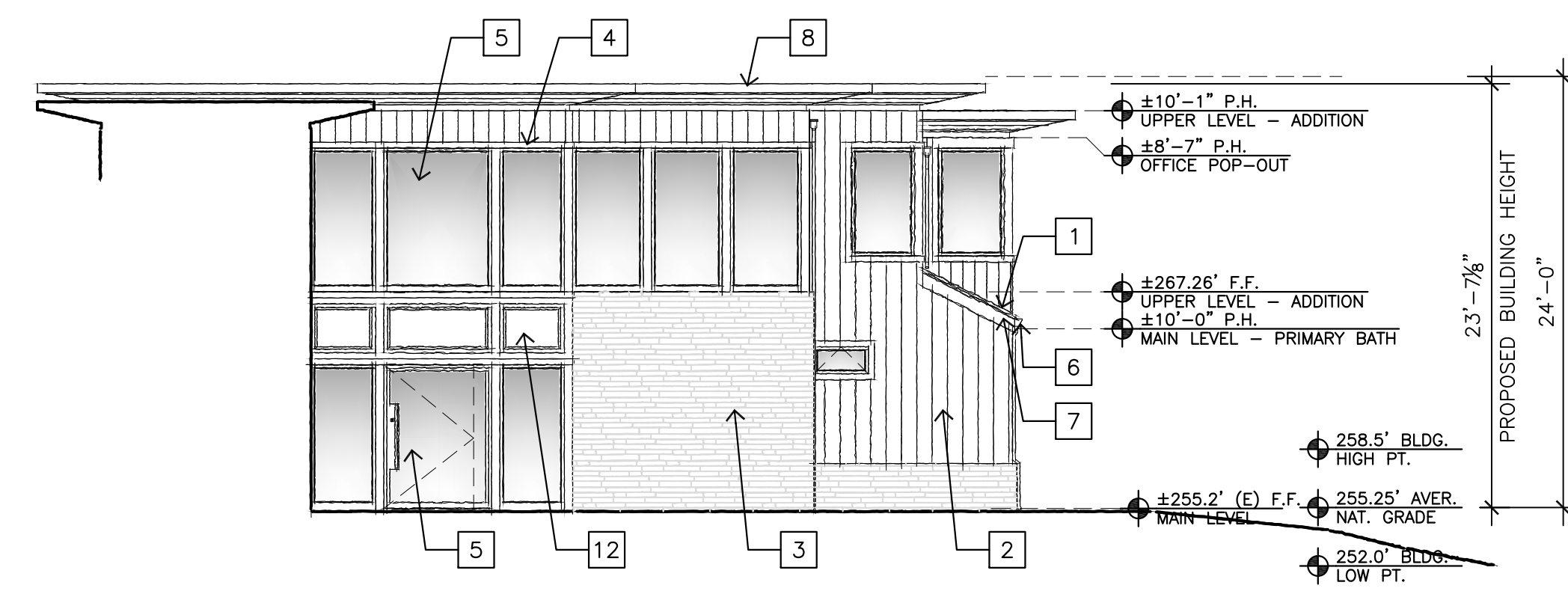
NORTH ELEVATION

1/8"=1'-0"



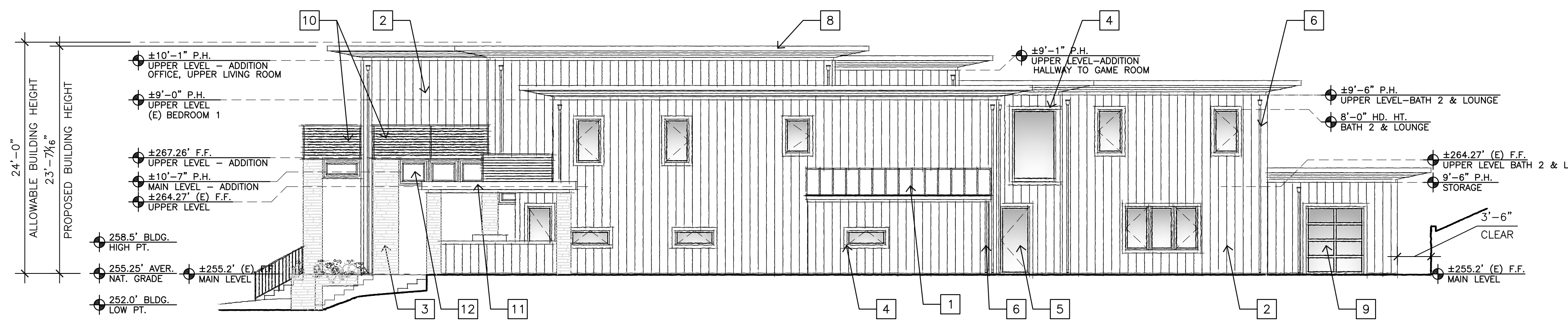
EAST ELEVATION

1/8"=1'-0"



EAST ELEVATION - ENTRY COURTYARD

1/8"=1'-0"



SOUTH ELEVATION

1/8"=1'-0"

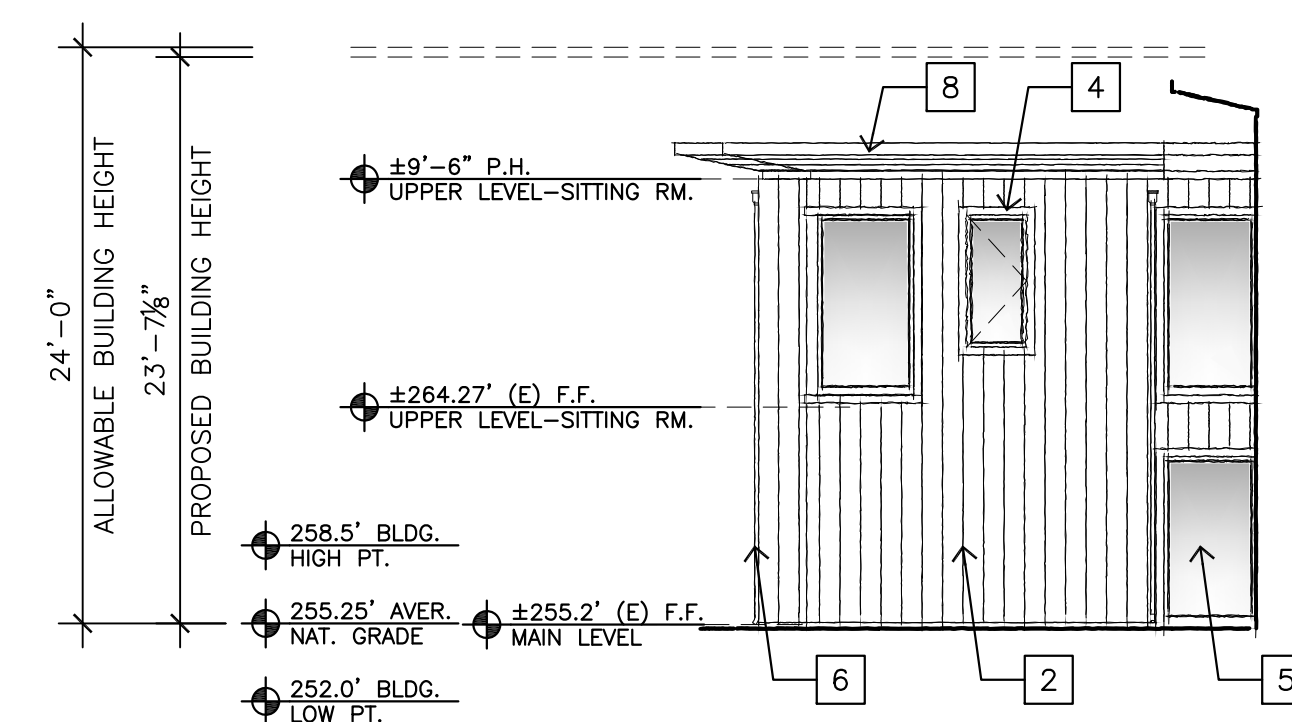
## EXTERIOR FINISH LEGEND

- 1 STANDING SEAM METAL ROOF
- 2 PAINTED JAMES HARDIE SMOOTH PANEL EXTERIOR SIDING, 10" WIDTH VERTICAL PANEL
- 3 RANDOM LINEAR STONE VENEER
- 4 PAINTED 2X CEDAR TRIM, SURROUNDS, AND SILLS
- 5 ALUMINUM EXTERIOR DOORS & WINDOWS, ARCADIA CUSTOMS OR EQUAL
- 6 5" FASCIA ALUMINUM GUTTERS & 2X3 ALUMINUM DOWNSPOUTS
- 7 2X10 CEDAR TRIM
- 8 2X8 CEDAR FASCIA WITH 2X6 CEDAR DECKING EAVE
- 9 PRE-FINISHED ALUMINUM ROLL-UP OVERHEAD GARAGE DOOR, CLOPAY OR EQUAL
- 10 1 1/2"x1 1/2" PAINTED GALVANIZED POST WITH CABLE RAILING AND WOOD CAP
- 11 "STRUXURE" MOTORIZED PERGOLA, COORDINATE WITH OWNER AND ARCHITECT
- 12 PAINTED 2X CEDAR PANEL



WEST ELEVATION

1/8"=1'-0"



WEST ELEVATION - ENTRY COURTYARD

1/8"=1'-0"



DISCLAIMER:

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THIS OFFICE AND HAVE BEEN CREATED, DEVELOPED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER DIMENSIONS SHOWN BY THESE DRAWINGS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

**TEDFORD  
RESIDENCE**

PROJECT ADDRESS:

**31525 HIGHWAY 1  
CARMEL, CA  
93923**

APN: 243-221-030

DATE: NOVEMBER 12, 2024  
APPLICATION REQUEST

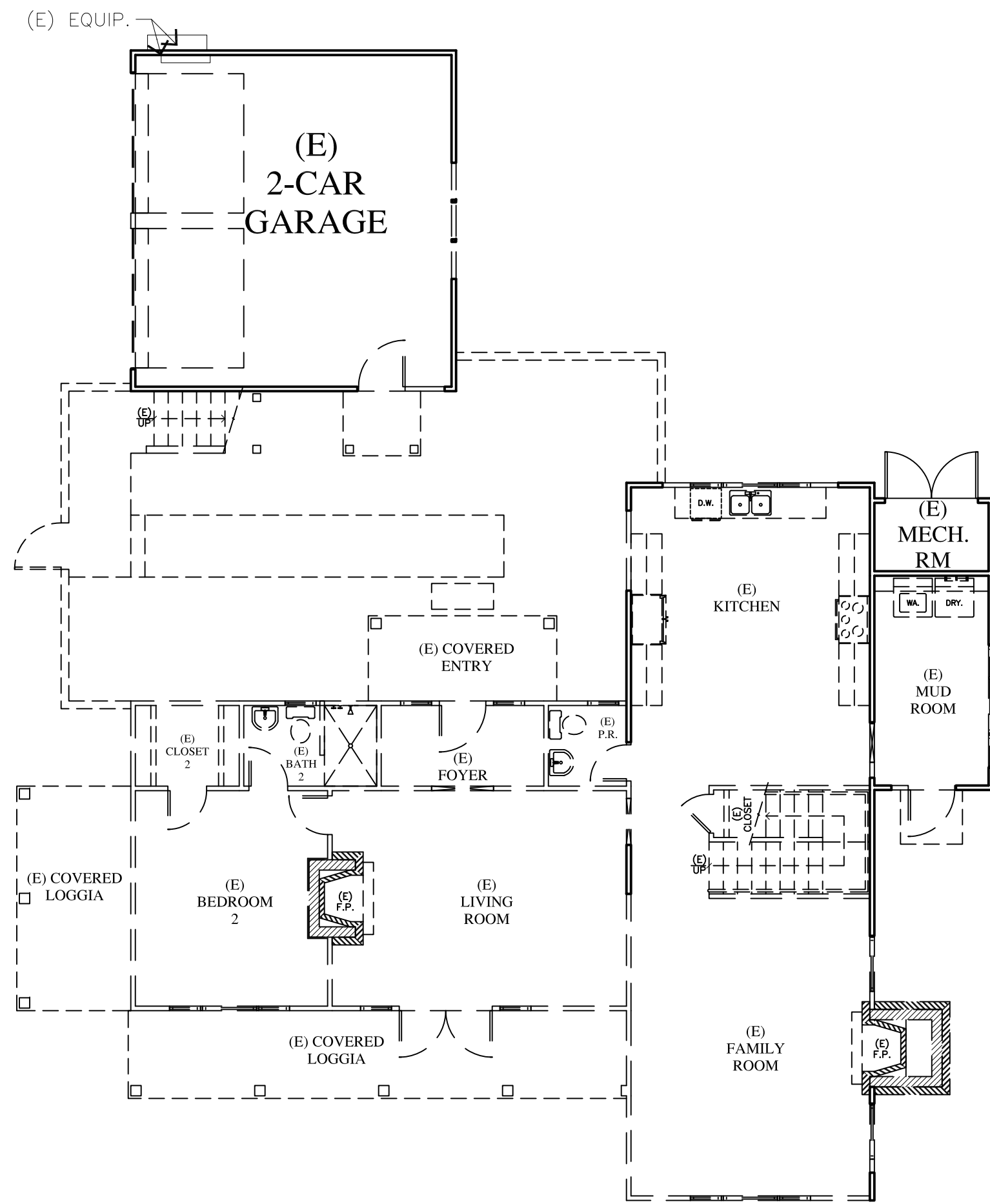
REVISIONS:

△	JANUARY 8TH	
△	MEETING WITH PLANNER	
△	MARCH 27, 2025	
△	PLANNING SUBMITTAL	
△	JULY 28, 2025	
△	PLANNING RESUBMITTAL	
△		
△		
△		

**MAIN & UPPER  
LEVEL DEMO PLANS**

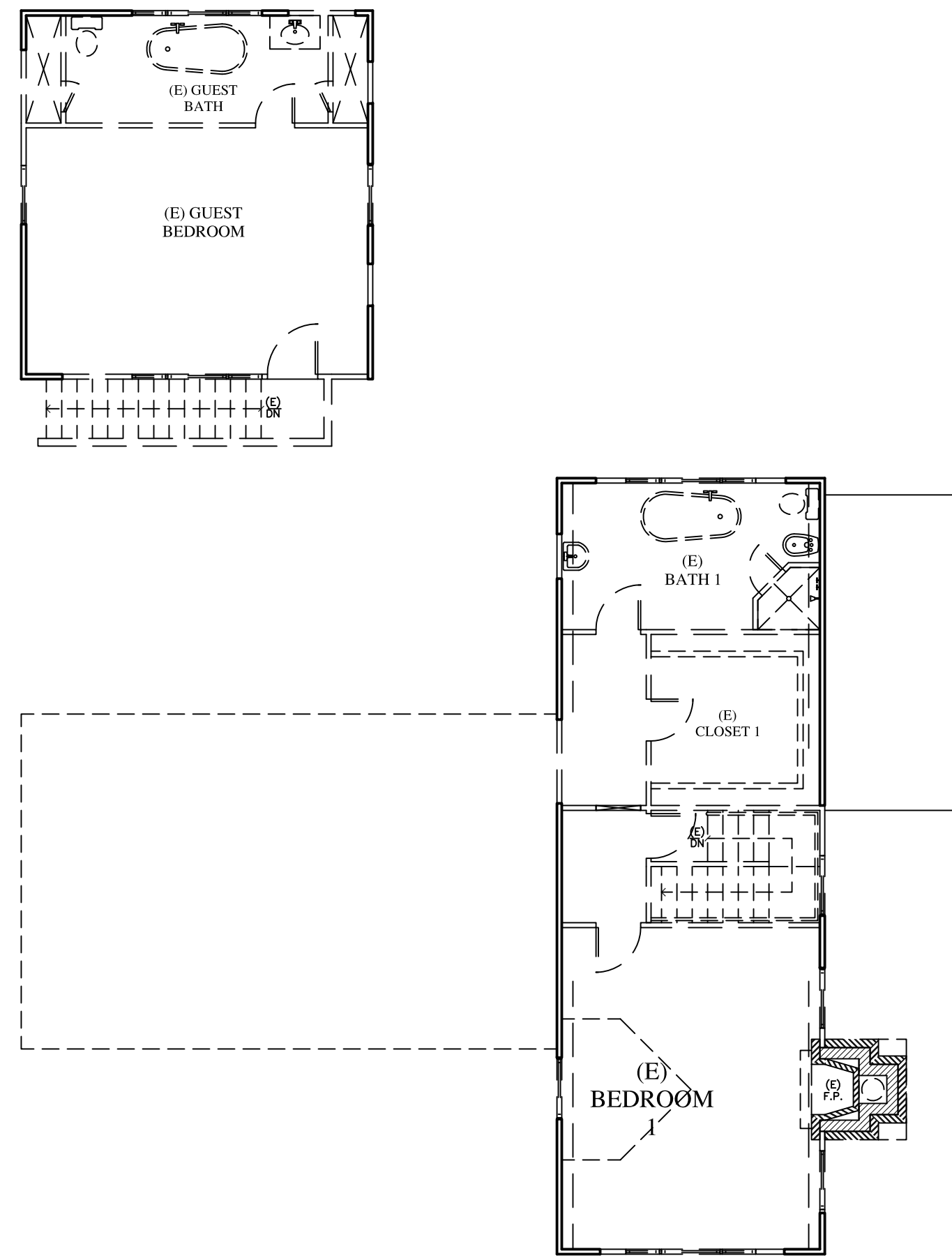
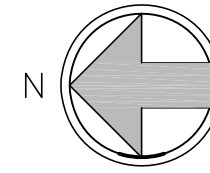
SHEET NO.

**D1.0**



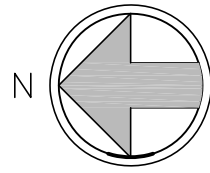
MAIN LEVEL EXISTING-DEMOLITION PLAN

1/8"=1'-0"



UPPER LEVEL EXISTING-DEMOLITION PLAN

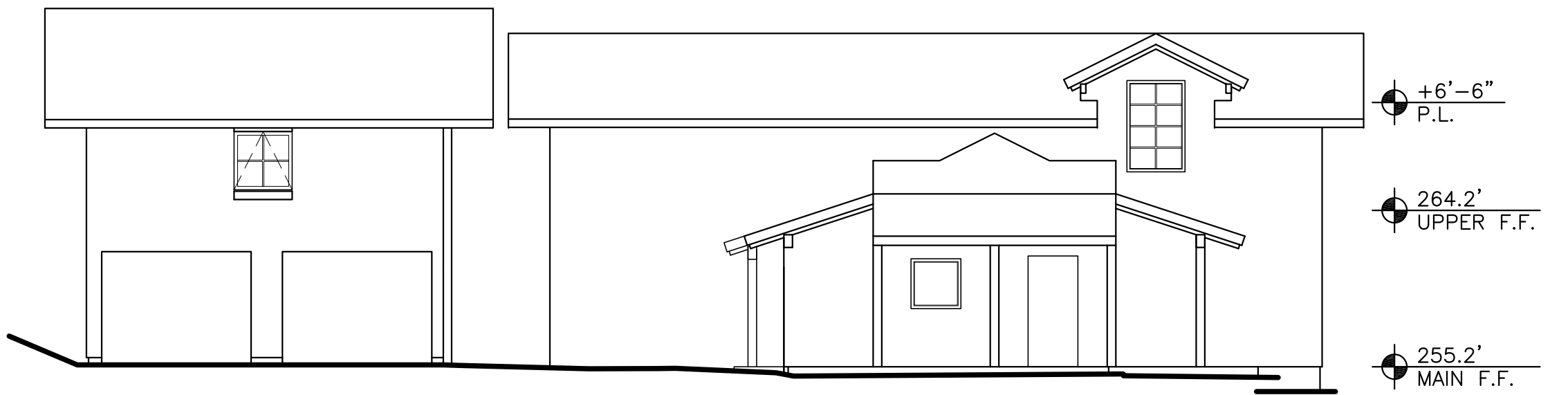
1/8"=1'-0"



**WALL LEGEND**

- 2X EXISTING WALL TO REMAIN
- (E) DOOR OR WINDOW TO BE REMOVED
- 2X EXISTING WALL TO BE REMOVED





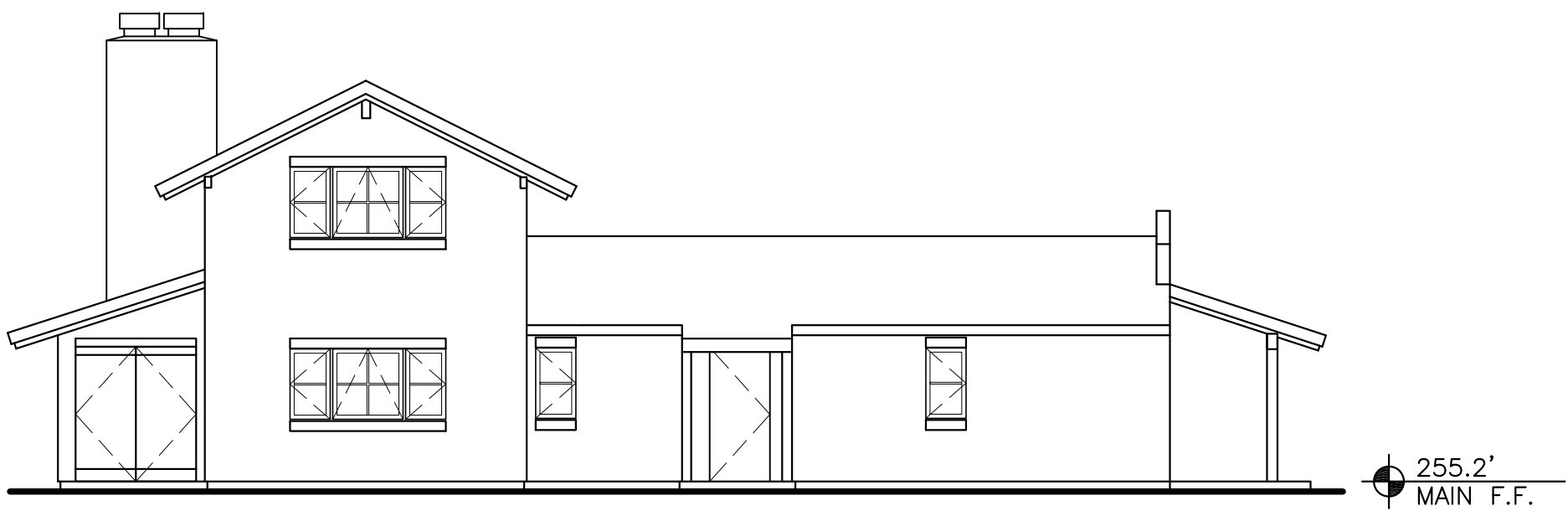
NORTH ELEVATION

1/8"=1'-0"



SOUTH ELEVATION

1/8"=1'-0"



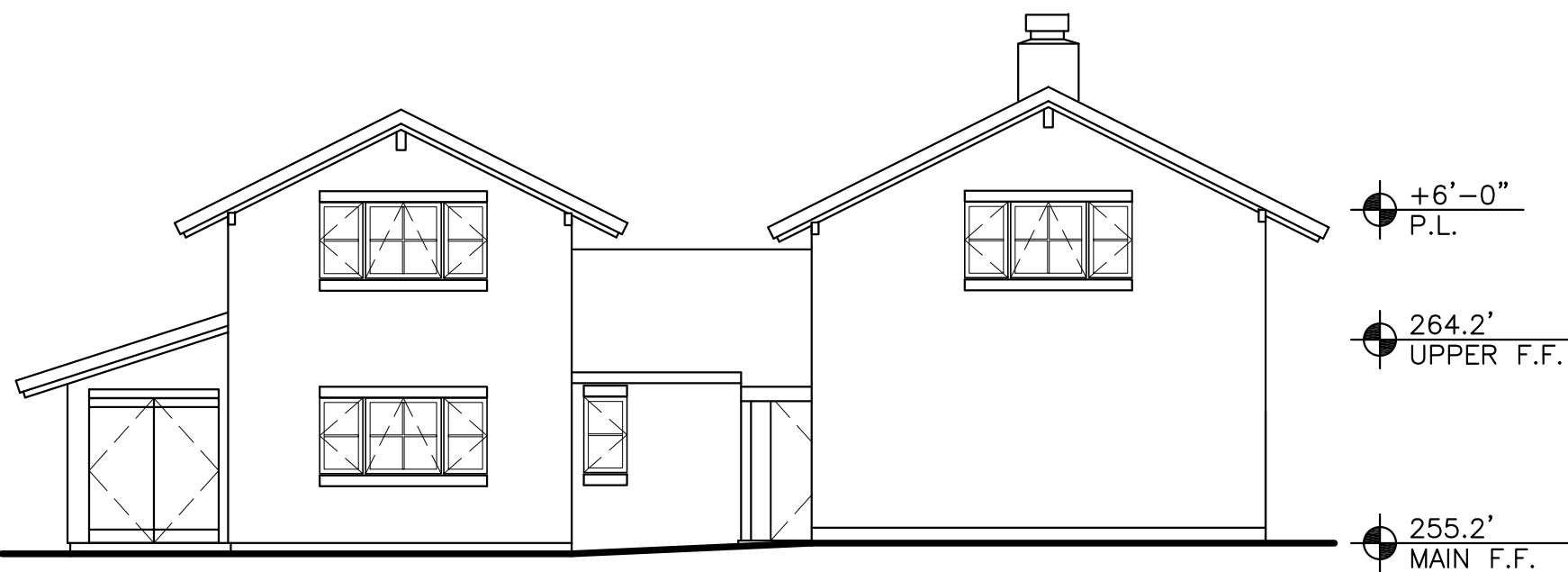
EAST ELEVATION 1

1/8"=1'-0"



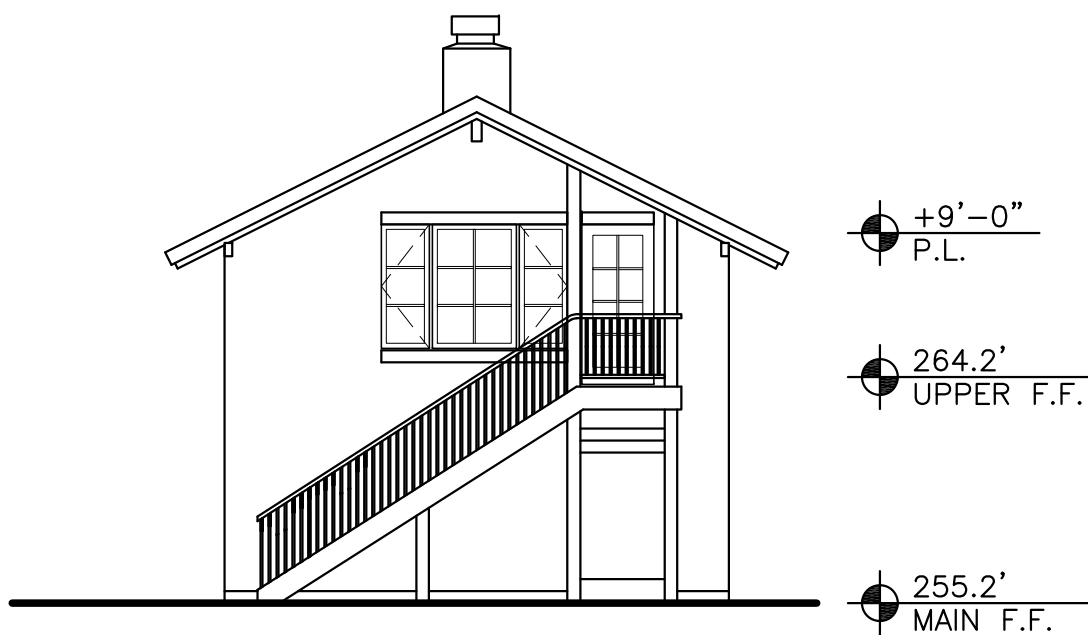
WEST ELEVATION

1/8"=1'-0"



EAST ELEVATION 2

1/8"=1'-0"



GARAGE WEST ELEVATION

1/8"=1'-0"



GRADING, DRAINAGE, AND EROSION CONTROL PLAN  
OF  
THE TEDFORD RESIDENCE  
APN: 243-221-030  
CARMEL HIGHLANDS, MONTEREY COUNTY, CALIFORNIA



VICINITY MAP  
NOT TO SCALE



LOT OVERVIEW  
SCALE: 1" = 120'

GENERAL NOTES:

- PROJECT DESIGN IS BASED ON INFORMATION OBTAINED FROM THE ARCHITECTURAL PLANS FOR THE TEDFORD RESIDENCE PREPARED BY IDG, DATED 11/12/2024; AND THE TOPOGRAPHIC MAP FOR THE SITE PREPARED BY LANDSET ENGINEERS, DATED 12/09/2024.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUBSURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA, PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

GRADING & DRAINAGE NOTES:

- ALL GRADING SHALL CONFORM TO THE LATEST AUTHORITY HAVING JURISDICTION GRADING ORDINANCE AND EROSION CONTROL ORDINANCE; THE RECOMMENDATIONS FOUND IN THE PROJECT'S SOIL ENGINEERING INVESTIGATION PREPARED BY BUTANO GEOTECHNICAL ENGINEERING; THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS; THE GOVERNING PUBLIC AGENCIES; THE LATEST REVISION OF THE CALIFORNIA BUILDING CODE (CBC); AND THESE PLANS.
- SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL MATERIAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- THERE ARE APPROXIMATELY 130 CUBIC YARDS OF CUT AND 105 CUBIC YARDS OF FILL TOTAL WITH A NET EXCESS OF 25 CUBIC YARDS. EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION, LANDSCAPE PURPOSES AND/OR HAULED OFF-SITE. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. ARE NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOILS REPORT AND BE APPROVED BY THE SOIL ENGINEER PRIOR TO PLACEMENT.
- EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MINIMUM RELATIVE COMPACTION. ALL BASEROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MINIMUM RELATIVE COMPACTION.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL ENGINEER.
- PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10' PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO DO SO AND FOR USE IN GRADING OPERATIONS.
- A COPY OF ALL COMPACTION TESTS AND THE FINAL GRADING REPORT SHALL BE SUBMITTED TO THE AUTHORITY HAVING JURISDICTION PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10'. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10' OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 2% WHERE LOCATED WITHIN 5' OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- ROOF DRAINAGE SHALL BE ACCOMPLISHED BY THE USE OF GUTTERS AND DOWNSPOUTS. THE DOWNSPOUTS SHALL BE CONNECTED TO RAINWATER LEADERS AND TIED INTO THE STORM DRAIN SYSTEM AS SHOWN ON THE SITE UTILITY PLAN. DOWNSPOUTS THAT ARE NOT CONNECTED TO A RAINWATER LEADER SHALL OUTLET ONTO SPLASH BLOCKS OR AN APPROVED ALTERNATIVE. SPLASH BLOCKS MAY BE UNNECESSARY IF THE DOWNSPOUT OUTLETS DIRECTLY ONTO AN IMPERVIOUS SURFACE THAT IS PROPERLY GRADED AWAY FROM FOUNDATIONS. RAINWATER LEADERS SHALL BE CONSTRUCTED WITH 4" SDR35 PVC PIPE. UNDER NO CIRCUMSTANCES SHALL A RAINWATER LEADER BE CONNECTED TO A SUBDRAIN LINE.
- SURFACE RUNOFF SHALL BE COLLECTED BY A SYSTEM OF SWALES AND DRAINS. CAPTURED STORMWATER SHALL BE PIPED TO A DISPERSION TRENCH AS SHOWN ON THE SITE UTILITY PLAN. STORM DRAIN LINES SHALL DRAIN BY GRAVITY AND BE SLOPED AT A MINIMUM OF 2% TO AN OUTLET. WHERE A 2% SLOPE IS IMPRACTICAL, PIPES SHALL BE SLOPED AT NO LESS THAN 1%. STORM DRAIN LINES SHALL HAVE A MINIMUM COVER OF 12" AND SHALL BE CONSTRUCTED WITH SDR35 PVC PIPE, SIZED AS INDICATED.
- TRENCH DRAINS SHALL BE NDS CHANNEL DRAINS, SIZED AS INDICATED ON THE SITE UTILITY PLAN. FLAT-BOTTOMED CHANNELS SHOULD BE SLOPED AT A MINIMUM OF 0.5% TO AN OUTLET IN ORDER TO ENSURE PROPER DRAINAGE AND PREVENT STANDING WATER IN THE TRENCH. ANY CHANNEL SLOPED AT LESS THAN 0.5% SHALL HAVE OUTLETS SPACED AT NO MORE THAN 10'. GRATES AND CHANNELS SHALL HAVE A LOAD RATING GREATER THAN OR EQUAL TO THE EXPECTED LOADING IN THE INSTALLATION AREA. ALL TRENCH DRAINS SHALL BE SURROUNDED BY A MINIMUM OF 4" OF CONCRETE. TRENCH DRAINS SHOULD BE SIZED TO HANDLE THE PEAK RUNOFF RATE PRODUCED BY A 10-YEAR DESIGN STORM.
- SUBSURFACE WATER BEHIND ANY RETAINING WALLS SHALL BE CONTROLLED BY THE INSTALLATION OF SUBDRAINS. SUBDRAIN LINES SHALL BE CONSTRUCTED WITH PERFORATED 4" SDR35 PVC PIPE PLACED WITH THE HOLES FACING DOWNWARD. COLLECTED WATER SHALL DRAIN TO DAYLIGHT AT A MINIMUM SLOPE OF 1% AS SHOWN ON THE SITE UTILITY PLAN. PIPES CARRYING SURFACE WATER OR ROOF WATER SHALL NOT UNDER ANY CIRCUMSTANCES OUTLET INTO A SUBDRAIN LINE. THE SYSTEM OF SUBDRAINS SHALL REMAIN INDEPENDENT OF THE SURFACE STORM DRAIN SYSTEM.
- UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 95% MINIMUM RELATIVE COMPACTION. THE TOP 6" OF TRENCH SHALL BE CAPPED WITH NATIVE SOIL. IN NON-PAVED AREAS NATIVE BACKFILL SHALL BE USED AND COMPACTED TO 90% MINIMUM RELATIVE COMPACTION.
- ALL WORK IS SUBJECT TO APPROVAL BY THE AUTHORITY HAVING JURISDICTION PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.
- SPECIAL INSPECTIONS BY A SPECIAL INSPECTOR ARE REQUIRED DURING FILL PLACEMENT TO ENSURE PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- THE LOCATION, HEIGHT, AND PLATE HEIGHTS OF THE NEW STRUCTURE MUST BE CERTIFIED BY A SURVEYOR TO BE IN CONFORMANCE WITH THE APPROVED PLANS.
- STOP WORK WITHIN 50 METERS (165') OF UNCOVERED RESOURCE AND CONTACT THE AUTHORITY HAVING JURISDICTION RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED.

PROJECT DATA:

GRADING VOLUMES	
CUT	= 130 CY
FILL	= 105 CY
NET	= 25 CY CUT
IMPERVIOUS AREA*	
ADDITIONS	= 2100 SF
DRIVEWAY	= 3225 SF
ENTRY	= 241 SF
PATIOS	= 2046 SF
UPHILL SWALE	= 369 SF
TOTAL	= 7981 SF
*CREATED OR REPLACED	
PERMEABLE SURFACES	
DG	= 2295 SF
LANDSCAPE	= 4731 SF
TOTAL	= 7026 SF
AREA OF DISTURBANCE	
TOTAL	= 15,007 SF

LEGEND:

-----	PROPERTY BOUNDARY		EXISTING RESIDENCE FOOTPRINT		CATCH BASIN
-----	MAJOR CONTOUR (5' INTERVAL)		PROPOSED BUILDING FOOTPRINT		AREA DRAIN
-----	MINOR CONTOUR (1' INTERVAL)		ASPHALT CONCRETE		JUNCTION BOX
=====	RETAINING WALL		CONCRETE		DOWNSPOUT W/ SPLASH BLOCK
-> -> -> ->	SWALE FLOW LINE		DECOMPOSED GRANITE		DISPERSION TRENCH
--- SD --- SD ---	STORM DRAIN PIPE		STONE		ENERGY DISSIPATOR
--- RWL --- RWL ---	RAINWATER LEADER		WATER		TREE
--- SUBD --- SUBD ---	SUBDRAIN LINE		WOOD		TREE TO BE REMOVED

ABBREVIATIONS:

±	= PLUS OR MINUS; APPROXIMATE	EVC	= END OF VERTICAL CURVE	PL	= PROPERTY LINE
Ø	= DIAMETER	EW	= EACH WAY	POC	= POINT OF CONNECTION
AB	= AGGREGATE BASE	EX	= EXISTING	PVC	= POLYVINYL CHLORIDE
ABAN	= ABANDON	FC	= FLUSH CURB	RC	= RELATIVE COMPACTION
AC	= ASPHALT CONCRETE	FD	= FIRE DEPARTMENT	RES	= RESIDENCE
AD	= AREA DRAIN	FF	= FINISHED FLOOR	RM	= ROOM
ADD	= ADDITION	FG	= FINISHED GRADE	RND	= ROUND
ADU	= ACCESSORY DWELLING UNIT	FL	= FLOWLINE	RW	= RETAINING WALL
BC	= BEGINNING OF CURVE	FM	= FORCE MAIN	RWL	= RAINWATER LEADER
B.E.	= BUILDING ENVELOPE	FP	= FINISHED PAD	SD	= STORM DRAIN
BLDG	= BUILDING	GAR	= GARAGE	SF	= SQUARE FEET
BOT	= BOTTOM	GB	= GRADE BREAK	SG	= SUBGRADE
BSMT	= BASEMENT	GR	= GRATE	SO	= SQUARE
BVC	= BEGINNING OF VERTICAL CURVE	HDPE	= HIGH-DENSITY POLYETHYLENE	SS	= SANITARY SEWER
CB	= CATCH BASIN	HP	= HIGH POINT	STA	= STATION
CF	= CUBIC FEET	HT	= HEIGHT	STN	= STONE
CL	= CENTERLINE	INV	= PIPE INVERT	STP	= STEP
CO	= CLEANOUT	JB	= JUNCTION BOX	SUBD	= SUBDRAIN
CONC	= CONCRETE	JT	= JOINT TRENCH	TBR	= TO BE REMOVED
CY	= CUBIC YARDS	LF	= LINEAR FEET	TD	= TRENCH DRAIN
DG	= DECOMPOSED GRANITE	LP	= LOW POINT	TW	= TOP OF WALL
DK	= DECK	MAX	= MAXIMUM	TYP	= TYPICAL
DS	= DOWNSPOUT	MIN	= MINIMUM	U.N.O.	= UNLESS NOTED OTHERWISE
DWY	= DRIVEWAY	OC	= ON-CENTER	VC	= VERTICAL CURB
EC	= END OF CURVE	OUT	= OUTLET	VIF	= VERIFY IN FIELD
EG	= EXISTING GROUND	PCC	= PORTLAND CEMENT CONCRETE	W/	= WITH
ELEV	= ELEVATION	PERF	= PERFORATED	W/O	= WITHOUT
ESMT	= EASEMENT	PERM	= PERMEABLE	WD	= WOOD

INDEX TO SHEETS

SHEET C1	COVER SHEET
SHEET C2	GRADING & DRAINAGE PLAN
SHEET C3	GRADING SECTIONS & DETAILS
SHEET C4	UTILITY PLAN
SHEET C5	CONSTRUCTION DETAILS
SHEET C6	EROSION & SEDIMENT CONTROL PLAN
SHEET C7	CONSTRUCTION MANAGEMENT PLAN

NOTE: PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION.

GEOTECHNICAL INSPECTION SCHEDULE

Inspection Item:	Who will conduct the inspection:	When the Inspection is to be completed:	Inspection completed by:	Date completed:
Site stripping and clearing	BUTANO GEOTECHNICAL ENGINEERING	Beginning of Project		
Subexcavation, fill placement, and compaction	BUTANO GEOTECHNICAL ENGINEERING	Throughout grading operations		
Foundation Excavations	BUTANO GEOTECHNICAL ENGINEERING	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage improvements	BUTANO GEOTECHNICAL ENGINEERING	Prior to trench backfill		
Utility trench compaction	BUTANO GEOTECHNICAL ENGINEERING	During backfill operations		
Retaining wall backfill compaction	BUTANO GEOTECHNICAL ENGINEERING	During backfill operations		
Baserock subgrade compaction	BUTANO GEOTECHNICAL ENGINEERING	Prior to pavement installation		

STORMWATER CONTROL NOTES:

- THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER NO. 2013-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- THIS PROJECT SHALL IMPLEMENT THE FOLLOWING STRATEGIES: MINIMIZE COMPACTION OF HIGHLY PERMEABLE SOILS; LIMIT CLEARING AND GRADING OF NATIVE VEGETATION; MINIMIZE IMPERVIOUS SURFACES AND LEAVE THE REMAINING LAND IN A NATURAL UNDISTURBED STATE; MINIMIZE STORMWATER RUNOFF BY DIRECTING RUNOFF FROM PATIOS, PORCHES, AND DRIVEWAYS ONTO VEGETATED AREAS AND DIRECTING ROOF RUNOFF INTO AN INFILTRATION SYSTEM SAFELY AWAY FROM BUILDING FOUNDATIONS AND FOOTINGS, CONSISTENT WITH THE CALIFORNIA BUILDING CODE.

CONTACT INFORMATION:

OWNER:  
JEFF AND DONNA TEDFORD  
2272 E KYNZLEE AVE  
FRESNO, CA 93730

ARCHITECT:  
JUN SILLANO  
IDG  
721 LIGHTHOUSE AVE  
PACIFIC GROVE, CA 93950

SITE LOCATION:  
31525 HWY 1  
CARMEL HIGHLANDS, CA 93923

No.	DATE	BY	REVISION
	02/10/25	JAN	RELEASED TO CLIENT

"COVER SHEET"  
GRADING, DRAINAGE, AND EROSION CONTROL PLAN  
OF  
THE TEDFORD RESIDENCE  
A.P.N.: 243-221-030  
CARMEL HIGHLANDS, CALIFORNIA  
FOR  
JEFF AND DONNA TEDFORD

SCALE: AS SHOWN  
DATE: FEB 2025  
JOB No. 2260-03

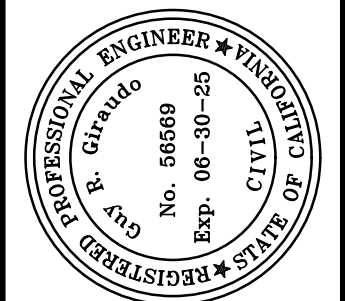
SHEET C1

OF 7 SHEETS



KEYNOTES: (F)

- 1) GRADE AWAY FROM FOUNDATIONS THE GROUND ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY AT NO LESS THAN 5% (2% IF IMPERVIOUS) FOR AT LEAST 10' OR TO AN APPROVED ALTERNATIVE METHOD OF STORMWATER MANAGEMENT.
- 2) ADJUST TO GRADE THE EXISTING CATCH BASIN/INLET SHALL REMAIN IN PLACE BUT BE ADJUSTED TO THE NEW GRADE SPECIFIED.



APPROVED BY:  
  
GUY R. GIRARDO



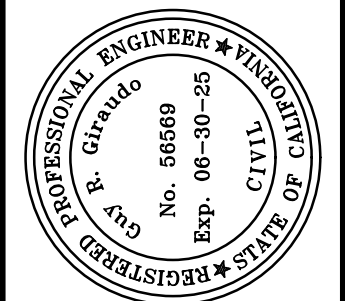
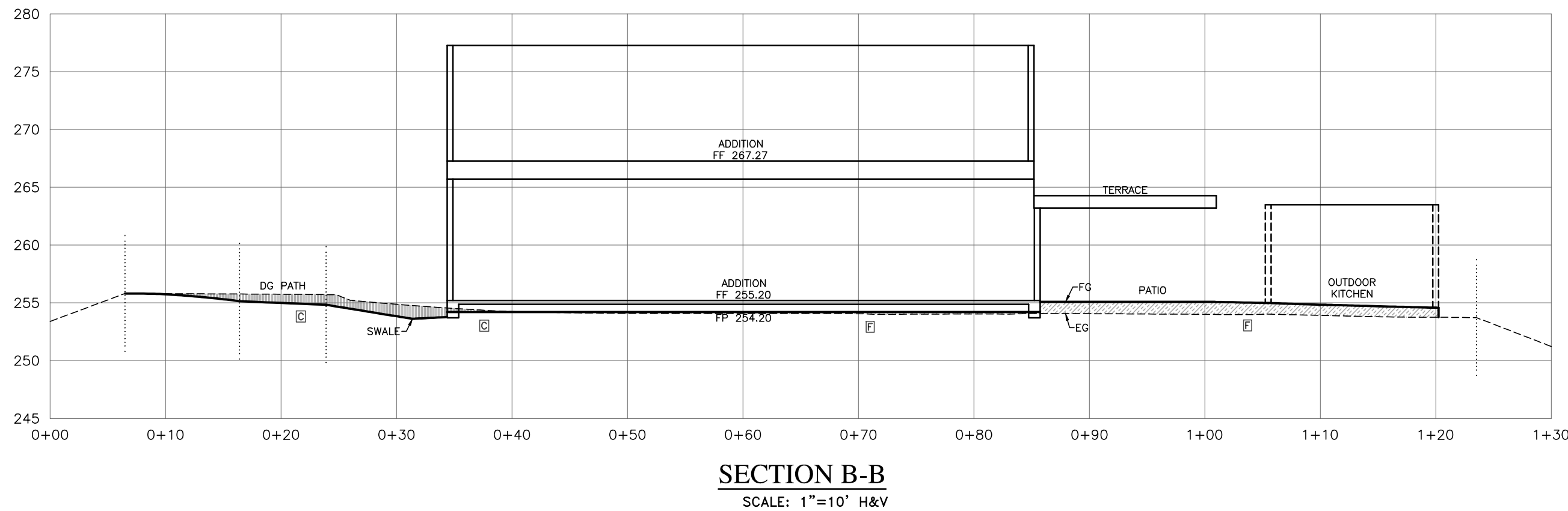
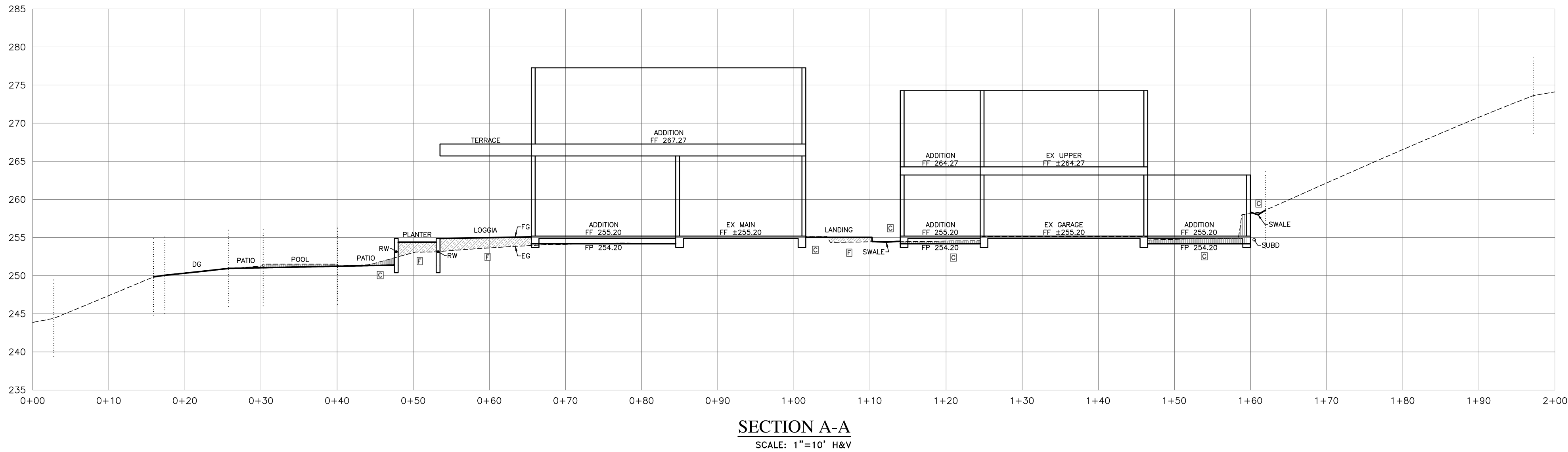
"GRADING & DRAINAGE PLAN"  
OF  
GRADING, DRAINAGE, AND EROSION CONTROL PLAN  
THE TEDFORD RESIDENCE  
A.P.N.: 243-221-030  
CARMEL HIGHLANDS, CALIFORNIA  
FOR  
JEFF AND DONNA TEDFORD

SCALE: 1" = 15'  
DATE: FEB 2025  
JOB No. 2260-03

SHEET C2  
OF 7 SHEETS

No.	DATE	BY	REVISION
02/10/25	JAN	RELEASED TO CLIENT	





APPROVED BY:

GUY R. GIRARDO



"GRADING SECTIONS & DETAILS"

GRADING, DRAINAGE, AND EROSION CONTROL PLAN

OF

THE TEDFORD RESIDENCE

A.P.N.: 243-221-030

CARMEL HIGHLANDS, CALIFORNIA

JEFF AND DONNA TEDFORD

SCALE: AS SHOWN

DATE: FEB 2025

JOB No. 2260-03

No.	DATE	BY	REVISION
	02/10/25	JAN	RELEASED TO CLIENT

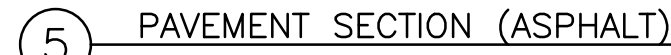
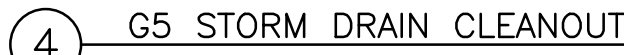
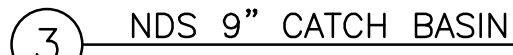
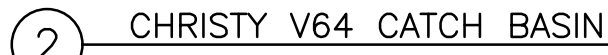
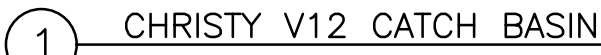
SHEET **C3**

OF 7 SHEETS

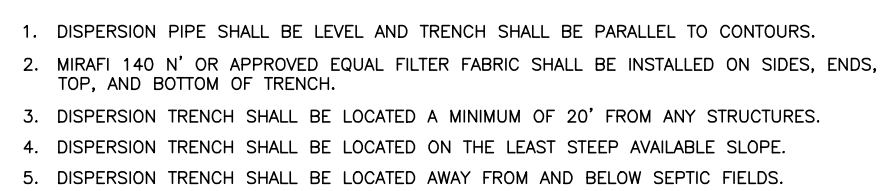








- 10



APPROVED BY:

GUY R. GIRAUDO



"CONSTRUCTION DETAILS"

---

GRADING, DRAINAGE, AND EROSION CONTROL PLAN

---

OF  
THE TEDFORD RESIDENCE  
A.P.N.: 243-221-030  
CARMEL HIGHLANDS, CALIFORNIA  
FOR  
JEFF AND DONNA TEDFORD

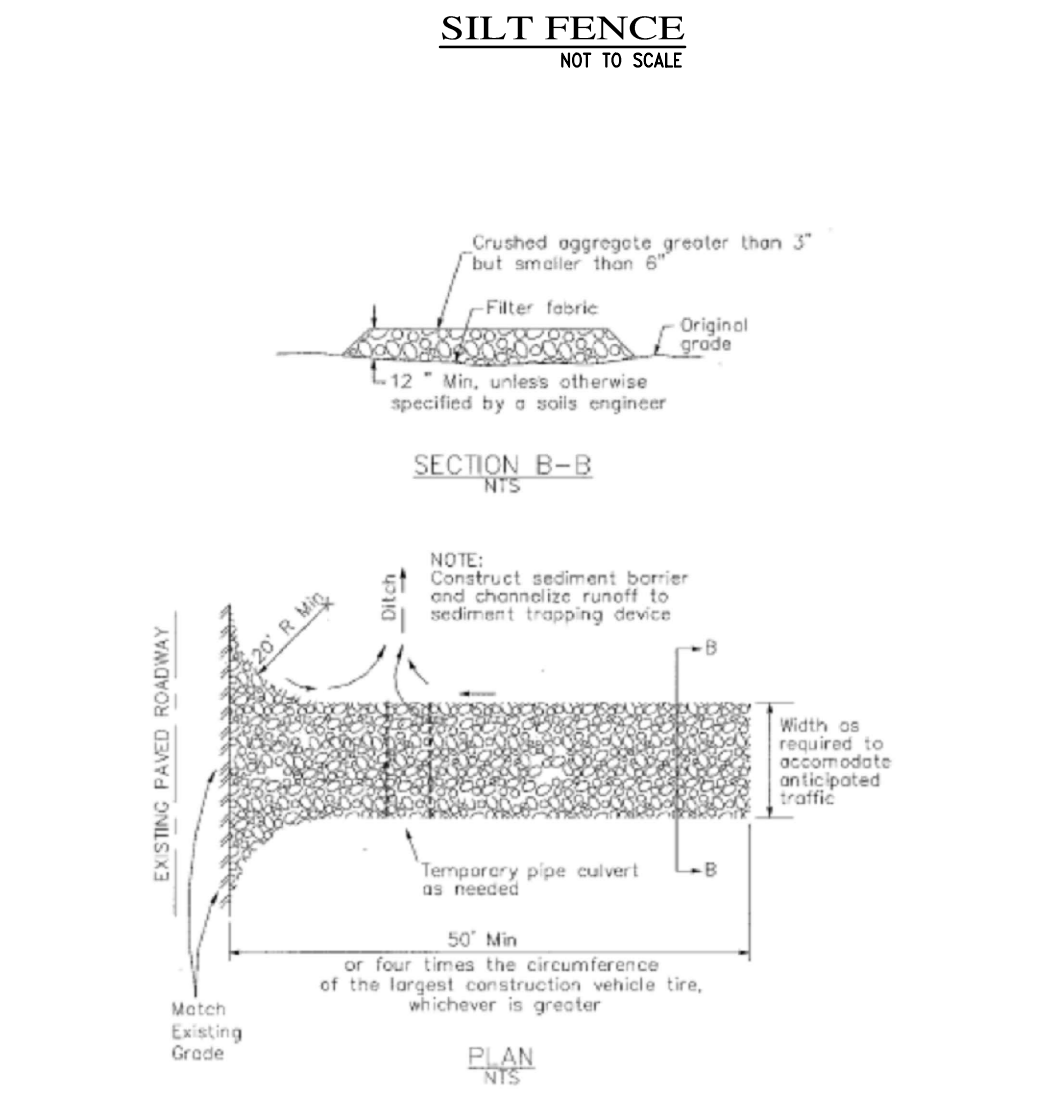
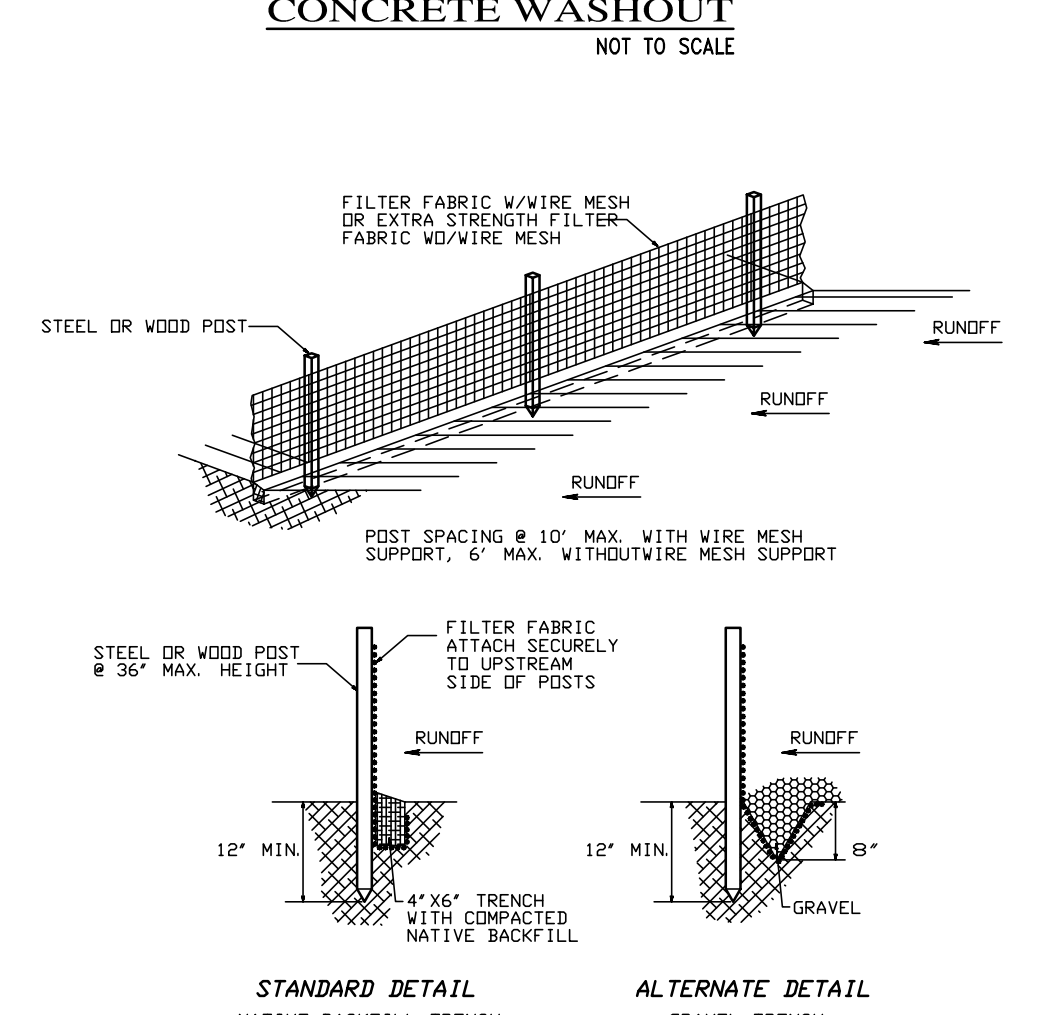
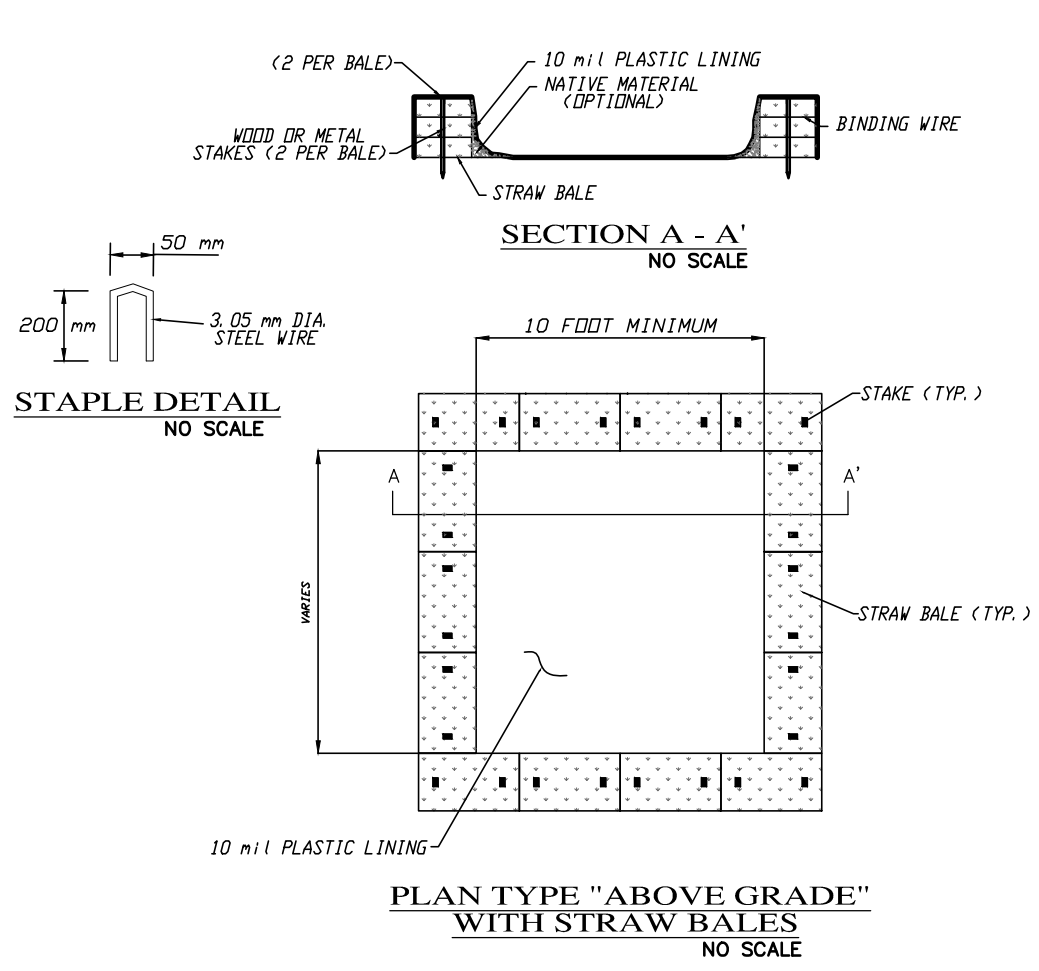
FOR  
JEFF AND DONNA TEDFORD

SCALE: AS SHOWN  
DATE: FEB 2025  
JOB No. 2260-03

SHEET C5

OF 7 SHEETS





- EROSION & SEDIMENT CONTROL NOTES:**
- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE AUTHORITY HAVING JURISDICTION EROSION CONTROL ORDINANCE.
  - 2) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
  - 3) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
  - 4) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK. ACCESS ROADS SHALL BE CLEANED DAILY (IF NECESSARY) AND PRIOR TO ANY RAIN EVENT.
  - 5) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
  - 6) CONTRACTOR SHALL PROVIDE WATERING FOR DUST CONTROL DURING ALL GROUND DISTURBANCE OPERATIONS.
  - 7) VEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
  - 8) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITEE AT THEIR EXPENSE.
  - 9) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDING WITH THE FOLLOWING EROSION CONTROL MIX: *BROMUS CARINATUS* (CALIFORNIA BROME), *VULPIA MICROSTACHYS* (NUTTALL'S FESCUE), *ELYMIUS GLAUCUS* (BLUE WILD RYE), *HORDEUM BRACHYANTHERUM* (MEADOW BARLEY), *FESTUCA RUNRMOLATE* BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
  - 10) SEEDS AREAS SHALL BE RETAINED ON-SITE AND SHALL BE PREVENTED FROM FLOWING INTO THE STORM DRAINAGE SYSTEM. SEDIMENT CATCHMENT BARRIERS SHALL BE INSPECTED BY THE APPLICANT IMMEDIATELY AFTER ANY SIGNIFICANT RAINFALL AND AT LEAST DAILY DURING ANY PERIOD OF PROLONGED RAINFALL.
  - 11) PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE AUTHORITY HAVING JURISDICTION TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH AUTHORITY HAVING JURISDICTION GRADING AND EROSION CONTROL REGULATIONS.
  - 12) DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE AUTHORITY HAVING JURISDICTION TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
  - 13) PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE AUTHORITY HAVING JURISDICTION TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
  - 14) THE APPLICANT SHALL SCHEDULE WEEKLY INSPECTIONS WITH THE AUTHORITY HAVING JURISDICTION DURING THE RAINY SEASON, OCTOBER 15TH TO APRIL 15TH, TO ENSURE CONTAMINANTS ARE NOT DISCHARGED INTO THE AREAS OF SPECIAL BIOLOGICAL SIGNIFICANCE.

**BMP LEGEND:**

- 1) FR
- 2)
- 3)
- 4)
- 5)
- 6)
- 7)
- 8) SF
- 9) N/A FOR INFORMATION ONLY
- 10) TRASH
- 11) RECYCLE

**FIBER ROLLS:** THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ON-SITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER). SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.

**DRAIN INLET PROTECTION:** PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.

**STABILIZED CONSTRUCTION ACCESS:** INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (IF NECESSARY FOR THIS APPLICATION, SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.

**STOCKPILE MANAGEMENT:** SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.

**CONCRETE WASHOUT:** WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.

**CONTRACTOR'S STAGING AREA:** THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.

**TREE PROTECTION:** TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BE A LICENSED AND CERTIFIED ARBORIST.

**SILT FENCE:** SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEPT INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

**GRAVEL BAG CHECK DAM:** GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 0.5" - 1" CRUSHED ROCK. TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.

**WASTE MANAGEMENT:** SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATERTIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ON-SITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.

**SANITARY/SEPTIC WASTE MANAGEMENT:** PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ON-SITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.

**Material Delivery and Storage WM-1**

**Categories**

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

**Legend:**

- Primary Category
- Secondary Category

**Targeted Constituents**

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

**Potential Alternatives**

None

**Description and Purpose**

Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or watercourses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

This best management practice covers only material delivery and storage. For other information on materials, see WM-2, Material Use, or WM-4, Spill Prevention and Control. For information on wastes, see the waste management BMPs in this section.

**Solid Waste Management WM-5**

**Categories**

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

**Legend:**

- Primary Objective
- Secondary Objective

**Targeted Constituents**

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

**Potential Alternatives**

None

**Description and Purpose**

Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

**Hazardous Waste Management WM-6**

**Categories**

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

**Legend:**

- Primary Objective
- Secondary Objective

**Targeted Constituents**

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

**Potential Alternatives**

None

**Description and Purpose**

Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and training of employees and subcontractors.

**Sanitary/Septic Waste Management WM-9**

**Categories**

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

**Legend:**

- Primary Category
- Secondary Category

**Targeted Constituents**

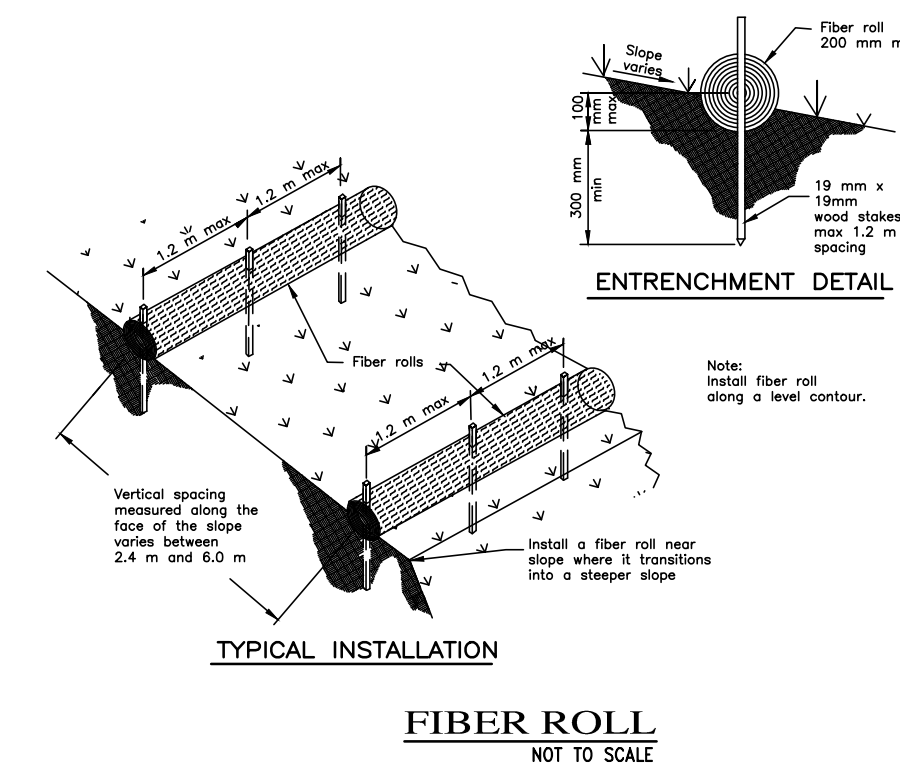
- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

**Potential Alternatives**

None

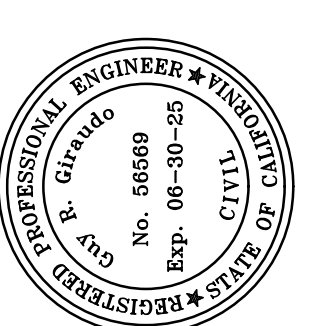
**Description and Purpose**

Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.



**"EROSION & SEDIMENT CONTROL PLAN"**

**GRADING, DRAINAGE, AND EROSION CONTROL PLAN**  
OF  
**THE TEDFORD RESIDENCE**  
A.P.N.: 243-221-030  
**CARMEL HIGHLANDS, CALIFORNIA**  
JEFF AND DONNA TEDFORD



APPROVED BY:  
  
GUY R. GIRARDINO



SCALE: 1" = 30'			
DATE: FEB 2025			
JOB No. 2260-03			
SHEET <b>C6</b>			
OF 7 SHEETS			
No.	DATE	BY	REVISION
	02/10/25	JAN	RELEASED TO CLIENT





**A PLAN**  
SCALE: 1" = 30'

**SITE GRADING:**  
THE PROPOSED GRADING INCLUDES APPROXIMATELY 130 CY OF CUT & 105 CY OF FILL.

- CONSTRUCTION STAGING:**
- A. MOBILIZE, CLEAR AND GRUB
  - B. SITE GRADING
  - C. UTILITY INSTALLATION
  - D. CONSTRUCT STRUCTURE
  - E. INSTALL PAVERS AND LANDSCAPING
  - F. SITE CLEANING, PUNCH LIST

MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY. SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

**HAUL ROUTES:**  
HAUL TRUCKS SHALL BACK ONTO THE SITE FROM THE SHARED ACCESS ROAD TO THE PROPERTY. HAUL TRUCKS WILL EXIT THE SITE, HEADING NORTH ON THE SHARED ACCESS ROAD. THEY WILL THEN FOLLOW THE ROUTE SHOWN IN DETAIL B, FROM THE SHARED ACCESS ROAD TO CA HWY 1. FLAGGERS SHALL BE STATIONED ON THE SHARED ACCESS ROAD AS TRUCKS BACK FROM THE PUBLIC RIGHT-OF-WAY ONTO THE SITE. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE EASEMENT/DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

**TRUCK STAGING AREA:**  
VEHICLES OR TRUCKS SHALL NOT QUEUE ON CA HWY 1 OR THE SHARED ACCESS ROAD. TRUCKS SHALL QUEUE ON SITE (SEE DETAIL B, THIS SHEET), AND WILL BE DIRECTED TO APPROACH THE WORK AREA BY ONSITE PERSONNEL VIA RADIO OR PHONE.

**EMPLOYEE PARKING:**  
EMPLOYEES SHALL PARK ON SITE WHENEVER POSSIBLE. EMPLOYEES SHALL CARPOOL WHENEVER POSSIBLE. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

**LIMITS OF CONSTRUCTION:**  
ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

**NUMBER OF EMPLOYEES ONSITE PER DAY:** APPROXIMATELY 10-20

**NUMBER OF TRUCK TRIPS/DAY:** 4

**AMOUNT OF GRADING/DAY:** 80 C.Y.

**HOURS OF OPERATION/DAY:** 8

**DAYS OF OPERATION:** MONDAY THROUGH FRIDAY

**TIME OF OPERATION:** 8:00 AM - 4:30 PM

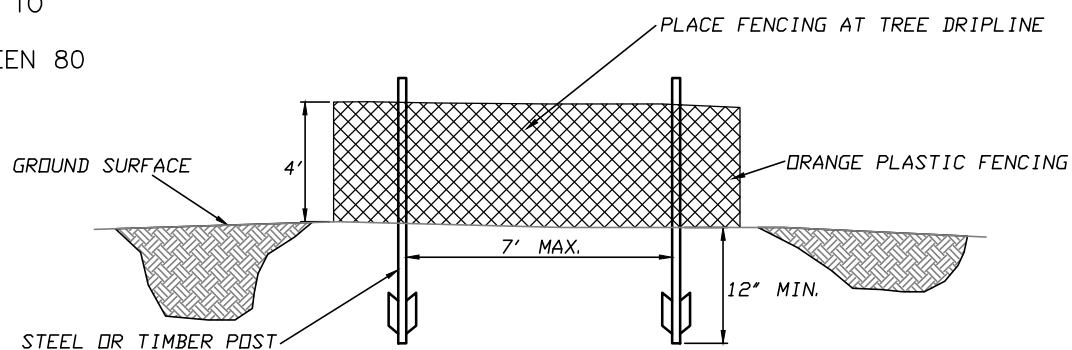
**PROJECT SCHEDULING:** PROJECTED START DATE IS JUNE 1, 2025. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.

**TRUCK TRIP GENERATION CHART:**

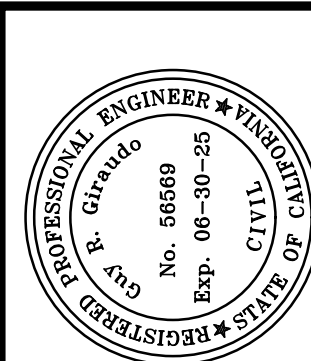
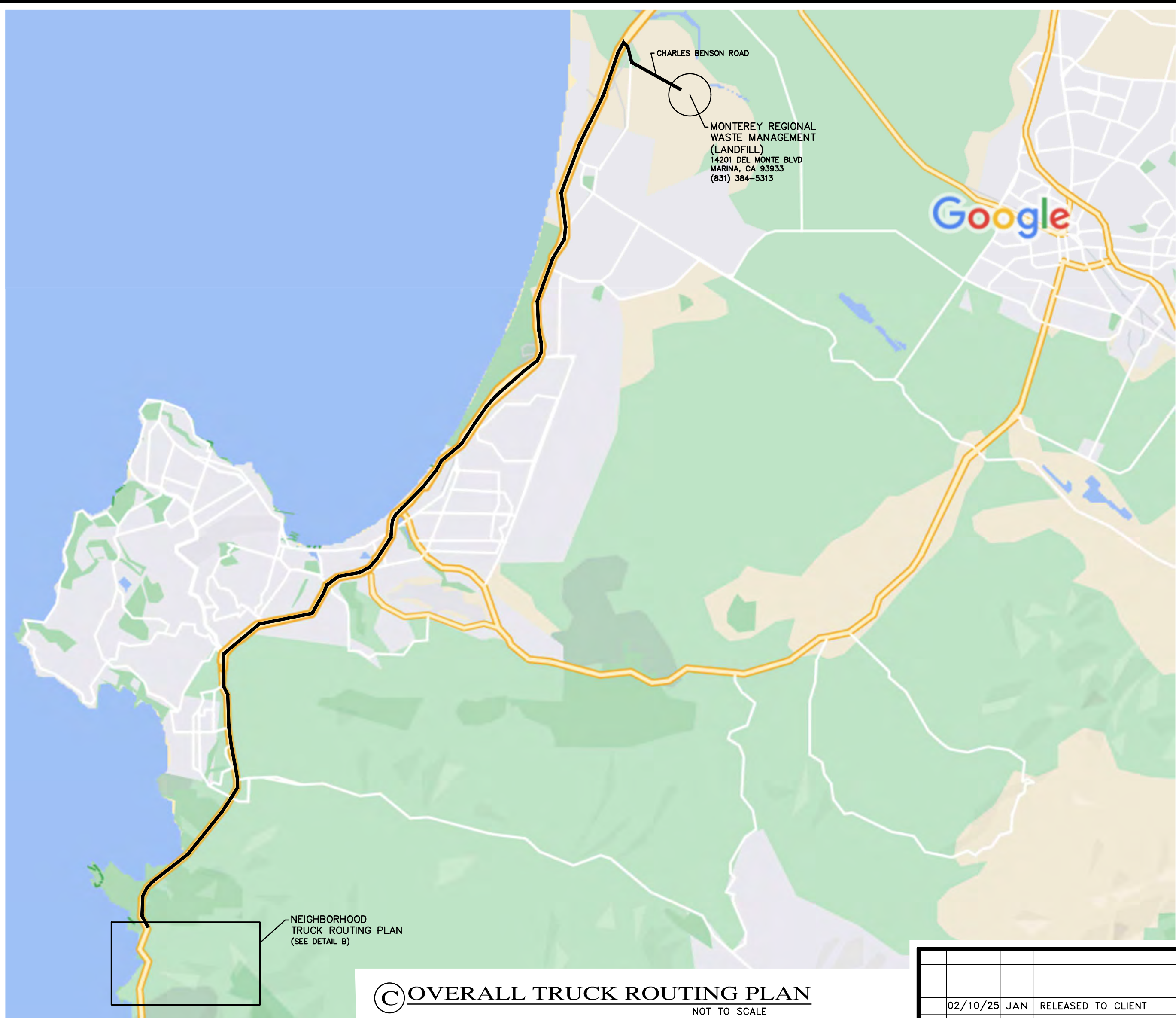
CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION	4	5
GRADING & SOIL REMOVAL (EXPORT)	4	1
ENGINEERING MATERIALS (IMPORT)	-	-
TOTALS	8	6

**TRUCK TRIP GENERATION NOTES:**

- TRUCK TRIPS FOR THE GRADING/SOIL IMPORT IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 4 TRUCK LOADS PER DAY.
- THERE ARE APPROXIMATELY 25 CUBIC YARDS OF SOIL MATERIAL TO BE EXPORTED FROM THE SITE.
- GRADING OPERATIONS SHALL TAKE APPROXIMATELY 6 WORKING DAYS TO COMPLETE.
- THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 100 CUBIC YARDS.



**ESA FENCING**  
NOT TO SCALE



APPROVED BY:  
  
GUY R. GIRARDO



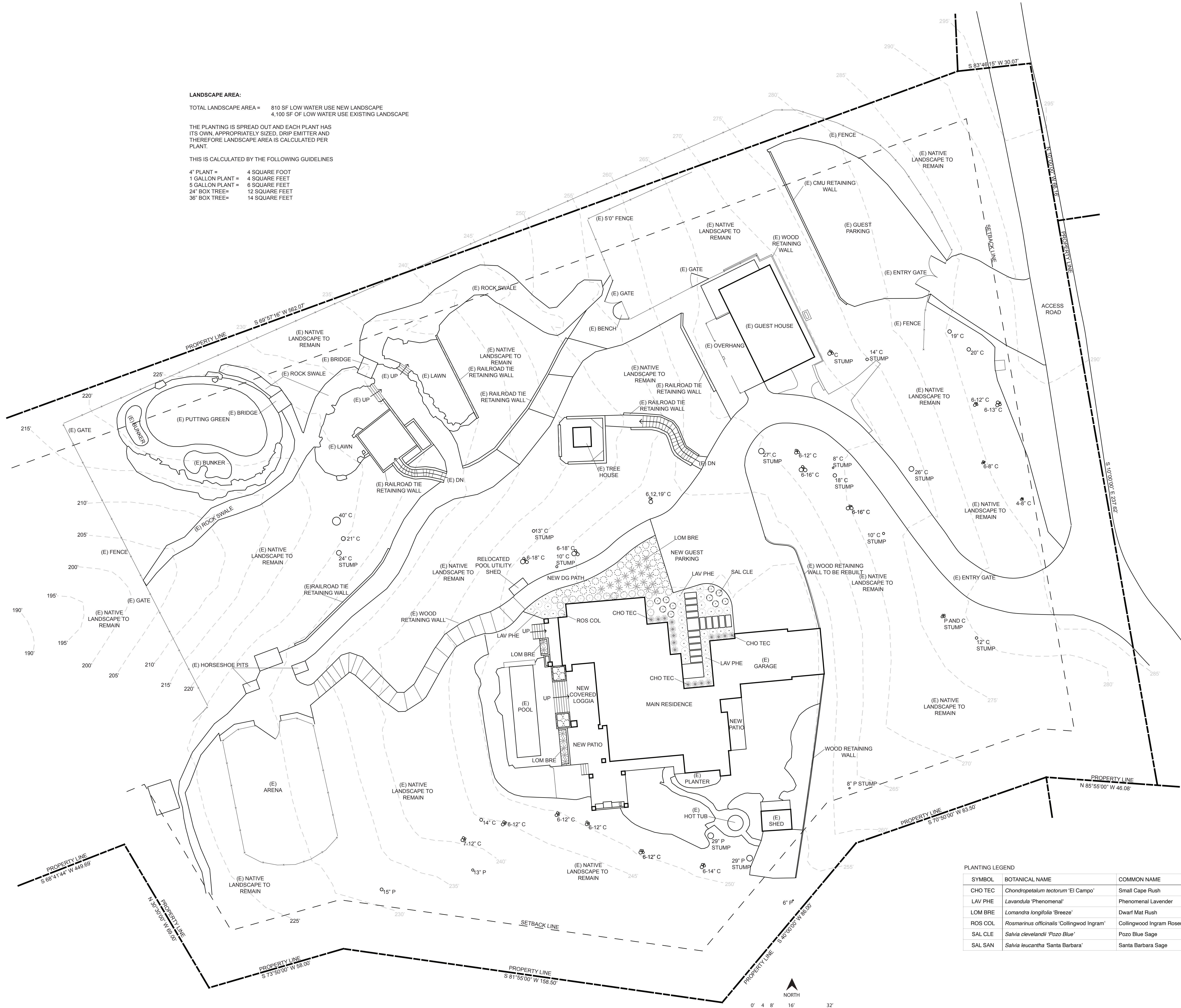
"CONSTRUCTION MANAGEMENT PLAN"  
GRADING, DRAINAGE, AND EROSION CONTROL PLAN  
OF  
THE TEDFORD RESIDENCE  
A.P.N.: 243-221-030  
CARMEL HIGHLANDS, CALIFORNIA  
JEFF AND DONNA TEDFORD

SCALE: 1" = 30'  
DATE: FEB 2025  
JOB No. 2260-03

SHEET **C7**  
OF 7 SHEETS

No.	DATE	BY	REVISION
02/10/25	JAN	RELEASED TO CLIENT	





LANDSCAPE AREA:  
TOTAL LANDSCAPE AREA = 810 SF LOW WATER USE NEW LANDSCAPE  
4,100 SF OF LOW WATER USE EXISTING LANDSCAPE

THE PLANTING IS SPREAD OUT AND EACH PLANT HAS ITS OWN, APPROPRIATELY SIZED, DRIP EMITTER AND THEREFORE LANDSCAPE AREA IS CALCULATED PER PLANT.

THIS IS CALCULATED BY THE FOLLOWING GUIDELINES

4" PLANT = 4 SQUARE FOOT  
1 GALLON PLANT = 4 SQUARE FEET  
5 GALLON PLANT = 6 SQUARE FEET  
24" BOX TREE = 12 SQUARE FEET  
36" BOX TREE = 14 SQUARE FEET

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	WUCOLS
CHO TEC	<i>Chondropetalum tectorum</i> 'El Campo'	Small Cape Rush	16	5 gal	Low
LAV PHE	<i>Lavandula</i> 'Phenomenal'	Phenomenal Lavender	32	5 gal	Low
LOM BRE	<i>Lomandra longifolia</i> 'Breeze'	Dwarf Mat Rush	25	5 gal	Low
ROS COL	<i>Rosmarinus officinalis</i> 'Collingwood Ingram'	Collingwood Ingram Rosemary	15	5 gal	Low
SAL CLE	<i>Salvia clevelandii</i> 'Pozo Blue'	Pozo Blue Sage	10	5 gal	Low
SAL SAN	<i>Salvia leucantha</i> 'Santa Barbara'	Santa Barbara Sage	37	5 gal	Low

SCOPE OF WORK:  
THIS IS A REMODEL AND ADDITION TO THE EXISTING LANDSCAPE. THE IRRIGATION WILL BE AN EXPANSION OF THE EXISTING SYSTEM.

PROJECT INFORMATION:  
OWNER: JEFF AND DONNA TEDFORD  
2272 E. KYNZLEE AVE.  
FRESNO, CA 93730  
SITE: 31525 HIGHWAY 1  
CARMEL, CA 92923  
APN: 243-221-030  
TOPOGRAPHY: SLOPED  
TREE REMOVAL: NONE  
GRADING: SEE CIVIL SHEET

LANDSCAPING STATEMENT:  
I PATRICK WILSON CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL CITY OF CARMEL'S LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT TOLERANT, NON-INVASIVE SPECIES; LIMITED TURF; AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

XERISCAPE PRACTICES:  
1. LOW WATER USE, DROUGHT TOLERANT PLANTS  
2. WATER CONSERVING IRRIGATION TECHNIQUES AND SYSTEMS  
3. DRIP IRRIGATE ALL PLANT MATERIAL  
4. INSTALLATION OF RAIN SENSOR

PLANTING NOTES:  
ALL LANDSCAPE AREAS SHALL BE CONTINUOUSLY MAINTAINED IN A LITTER FREE, WEED FREE CONDITION AND ALL PLANT MATERIAL SHALL BE CONTINUOUSLY MAINTAINED IN A HEALTHY GROWING CONDITION.

STAKING:  
STAKING SHALL BE PROVIDED FOR TREES AND SHRUBS AS NEEDED. TIES TO BE LOCATED AND SIZED TO ALLOW FOR EXPANSION AND GROWTH.

MULCHING:  
SPREAD 3" OF MULCH OVER ALL EXPOSED PLANTING AREAS

COMPOST MINIMUM OF 4 CUBIC YARDS PER 1,000SQFT OF PERMEABLE AREA TO A DEPTH OF 6"

STAGING:  
WHEN STAGING PLANT MATERIAL ON SITE INSTALL A TEMPORARY DRIP LINE AS NEEDED.

SOIL AMENDMENT TO BE ADDED TO PLANTED ARE AS NEEDED FOR PLANT MATERIAL

BUILDING DEPARTMENT NOTES:

PERMITS & INSPECTIONS:

THE CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS FOR THE WORK AND GIVE THE OWNER TIMELY NOTICE OF INTENT TO EACH INSPECTION.

CODES:

ALL MATERIAL, WORKMANSHIP AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE UBC AND LOCAL BUILDING CODES.

NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED WATER.

CONTRACTOR TO USE AUTO SHUT-OFF NOZZLES ON ANY WATER HOSES USED ON THE PROJECT.

LAYOUT NOTES:  
ANNOTATED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DRAWINGS.

FIRE SAFETY NOTES:  
ALL NON IRRIGATED BRUSH TO BE KEPT AT GROUND LEVEL FOR AN AREA OF 50' SURROUNDING THE PROPOSED RESIDENCE.

TREES TO BE CLEARED OF DEAD LIMBS WITHIN A 50' RADIUS OF THE PROPOSED RESIDENCE. ANY TREE LIMBS WITHIN 10' OF A CHIMNEY WILL BE REMOVED.



MISSION LANDSCAPING  
P.O. BOX 875  
PACIFIC GROVE  
CALIFORNIA 93950

P 831 373 8293  
F 831 373 2283  
www.missionlandscaping.com  
email:  
missionlandscaping@me.com  
Landscape & General  
Contractors C27 & B 392291  
Landscape Architecture  
CA Lic #5806

Project:

Tedford Residence  
31525 Highway 1  
Carmel, CA 93921

APN: 243-221-030

Revisions:



Drawing Title:

Landscape Plan

Date: 02/21/25

Scale: 1/16" = 1' 0"

Drawn By: pw

Page Number:

L1.0

© Mission Landscaping Inc. 2025





MISSION  
LANDSCAPING

P.O. BOX 875  
PACIFIC GROVE  
CALIFORNIA 93950

P 831 373 8293  
F 831 373 2283  
www.missionlandscaping.com  
email:  
missionlandscaping@me.com  
Landscape & General  
Contractors C27 & B 392291  
Landscape Architecture  
CA Lic #5806

Project:

Tedford Residence  
31525 Highway 1  
Carmel, CA 93921

APN: 243-221-030

Revisions:



Drawing Title:

Fire Management Plan

Date: 02/21/25

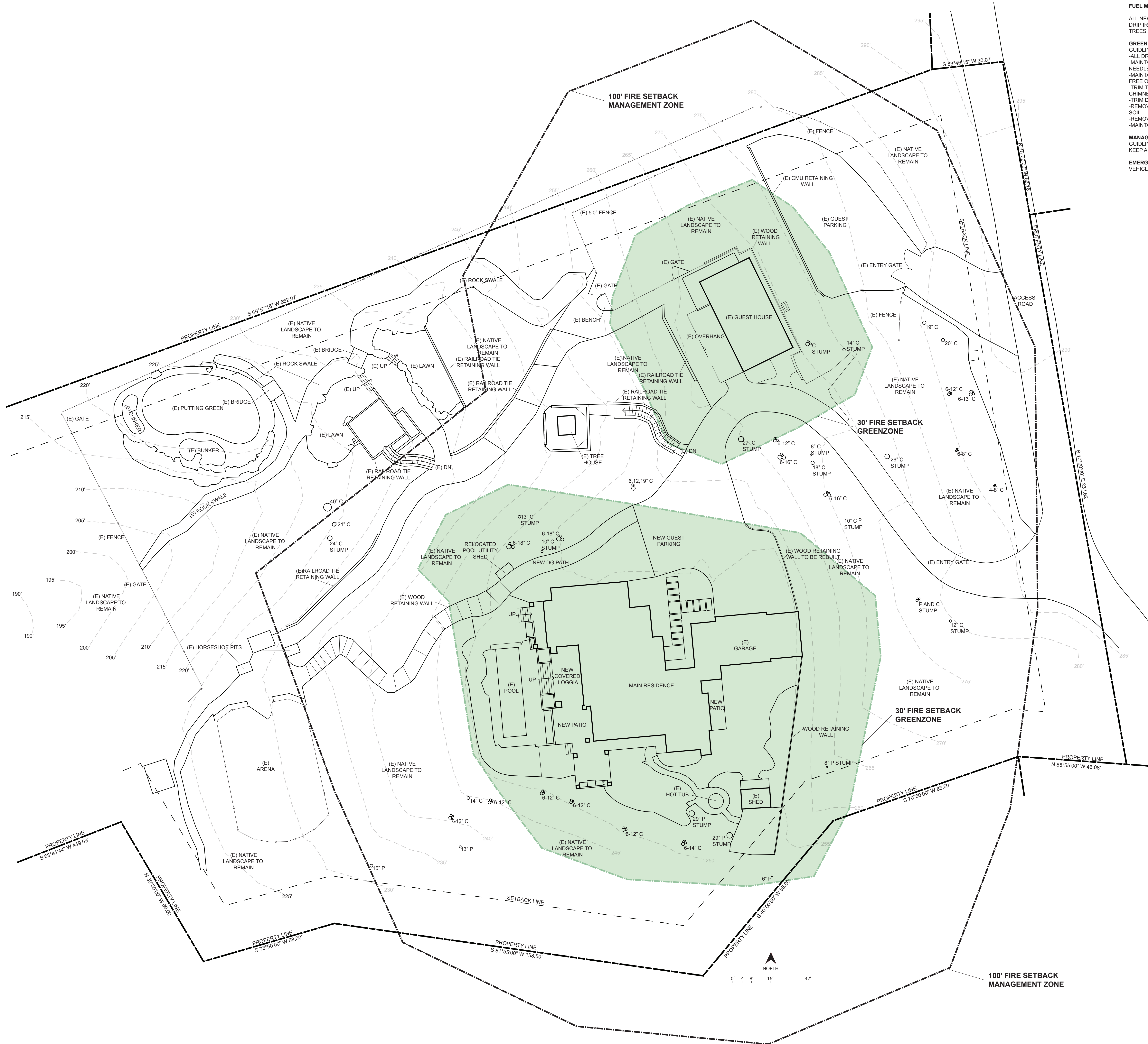
Scale: 1/16" = 1'0"

Drawn By: pw

Page Number:

L1.1

© Mission Landscaping Inc. 2025



FUEL MANAGEMENT PLAN NOTES:

ALL NEW PLANT MATERIAL ON PROPERTY WILL BE IRRIGATED WITH DRIP IRRIGATION. ONLY EXISTING VEGETATION ON SITE ARE MATURE TREES. ALL TREES ONSITE TO BE KEPT FREE OF DEAD WOOD.

GREEN ZONE: 0' - 30' AWAY FROM HOUSE.

GUIDELINES AS FOLLOWS:

- ALL DRY AND DEAD GRASS KEPT TO A HEIGHT OF 4"
- MAINTAIN THE ROOF AND GUTTERS OF STRUCTURE FREE OF LEAVES, NEEDLES, OR OTHER DEAD VEGETATIVE GROWTH
- MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD WOOD
- TRIM TREE LIMBS THAT EXTEND WITHIN 10' OF THE OUTLET OF A CHIMNEY
- TRIM DEAD PORTIONS OF TREE LIMBS WITHIN 10' FROM THE GROUND
- REMOVE ALL DEAD FALLEN MATERIAL UNLESS IT IS EMBEDDED IN THE SOIL
- REMOVE ALL CUT MATERIAL FROM THE AREA
- MAINTAIN SCREEN OVER CHIMNEY OUTLET

MANAGEMENT ZONE: 30' - 100' AWAY FROM HOUSE.

GUIDELINES AS FOLLOWS:

- KEEP ANY NON IRRIGATED VEGETATION LOW TO THE GROUND

EMERGENCY VEHICLE ACCESS:

VEHICLE ACCESS FROM HIGHWAY 1.









MISSION  
LANDSCAPING

P.O. BOX 875  
PACIFIC GROVE  
CALIFORNIA 93950

P 831 373 8293  
F 831 373 2283

www.missionlandscaping.com  
email:

missionlandscaping@me.com

Landscape & General  
Contractors C27 & B 392291

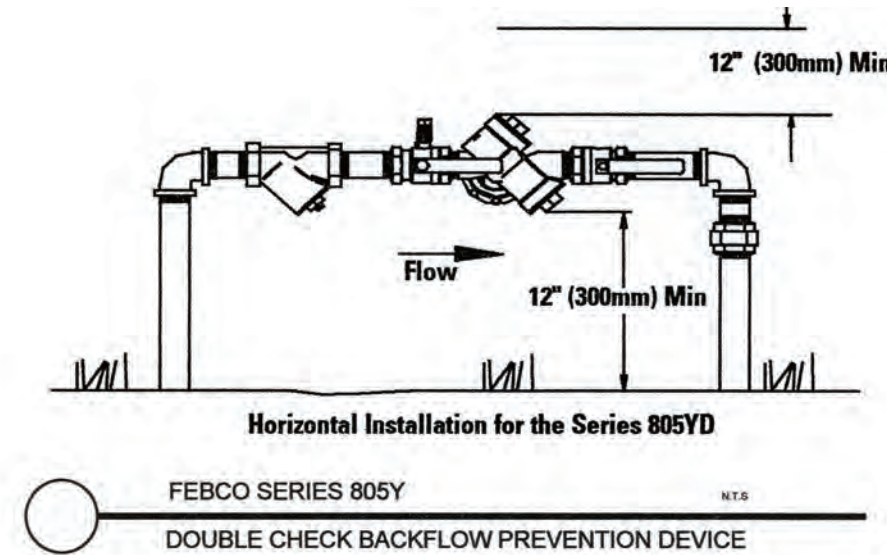
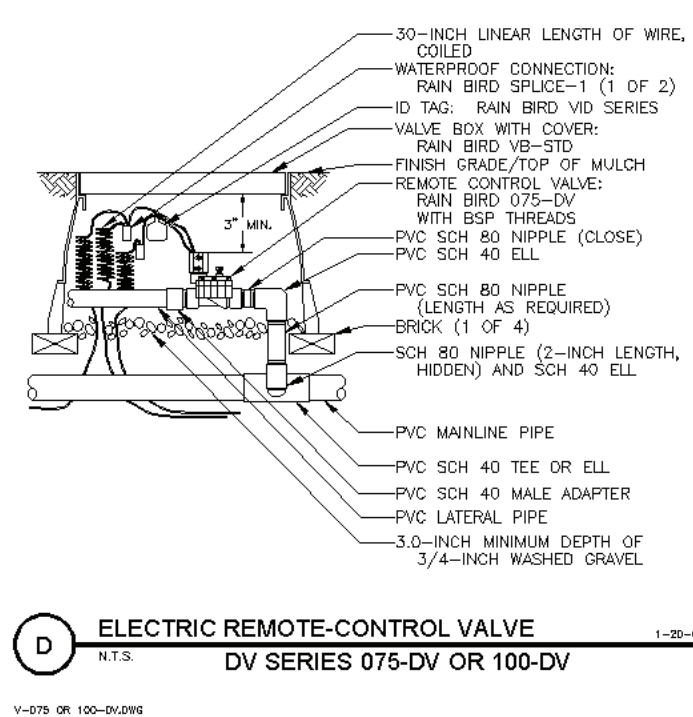
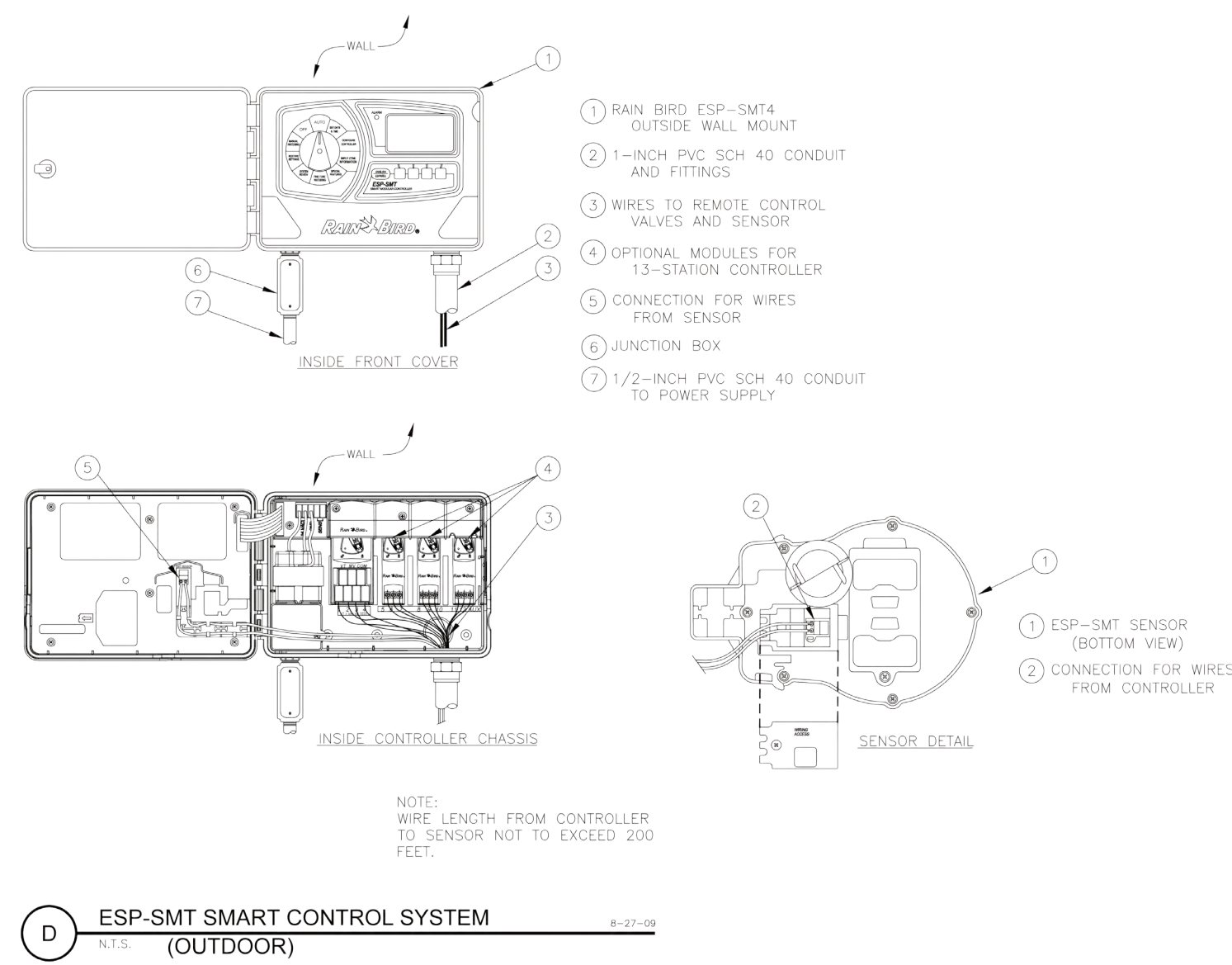
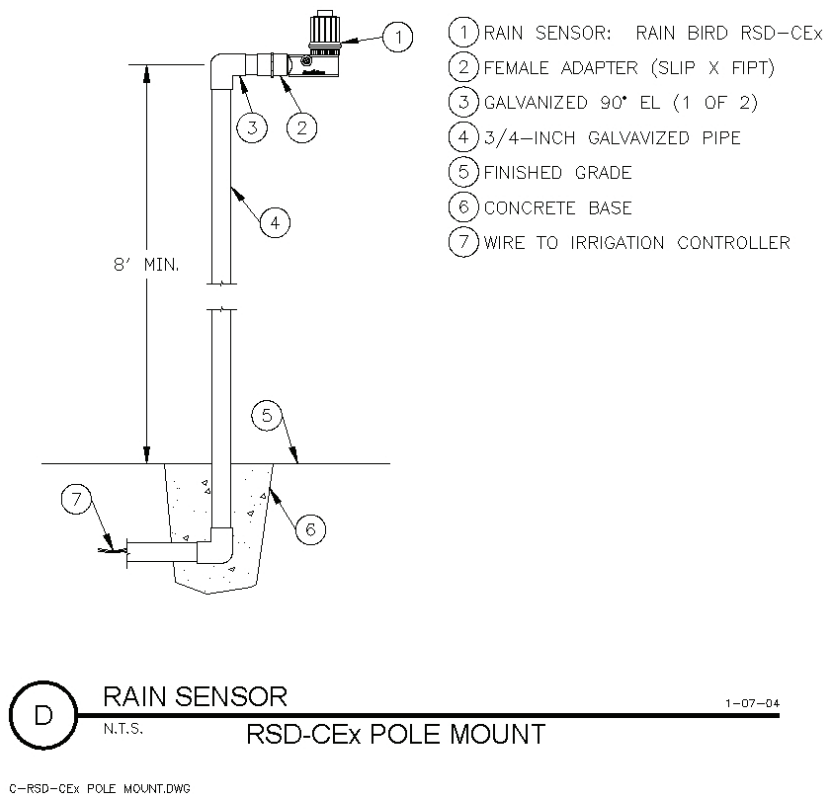
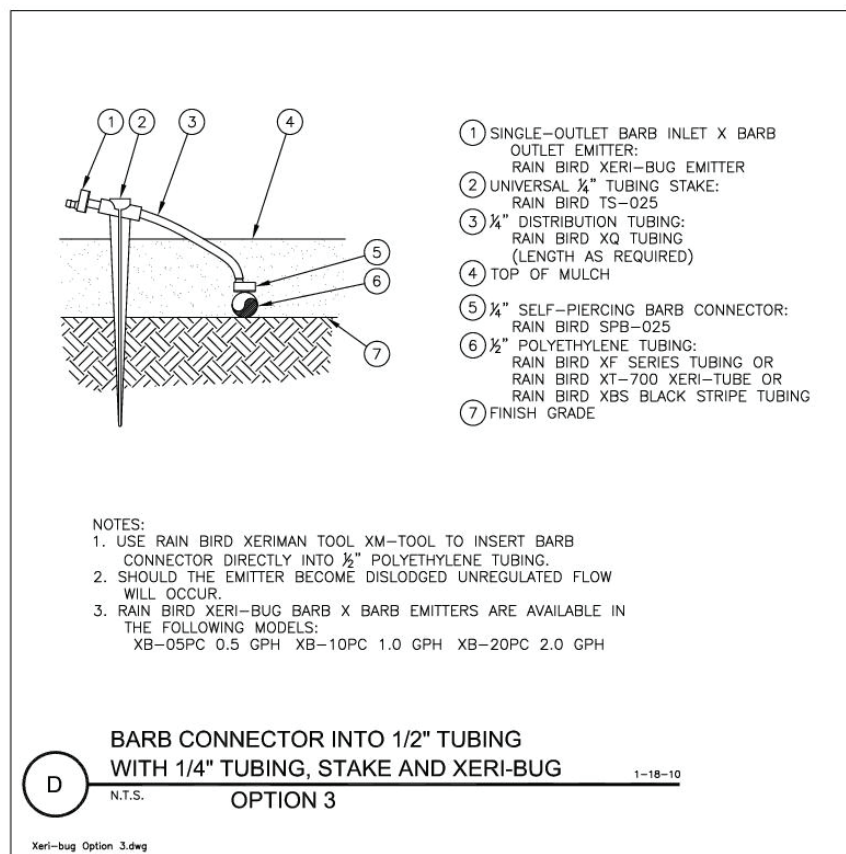
Landscape Architecture  
CALic #5806

Project:

Tedford Residence  
31525 Highway 1  
Carmel, CA 93921

APN: 243-221-030

Revisions:



Water Efficient Landscape Worksheet						
<b>Instructions:</b>						
Fill in all items in this color						
Answer is shown in this color						
Reference Evapotranspiration (Eto)		36 Pebble Beach				
	ETWU requirement	ETWU requirement	ETWU requirement	ETWU requirement	MAWA requirement	ETWU requirement
Hydrozone#/Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (LA) (sq. ft.)	ETAF x Area
<b>Regular Landscape Areas</b>						
1) low water use plants	0.2	Drip	0.81	0.247	4910	1,212.35
2) medium water use plants	0.4	Drip	0.81	0.494	0	0.00
3) high water use (pool & spa)	0.7	Drip	1	0.700	0	0.00
						0
				Totals	4,910	1,212.35
						27,060
<b>Special Landscape Areas (SLA): Recycled Water</b>						
1) low water use plants				1	0	0
2) medium water use plants				1	0	0
3) medium water use plants				1	0	0
				Totals	0	0
						27,060
						27,060
						49,316
Plant Water Use Type	Plant Factor	Irrigation method	Irrigation Efficiency			
very low	0-0.1	overhead spray	0.75			
low	0.1-0.3	drip	0.81			
medium	0.4-0.6					
high	0.7-1.0					
MAWA (annual gallons allowed)= (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]						
where 0.62 is a conversion factor that converts acre-inches per acre/year to gallons per sq. ft./year. LA is the total landscape area in sq. ft., SLA is the total special landscape area in sq. ft., and ETAF is .55 for residential areas and 0.45 for non residential areas.						
<b>ETAF Calculations</b>						
<b>Regular Landscape Areas</b>						
Total ETAF x Area	1,212					
Total Area	4,910					
Average ETAF	0.25					
Average ETAF for regular landscape areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.						
<b>All Landscape Areas</b>						
Total ETAF x Area	1,212					
Total Area	4,910					
Sitewide ETAF	0.25					

ESTIMATED TOTAL WATER USE (ETWU) = 27,060 GALLONS PER YEAR  
MAXIMUM ALLOWED WATER ALLOWANCE (MAWA)= 49,316 GALLONS PER YEAR  
ETWU IS LESS THAN MAWA

LANDSCAPE AREA:

TOTAL LANDSCAPE AREA = 810 SF LOW WATER USE NEW LANDSCAPE  
4,100 SF OF LOW WATER USE EXISTING LANDSCAPE

THE PLANTING IS SPREAD OUT AND EACH PLANT HAS ITS OWN, APPROPRIATELY SIZED, DRIP EMITTER AND THEREFORE LANDSCAPE AREA IS CALCULATED PER PLANT.

THIS IS CALCULATED BY THE FOLLOWING GUIDELINES

4" PLANT = 4 SQUARE FOOT  
1 GALLON PLANT = 4 SQUARE FEET  
5 GALLON PLANT = 6 SQUARE FEET  
24" BOX TREE= 12 SQUARE FEET  
36" BOX TREE= 14 SQUARE FEET

Drawing Title:

Irrigation Details

Date: 02/21/25

Scale: 1/16" = 1'0"

Drawn By: pw

Page Number:

L2.1